

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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Fax: (02) 9905-8865 Mobile: 0414-945-024  
Email: [gregg@rapidplans.com.au](mailto:gregg@rapidplans.com.au)



**New Covered Entry To Existing Residence**

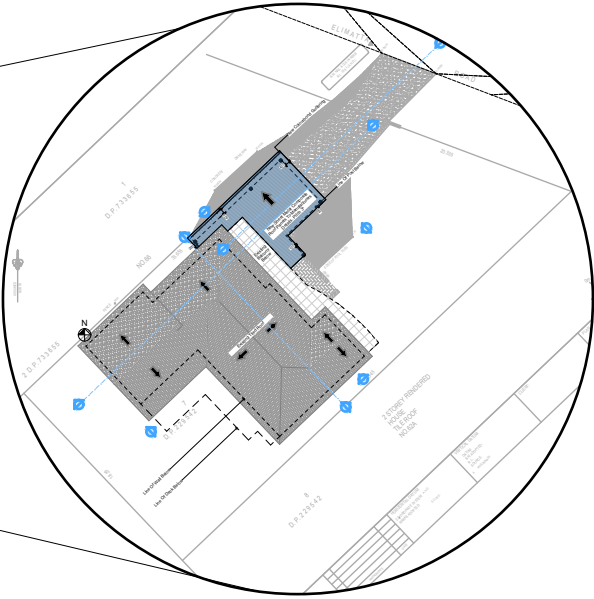
**For Tim Bullough**

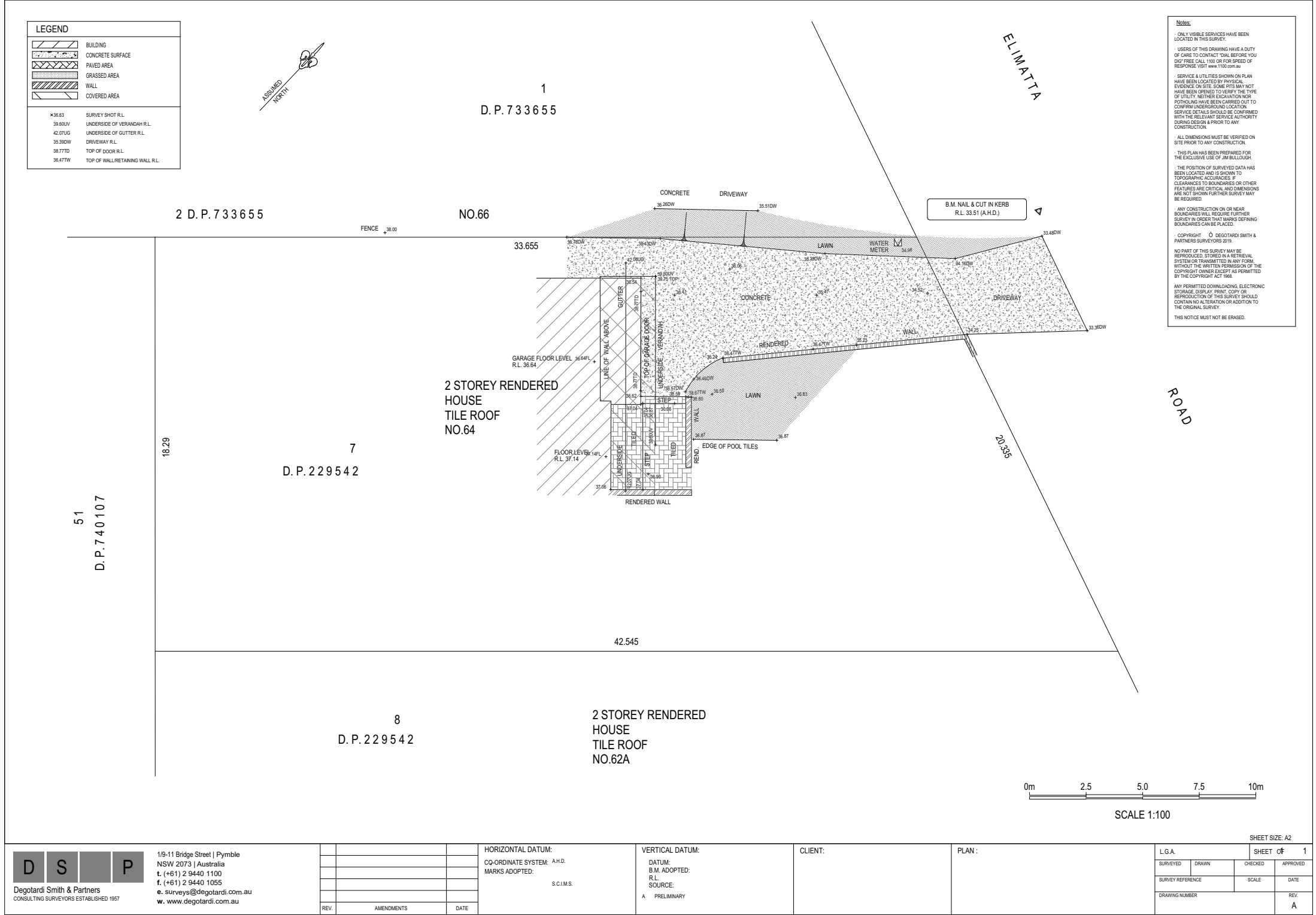
**64 Elimatta Road Mona Vale NSW 2103**

**Lot 7 D.P.229542**

**Project Number: RP0819BUL**

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet		25/11/19
DA1001	A4 NOTIFICATION PLAN	-	25/11/19
DA1002	SITE SURVEY		25/11/19
DA1003	SITE PLAN		25/11/19
DA1004	Existing Lower Ground Floor Plan		25/11/19
DA1005	Existing Ground Floor Plan		25/11/19
DA1006	Landscape Open Space Plan Existing		25/11/19
DA1007	Landscape Open Space Plan Proposed		25/11/19
DA1008	Landscape Plan		25/11/19
DA1009	Sediment & Erosion Plan		25/11/19
DA1010	Waste Management Plan		25/11/19
DA1011	Stormwater Plan		25/11/19
DA2001	GARAGE & DRIVEWAY		25/11/19
DA2002	GROUND FLOOR		25/11/19
DA2003	ROOF		25/11/19
DA3000	SECTION 1		25/11/19
DA3001	SECTION DRIVE		25/11/19
DA4000	ELEVATIONS 1		25/11/19
DA4001	ELEVATIONS 2		25/11/19
DA5000	PERSPECTIVE		25/11/19
DA5001	MATERIAL & COLOUR SAMPLE BOARD		25/11/19
DA5002	SHADOW PLANS - JUNE 21 9AM		25/11/19
DA5003	SHADOW PLANS - JUNE 21 12PM		25/11/19
DA5004	SHADOW PLANS - JUNE 21 12PM		25/11/19
DA5005	WALL ELEVATION SHADOWS		25/11/19





1

SURVEY PLAN  
1:200



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Measurements Prior to Commencement  
Builder to Check and Confirm  
for any Discrepancies  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans

Project North  
Checked  
Plot Date:  
Project NO.  
Project Status  
Client  
Site:  
GBJ  
25/11/2019  
RP0819BUL  
DA  
Tim Bullough  
64 Elimatta Road Mona Vale NSW 2103

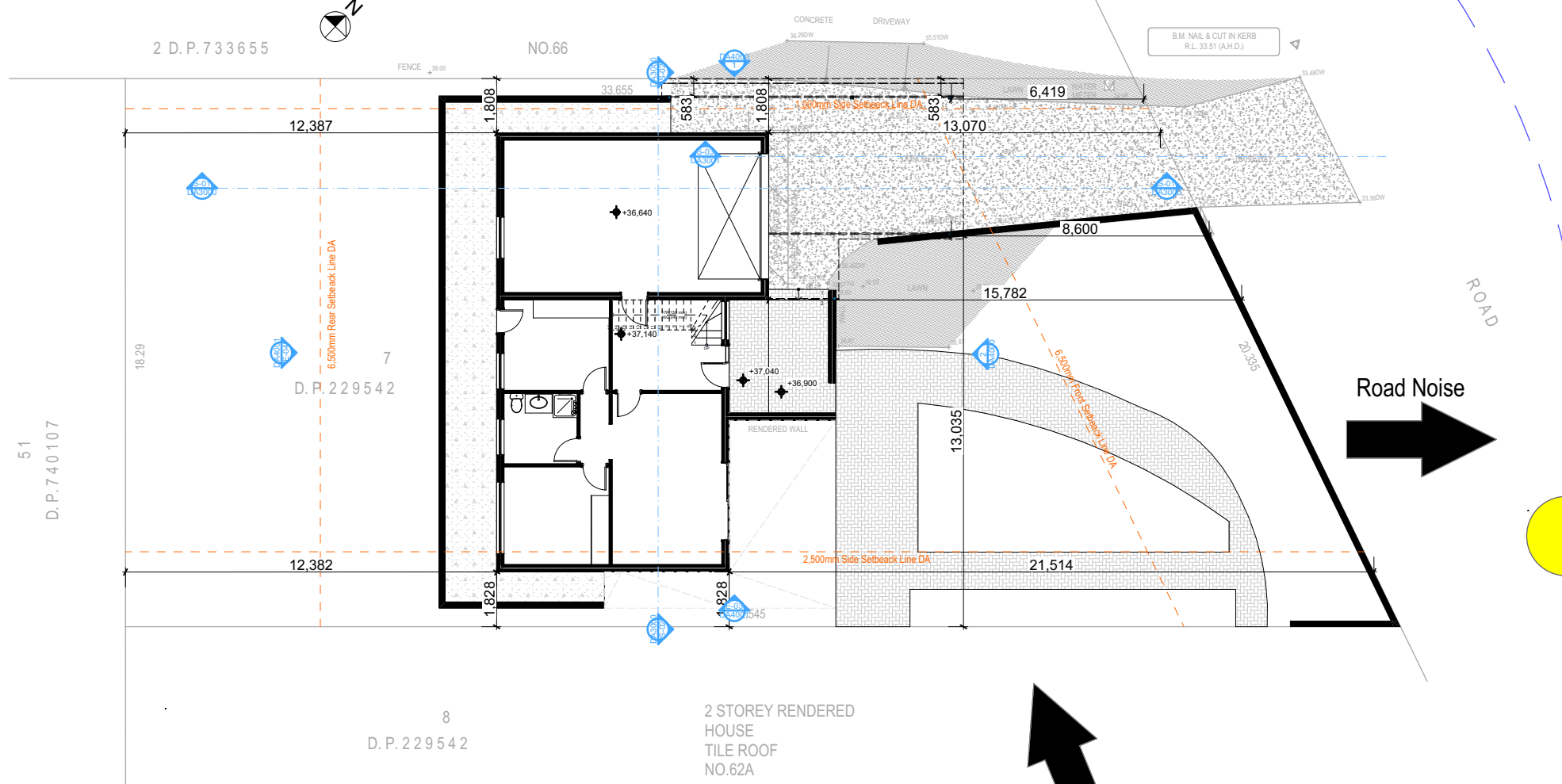
DRAWING TITLE :  
SITE AND LOCATION  
SITE SURVEY  
PROJECT NAME :  
New Covered Entry

REVISION NO.  
DRAWING NO.  
DA1002

LEGEND	
	BUILDING
	CONCRETE SURFACE
	PAVED AREA
	GRASSED AREA
	WALL
	COVERED AREA
X36.63	SURVEY SHOT R.L.
39.60UV	UNDERSIDE OF VERANDAH R.L.
42.07UG	UNDERSIDE OF GUTTER R.L.
35.90DW	DRIVEWAY R.L.
36.77TD	TOP OF DOOR R.L.
36.47TW	TOP OF WALL/RETAINING WALL R.L.

1.  
-

SITE PLAN  
1:200



Denotes New Works

### Wall Legend



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes New Concrete Block Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item

View Outlook

Road Noise

Summer  
Cooling  
Winds

Winter  
Warming  
Winds

Sun Orbit

ELIMATTA

0m 2.5 5.0 7.5  
SCALE 1:100

Building Design and Architectural Drafting

World Plans  
PO Box 6239 Rydges Forest NSW 2103  
Tel: (02) 9505-8845 Mobile: 0414-545-024  
Email: info@rapidplans.com.au

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
64 Elimatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living  
64 Elimatta Road Mona Vale NSW 2103 is not considered a heritage item  
New Works to be constructed shown in ShadedBlue

**Construction**  
Steel Frame Structure With Composite Sheet Metal Roofing Panels  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3747  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Site Information	Prop.	Comp.
Site Area	696.73m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45Deg	Yes
% of landscape open space (60% min)	54%	Yes
Impervious area (m <sup>2</sup> )	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 25/11/2019  
Project NO.: RP0819BUL  
Project Status DA

Client Tim Bullough

Site: 64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :  
SITE AND LOCATION  
**SITE PLAN**

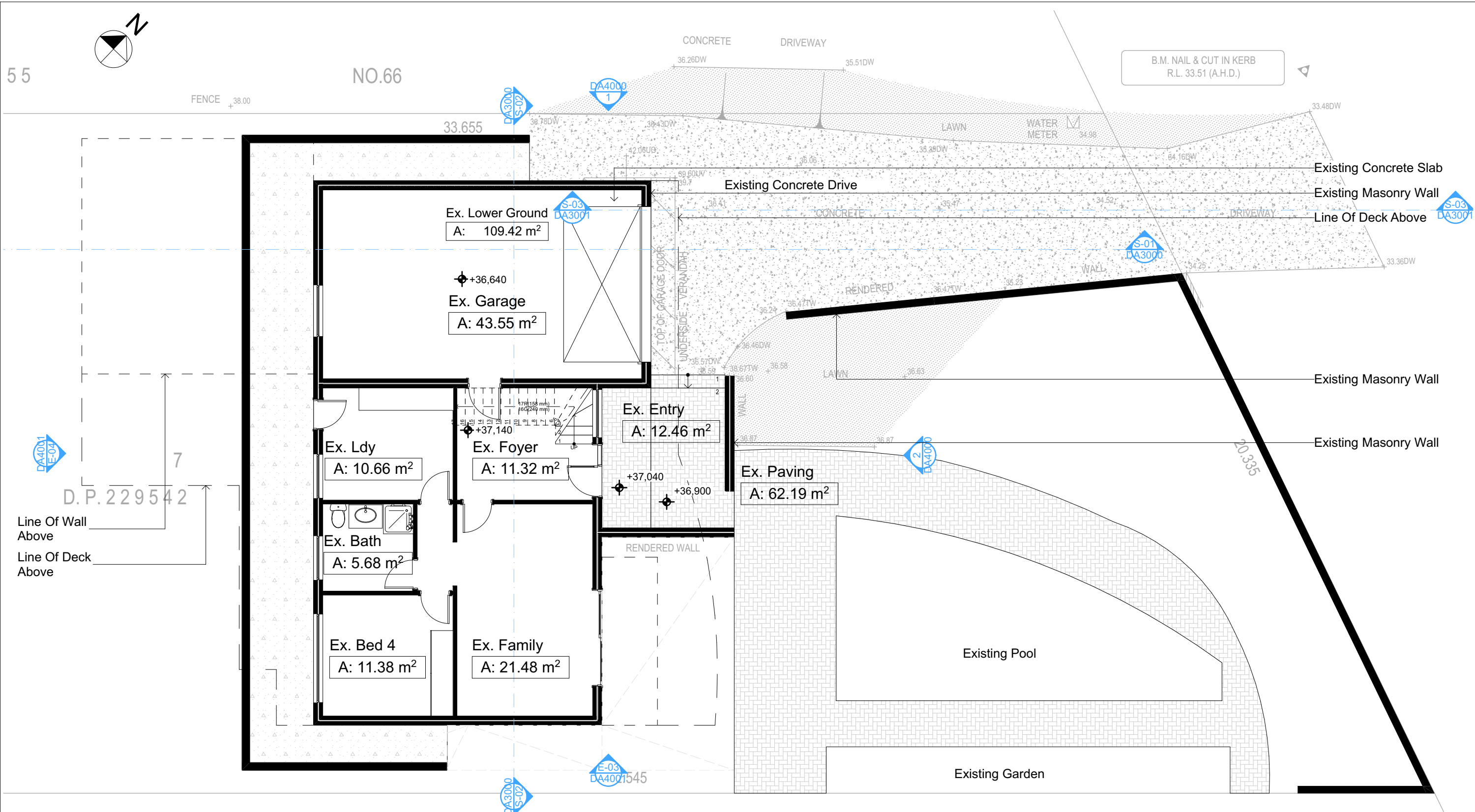
PROJECT NAME :  
**New Covered Entry**

REVISION NO.

DRAWING NO.  
**DA1003**

Plot Date: 25/11/2019  
Drawn: GBJ Checked: GBJ  
Project: RP0819BUL  
Status: DA Final





1 EXISTING GARAGE/LOWER GROUND  
1:100

## Builder To Check & Confirm Existing Measurements Prior to Commencement

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

**NOTES**  
64 Elimatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living  
New Works to be constructed shown in Shaded/Blue  
64 Elimatta Road Mona Vale NSW 2103 is not considered a heritage item

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Steel Frame Structure With Composite Sheet Metal Roofing Panels  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Wall Legend**  
Denotes Existing Wall

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.73m²	Yes	Building envelope	3m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (60% min)	54%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes			



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The builder shall check and verify all dimensions and measurements of the existing site and building, and confirm the accuracy of the drawings. Drawings shall not be used for construction purposes until issued by the Designer for the project.

**G DESIGNERS**  
ASSOCIATION OF AUSTRALIA

**ACCREDITED**  
BUILDING DESIGNER

**Prior to Commencement**  
Builder to Check and Confirm all Measurements and Dimensions of Existing Site and Building Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

**Project North**  
Checked  
Plot Date:  
Project NO:  
Project Status:

GBJ  
25/11/2019  
RP0819BUL  
DA  
Client Site:  
Tim Bullough  
64 Elimatta Road Mona Vale NSW 2103

**DRAWING TITLE :**  
**Existing Lower Ground Floor Plan**  
**PROJECT NAME :**  
**New Covered Entry**

**REVISION NO.**  
**DRAWING NO.**  
**DA1004**



D.P.733655

NO.66

Wall Legend  
Denotes Existing Wall



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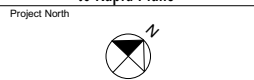
NOTES  
64 Elmatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living  
64 Elmatta Road Mona Vale NSW 2103 is not considered a heritage item  
New Works to be constructed shown in Shaded/Blue

Construction  
Steel Frame Structure With Composite Sheet Metal Roofing Panels  
Refer to Engineers drawings for structural details  
Timber framing to BCA and AS 1684  
Furniture Management to BCA and AS 3660.1  
Glazing to BCA and AS 1742  
Waterproofing to BCA and AS 3747  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Site Information	Prop.	Comp.
Site Area	696.73m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45Deg	Yes
% of landscape open space (60% min)	54%	Yes
Impervious area (m <sup>2</sup> )	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 25/11/2019  
Project NO. RPO8198UL  
Project Status DA

Client Tim Bullough

Site: 64 Elmatta Road Mona Vale NSW 2103

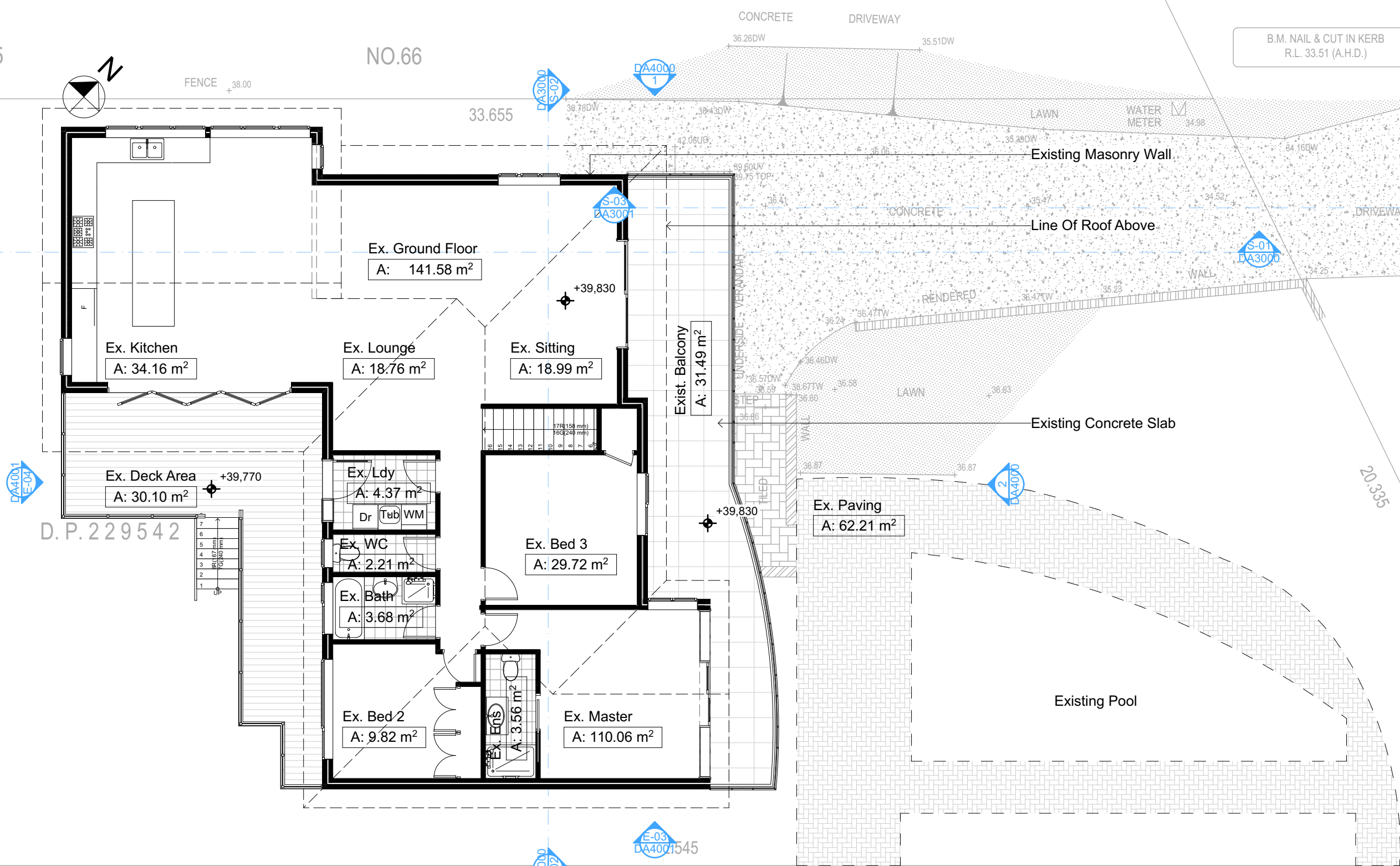
DRAWING TITLE SITE AND LOCATION  
**Existing Ground Floor Plan**

PROJECT NAME:  
**New Covered Entry**

REVISION NO.

DRAWING NO.  
**DA1005**

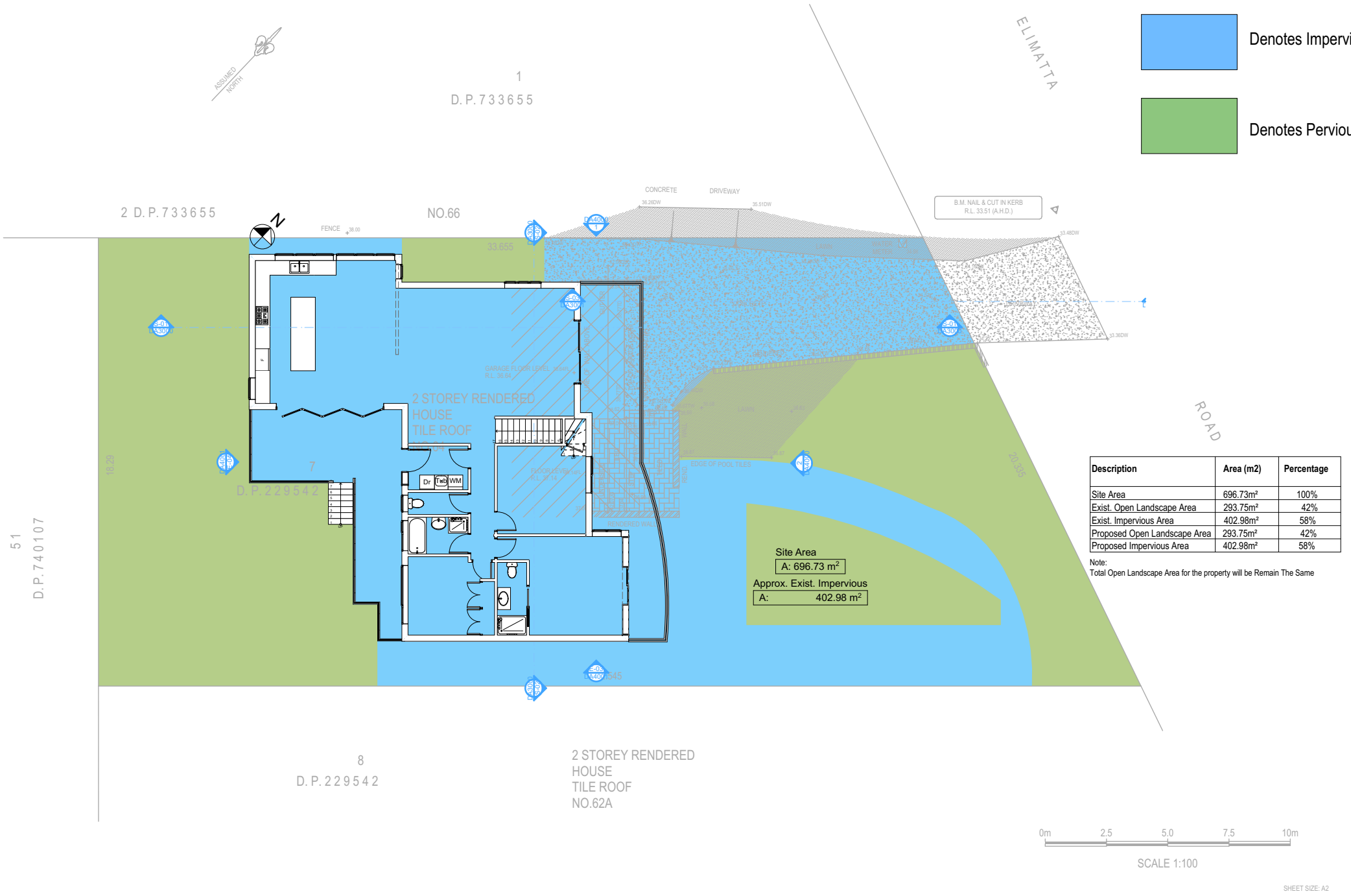
Plot Date: 25/11/2019  
Drawn: GBJ  
Checked: GBJ  
Project: RPO8198UL  
Status: DA



2. EXISTING GROUND FLOOR  
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

These plans are for DA Application purposes only. These plans are not to be used for the construction certificate application without the written permission of Rapid Plans



Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item
- Denotes Impervious Area
- Denotes Pervious Area

Description	Area (m2)	Percentage
Site Area	696.73m <sup>2</sup>	100%
Exist. Open Landscape Area	293.75m <sup>2</sup>	42%
Exist. Impervious Area	402.98m <sup>2</sup>	58%
Proposed Open Landscape Area	293.75m <sup>2</sup>	42%
Proposed Impervious Area	402.98m <sup>2</sup>	58%

Note:  
Total Open Landscape Area for the property will be Remain The Same

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NOTES  
64 Elimatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living  
64 Elimatta Road Mona Vale NSW 2103 is not considered a heritage item  
New Works to be constructed shown in ShadedBlue

Construction  
Steel Frame Structure With Composite Sheet Metal Roofing Panels  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3747  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying  
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Site Information	Prop.	Comp.
Site Area	696.73m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45Deg	Yes
% of landscape open space (60% min)	54%	Yes
Impervious area (m <sup>2</sup> )	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 25/11/2019  
Project NO. RP0819BUL  
Project Status DA

Client Tim Bullough

Site: 64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE SITE AND LOCATION  
Landscape Open Space Plan Existing

PROJECT NAME:  
New Covered Entry

REVISION NO.

DRAWING NO.  
DA1006

Plot Date: 25/11/2019  
Drawing: RP0819BUL-DA1006-01.dwg  
Bullough - DA Final.dwg

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancy  
to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 25/11/2019  
Project NO. RP0819BUL  
Project Status DA

Client	Tim Bullough
--------	--------------

Site: 64 Elimatta Road Mona Vale NSW  
2103

ation purposes

DRAWING TITLE: **Landscape Open Space**

### Plan Proposed

PROJECT NAME : **New Covered Entry**

REVISION NO.
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REVISION NO. \_\_\_\_\_

DRAWING NO.  
**DA1007**

25/11/2019

Plot Date: 20/1/2010  
 10Gregg-oc RAPID PLANS GREGGIC  
 JAMES LLOUGH JIMMYCAD DWG  
 20/1/2010

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	Denotes New Timber Framed Wall
	Denotes New Masonry Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

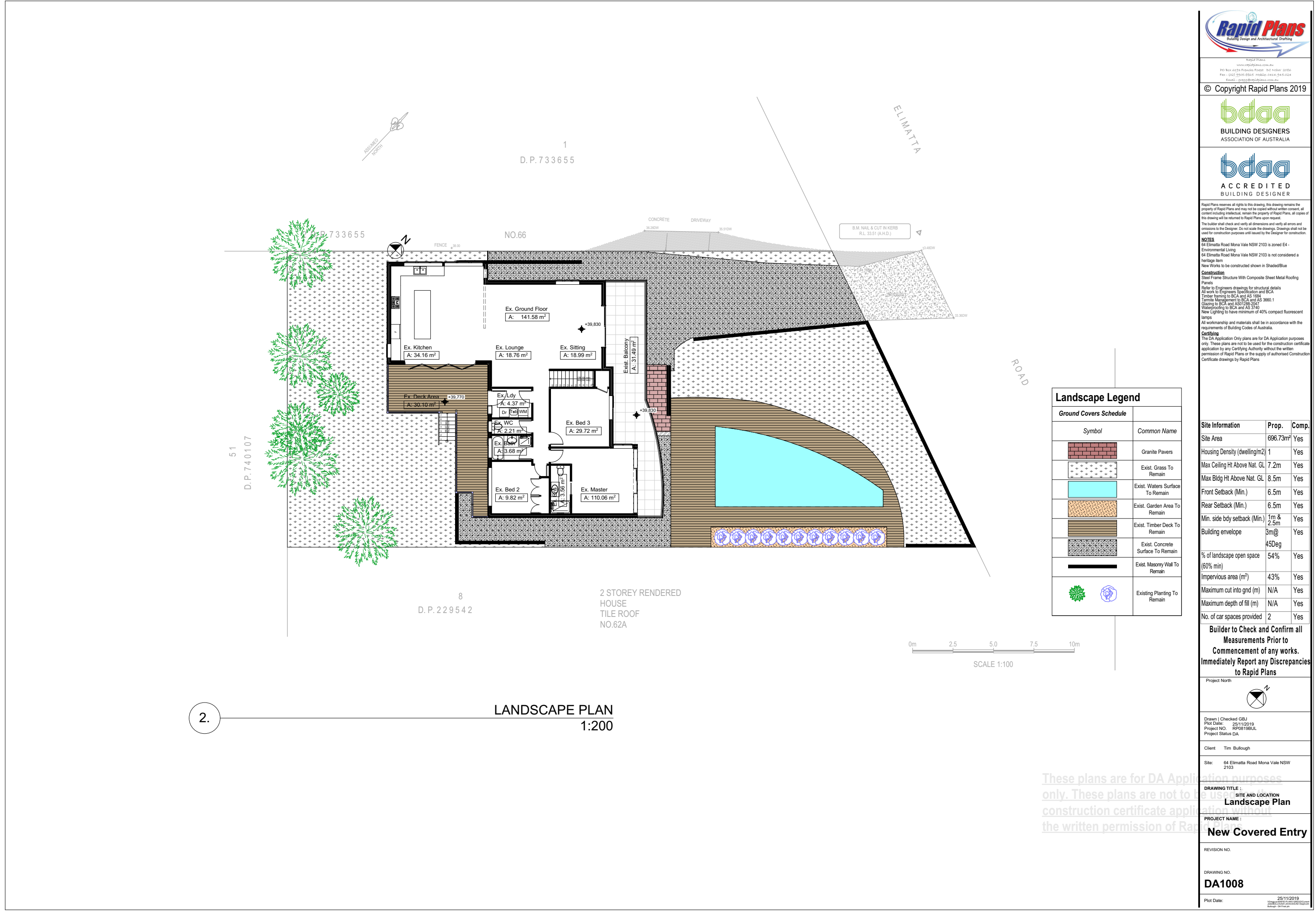
 Denotes Impervious Area

 Denotes Pervious Area



<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapiplan.</p>	<p style="text-align: right;">2103</p> <p><b>DRAWING TITLE SITE AND LOCATION</b></p> <p style="text-align: center;"><b>Landscape Open Space Plan Proposed</b></p> <p><b>PROJECT NAME :</b></p> <p style="text-align: center;"><b>New Covered Entrance</b></p>
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Site Information	Prop.	Comp.
Site Area	696.73m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45D	Yes
% of landscape open space (60% min)	54%	Yes
Impervious area (m <sup>2</sup> )	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 25/11/2019  
Project NO. RP0819BU  
Project Status DA

Client Tim Bullough

Site: 64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :  
SITE AND LOCATION  
Landscape Plan

PROJECT NAME :  
New Covered Entry

REVISION NO.

DRAWING NO.  
DA1008

Plot Date: 25/11/2019

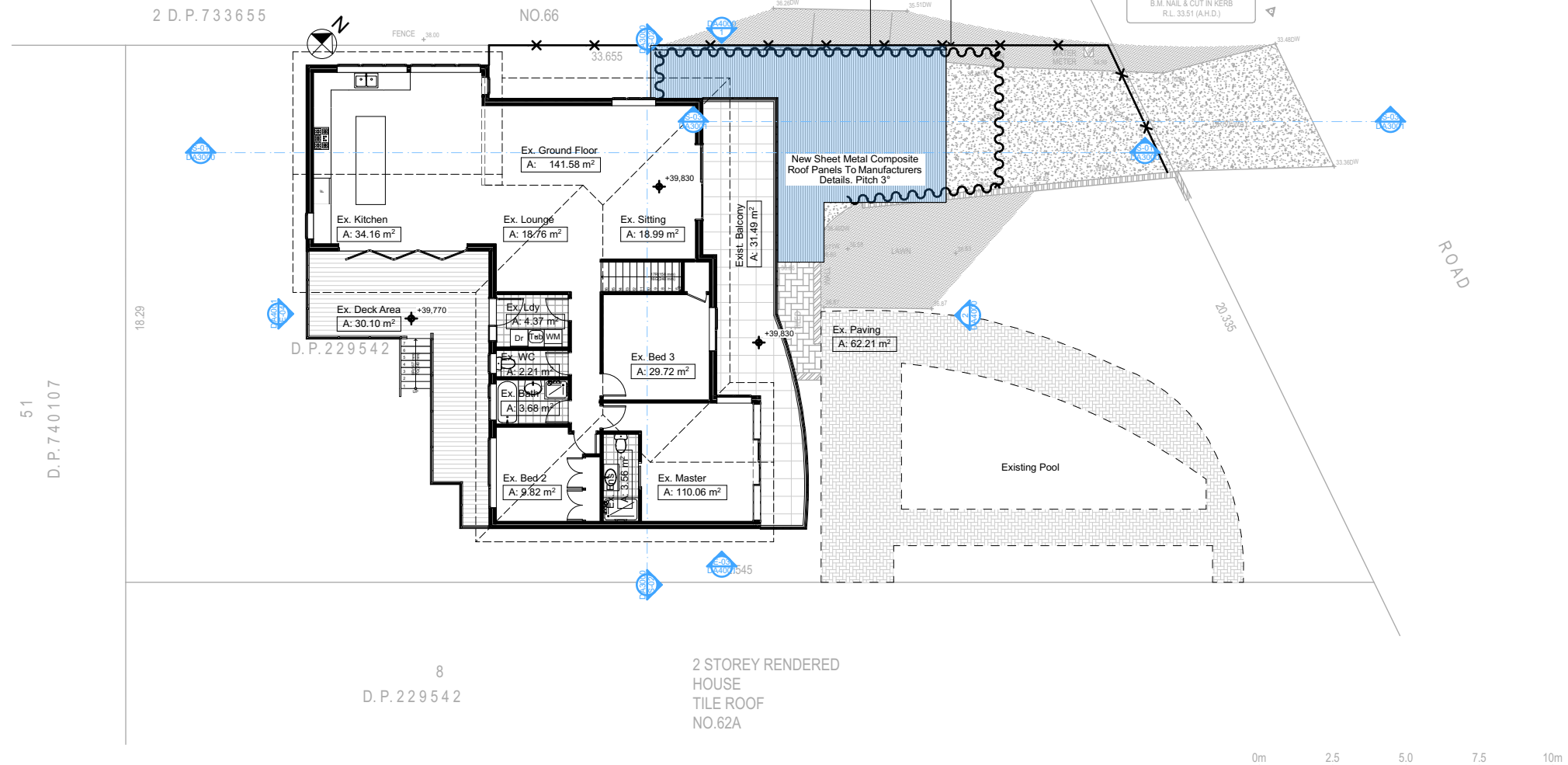
LEGEND	
	BUILDING
	CONCRETE SURFACE
	PAVED AREA
	GRASSED AREA
	WALL
	COVERED AREA
	SURVEY SHOT R.L.
	UNDERPASS OF VERANDAH R.L.
	UNDERPASS OF GUTTER R.L.
	DRIVEWAY R.L.
	TOP OF DOOR R.L.
	TOP OF WALL/RETAINING WALL R.L.

51

D.P. 740107

## Sediment Control Fence

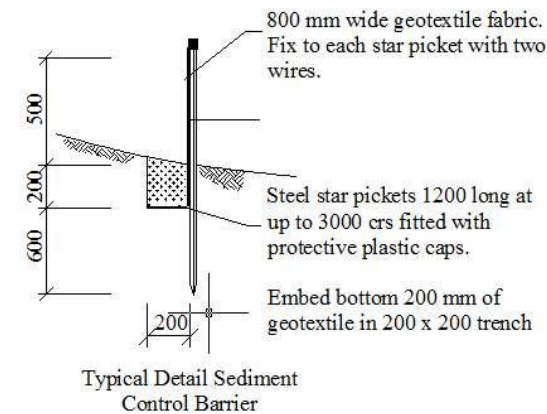
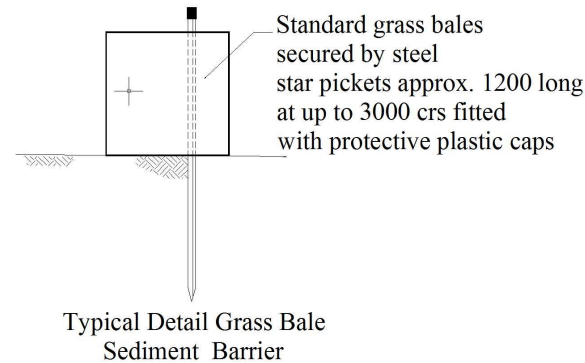
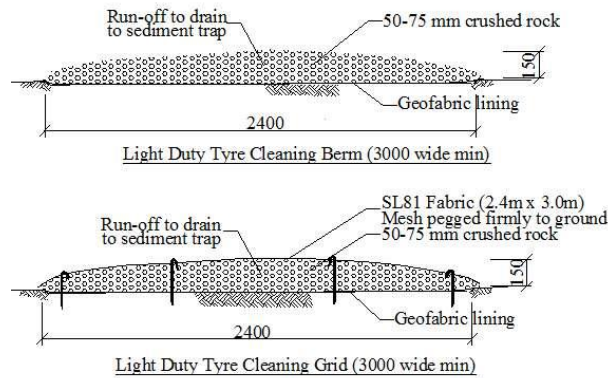
## Site Safety Fence



2.

## SEDIMENT & EROSION CONTROL PLAN

1:200



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- Denotes New Works
- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

### Wall Legend

**Rapid Plans**  
Building Design and Architectural Drafting

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**bdca**  
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

**bdca**  
ACCREDITED BUILDING DESIGNER

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**NOTES**  
64 Elmatia Road Mona Vale NSW 2103 is zoned E4 - Environmental Living  
64 Elmatia Road Mona Vale NSW 2103 is not considered a heritage item  
New Works to be constructed shown in Shaded/Blue

**Construction**  
Steel Frame Structure With Composite Sheet Metal Roofing Panels  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Furniture Management to BCA and AS 3660.1  
Glazing to BCA and AS 2208.2  
Waterproofing to BCA and AS 3747  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

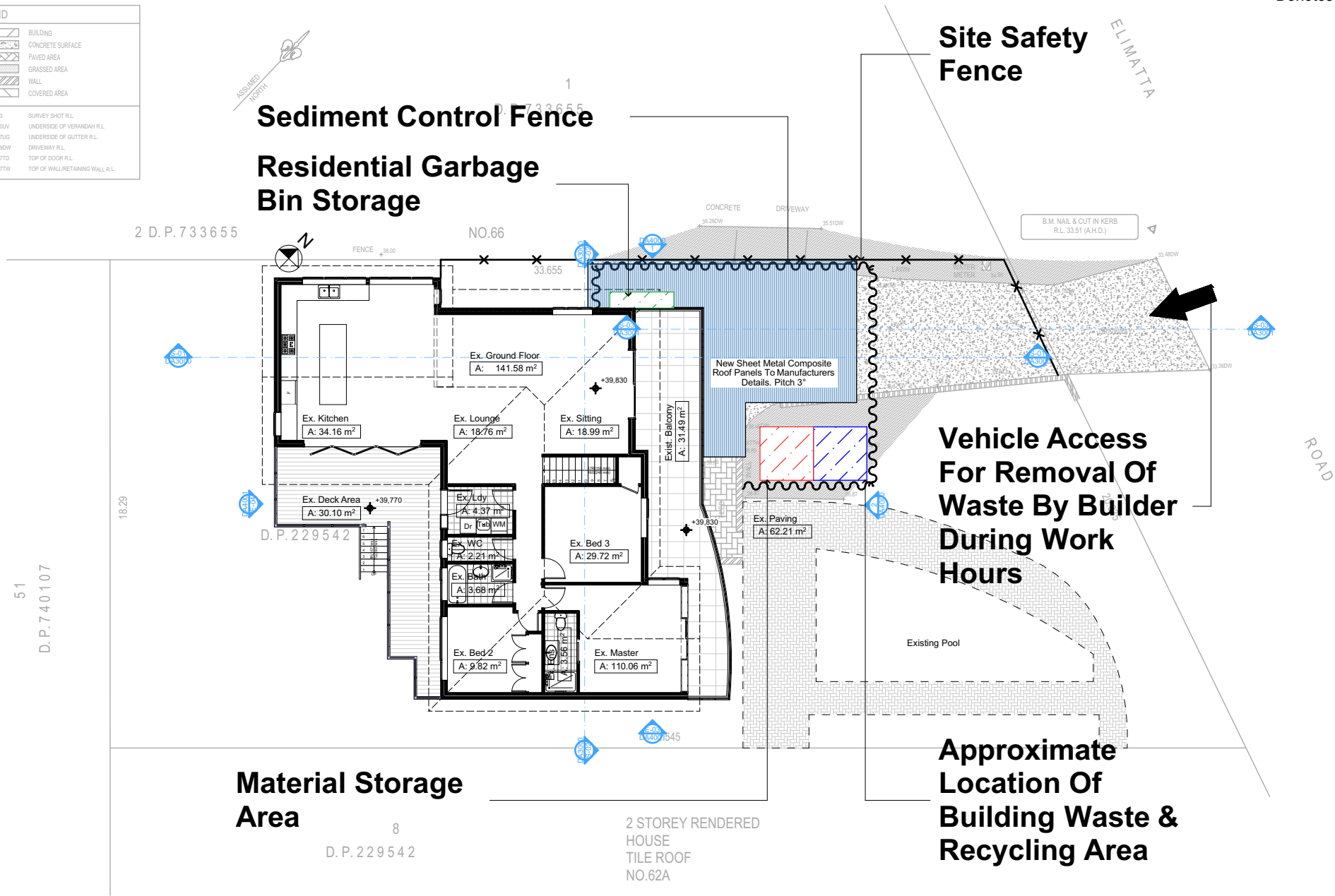
**Certifying**  
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Site Information	Prop.	Comp.
Site Area	696.73m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45Deg	Yes
% of landscape open space (60% min)	54%	Yes
Impervious area (m <sup>2</sup> )	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North	
Drawn   Checked GBJ Plot Date: 25/11/2019 Project NO.: RP08198UL Project Status DA	
Client Tim Bullough	
Site: 64 Elmatia Road Mona Vale NSW 2103	
DRAWING TITLE: SITE AND LOCATION	
PROJECT NAME: Sediment & Erosion Plan	
REVISION NO.	
DRAWING NO. DA1009	
Plot Date: 25/11/2019	

LEGEND	
	BUILDING
	CONCRETE SURFACE
	PAVED AREA
	GRASS AREA
	WALL
	COVERED AREA
x36.80	SURVEY SHOT R.L.
36.80UV	UNDERSIDE OF VERANDAH R.L.
42.07UG	UNDERSIDE OF GUTTER R.L.
35.38DW	DRIVEWAY R.L.
38.77TD	TOP OF DOOR R.L.
36.47TW	TOP OF WALL/RETAINING WALL R.L.



Denotes New Works

- Wall Legend**
- Denotes New Timber Framed Wall
  - Denotes New Masonry Wall
  - Denotes New Concrete Block Wall
  - Denotes New Concrete
  - Denotes Existing Wall
  - Denotes Demolished Item

Rapid Plans  
Building Design and Architectural Drafting

World Plans  
PO Box 6235 Rydalmere NSW 2103  
Tel: (02) 9350-8845 Mobile: 0414-945-024  
Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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ASSOCIATION OF AUSTRALIA

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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
64 Elimatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living  
64 Elimatta Road Mona Vale NSW 2103 is not considered a heritage item  
New Works to be constructed shown in ShadedBlue

**Construction**  
Steel Frame Structure With Composite Sheet Metal Roofing Panels  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Furniture Management to BCA and AS 3660.1  
Glazing to BCA and AS 2208-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Site Information	Prop.	Comp.
Site Area	696.73m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45Deg	Yes
% of landscape open space (60% min)	54%	Yes
Impervious area (m <sup>2</sup> )	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 25/11/2019  
Project NO. RP08198UL  
Project Status DA

Client Tim Bullough

Site: 64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :  
SITE AND LOCATION  
**Waste Management Plan**

PROJECT NAME :  
**New Covered Entry**

REVISION NO.

DRAWING NO.  
**DA1010**

Plot Date: 25/11/2019  
Designed by: GBJ  
Drawn by: GBJ  
Checked by: GBJ  
Project Manager: GBJ  
Rapid Plans - DA Plans

2.

WASTE MANAGEMENT PLAN  
1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans





# Number To Prior

Wall Legend

- 



**BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA**



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**NOTES**  
64 Elimatta Road Mona Vale NSW 2103 is zoned E4 -  
Environmental Living  
64 Elimatta Road Mona Vale NSW 2103 is not considered a  
heritage item  
New Works to be constructed shown in Shaded/Blue

### Construction

Steel Frame Structure With Composite Sheet Metal Roofing Panels

Panels  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
 Glazing to BCA and AS01288-2047  
 Waterproofing to BCA and AS 3740  
 New Lighting to have minimum of 40% compact fluorescent  
 lamps  
 All workmanship and materials shall be in accordance with the  
 requirements of Building Codes of Australia.

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Site Information	Prop.	Comp.
Site Area	696.73m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45Deg	Yes
% of landscape open space (60% min)	54%	Yes
Impervious area (m <sup>2</sup> )	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 25/11/2019  
Project NO. RP0819BUL  
Project Status DA

Client    Tim Bullough

Site: 64 Elimatta Road Mona Vale NSW  
2103

DRAWING TITLE :  
SITE AND LOCATION  
**Stormwater Plan**

PROJECT NAME : **New Covered Entry**

REVISION NO. \_\_\_\_\_

DRAWING NO.  
**DA1011**

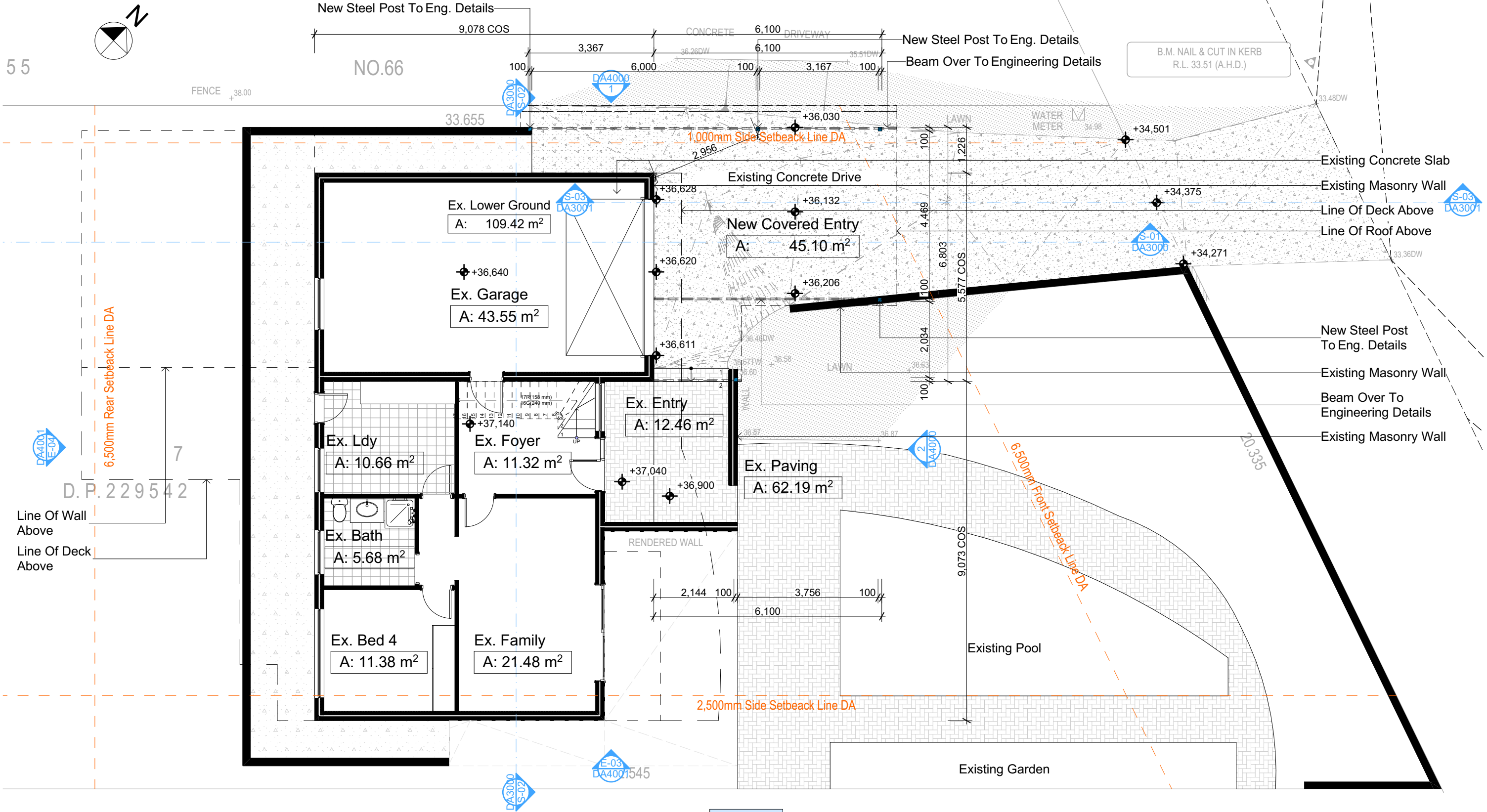
Print Date: 25/11/2019

4

STORMWATER PLAN  
1:200

## Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Raine</p>	<p>2103</p>
	<p>DRAWING TITLE : <b>SITE AND LOCATION Stormwater Plan</b></p>
	<p>PROJECT NAME : <b>New Covered Entry</b></p>
	<p>DATE : <b>11/01/2023</b></p>



1

Garage

1:100

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

64 Elimatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living

New Works to be constructed shown in Shaded/Blue

64 Elimatta Road Mona Vale NSW 2103 is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Steel Frame Structure With Composite Sheet Metal Roofing Panels

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Wall Legend

Denotes New Works

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes New Concrete Block Wall

Denotes New Concrete

Denotes Existing Wall

Denotes Demolished Item

Site Information

Prop.

Comp.

Site Information

Prop.

Comp.

Site Area

696.73m²

Yes

Building envelope

3m@45Deg

Yes

Housing Density (dwelling/m2)

1

Yes

% of landscape open space (60% min)

54%

Yes

Max Ceiling Ht Above Nat. GL

7.2m

Yes

Impervious area (m²)

43%

Yes

Max Bldg Ht Above Nat. GL

8.5m

Yes

Maximum cut into grd (m)

N/A

Yes

Front Setback (Min.)

6.5m

Yes

Maximum depth of fill (m)

N/A

Yes

Rear Setback (Min.)

6.5m

Yes

No. of car spaces provided

2

Yes

Min. side bdy setback (Min.)

1m & 2.5m

Yes

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Building Design and Architectural Drafting

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G DESIGNERS

ASSOCIATION OF AUSTRALIA

ACCREDITED

BUILDING DESIGNER

Project North

Prior to Commencement

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Checked

Plot Date:

Project NO.

Project Status

Client

Site:

GBJ

25/11/2019

RP0819BUL

DA

Tim Bullough

64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :

PROJECT NAME :

PLANS

GARAGE & DRIVEWAY

New Covered Entry

REVISION NO.

DRAWING NO.

DA2001







2 D.P.733655

NO.66

B.M. NAIL & CUT IN I  
R.L. 33.51 (A.H.D)

FENCE +38.00

CONCRETE

DRIVEWAY

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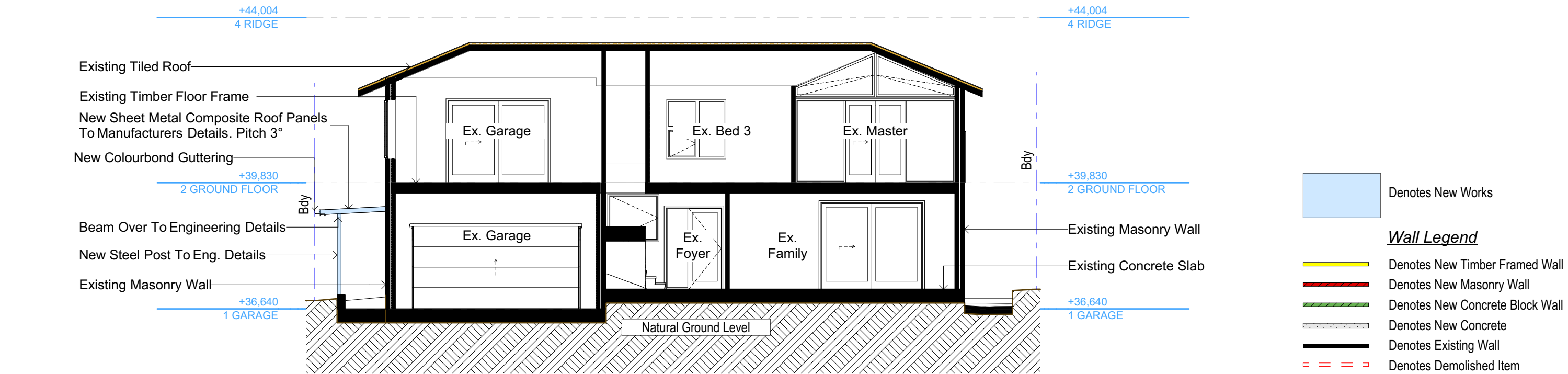
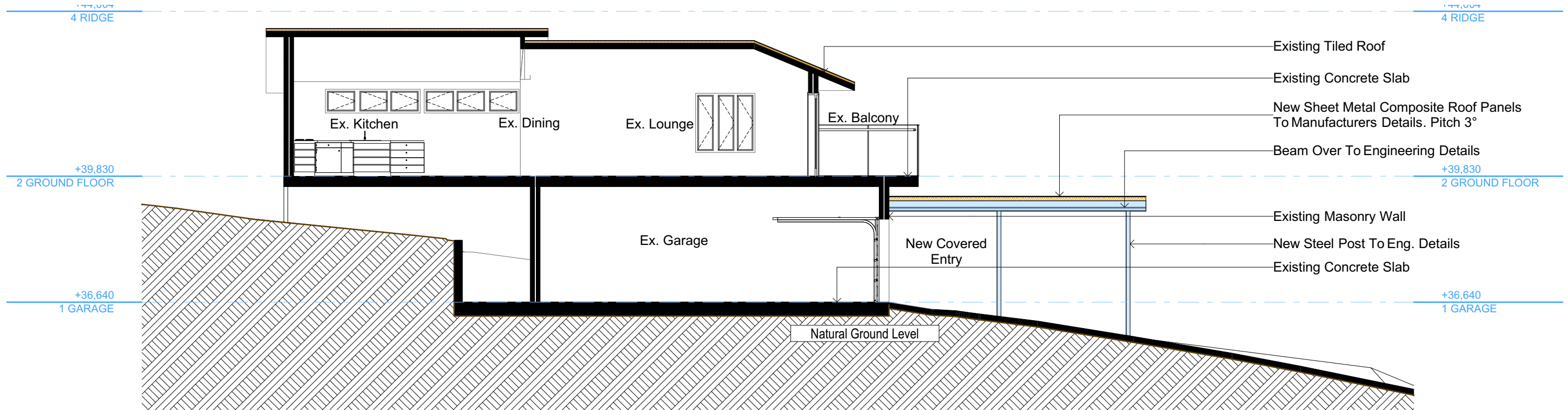
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**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

**NOTES**  
64 Elimatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living  
New Works to be constructed shown in Shaded/Blue  
64 Elimatta Road Mona Vale NSW 2103 is not considered a heritage item

**Certifying**  
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**Construction**  
Steel Frame Structure With Composite Sheet Metal Roofing Panels  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps



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ASSOCIATION OF AUSTRALIA

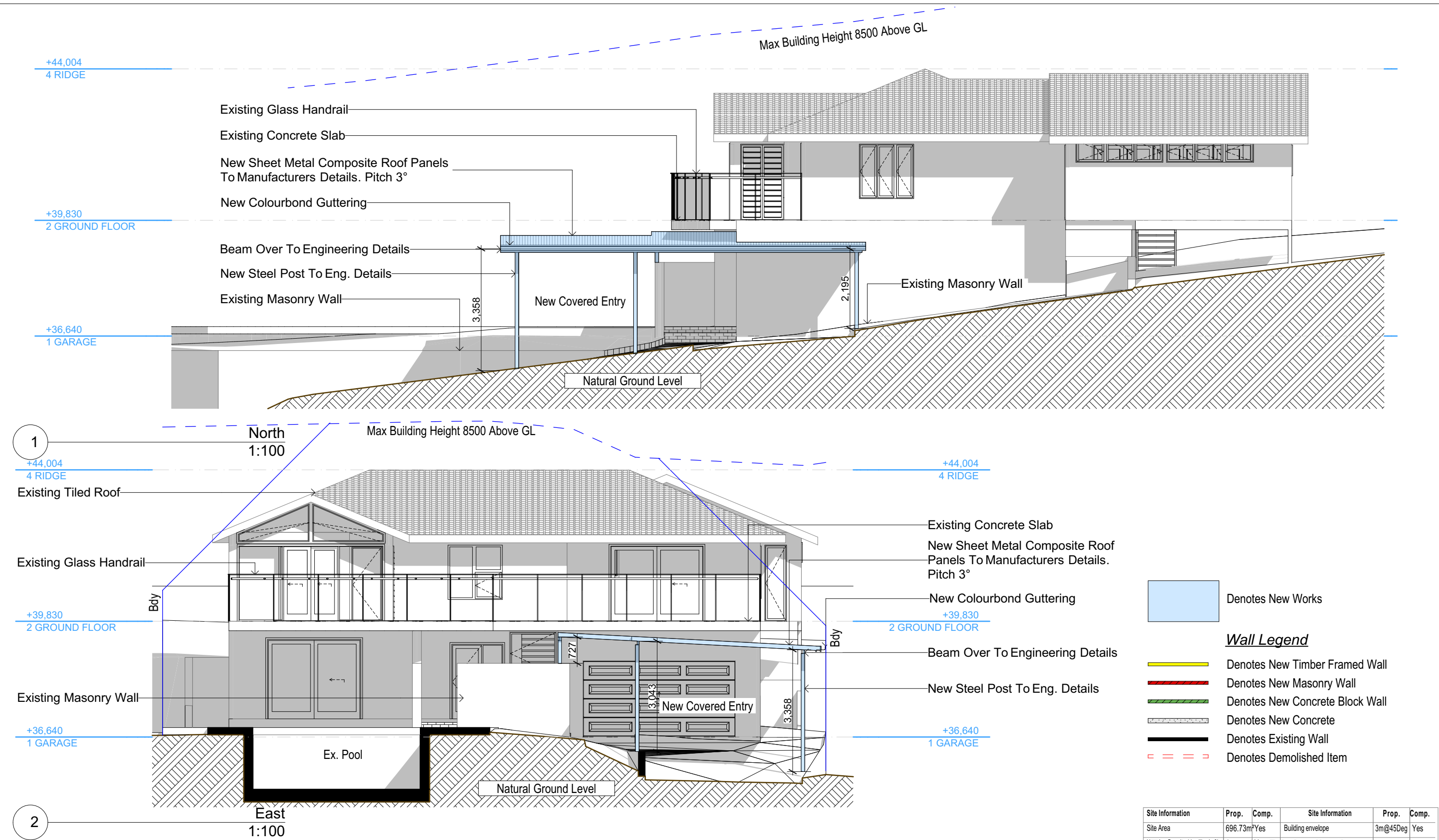
**ACCREDITED**  
BUILDING DESIGNER

**Prior to Commencement**  
Builder to Check and Confirm all Measurements and Dimensions to Rapid Plans  
Commencement of any works.  
Immediately Report any Discrepancies to Rapid Plans

Checked  
Plot Date:  
Project NO.  
Project Status  
Client  
Site:  
Tim Bullough  
64 Elimatta Road Mona Vale NSW 2103

**DRAWING TITLE :**  
**SECTIONS**  
**SECTION 1**  
**PROJECT NAME :**  
**New Covered Entry**  
**REVISION NO.**  
**DRAWING NO.**  
**DA3000**

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.73m <sup>2</sup>	Yes	Building envelope	3m@45Deg	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (60% min)	54%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes			



**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

**NOTES**  
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**Construction**  
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Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps



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Plans, all copies of this drawing will be returned to Rapid Plans upon request.



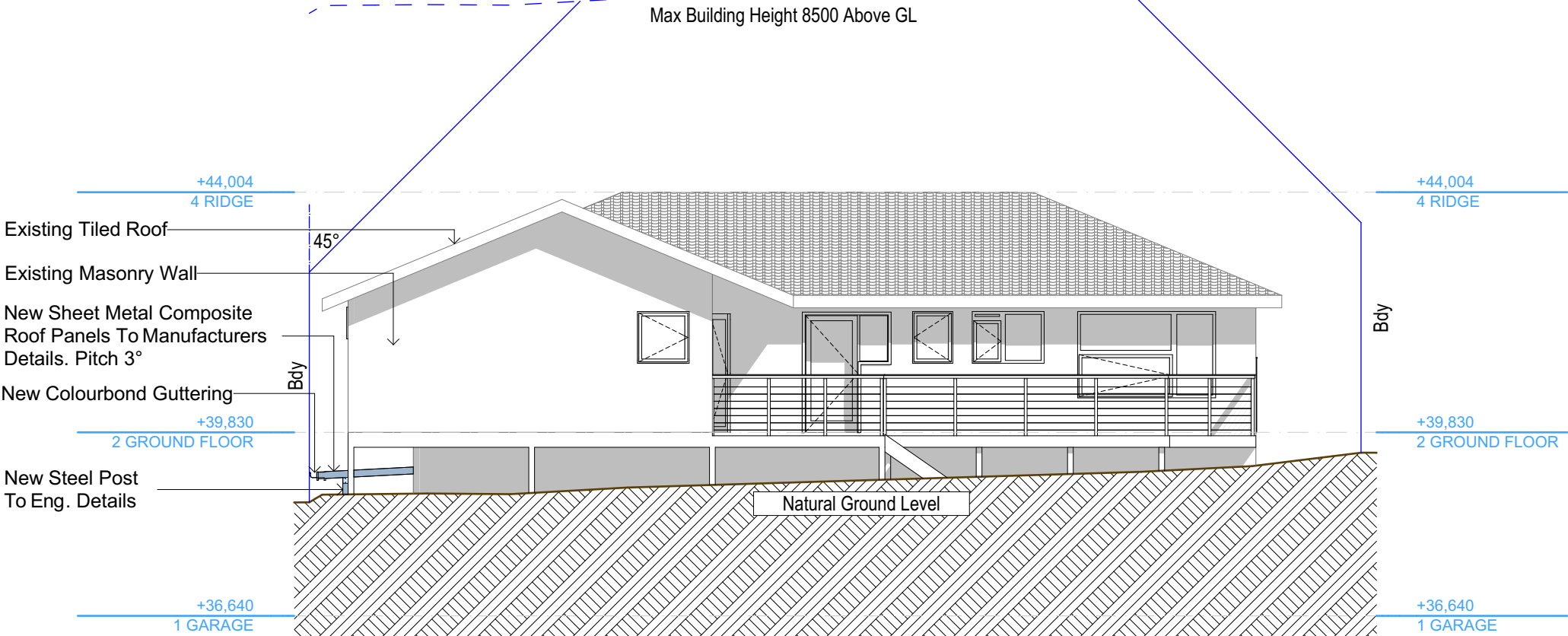
**Prior to Commencement**  
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

**Project North**  
Checked Plot Date: Project Status  
GBJ 25/11/2019 RP0819BUL DA  
Client Site: Tim Bullough 64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :			REVISION NO.		
ELEVATIONS ELEVATIONS 1			DRAWING NO. DA4000		
PROJECT NAME :					
New Covered Entry					

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.73m²	Yes	Building envelope	3m@45Deg	Yes
Housing Density (dwelling/m²)	1	Yes	% of landscape open space (60% min)	54%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes			

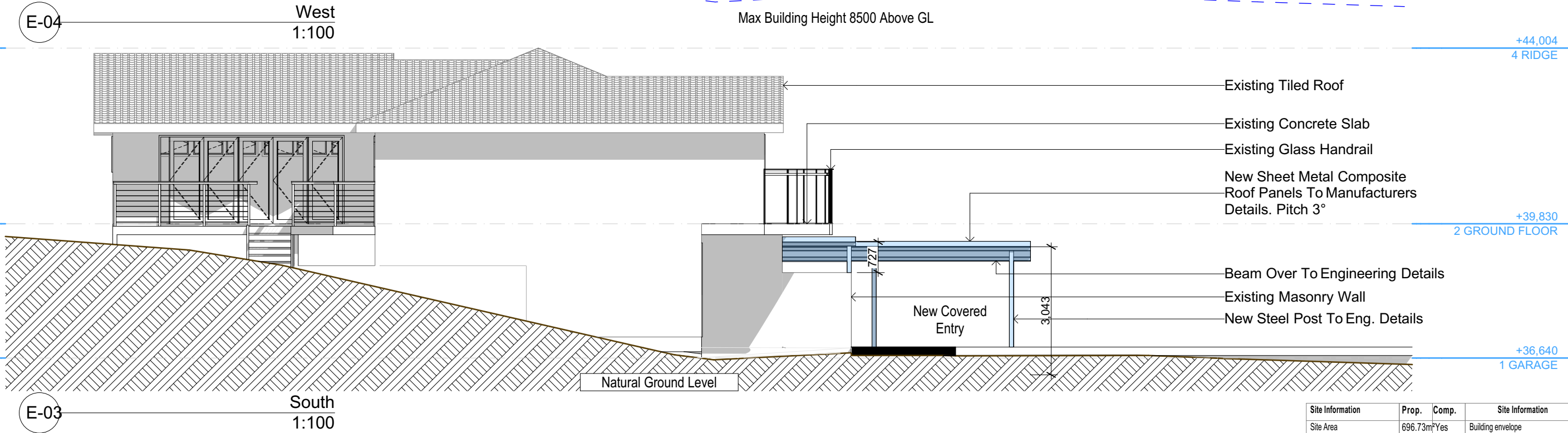




Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item



DA APPLICATION ONLY  
NOT FOR CONSTRUCTION

**NOTES**  
64 Elimatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living  
New Works to be constructed shown in Shaded/Blue  
64 Elimatta Road Mona Vale NSW 2103 is not considered a heritage item

**Certifying**  
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**Construction**  
Steel Frame Structure With Composite Sheet Metal Roofing Panels  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.73m²	Yes	Building envelope	3m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (60% min)	54%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes			



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**G DESIGNERS**  
ASSOCIATION OF AUSTRALIA

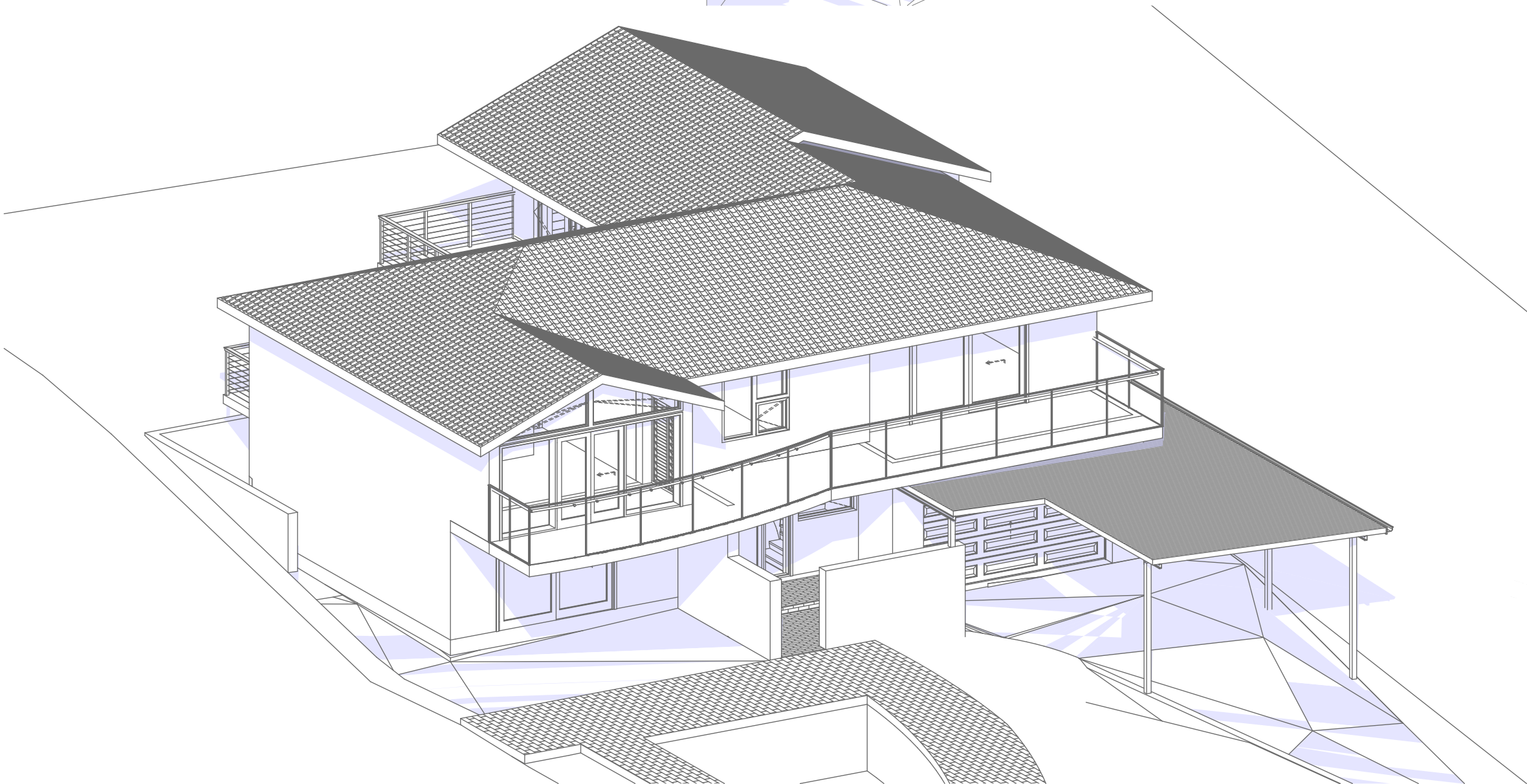
**ACCREDITED**  
BUILDING DESIGNER

**Prior to Commencement**  
Builder to Check and Confirm all Measurements and Dimensions to Rapid Plans  
Immediately Report any Discrepancies to Rapid Plans

Project North  
Checked Plot Date: 25/11/2019  
Project NO: RP0819BUL  
Project Status: DA  
Client Site: Tim Bullough  
64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :  
**ELEVATIONS 2**  
PROJECT NAME :  
**New Covered Entry**

REVISION NO.  
DRAWING NO.  
**DA4001**







Denotes Composite Roof Structure (Typical). Owner To Confirm Type & Colour.

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rangan.</p>	<p>DRAWING TITLE : SHADOW PLANS</p> <p><b>MATERIAL &amp; COLOUR SAMPLE BOARD</b></p> <p>PROJECT NAME : New Covered Entry</p>
--	--

Site Information	Prop.	Comp.
Site Area	696.73m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45Deg	
% of landscape open space (60% min)	54%	Yes
Impervious area (m <sup>2</sup> )	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 25/11/2019  
Project NO. RP0819BUL  
Project Status DA

Client	Tim Bullough
--------	--------------

Site: 64 Elimatta Road Mona Vale NSW  
2103

DRAWING TITLE : SHADOW PLANS  
**MATERIAL & COLOUR  
SAMPLE BOARD**

PROJECT NAME : **New Covered Entry**

REVISION NO. \_\_\_\_\_

DRAWING NO.

DA5001

Plot Date: 25/11/2019  
 1GREGG-PC\RAPID PLANS\GREGGCurrent





LEGEND	
	BUILDING
	CONCRETE SURFACE
	PAVED AREA
	GRASSED AREA
	WALL
	COVERED AREA
38.63	SURVEY SHOT R.L.
38.60UV	UNDERSIDE OF VERANDAH R.L.
42.07UG	UNDERSIDE OF GUTTER R.L.
35.38OW	DRIVEWAY R.L.
38.77TD	TOP OF DOOR R.L.
35.47TW	TOP OF WALL/RETAINING WALL R.L.

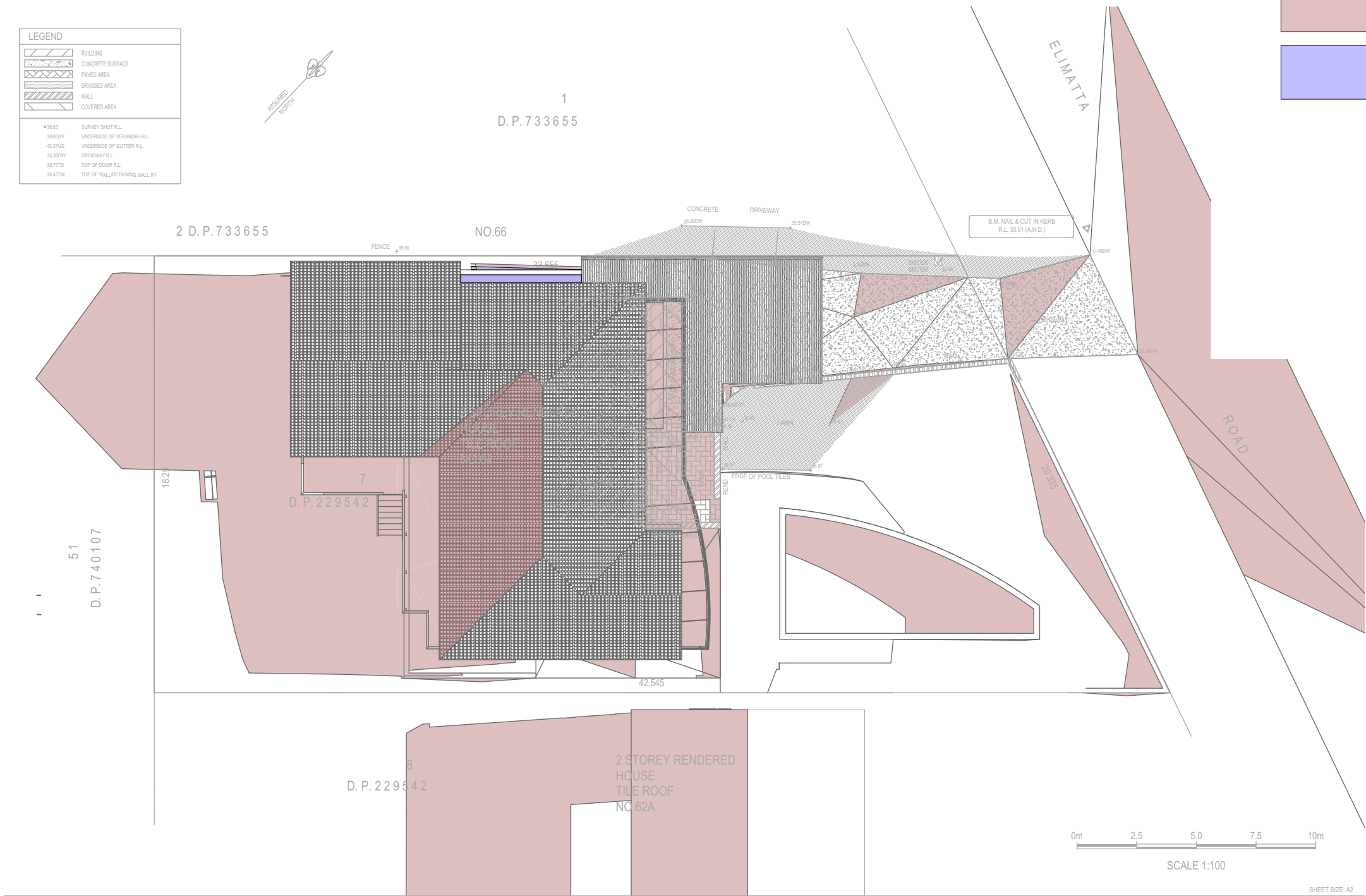


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D.P. 733655

**Legend**

 Denotes Existing Shadows

 Denotes New Shadows



01

SHADOW PLAN 21 JUN at 0900h  
1:200



Rapid Plans  
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NSW 2086  
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Lot 7 D.P. 229542  
Measurements Prior to Commencement of any works.  
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Immediately Report any Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
25/11/2019  
RP0819BUL  
DA  
Tim Bullough  
64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE : SHADOW PLANS  
SHADOW PLANS - JUNE 21 9AM  
PROJECT NAME : New Covered Entry

REVISION NO.  
DRAWING NO.  
DA5002

LEGEND	
	BUILDING
	CONCRETE SURFACE
	PAVED AREA
	GRASSED AREA
	WALL
	COVERED AREA
436.63	SURVEY SHOT R.L.
38.60UV	UNDERSIDE OF VERANDAH R.L.
42.07UG	UNDERSIDE OF GUTTER R.L.
35.38OW	DRIVEWAY R.L.
38.77TD	TOP OF DOOR R.L.
38.47TW	TOP OF WALL/RETAINING WALL R.L.



1  
D.P. 733655

2 D.P. 733655

NO.66

FENCE 18.00

33.655

CONCRETE DRIVEWAY

35.38OW

35.51OW

B.M. NAIL & CUT IN KERB  
R.L. 33.51 (A.H.D.)

ELIMATTA

ROAD

51  
D.P. 740107

18.29

7  
D.P. 229542

8  
D.P. 229542

2 STOREY RENDERED  
HOUSE  
TILE ROOF  
NO.62A

42.545

0m 2.5 5.0 7.5 10m

SCALE 1:100

02

SHADOW PLAN 21 JUN at 1200h  
1:200



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Lot 7 D.P. 229542  
Measurements Prior to Commencement  
Builder to Check and Confirm  
for any Discrepancies  
to Rapid Plans  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans

Project North



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
25/11/2019  
RP0819BUL  
DA  
Tim Bullough  
64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE : SHADOW PLANS  
SHADOW PLANS - JUNE 21  
12PM  
PROJECT NAME : New Covered Entry

REVISION NO.

DRAWING NO.

DA5003



1  
D.P. 733655

2 D.P. 733655

NO.66

FENCE 38.00

CONCRETE DRIVEWAY

B.M. NAIL & CUT IN KI  
R.L. 33.51 (A.H.D.)

Architectural site plan of a 2-storey rendered house with a tile roof, showing various rooms, a swimming pool, and surrounding terrain. The plan includes a scale bar (0m to 10m) and a north arrow. The house is labeled "2 STOREY RENDERED HOUSE TILE ROOF NO. 62A". The swimming pool is labeled "SWIMMING POOL". The surrounding area is labeled "ROAD" and "D.P. 229542". The plan also shows a "7" and "D.P. 229542" near the house.

SCALE 1:100

03

SHADOW PLAN 21 JUN at 1500h  
1:200



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**G DESIGNERS**  
ASSOCIATION OF AUSTRALIA




Lot 7 D.P.229542

Project North

**Measurements Prior to Commencement**  
**Builder to Check and Confirm**  
**Report any Discrepancies to Rapid Plans**

**Measurements Prior to Commencement**  
**Builder to Check and Confirm**  
**Report any Discrepancies to Rapid Plans**

**Immediately Report any Discrepancies to Rapid Plans**

A circular logo with a black triangle inside, pointing downwards. The triangle is centered within the circle.

Checked  
Plot Date:  
Project NO.  
Project Status

Client  
Site:

GBJ  
25/11/2019  
RP0819BUL  
DA

Tim Bullough  
64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE : SHADOW PLANS  
**SHADOW PLANS - JUNE 21  
12PM**

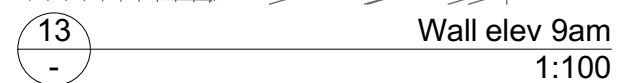
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PROJECT NAME :  
**New Covered Entry**

REVISION NO.

DRAWING NO.  
**DA5004**





Legend



Denotes Existing Shadows



Denotes New Shadows



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ASSOCIATION OF AUSTRALIA**



ACCREDITED  
BUILDING DESIGNER

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**NOTES**  
64 Ellimatta Road Mona Vale NSW 2103 is zoned E4 -  
Environmental Living  
64 Ellimatta Road Mona Vale NSW 2103 is not considered a  
heritage item  
New Works to be constructed shown in Shaded/Blue

**Construction**  
Steel Frame Structure With Composite Sheet Metal Roofing Panels  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Site Information	Prop.	Comp
Site Area	696.73m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45Deg	Yes
% of landscape open space (60% min)	54%	Yes
Impervious area (m <sup>2</sup> )	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 25/11/2019  
Project NO. RP0819BU  
Project Status DA

Client	Tim Bullough
--------	--------------

Site: 64 Elimatta Road Mona Vale NSW  
2103

DRAWING TITLE : SHADOW PLANS  
**WALL ELEVATION  
SHADOWS**

PROJECT NAME :

## New Covered Entry

REVISION NO.

DRAWING NO.

DA5005

Plot Date

25/11/20  
 \Gregg-pc\RAPID PLANS