



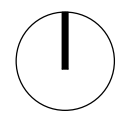
NUMBER	SHEET NAME	REV DATE	REVISION DESCRIPTION
DA-000	COVER PAGE	11/12/2020	DA SUBMISSION
DA-001	SITE ANALYSIS AND ROOF PLAN	11/12/2020	DA SUBMISSION
DA-100	EXISTING AND DEMOLITION GROUND PLAN	11/12/2020	DA SUBMISSION
DA-110	EXISTING AND DEMOLITION FIRST PLAN	11/12/2020	DA SUBMISSION
DA-120	EXISTING AND DEMOLITION SECOND PLAN	11/12/2020	DA SUBMISSION
DA-130	EXISTING AND DEMOLITION THIRD PLAN	11/12/2020	DA SUBMISSION
DA-200	PROPOSED GROUND FLOOR PLAN	11/12/2020	DA SUBMISSION
DA-210	PROPOSED FIRST FLOOR PLAN	03/03/2021	NOTE ADDED FOR FURTHER INFORMATION
DA-220	PROPOSED SECOND FLOOR PLAN	11/12/2020	DA SUBMISSION
DA-230	PROPOSED THIRD FLOOR PLAN	11/12/2020	DA SUBMISSION
DA-300	THE CORSO ELEVATION	11/12/2020	DA SUBMISSION
DA-310	MARKET LANE ELEVATION	11/12/2020	DA SUBMISSION
DA-320	EAST ELEVATION	11/12/2020	DA SUBMISSION
DA-330	WEST ELEVATION	11/12/2020	DA SUBMISSION
DA-400	LONG SECTION LIGHTWELL A	11/12/2020	DA SUBMISSION
DA-410	LONG SECTION LIGHTWELL B	11/12/2020	DA SUBMISSION
DA-420	CROSS SECTION LIGHTWELL A	11/12/2020	DA SUBMISSION
DA-430	CROSS SECTION LIGHTWELL B	11/12/2020	DA SUBMISSION
DA-500	SCHEDULE OF COLOURS AND MATERIALS	11/12/2020	DA SUBMISSION
DA-510	CONSTRUCTION WASTE MANAGEMENT SITE PLAN	11/12/2020	DA SUBMISSION
DA-511	PROPOSED WASTE MANAGEMENT SITE PLAN	11/12/2020	DA SUBMISSION
DA-512	HERITAGE CONSERVATION	11/12/2020	DA SUBMISSION
DA-513	HERITAGE INTERIOR SCOPE	11/12/2020	DA SUBMISSION
DA-514	AREA PLANS - FSR	03/03/2021	NOTE ADDED FOR FURTHER INFORMATION

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

Drawing Title
COVER PAGE

Project
MANLY CORSO APARTMENTS
REFURBISHMENT + ADDITIONS
at
S.P. 12989
19-21 THE CORSO, MANLY
for
HILROK PROPERTIES PTY LTD

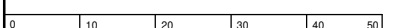
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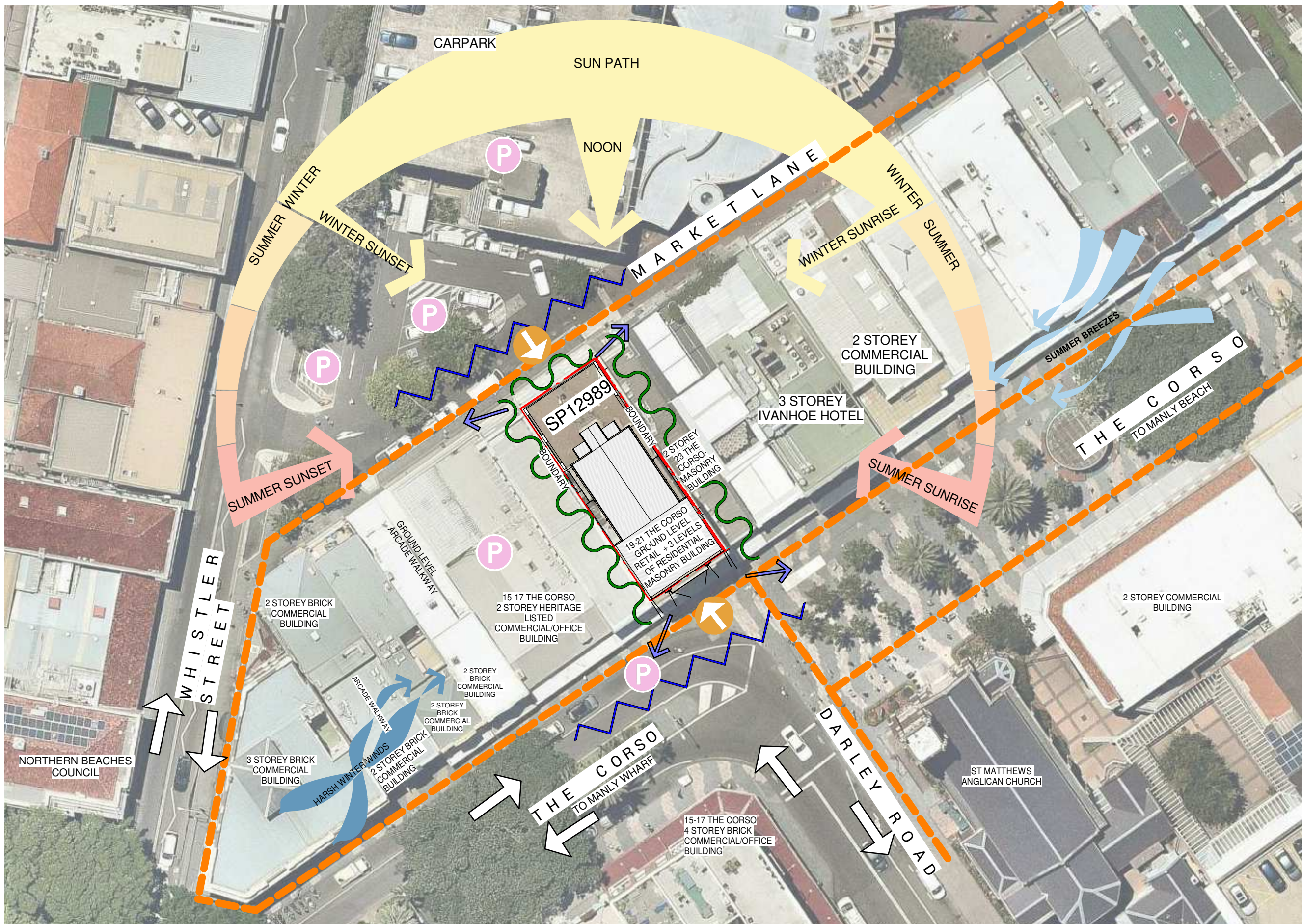


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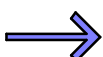







Drawing Reference
17349-NBRSEARCHITECTURE-A-DA-000

Revision
A





LEGEND

-  PRIVACY LINE
-  VIEWS
-  SUN PATH DIAGRAM
-  PREVAILING WIND DIRECTION
-  BOUNDARY
-  PRIVATE ACCESS PEDESTRIANS
-  PARKING SYMBOL
-  TRAFFIC NOISE
-  PEDESTRIAN WALKWAY

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

Drawing Title
SITE ANALYSIS AND ROOF PLAN

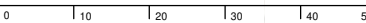
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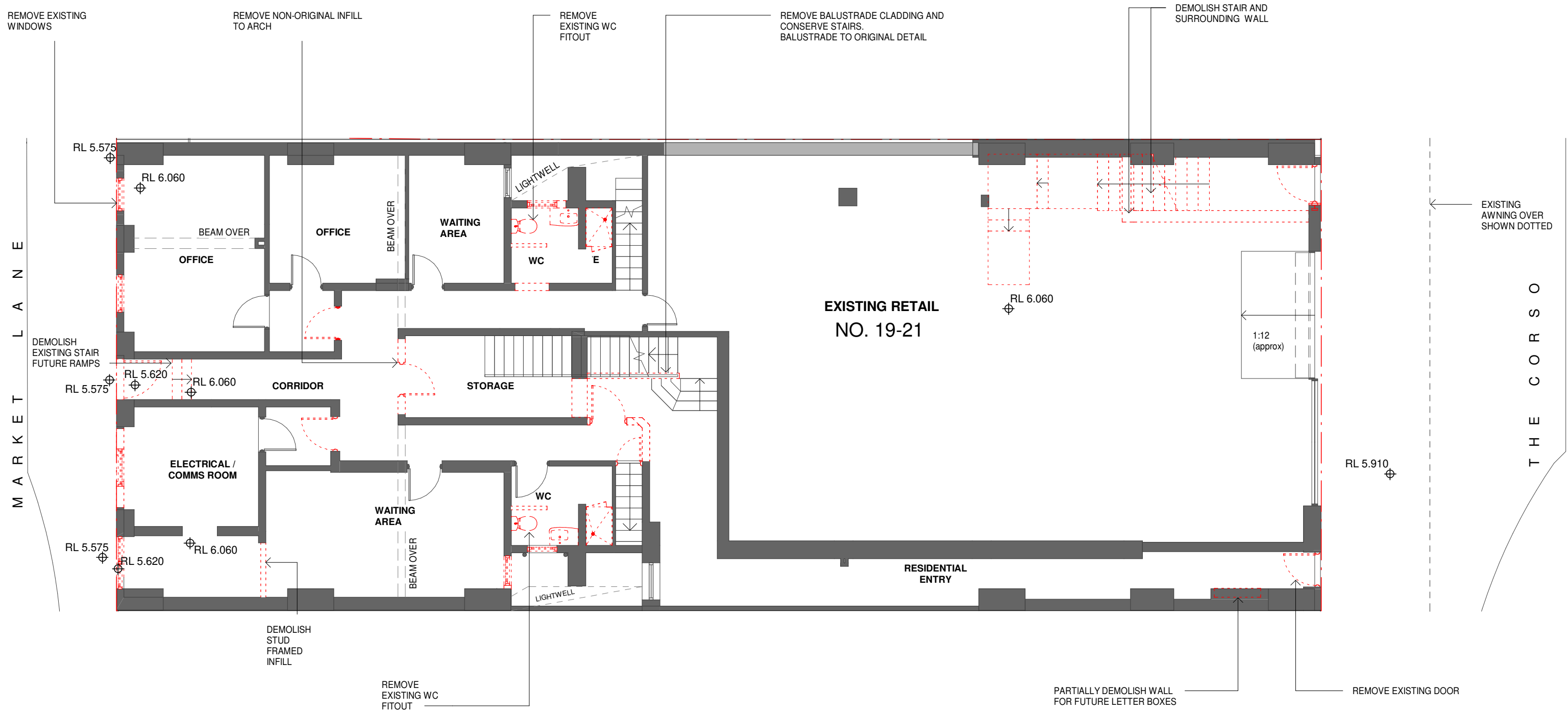
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Revision
A





1 EXISTING AND DEMOLITION GROUND FLOOR PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

EXISTING WALLS	WORKS AS PART OF FIRE & SAFETY UPGRADE	TO BE DEMOLISHED
NEW WORKS		BOUNDARY LINE
WASTE MANAGEMENT		

Drawing Title
EXISTING AND DEMOLITION GROUND PLAN

Project
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Revision
A



1 EXISTING AND DEMOLITION FIRST FLOOR
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

- EXISTING WALLS
- WORKS AS PART OF FIRE & SAFETY UPGRADE
- NEW WORKS
- WASTE MANAGEMENT
- TO BE DEMOLISHED
- BOUNDARY LINE

Drawing Title
EXISTING AND DEMOLITION FIRST FLOOR PLAN

Project
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Drawing Reference
17349-NBRS-A-DA-110
Revision
A

REPLACE DP AND RAIN HEAD TO MATCH EXISTING PROFILE

ATTEND TO ANY REPAIRS AND RE-PAINT FACADE

RETAIN AND CONSERVE TIMBER STAIR AND BALUSTRADE

REPLACE DP'S TO MATCH EXISTING PROFILE IN LIGHTWELL AREA

ATTEND TO ANY REPAIRS AND RE-PAINT FACADE

UNDERTAKE LINTEL REPLACEMENT OVER WINDOWS AND RENDER REPAIR TO ENTIRE FACADE FACING THE CORSO. REPLACE ALL TIMBER DOUBLE HUNG SASH WINDOWS AND FRAMES WITH NEW TO MATCH EXISTING.



MODIFY OPENINGS, UNDERTAKE STRUCTURAL MASONRY REPAIRS AND RE-RENDER ENTIRE FACADE FACING MARKET LANE. REPLACE ALL WINDOWS AND FRAMES.

ATTEND TO ANY REPAIRS AND RE-PAINT FACADE

1 EXISTING AND DEMOLITION SECOND PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

- EXISTING WALLS
- WORKS AS PART OF FIRE & SAFETY UPGRADE
- NEW WORKS
- WASTE MANAGEMENT
- TO BE DEMOLISHED
- BOUNDARY LINE

Drawing Title
EXISTING AND DEMOLITION SECOND PLAN

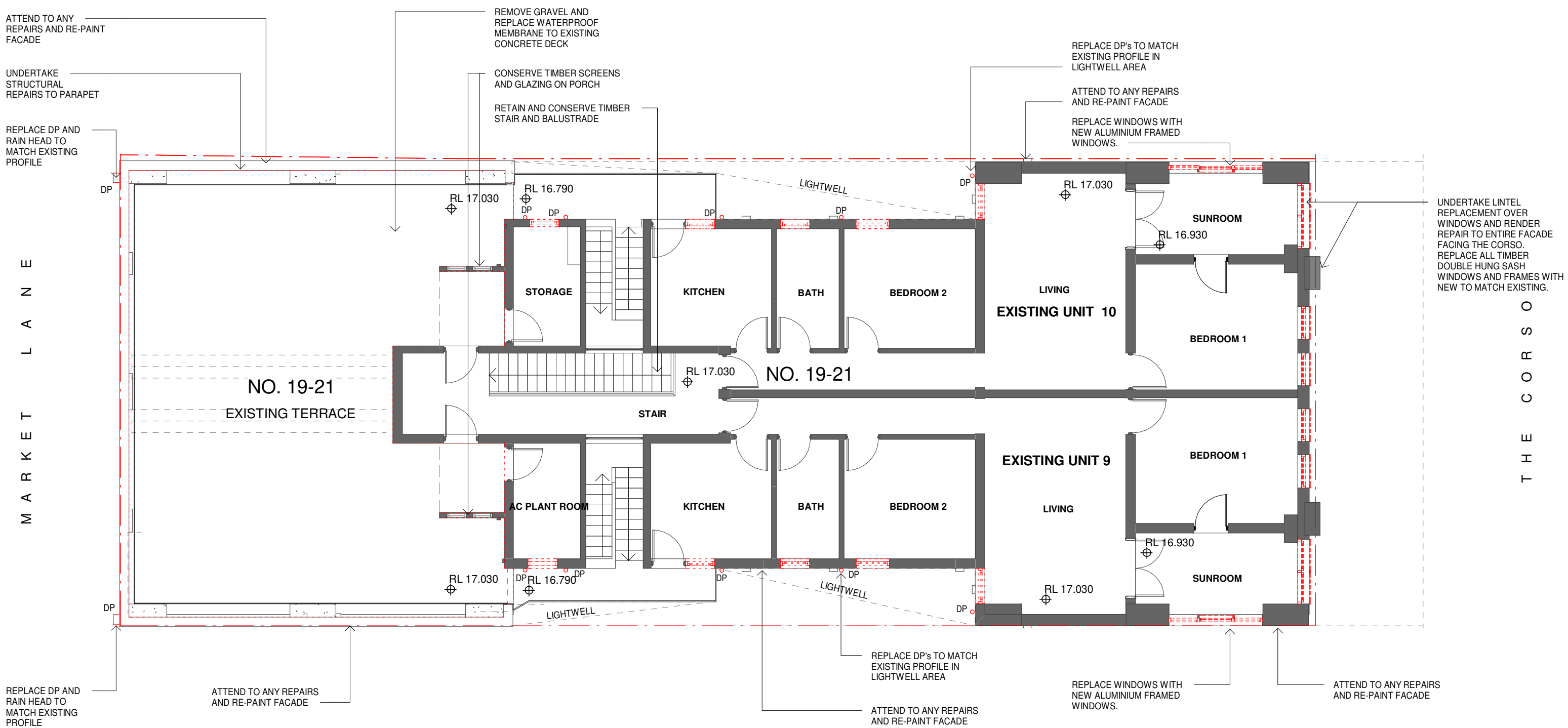
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Drawing Reference
17349-NBR-A-DA-120
Revision
A

MARKET LANE

THE CORSO



1 EXISTING AND DEMOLITION THIRD PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

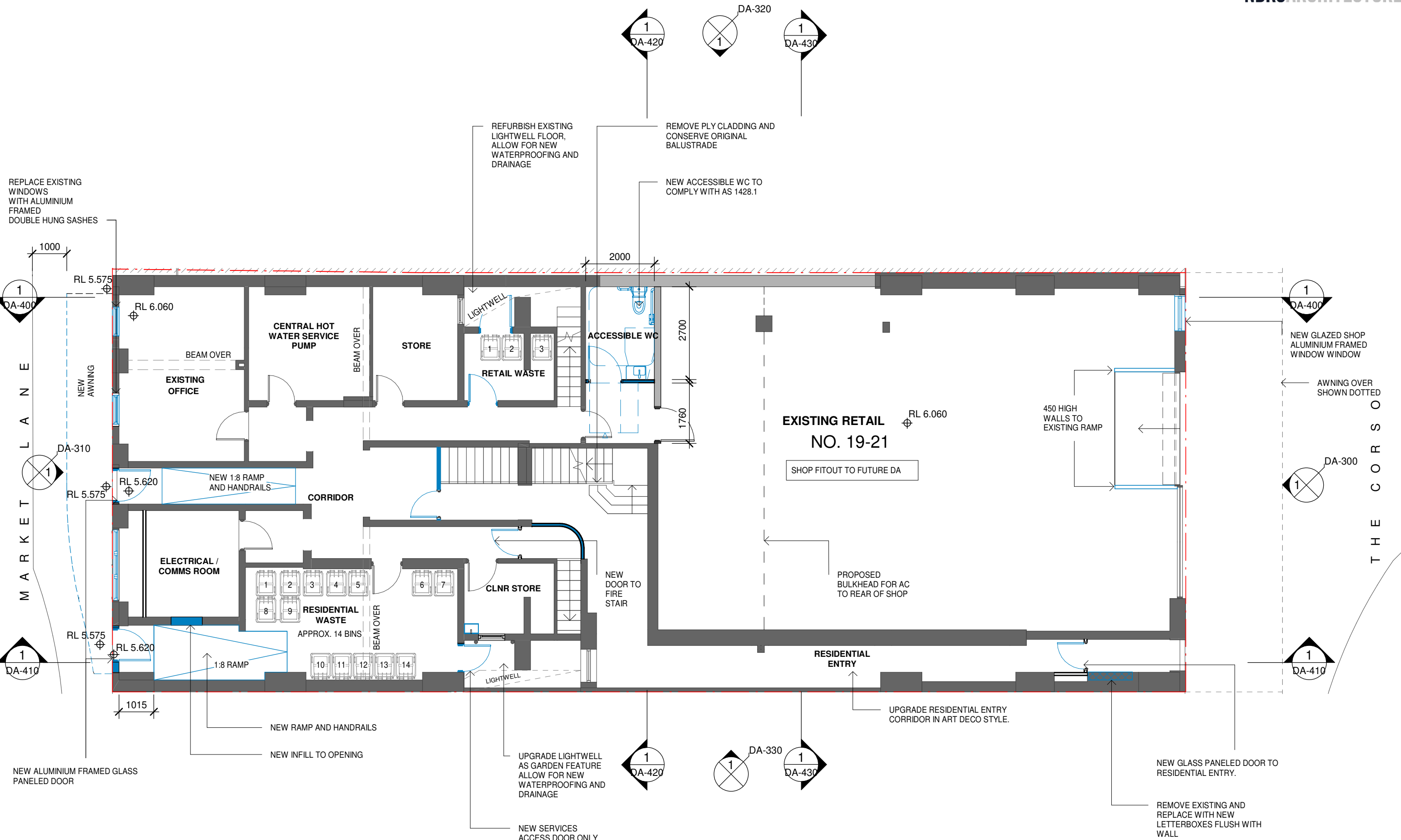
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NEW WORKS		BOUNDARY LINE
WASTE MANAGEMENT		

Drawing Title
EXISTING AND DEMOLITION THIRD PLAN

Project
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Drawing Reference
17349-NBRS-A-DA-130
Revision
A



1 PROPOSED GROUND FLOOR PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

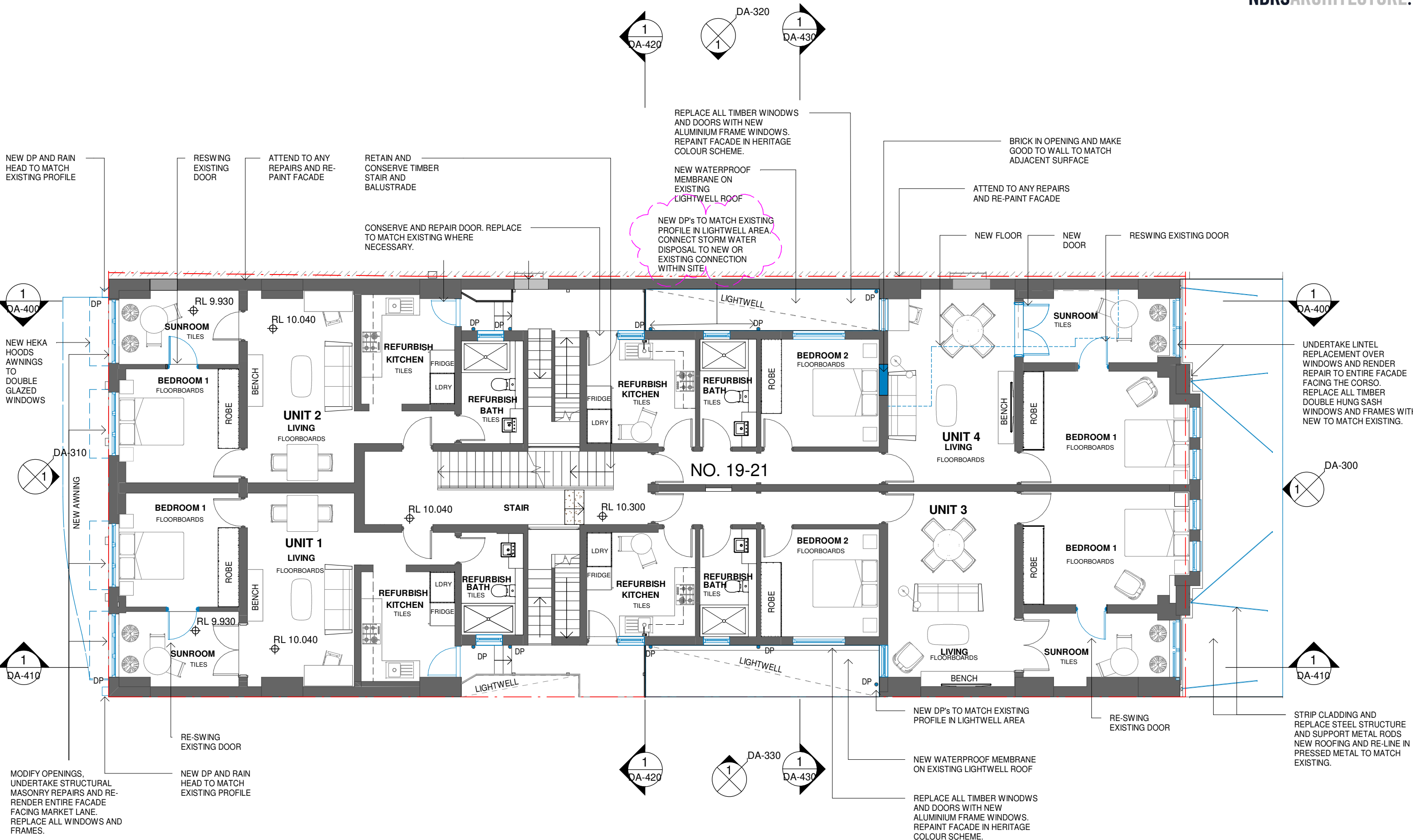
EXISTING WALLS	WORKS AS PART OF FIRE & SAFETY UPGRADE	TO BE DEMOLISHED
NEW WORKS		BOUNDARY LINE
WASTE MANAGEMENT		

Drawing Title
PROPOSED GROUND FLOOR PLAN

Project
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Drawing Reference
17349-NBRSEARCHITECTURE-A-DA-200
Revision
A



1 PROPOSED FIRST FLOOR PLAN

1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS
B	03/03/2021	NOTE ADDED FOR FURTHER INFORMATION	

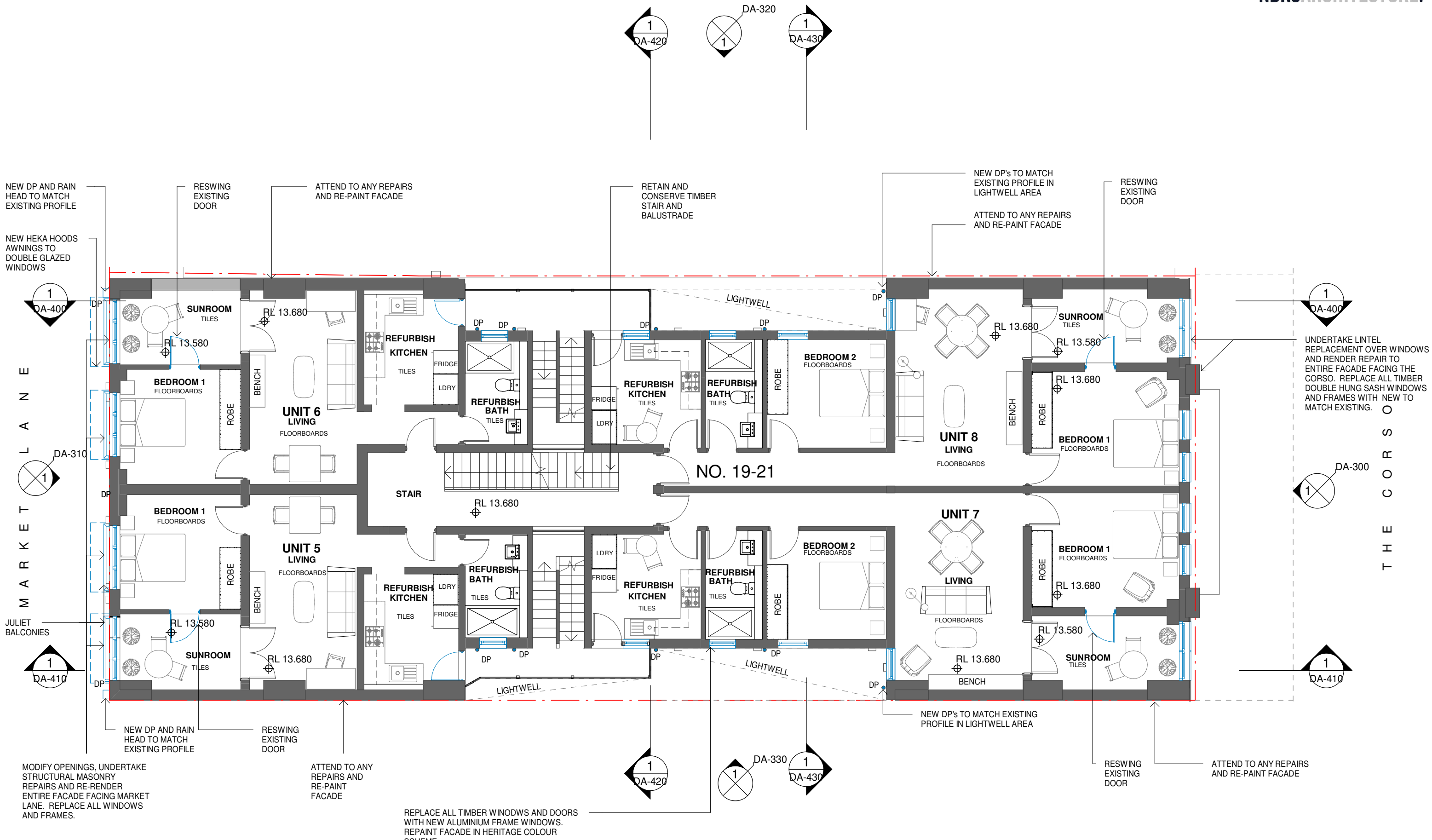
- EXISTING WALLS
- WORKS AS PART OF FIRE & SAFETY UPGRADE
- TO BE DEMOLISHED
- NEW WORKS
- BOUNDARY LINE
- WASTE MANAGEMENT

Drawing Title
PROPOSED FIRST FLOOR PLAN

Project
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Drawing Reference
17349-NBR-A-DA-210
Revision
B



1 PROPOSED SECOND FLOOR PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

- EXISTING WALLS
- WORKS AS PART OF FIRE & SAFETY UPGRADE
- TO BE DEMOLISHED
- BOUNDARY LINE
- NEW WORKS
- WASTE MANAGEMENT

Drawing Title
PROPOSED SECOND FLOOR PLAN

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Scale 1 : 100 @ A3
Drawing Reference
17349-NBR-A-DA-220
Revision
A

REMOVE GRAVEL AND REPLACE WATERPROOF MEMBRANE TO EXISTING CONCRETE DECK

ATTEND TO ANY REPAIRS AND RE-PAINT FACADE

UNDERTAKE STRUCTURAL REPAIRS TO PARAPET

NEW DP AND RAIN HEAD TO MATCH EXISTING PROFILE

CONSERVE AND REPAIR DOOR. REPLACE TO MATCH EXISTING WHERE NECESSARY

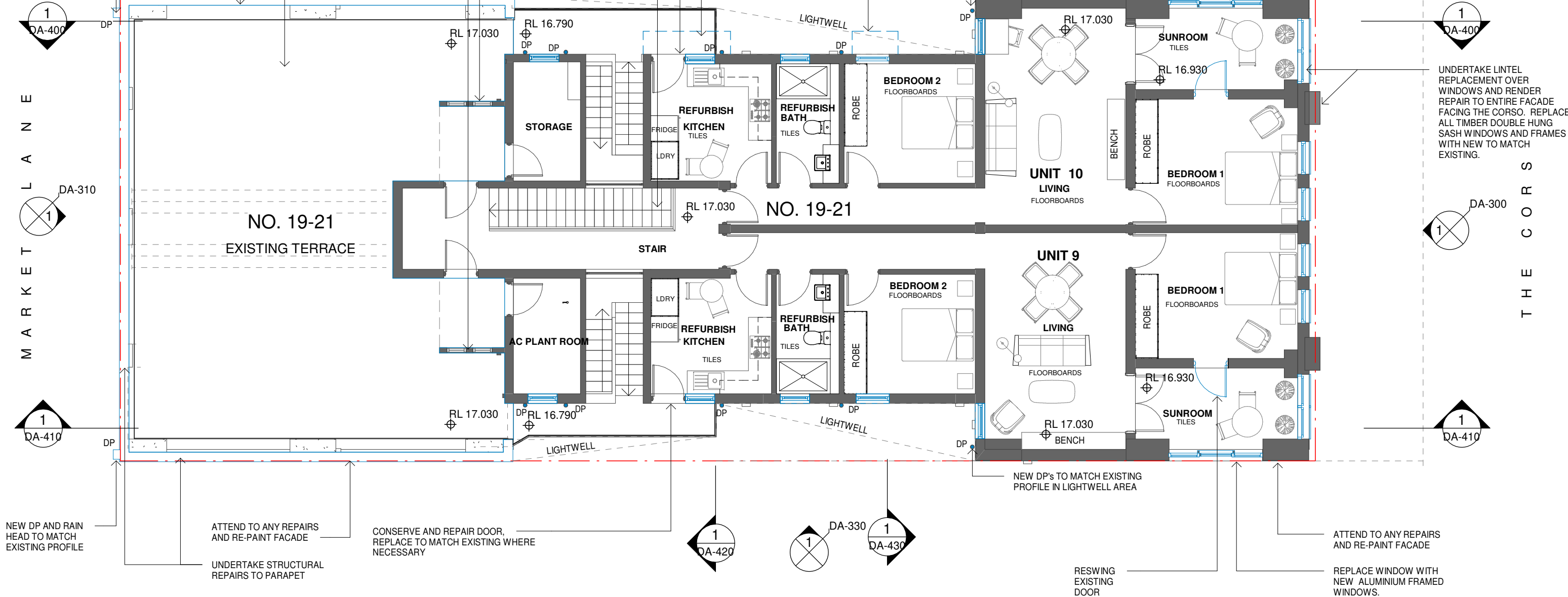
CONSERVE TIMBER SCREENS AND GLAZING ON PORCH
RETAIN AND CONSERVE TIMBER STAIR AND BALUSTRADE

NEW HEKA HOODS AWNINGS

NEW DP's TO MATCH EXISTING PROFILE IN LIGHTWELL AREA

ATTEND TO ANY REPAIRS AND RE-PAINT FACADE

REPLACE WINDOW WITH NEW TIMBER FRAMED WINDOWS



1 PROPOSED THIRD FLOOR PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

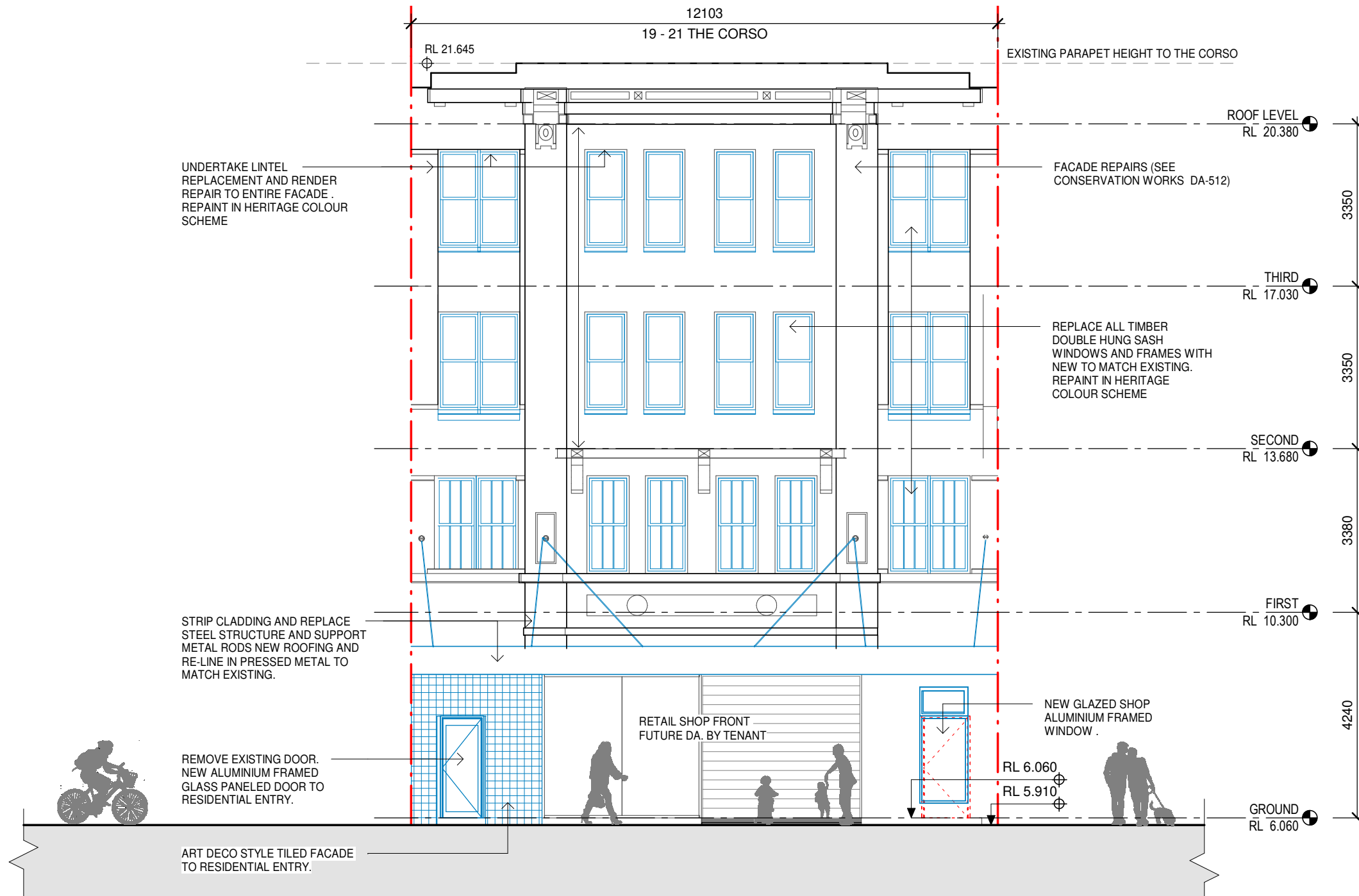
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NEW WORKS		BOUNDARY LINE
WASTE MANAGEMENT		

Drawing Title
PROPOSED THIRD FLOOR PLAN

Project
MANLY CORSO APARTMENTS
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Drawing Reference
17349-NBR-A-DA-230
Revision
A



1 ELEVATION - THE CORSO
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

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NEW WORKS		BOUNDARY LINE
WASTE MANAGEMENT		

Drawing Title
THE CORSO ELEVATION

Project
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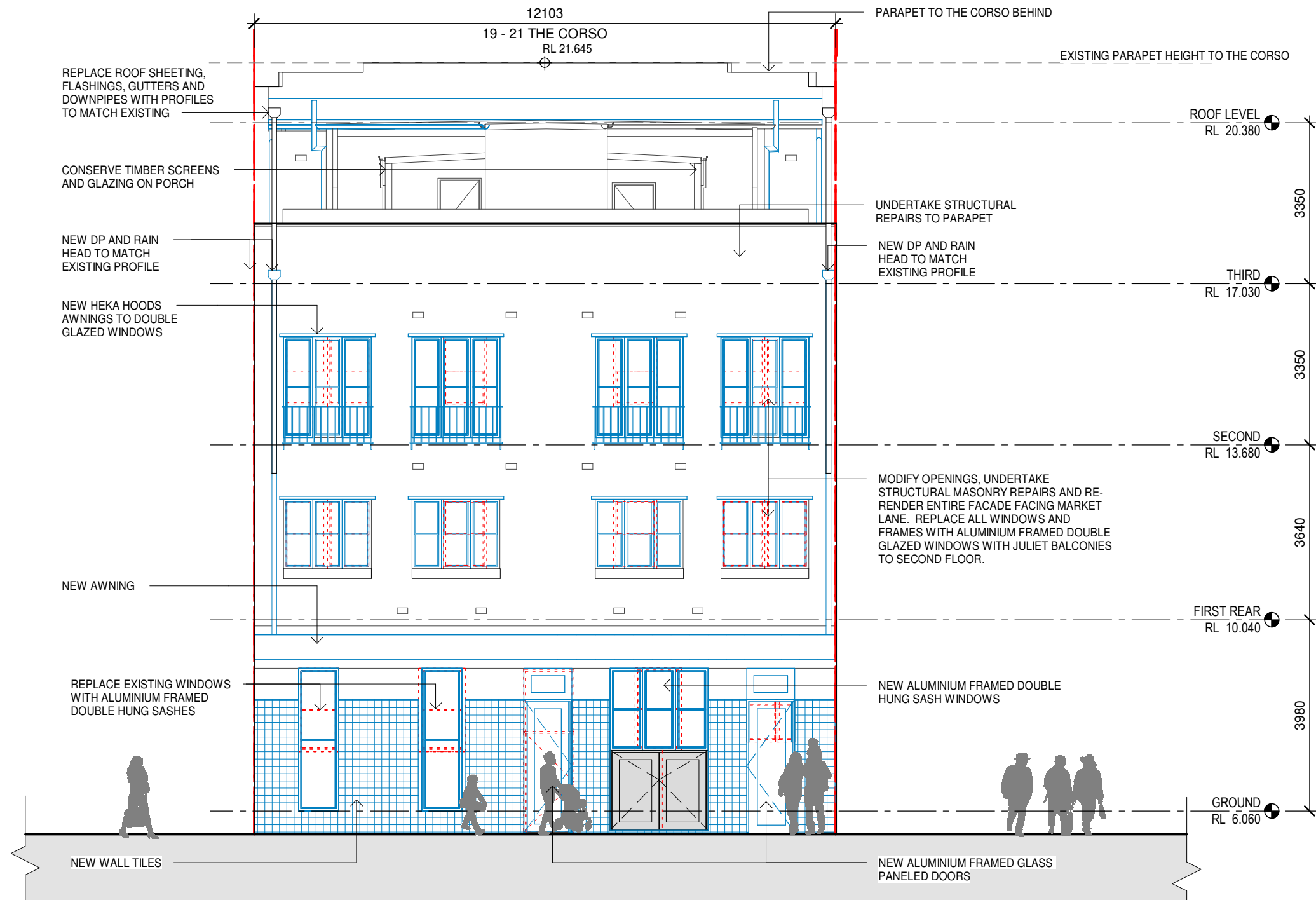
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Drawing Reference
17349-NBR-A-DA-300

Revision
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1 ELEVATION - MARKET LANE
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

EXISTING WALLS	WORKS AS PART OF FIRE & SAFETY UPGRADE	TO BE DEMOLISHED
NEW WORKS		BOUNDARY LINE
WASTE MANAGEMENT		

Drawing Title
MARKET LANE ELEVATION

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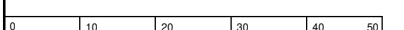
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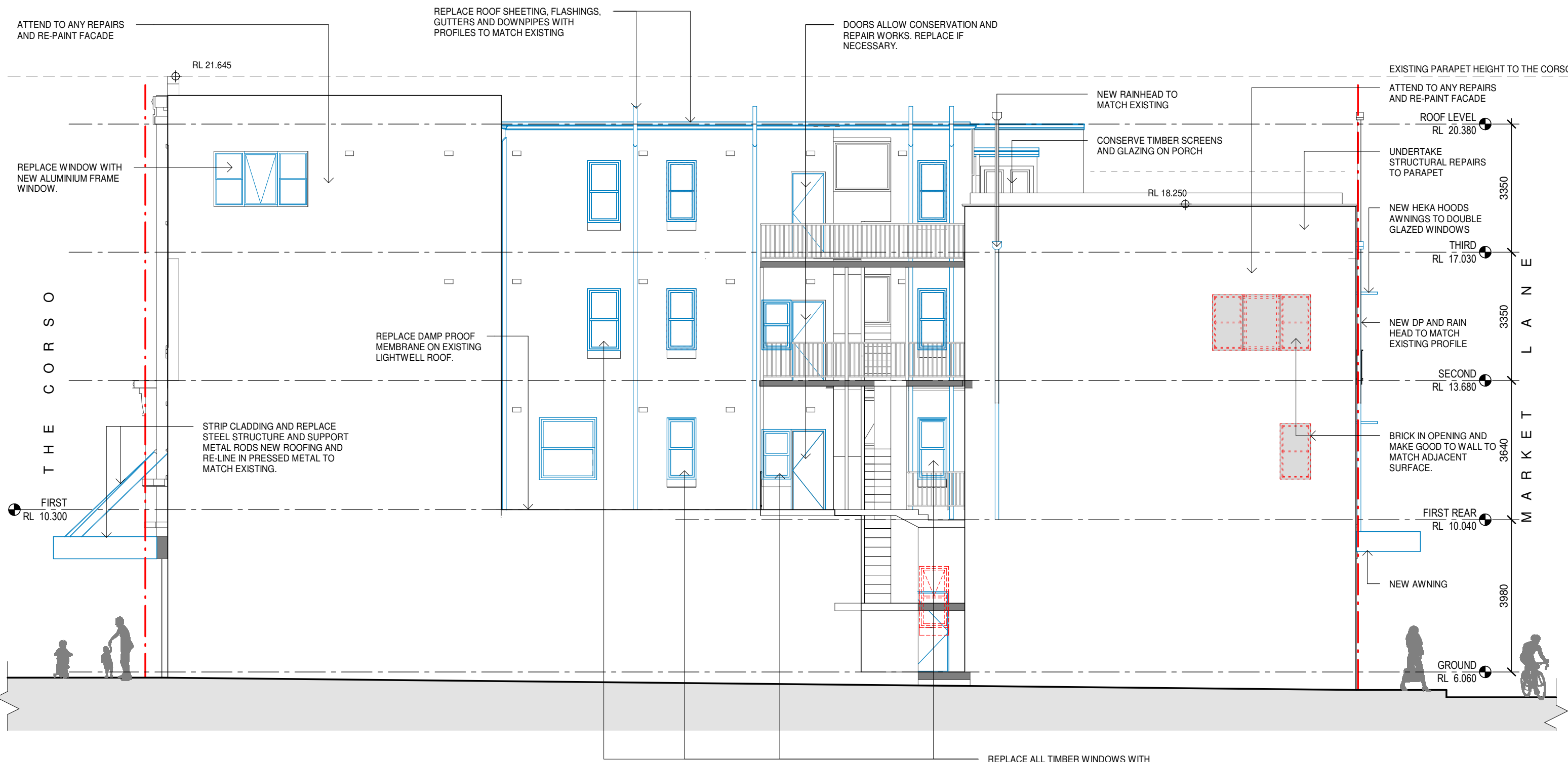
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Revision
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1 ELEVATION - EAST
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

EXISTING WALLS	WORKS AS PART OF FIRE & SAFETY UPGRADE	TO BE DEMOLISHED
NEW WORKS		BOUNDARY LINE
WASTE MANAGEMENT		

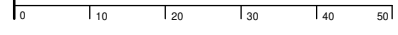
Drawing Title
EAST ELEVATION

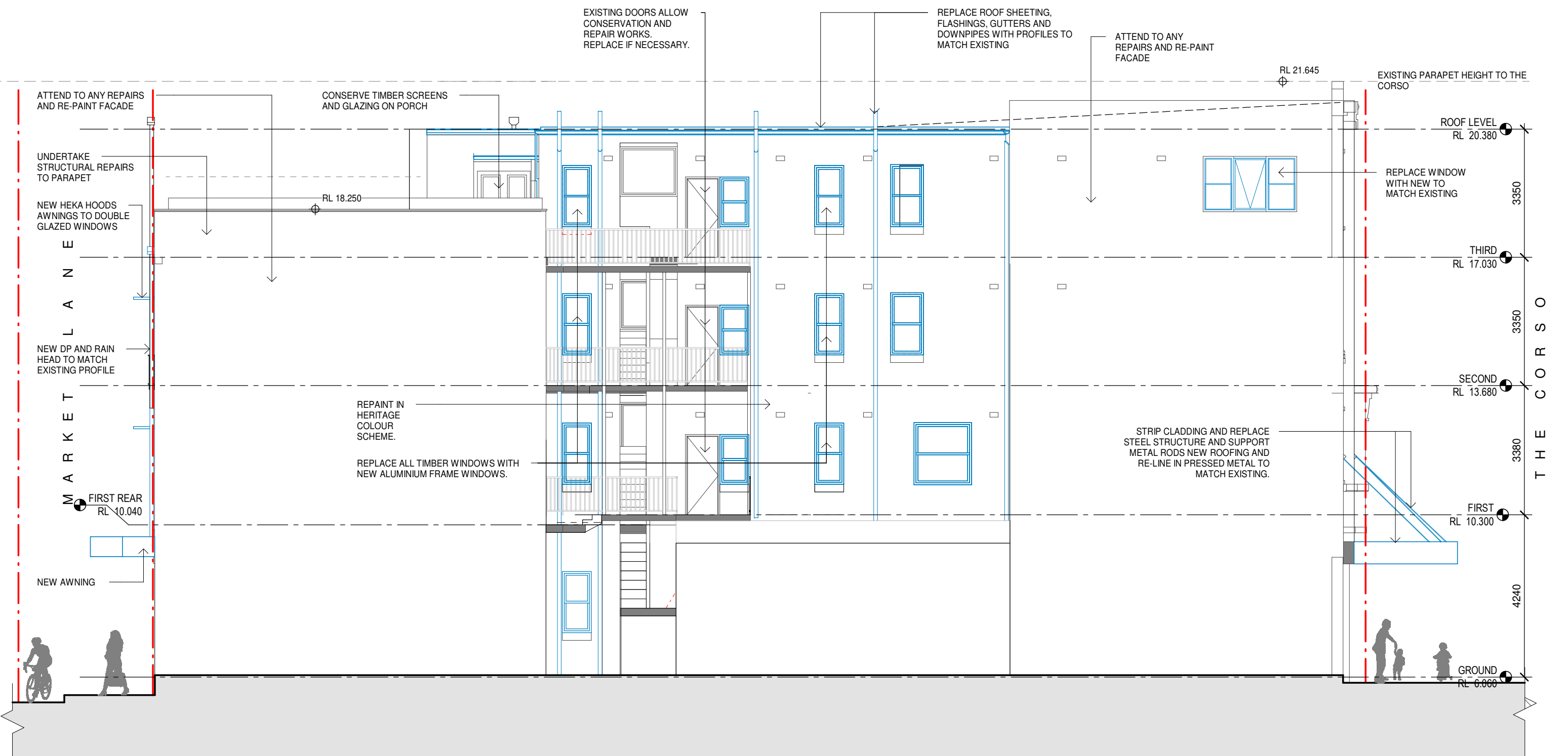
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Drawing Reference
17349-NBRSEARCHITECTURE-A-DA-320
Revision
A





1 ELEVATION - WEST
1 : 100

EXISTING SEWER

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

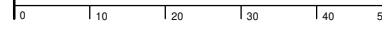
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NEW WORKS	WASTE MANAGEMENT	BOUNDARY LINE

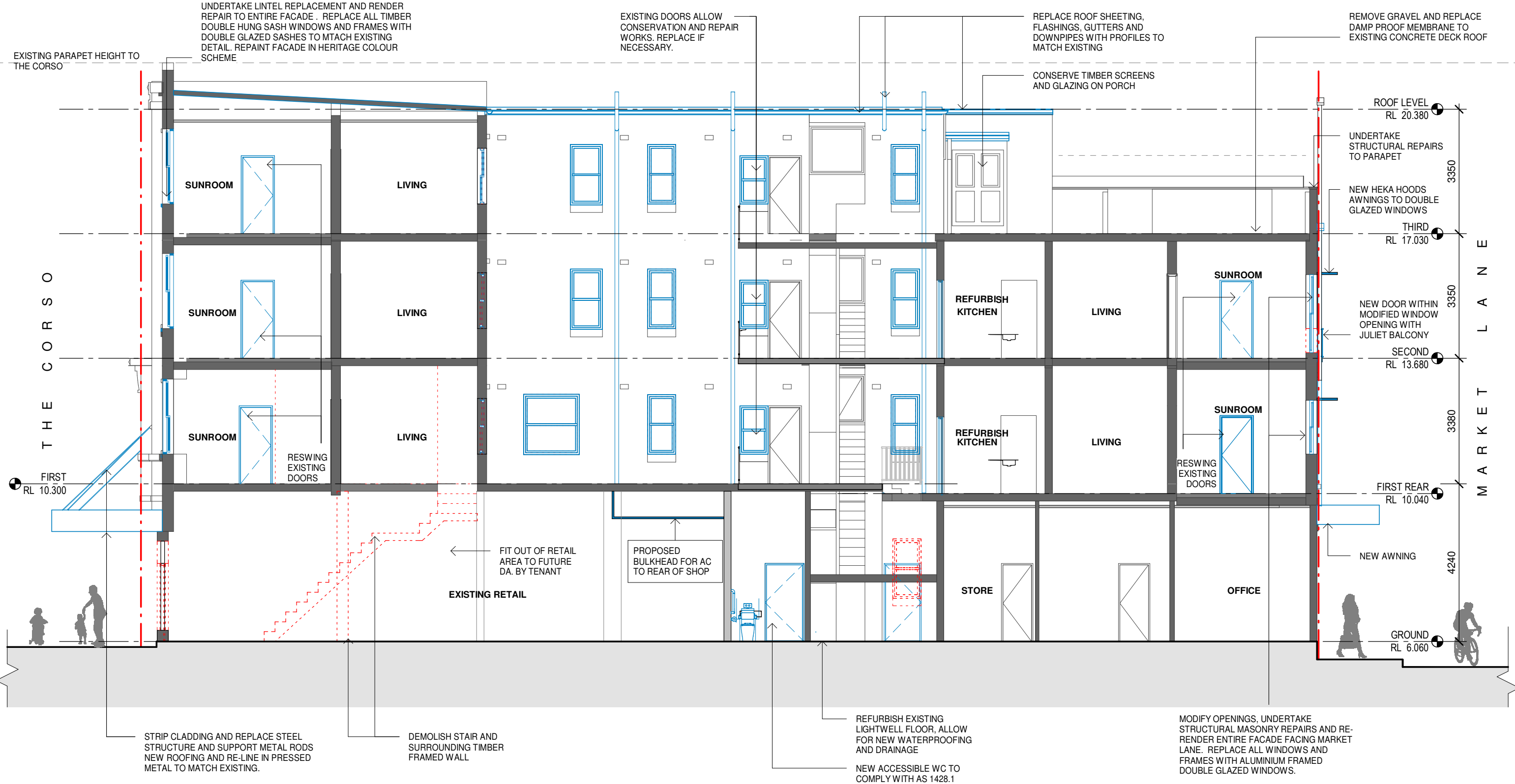
Drawing Title
WEST ELEVATION

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Drawing Reference
17349-NBR-A-DA-330
Revision
A





1 LIGHTWELL - LONG SECTION A
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

- EXISTING WALLS
- WORKS AS PART OF FIRE & SAFETY UPGRADE
- NEW WORKS
- WASTE MANAGEMENT
- TO BE DEMOLISHED
- BOUNDARY LINE

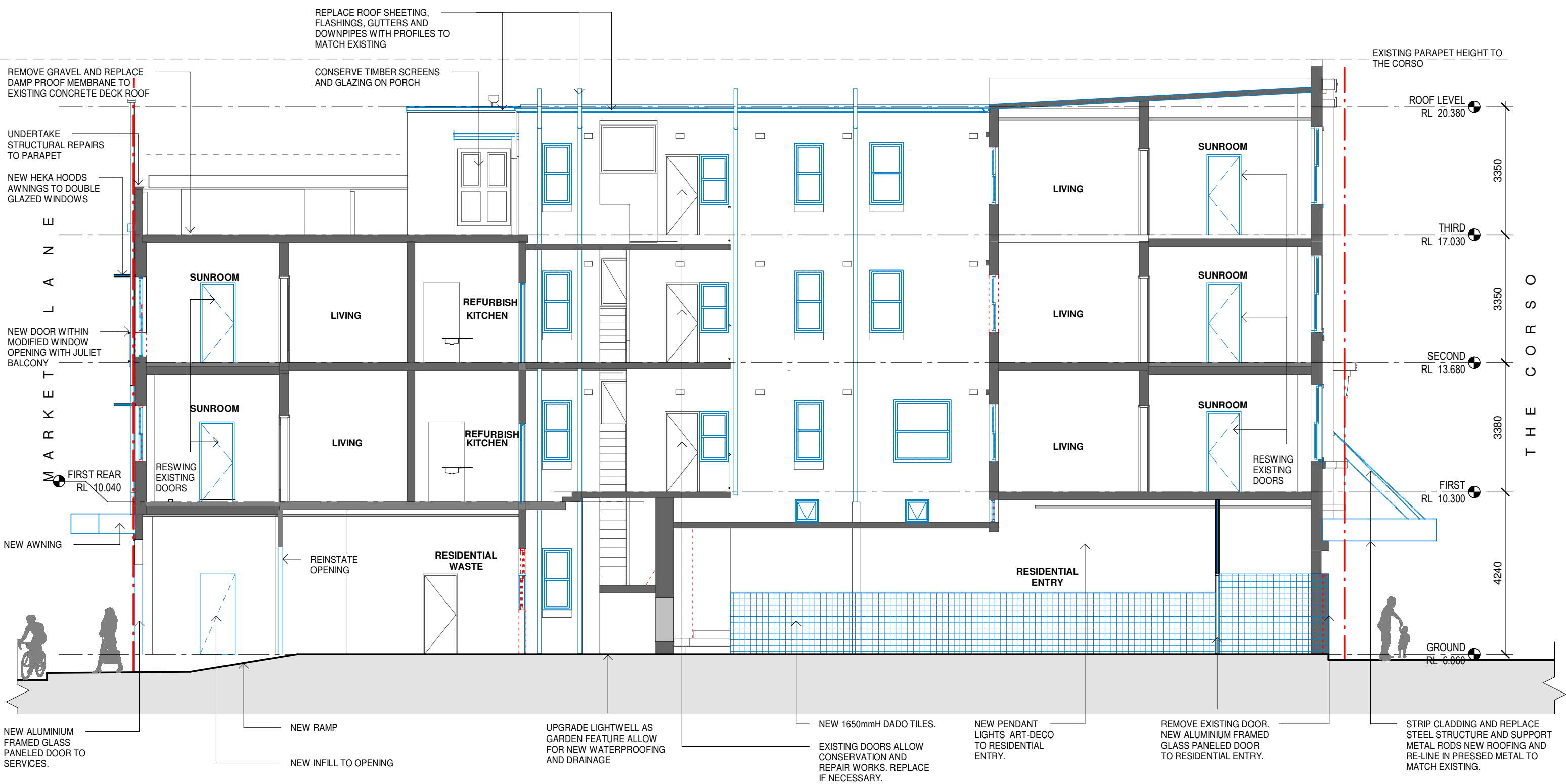
Drawing Title
LONG SECTION LIGHTWELL A

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Drawing Reference
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1 LIGHTWELL - LONG SECTION B
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

- EXISTING WALLS
- NEW WORKS
- WASTE MANAGEMENT
- WORKS AS PART OF FIRE & SAFETY UPGRADE
- TO BE DEMOLISHED
- BOUNDARY LINE

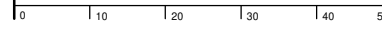
Drawing Title
LONG SECTION LIGHTWELL B

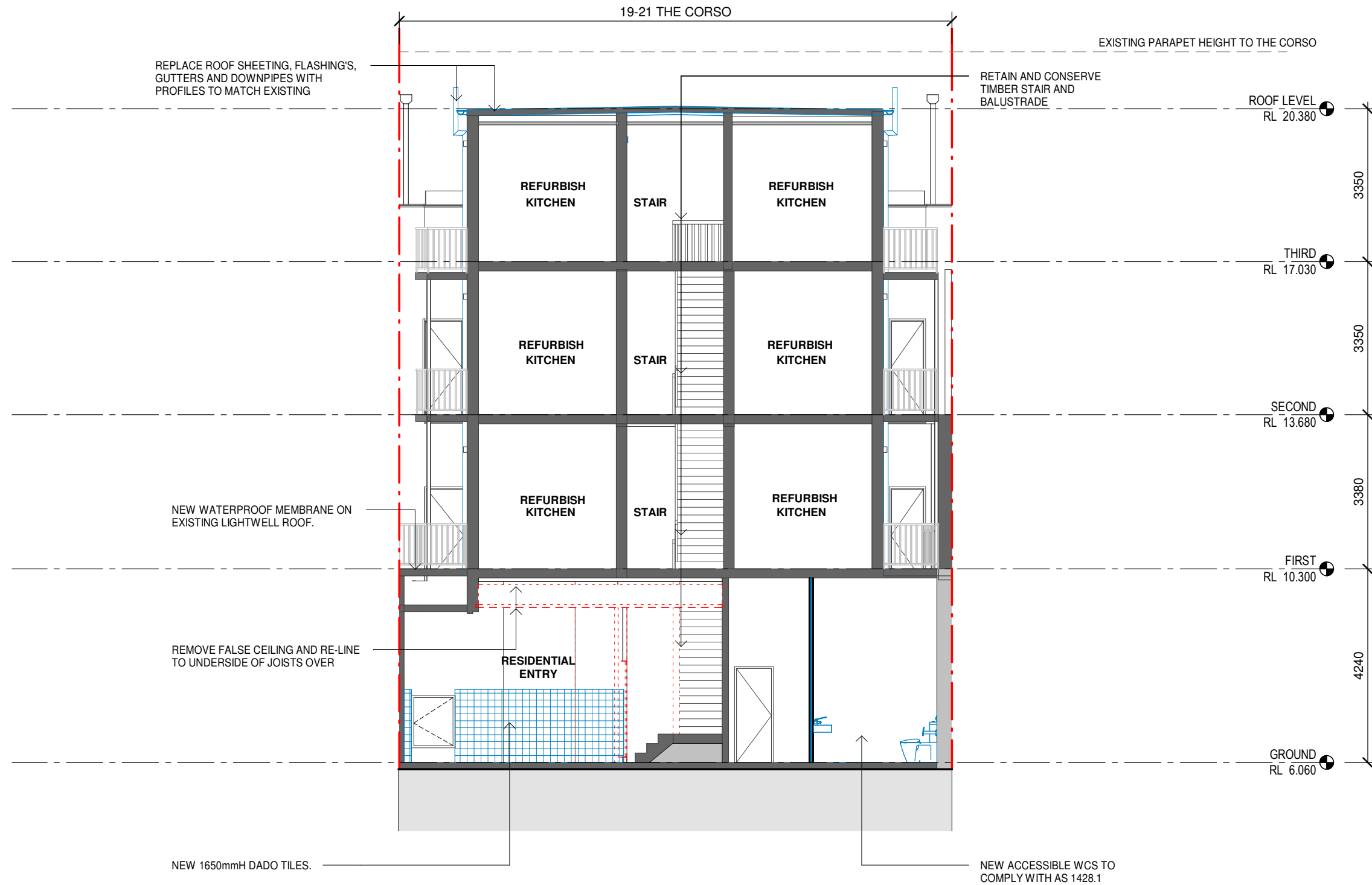
Project
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at
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19-21 THE CORSO, MANLY
for
HILROK PROPERTIES PTY LTD

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Drawing Reference
17349-NBRS-A-DA-410
Revision
A





1 LIGHTWELL - CROSS SECTION A
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

EXISTING WALLS
 NEW WORKS
 WASTE MANAGEMENT
 WORKS AS PART OF FIRE & SAFETY UPGRADE
 TO BE DEMOLISHED
 BOUNDARY LINE

Drawing Title
CROSS SECTION LIGHTWELL A

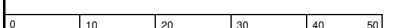
Project
MANLY CORSO APARTMENTS
REFURBISHMENT + ADDITIONS
at
S.P. 12989
19-21 THE CORSO, MANLY
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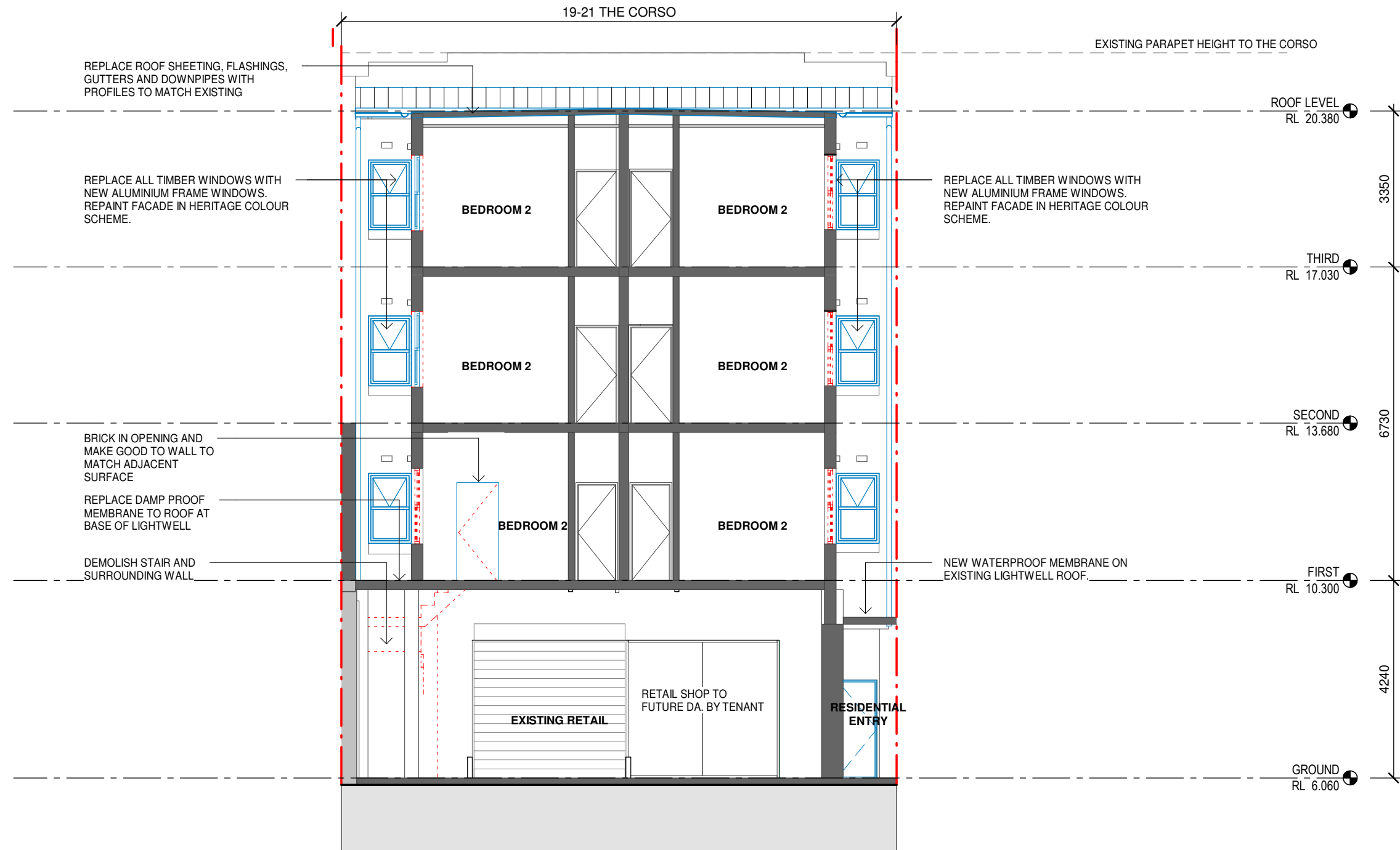
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Drawing Reference
17349-NBRS-A-DA-420


Revision
A





1 LIGHTWELL - CROSS SECTION B
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

 EXISTING WALLS	 WORKS AS PART OF FIRE & SAFETY UPGRADE	 TO BE DEMOLISHED
 NEW WORKS		 BOUNDARY LINE
 WASTE MANAGEMENT		

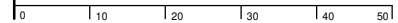
Drawing Title
CROSS SECTION LIGHTWELL B




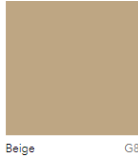
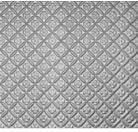


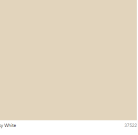
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Drawing Reference
17349-NBR-A-DA-430
Revision
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LOCATION	MATERIAL	COLOUR	IMAGE
Skirting/Plinth tile	152x152 mm glazed porcelain tile	Gloss Black	
Wall tile	152x152 mm glazed porcelain tile	Blue / Aqua	
Wall border tile	152 x 76 mm glazed porcelain capping tile	Gloss black	
Door and Window frame	Extruded aluminium and timber frame	Dulux Beige	 Beige G8
Awning lining	'Carlton' pressed metal panel	Dulux Pale Vellum	
Awning lining and features		Dulux Pale Vellum	 Pale Vellum G62
Awning fascia	Timber signboard – marine ply	Dulux Earth	 Earth G43
External walls	Rendered brickwork	Dulux Regency White	 Regency White G102

LOCATION	IMAGE	LOCATION	IMAGE
Tiled Floors		Panelled ceiling with led lighting along access corridor	
Wallpaper above dado height in corridors	 	Heka Hood awnings to double glazed windows	
Wall with dado panels Between 1650 or 1800 high. TBC	 	Juliet Balconies	

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

Drawing Title
SCHEDULE OF COLOURS AND MATERIALS

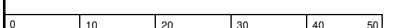
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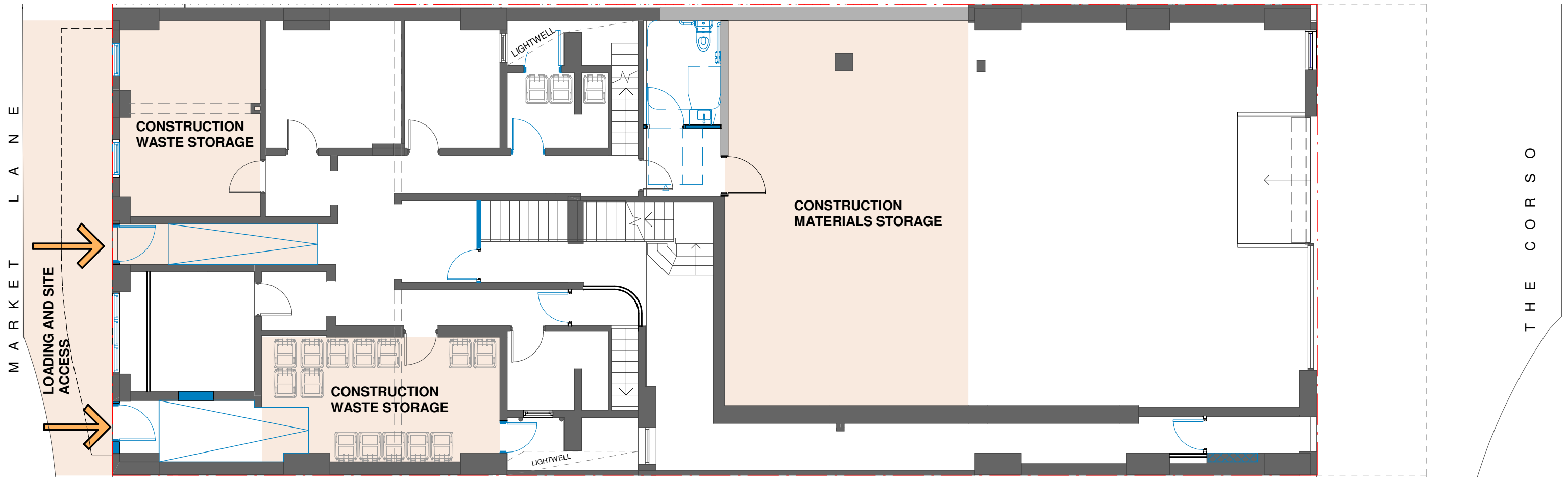
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17349-NBRSEARCHITECTURE-A-DA-500

Revision
A





1 SITE ACCESS PLAN CONSTRUCTION AND WASTE
1 : 3000



2 CONSTRUCTION WASTE MANAGEMENT PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

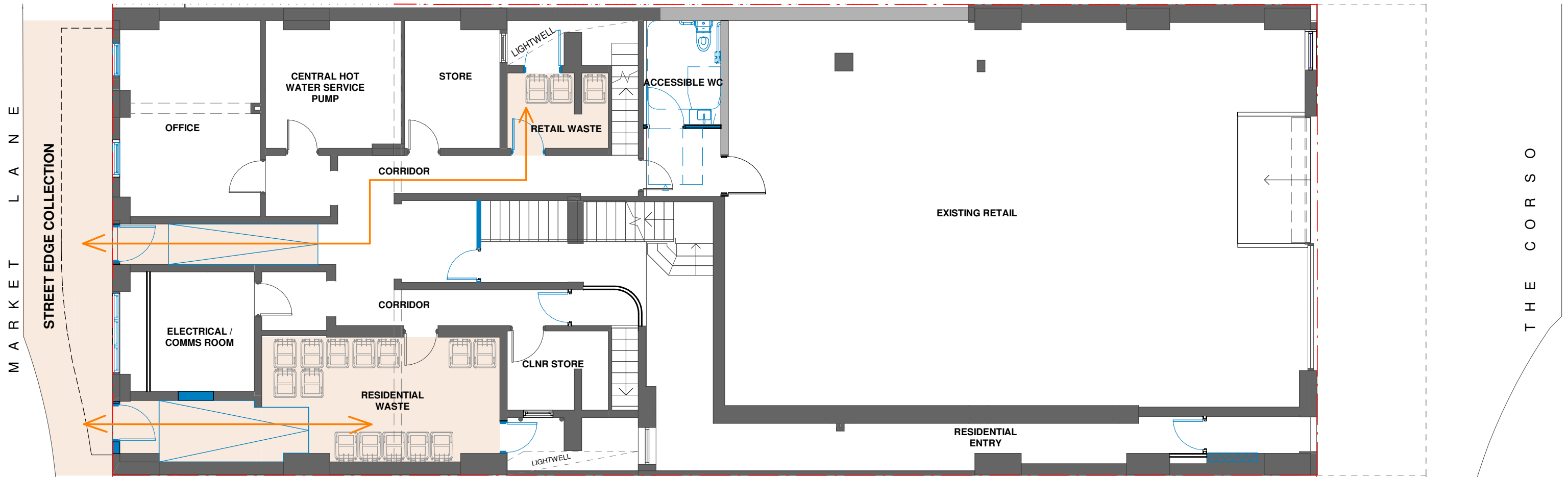
EXISTING WALLS	WORKS AS PART OF FIRE & SAFETY UPGRADE	TO BE DEMOLISHED
NEW WORKS		BOUNDARY LINE
WASTE MANAGEMENT		

Drawing Title
CONSTRUCTION WASTE MANAGEMENT SITE PLAN

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Drawing Reference
17349-NBRSEARCHITECTURE-A-DA-510
Revision
A



1 PROPOSED WASTE MANAGEMENT PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

EXISTING WALLS	WORKS AS PART OF FIRE & SAFETY UPGRADE	TO BE DEMOLISHED
NEW WORKS		BOUNDARY LINE
WASTE MANAGEMENT		

Drawing Title
PROPOSED WASTE MANAGEMENT SITE PLAN

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Drawing Reference
17349-NBR-A-DA-511
Revision
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Open-up render and investigate extent of cracking. Rectify cracking to structural engineer and heritage architect's advice and reapply render to match original detail



Open-up render and investigate extent of cracking. Rectify cracking to structural engineer and heritage architect's advice and reapply render to match original detail



Open up render over all windows and investigate corrosion of lintels. Replace or rectify lintels to structural engineer and heritage architect's advice and reapply render to match original detail



Investigate level of decay of existing windows to determine extent of works. In cases of minor rot, splice in new timbers to replace rotten segments. Where deemed necessary by Heritage Architect, replace windows and frames in timber to match original detail. New glazing shall be provided to all windows to incorporate (20mm max) double glazing units for thermal and acoustic insulation (Thermawood) as directed by heritage architect.



Open up and investigate cracking to pediment. Rectify cracking to structural engineer and heritage architect's advice and reinstate rendered detail to match original.



Investigate damp to building façade. Rectify cause and remove any salt laden render. Replace render to match original detail.



Reconstruct window to match original detailing.



Allow to repaint entire façade and masonry returns to The Corso in heritage colour scheme based on paint scrape evidence performed on site once access to façade is provided. Paint shall be Dulux Acratex Acraseal or similar to heritage architect's approval.



Retain and conserve existing shopfront awning. Open up and investigate possibility of any extant remnant original awning finishes. Rectify awning structure as required to structural engineer's advice. Reconstruct roof, fascia and soffit to match original detail if evident. (Allow for pressed metal soffit, marine ply fascia with timber trim, metal decking to roof and box gutter to building line)

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

Drawing Title
HERITAGE CONSERVATION

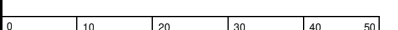
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Drawing Reference
17349-NBRSEARCHITECTURE-A-DA-512

Revision
A





Door Type 1

Description:
Three panel timber door with original hardware

Location: Door typically extant to bedrooms and kitchen (internally)

Conservation works:

- Retain original doors in situ where possible
- Carry out necessary repairs to door and door hardware
- Sand, prepare and paint to new colour scheme



Door Type 2 (Note: Door type 2 is atypical.)

Description:
Timber door with four glazed panel to upper door and three timber panels below, original hardware

Location: First floor unit 3 (TBC)

Conservation works:

- Retain original door in situ
- Carry out necessary repairs to door and door hardware
- Sand, prepare and paint to new colour scheme



Door Type 3 (modified)

Description: Double multi-pane door with fixed multi-pane highlight.

Location: Located in most openings to former porches. (The door illustrated has been modified with a later door and fixed sidelight. The image illustrates the original frame and highlight window.)

Conservation works:

- Retain existing frame and highlight and original double multi-pane glazed doors in situ
- Where modified, retain existing frame and highlight and provide new glazed doors to match original
- Where doors are missing, provide new doors, frames and highlights to be detailed to match original.
- Retain all original hardware and provide new similar hardware where not extant.



Skirting (original) – where existing

Description: Moulded timber skirting

Location: Most units (not all areas)

Conservation works:

- Retain original skirting in situ
- New skirting shall be made to match original profile in rooms where substantial original fabric exists
- New skirting in other areas can be of a simple contemporary detail



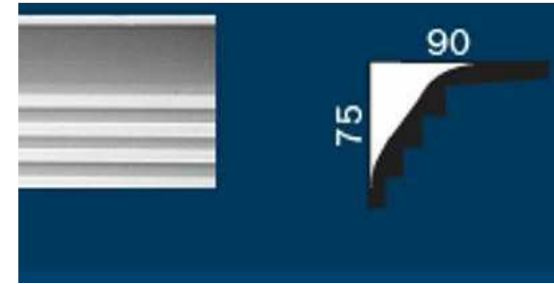
Architrave (original) where existing

Description: Moulded timber architrave

Location: Most units (not all areas)

Conservation Works:

- Original architraves shall remain in situ
- New architraves shall be made to match original profile in rooms where substantial original fabric exists
- New architraves in other areas can be of a simple contemporary detail



Cornices (new/replacement)

Description: Provide new (Note: No original ceilings and cornices are extant)

Location: All units, stairwell and entry corridor

Conservation works:

- Replace with new plaster cornice such as Baileys BCC252 or similar simple detailing.

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

Drawing Title
HERITAGE INTERIOR SCOPE

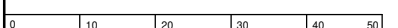
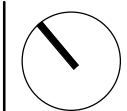
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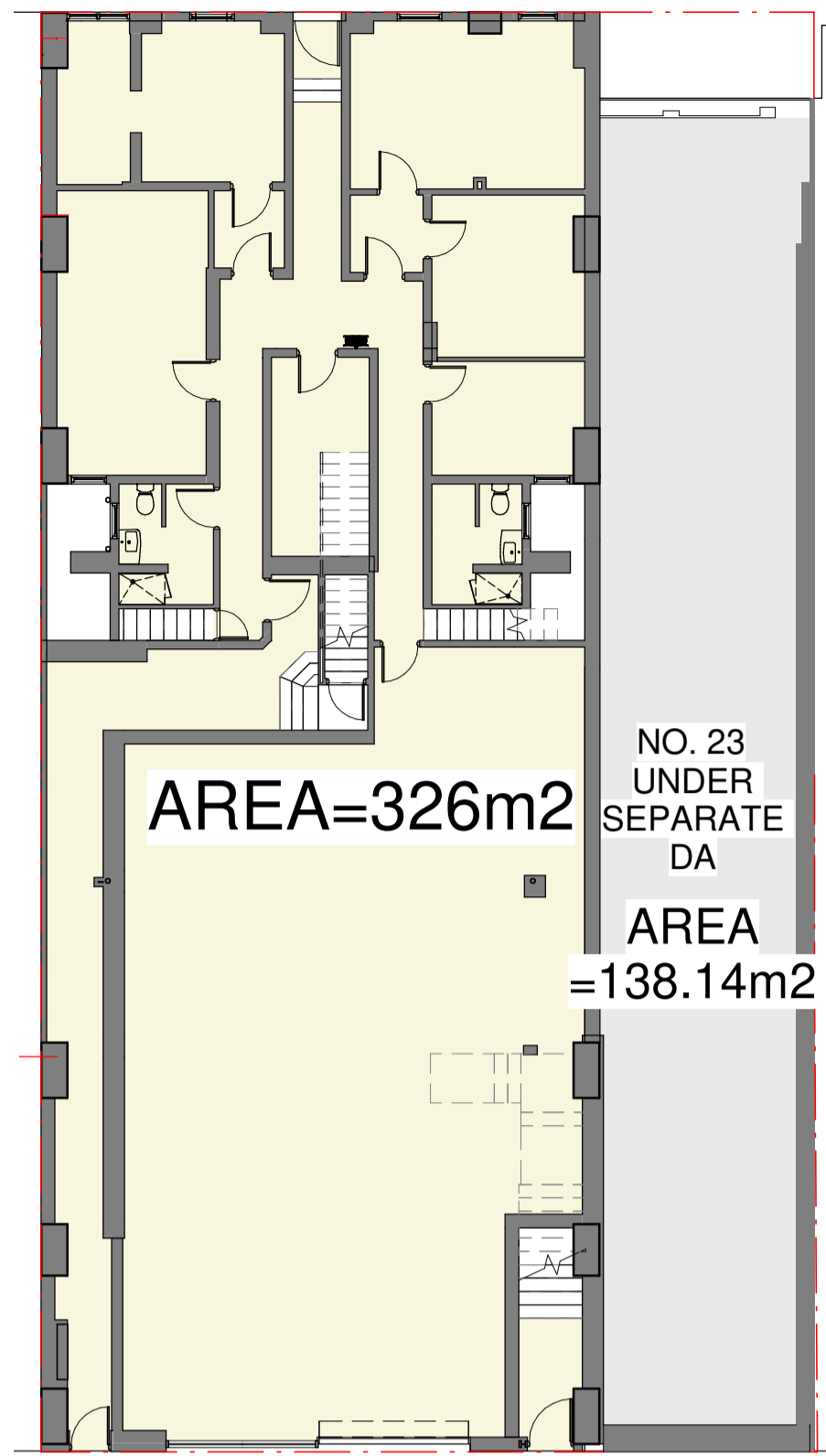
Drawing Reference
17349-NBRSEARCHITECTURE-A-DA-513

Revision
A

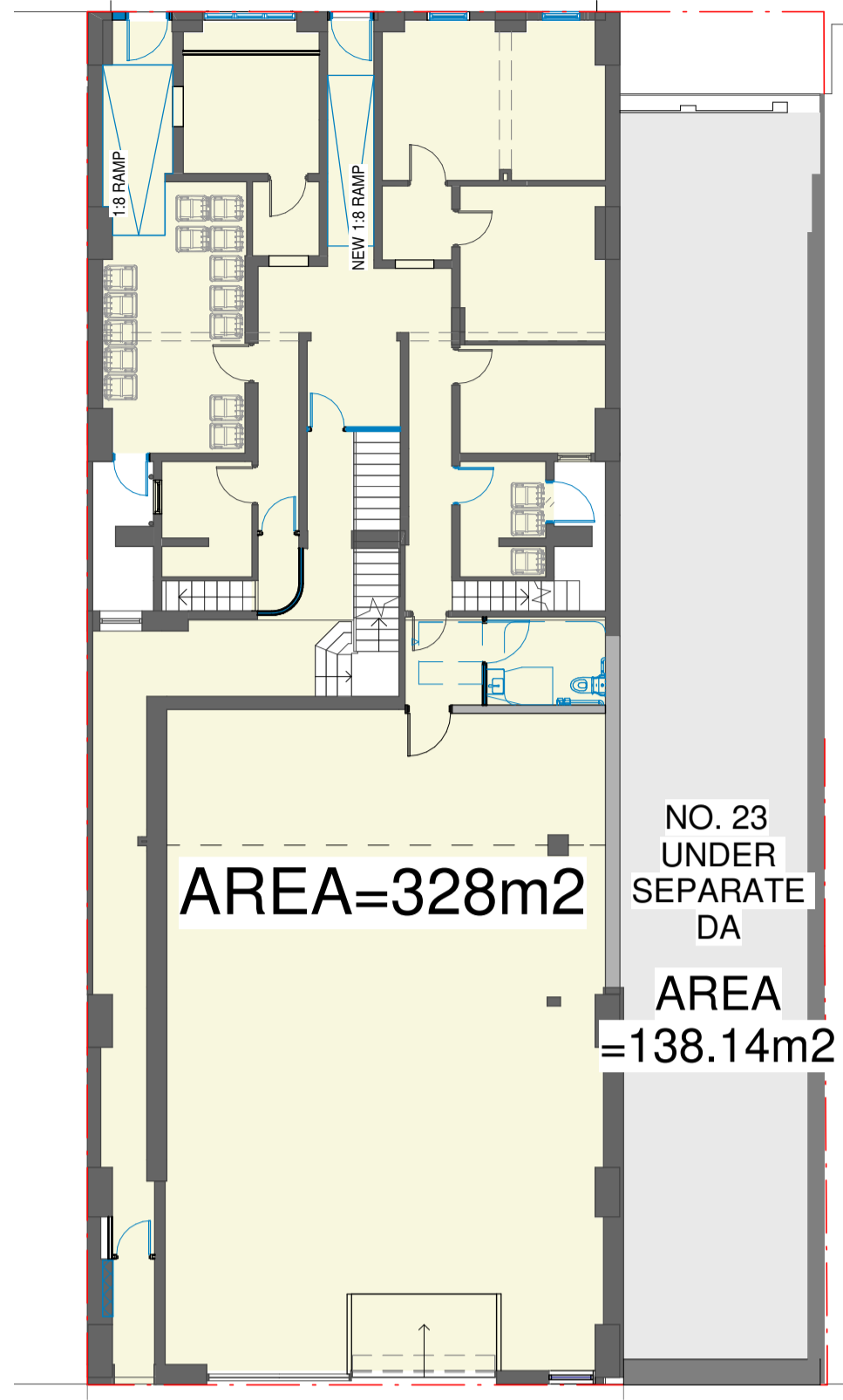


19-23 The Corso (Combined)
Site Area: 524 m2

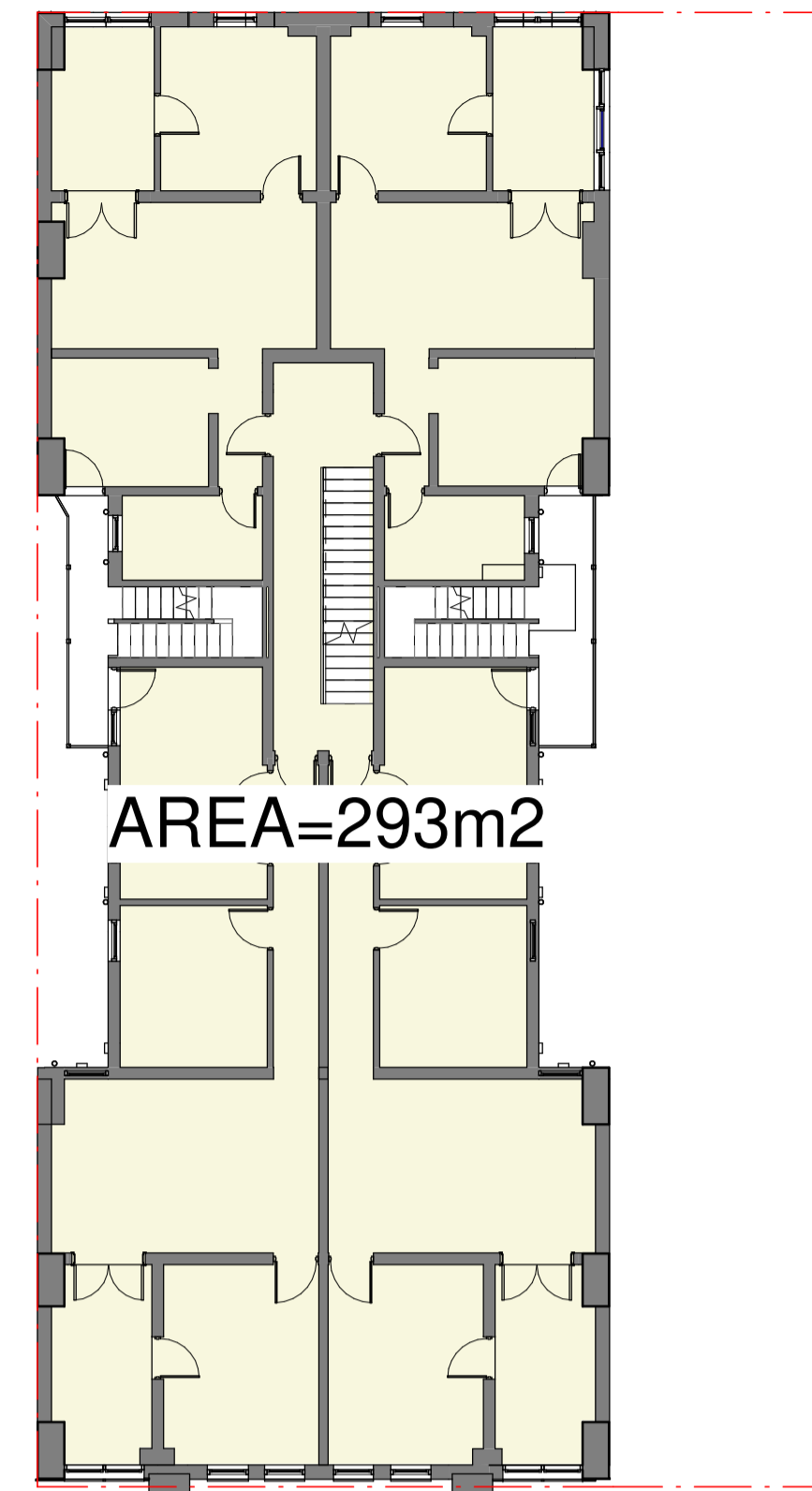
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FSR: 2.59:1	FSR: 2.6:1



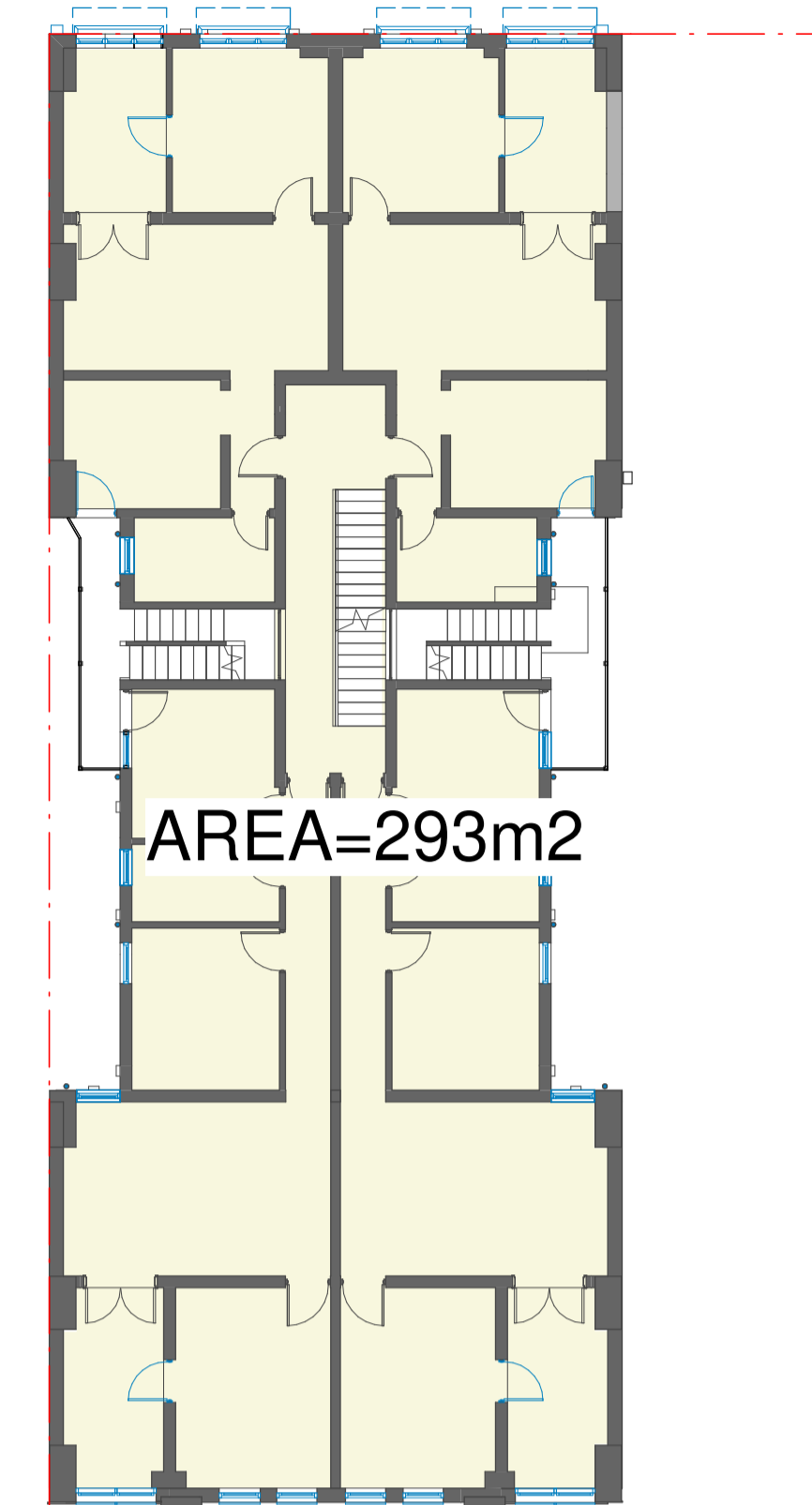
1 EXISTING GROUND FLOOR - FSR
1:150



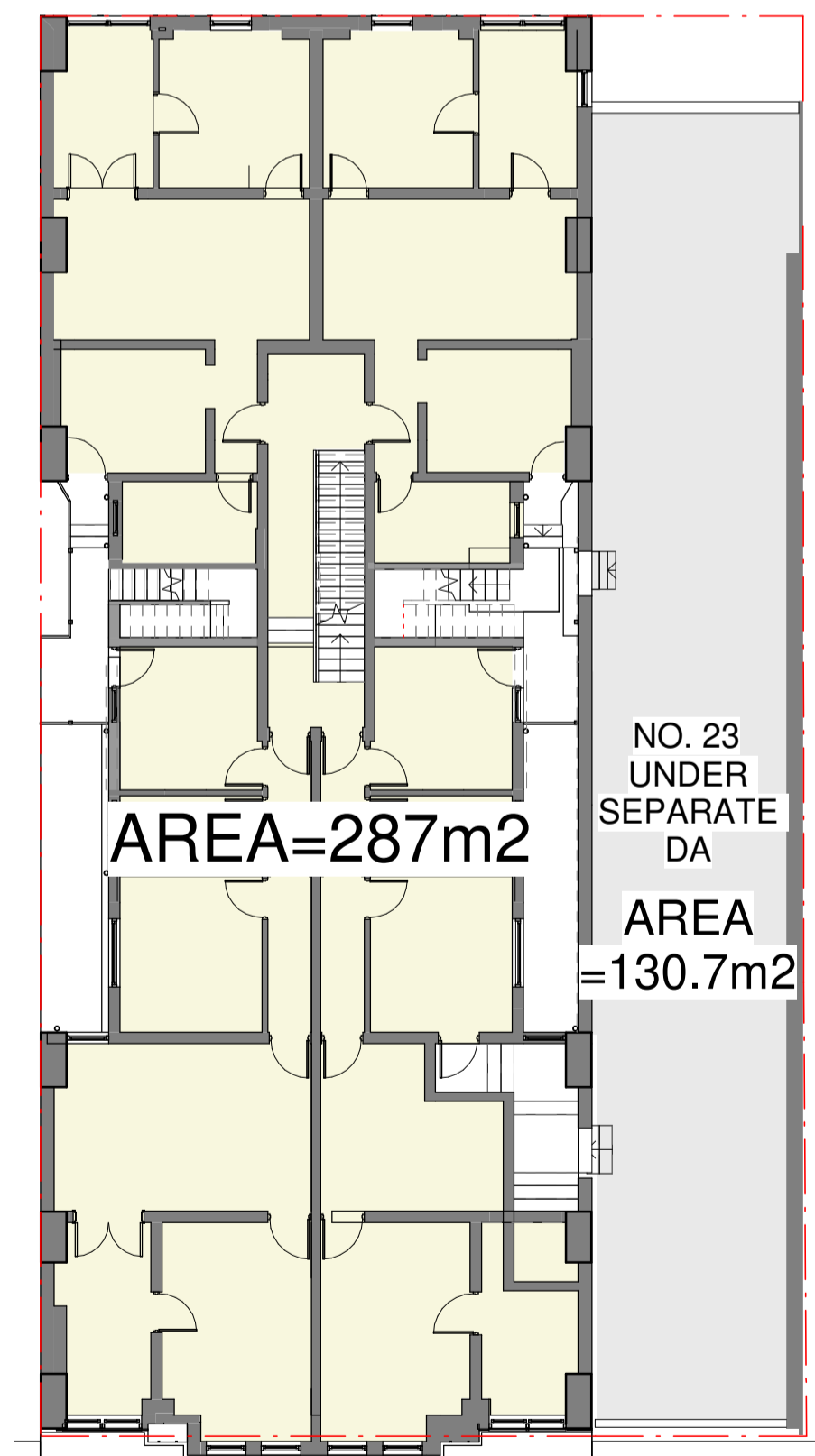
2 PROPOSED GROUND FLOOR-FSR
1:150



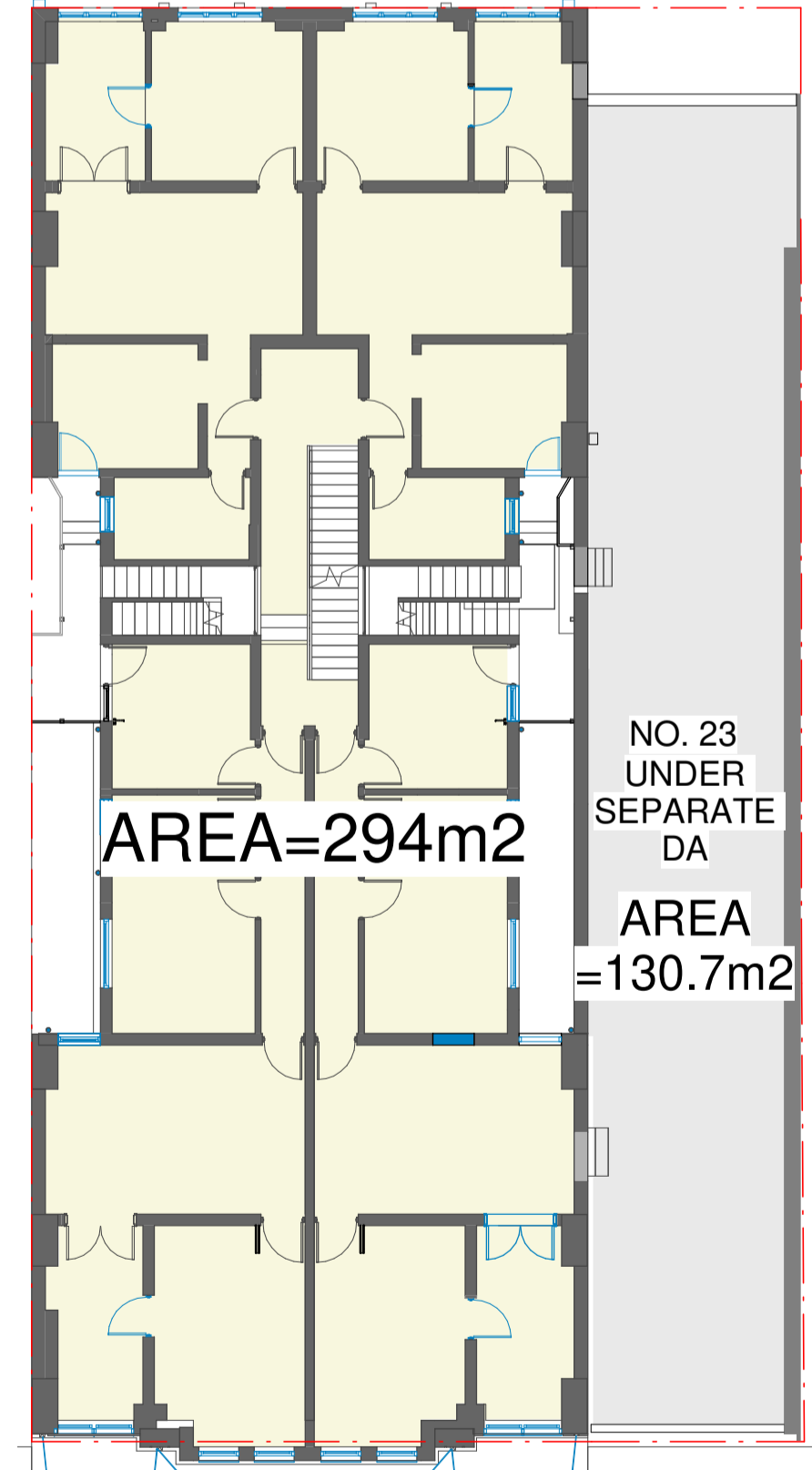
5 EXISTING SECOND FLOOR - FSR
1:150



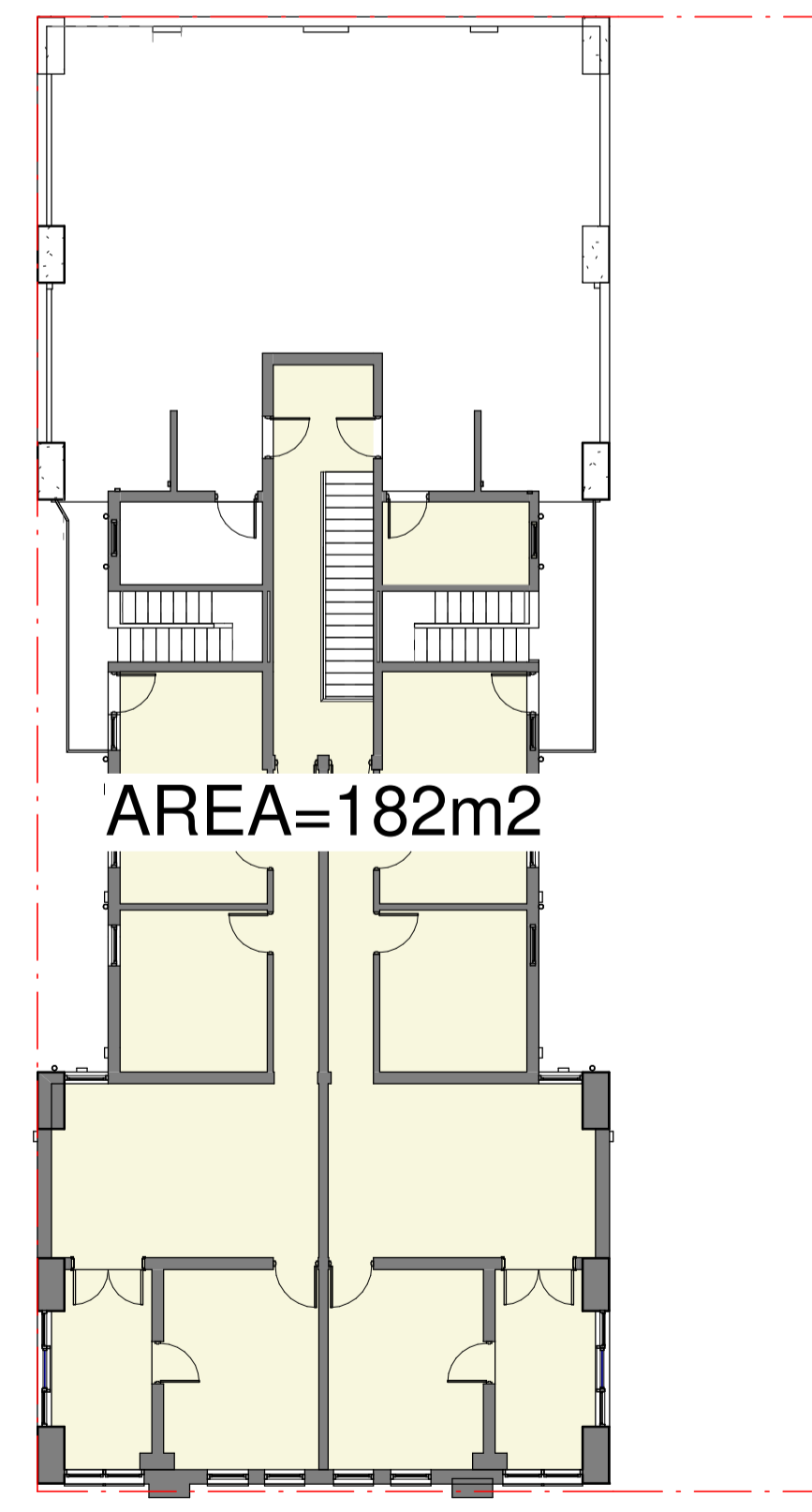
6 PROPOSED SECOND FLOOR PLAN-FSR
1:150



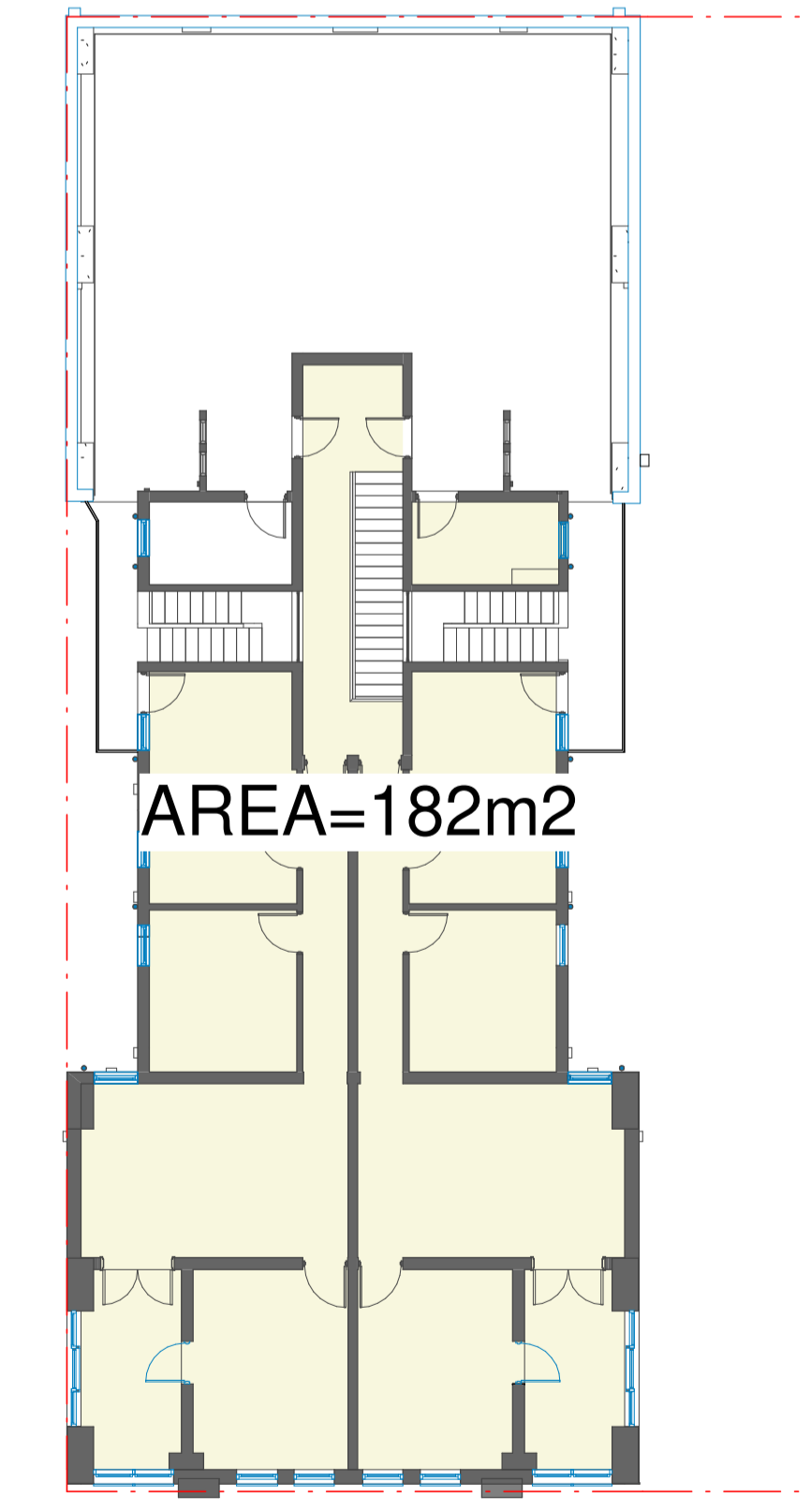
3 EXISTING FIRST FLOOR - FSR
1:150



4 PROPOSED FIRST FLOOR PLAN-FSR
1:150



7 EXISTING THIRD FLOOR - FSR
1:150



8 PROPOSED THIRD FLOOR PLAN-FSR
1:150

Issue No.	Date	Description	Chkd.
A	03/03/2021	NOTE ADDED FOR FURTHER INFORMATION	

Drawing Title
AREA PLANS - FSR

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