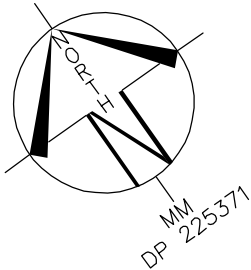


NORTH



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0866

LOT 33
D.P: 225371
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

SITE AREA 698 m²

ROOF AREA 272.4 m²

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 313.2 m²
(MIN. DIMENSION OF 2.0m) 44.9 %

MIN. REQUIRED BY COUNCIL: 40 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 94.8 m²
(MIN. DIMENSION OF 5.0m)

MIN. REQUIRED BY COUNCIL: 60 m²

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 8.5 m
MAXIMUM CEILING HEIGHT 7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS
MAY NOT COMPLY WITH REQUIREMENTS)

BUILDING ENVELOPE

BUILDING ENVELOPE TO BE PROJECTED AT
45° FROM A HEIGHT OF 4.0m AT BOUNDARY

SITE COVERAGE
STORMWATER CALCULATION

ROOF FOOTPRINT: 272.4m²
DRIVEWAY/ POOL/ PAVED AREAS: 106.2m²
TOTAL: 378.6m²
54.2 %

MAX SITE COVERAGE FOR OSD: 40%

Maximum 1000mm CUT

DROP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED OUTSIDE
BUILDING PERIMETER

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "M"

NOTE:

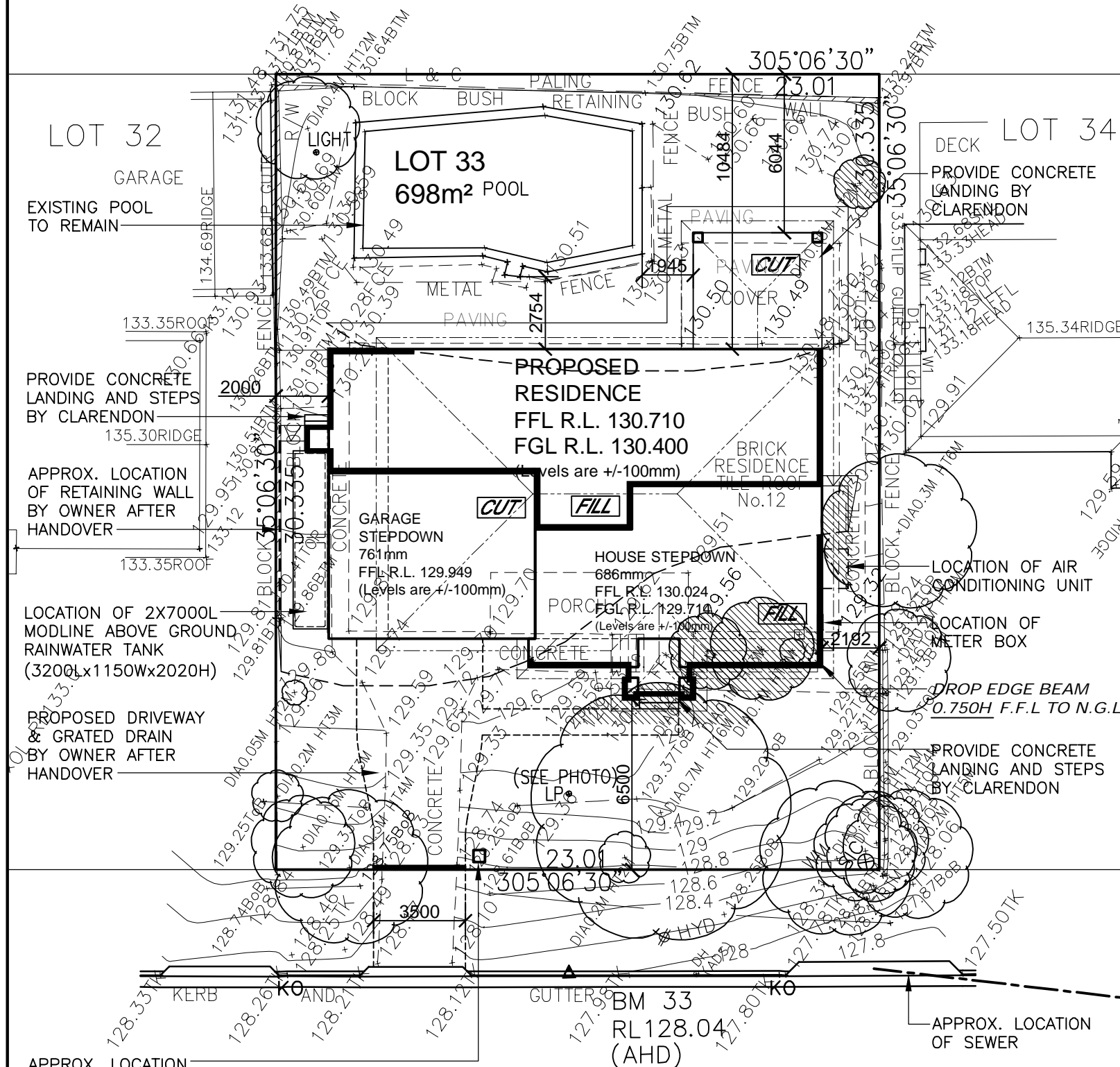
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:

OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

STORMWATER TO
STREET VIA RAINWATER
TANK AND O.S.D
REFER TO HYDRAULIC DETAILS

DP 243056
LOT 10



SPRINGVALE AVENUE

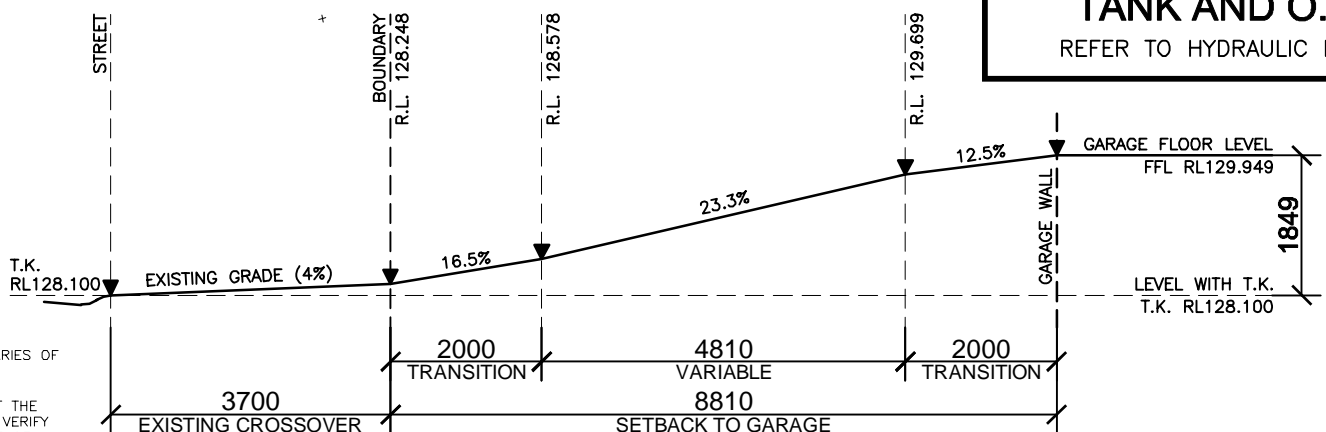
DENOTES TREES TO BE
REMOVED BY OWNER
PRIOR TO CONSTRUCTION

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



DRIVEWAY GRADIENT PROFILE

SCALE - 1:100

CLIENT'S SIGNATURE: DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153

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DIMENSIONS TO BE READ IN
CONJUNCTION WITH THE
CONDITIONS OF DEVELOPMENT
CONSENT

PRODUCT:

MADISON 37
Chisholm
L/H Garage

Sapphire Specification

CLIENT:

Mr. LALOTIS
Mrs. LALOTIS

SITE ADDRESS:

Lot 33 No.12, D.P: 225371
Springvale Avenue
EDENHILLS FOREST 2086

DA DRAWINGS

DRAWN: BG	DATE: 29.04.19	Rev: F
RATIO @ A3: 1:200	CHECKED: BG	
SHEET: 2	JOB No: 29913581	NSW



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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

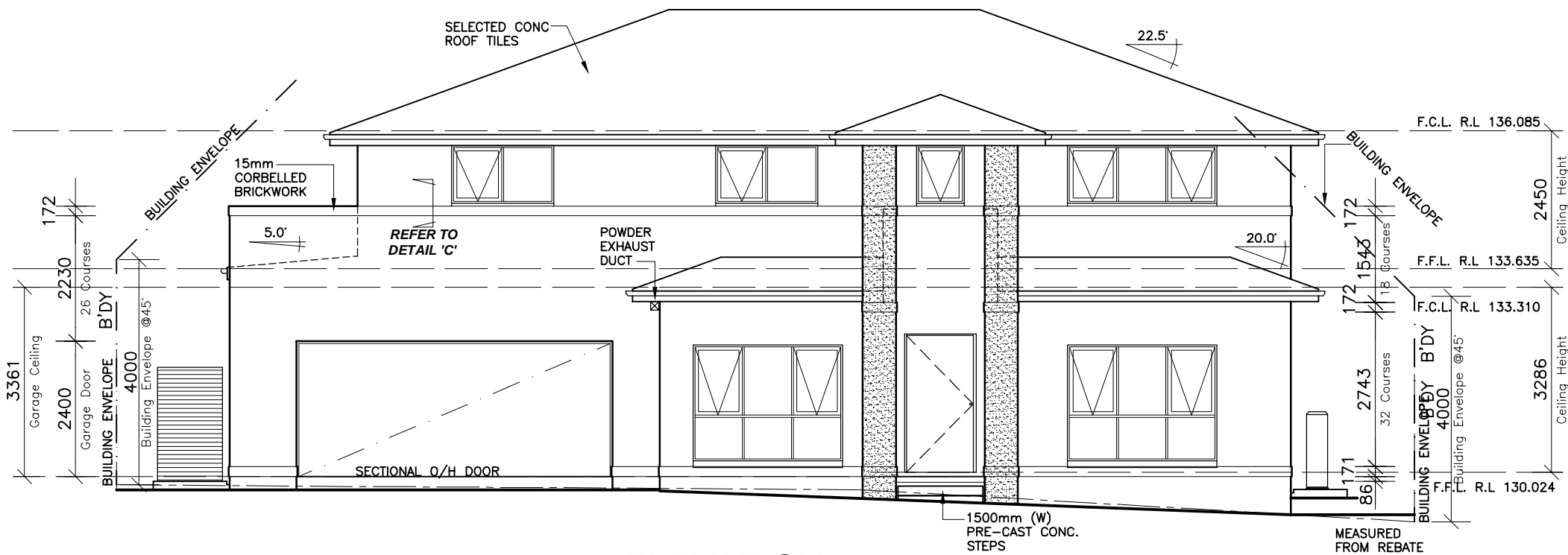
DA2019/0866

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

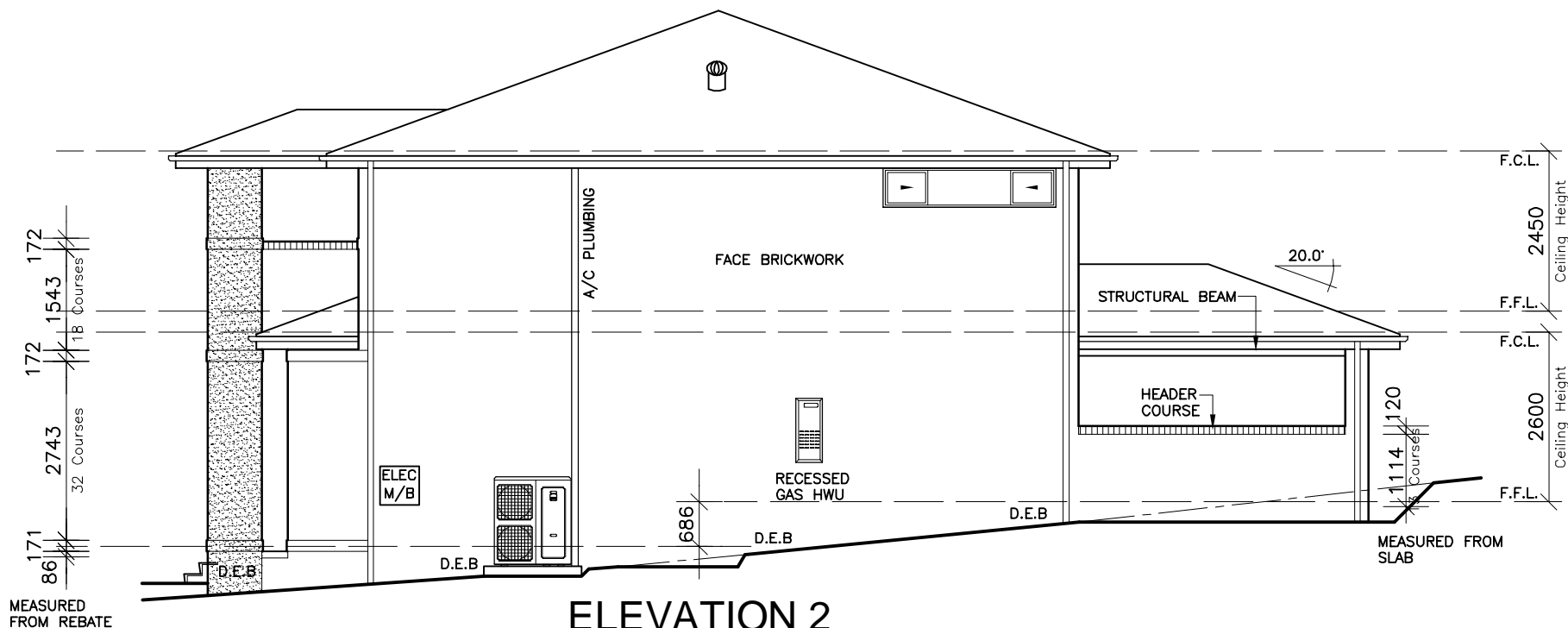
NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

■ DENOTES RENDER FINISH



ELEVATION 1
-SOUTH WEST-



ELEVATION 2
-SOUTH EAST-

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8954 5000

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DIMENSIONS TO BE READ IN
CONJUNCTION WITH THE
CONDITIONS OF DEVELOPMENT
CONSENT

PRODUCT:
MADISON 37
Chisholm
L/H Garage

Sapphire Specification

CLIENT:
Mr. LALLOTIS
Mrs. LALLOTIS
SITE ADDRESS:
Lot 33 No.12, D.P: 225371
Springvale Avenue
EDENHURST FOREST 2086

DA DRAWINGS

DRAWN: PG.	DATE: 26.06.19	Rev: F
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29913581	NSW



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0866

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080



DENOTES RENDER FINISH

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

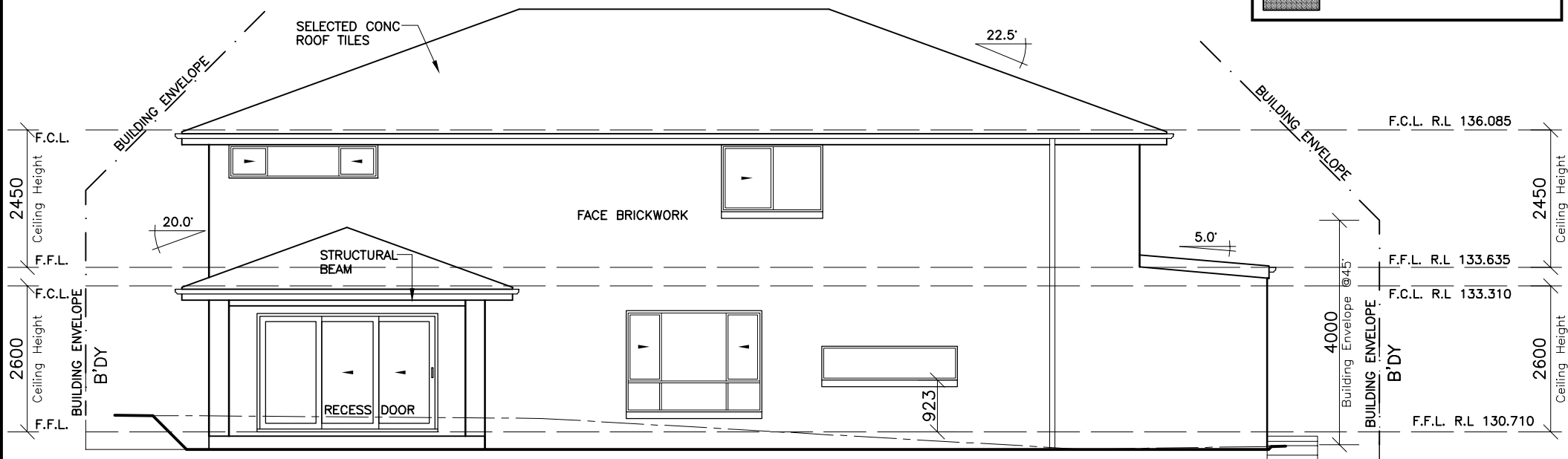
NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS



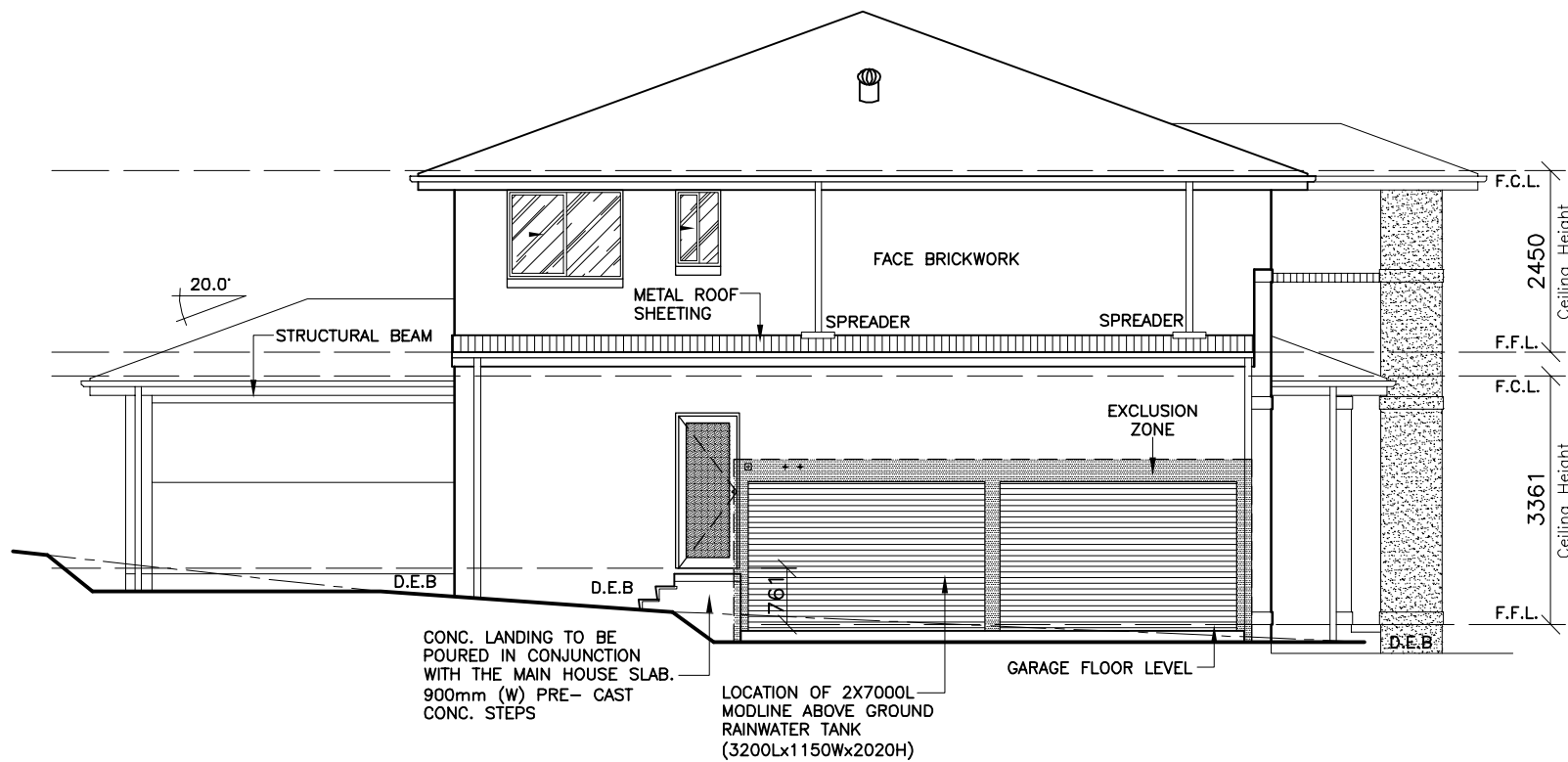
DENOTES WINDOWS WITH
6.38mm TRANSLUCENT
LAMINATED GLAZING



DENOTES DOOR WITH
TRANSLUCENT GLAZING



ELEVATION 3
-NORTH EAST-



ELEVATION 4
-NORTH WEST-

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
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DIMENSIONS TO BE READ IN
PREFERENCE TO CALLING

PRODUCT:

MADISON 37
Chisholm
L/H Garage

Sapphire Specification

CLIENT:

Mr. LALIOTIS
Mrs. LALIOTIS

SITE ADDRESS:

Lot 33 No.12, D.P: 225371
Springvale Avenue
BRENDS FOREST 2092

DA DRAWINGS

DRAWN:

PG.

RATIO @ A3:

1:100

SHEET:

DATE:

26.06.19

CHECKED:

J.S

JOB No:

29913581

Rev:

F

NSW