



SUITE 4, 670 DARLING STREET, ROZELLE, NSW P.O BOX 446 GLADESVILLE 2111 PH: 9555 8545

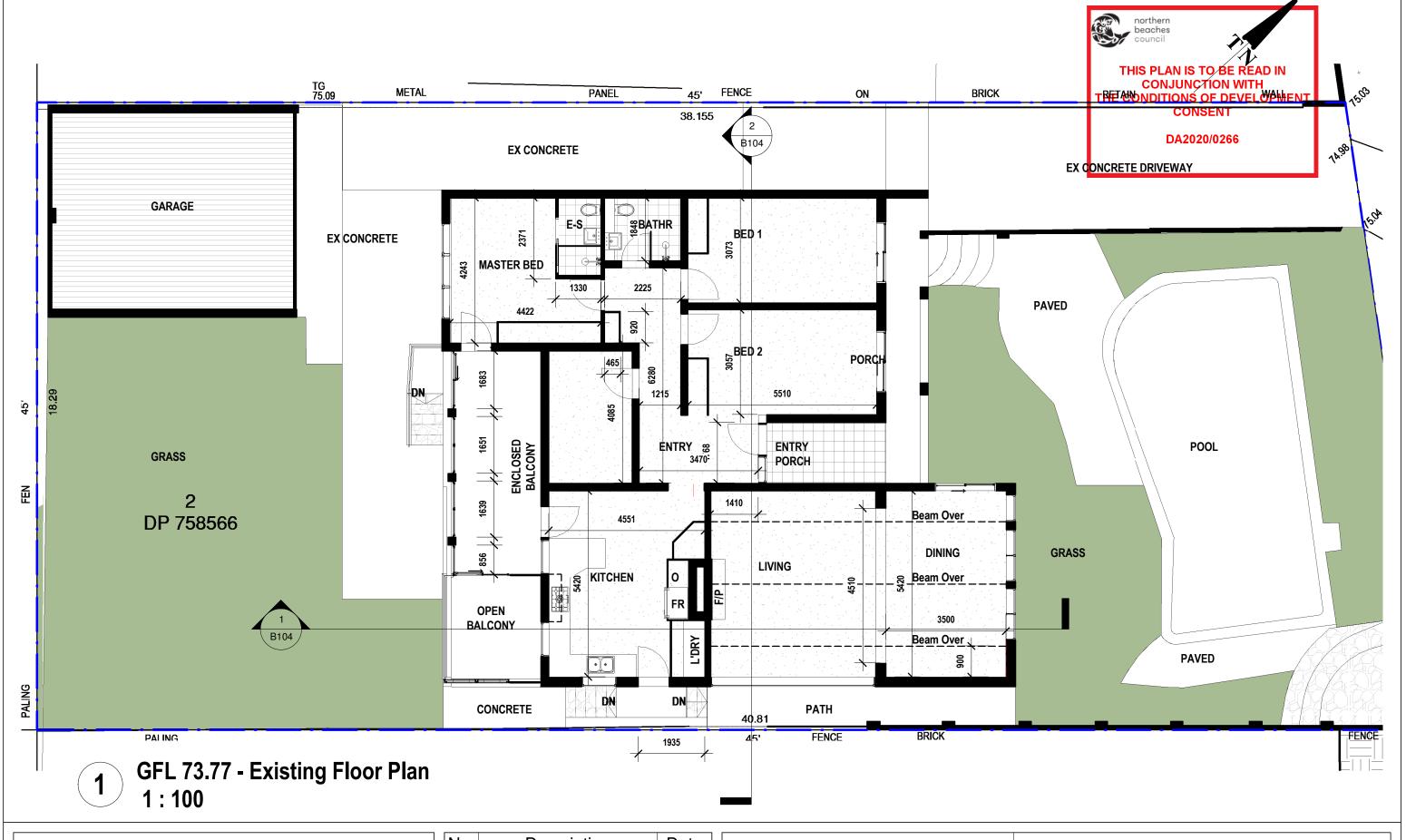
info@caddraftnsw.com.au

No.	Description	Date

DA - APPLICATION No.3 DRUMCLIFF AVE **KILLARNEY HEIGHTS**

SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

Site Analysis Plan			
Project number	19-62		
Date	18-2-20	A1	103
Drawn by	KP		
Checked by	JD	Scale	1 : 200





ABN 27 083 288 1

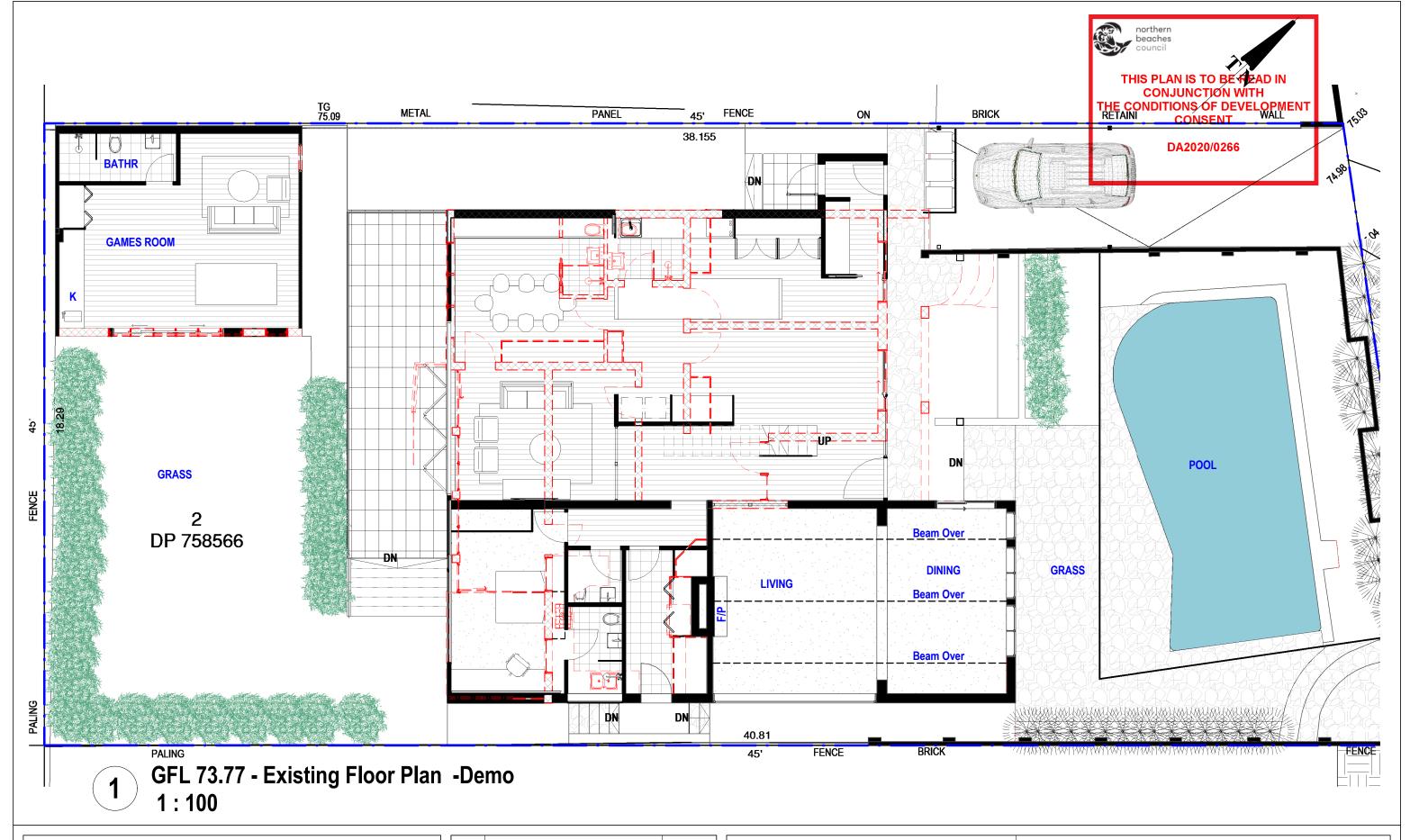
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DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

Existing Floor Plan					
Project number 19-62					
Date	18-2-20	A104			
Drawn by	КР				
Checked by JD Scale 1:100					



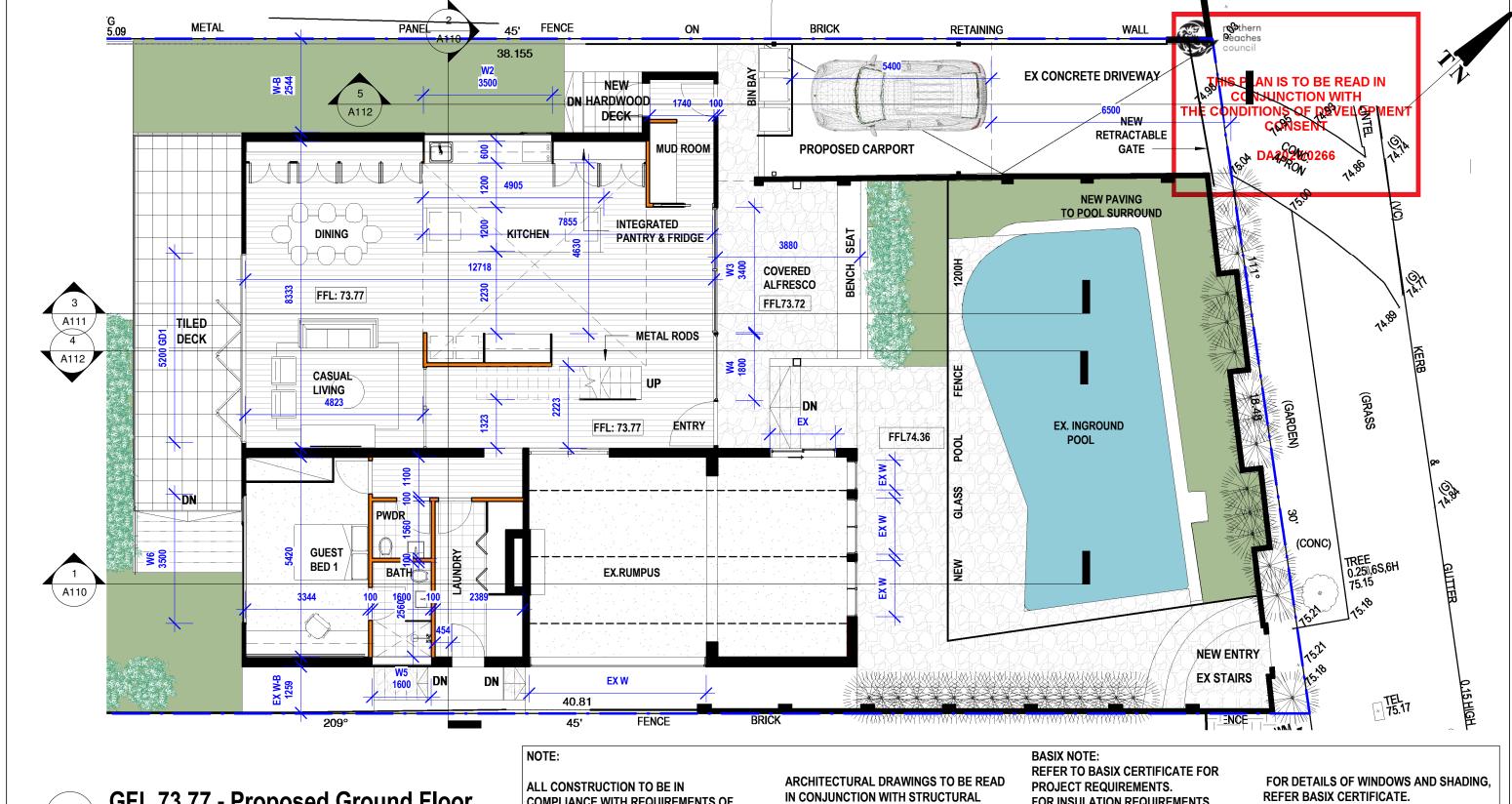


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No.	Description	Date

DA - APPLICATION No.3 DRUMCLIFF AVE **KILLARNEY HEIGHTS** SEC.2 LOT 74 DP 758566 **CLIENT: ANDREW SJOQUIST + JASMINE KOSTA**

Demolition Plan					
Project number 19-62					
Date 18-2-20 A105					
Drawn by KP					
Checked by JD Scale 1:100					



GFL 73.77 - Proposed Ground Floor

COMPLIANCE WITH REQUIREMENTS OF BASIX ASSESSMENT, THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, AND LOCAL PLANNING **CODES & MANUFACTURERS SPECIFICATIONS** **DRAWINGS & BASIX ASSESSMENT**

FOR INSULATION REQUIREMENTS, REFER BASIX CERTIFICATE. FOR DETAILS OF FIXTURE AND FITTINGS REQUIREMENTS, REFER BASIX CERTIFICATE.

Checked by

"REFER TO GENERAL NOTES SHEET A000"

Cad Draft P/L

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No.	Description	Date

DA - APPLICATION No.3 DRUMCLIFF AVE **KILLARNEY HEIGHTS SEC.2 LOT 74 DP 758566 CLIENT: ANDREW SJOQUIST +**

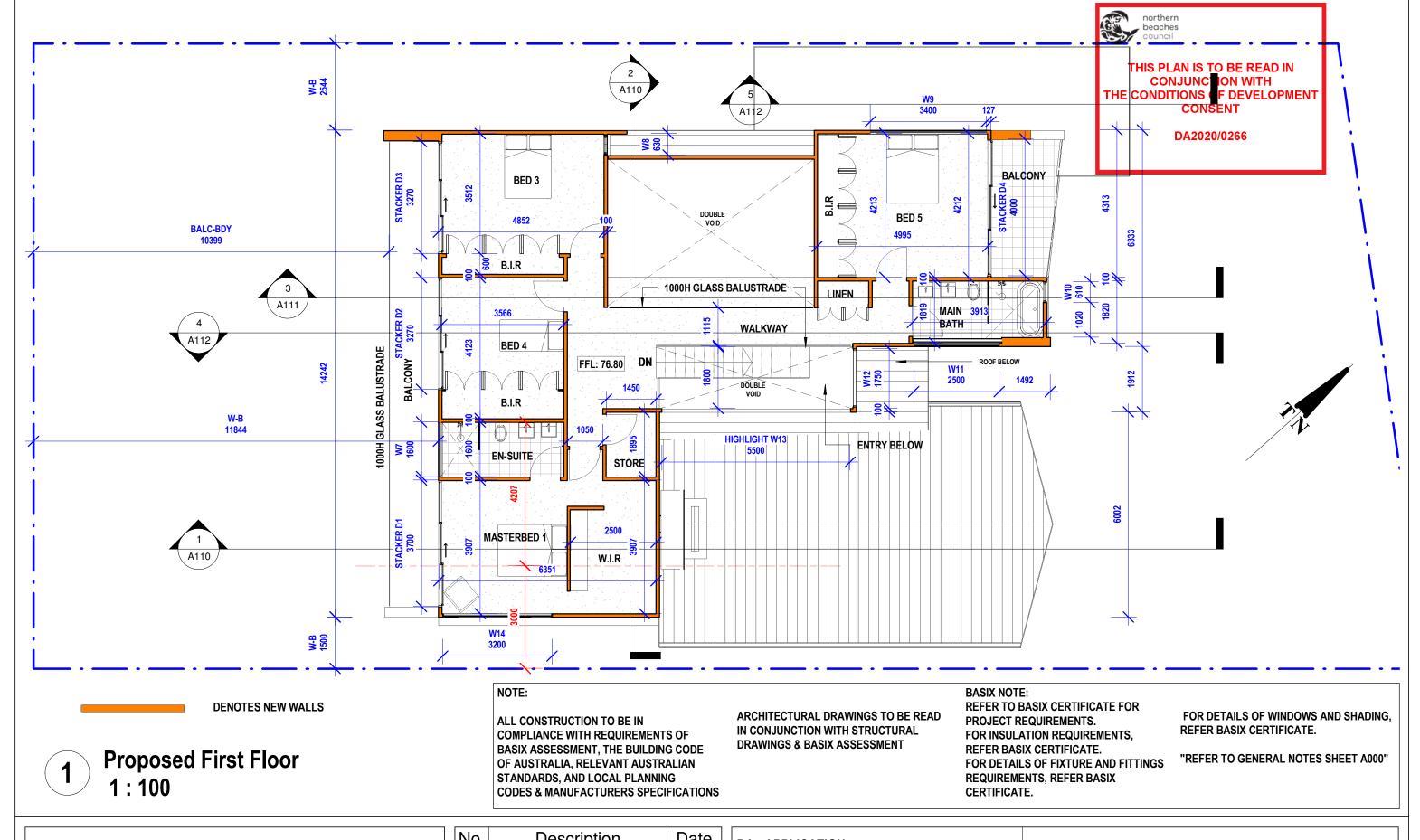
JASMINE KOSTA

i roposed Ground i looi			
Project number	19-62		
Date	18-2-20	A106	
Drawn by	KP		

JD Scale

Proposed Ground Floor

1:100



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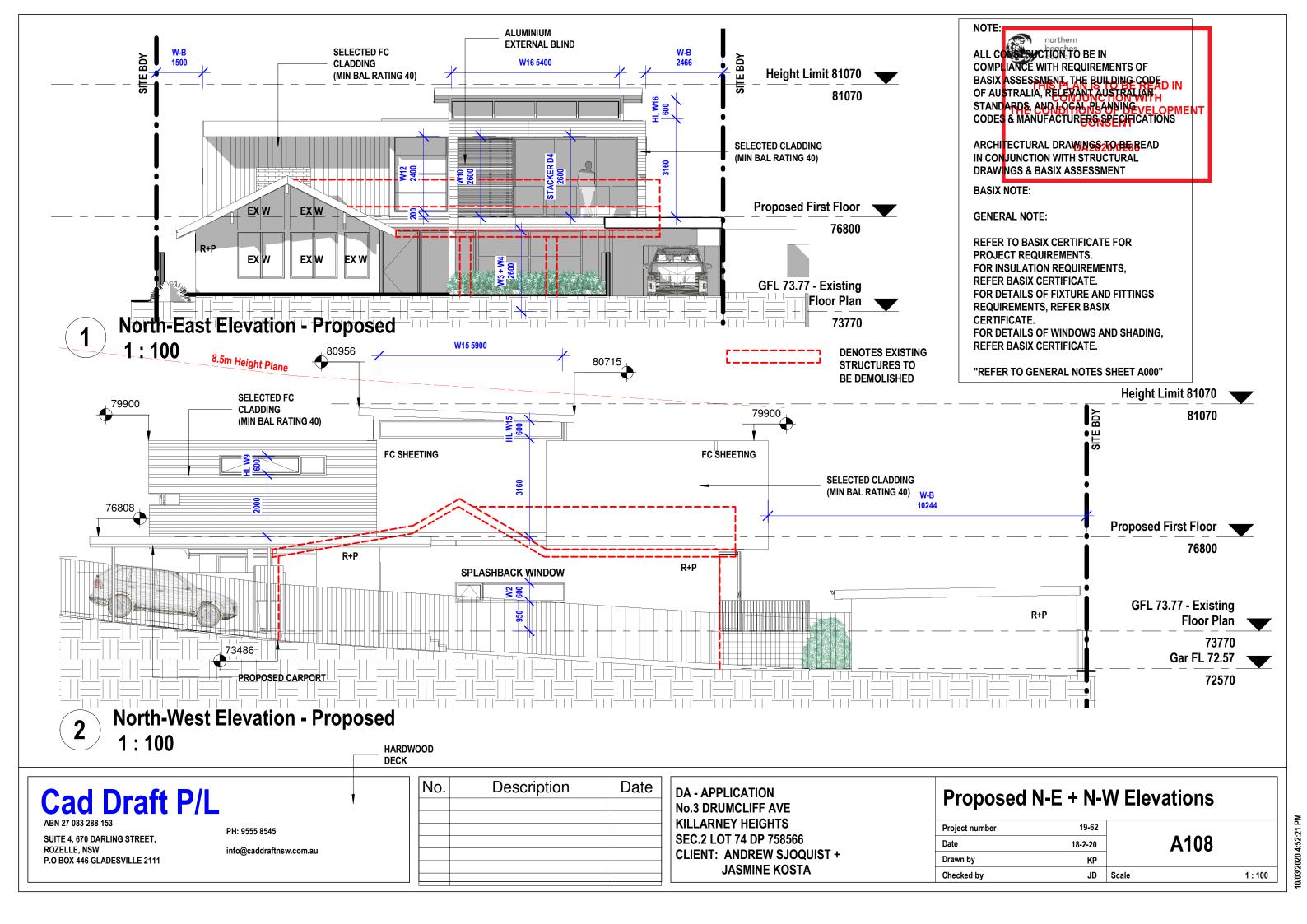
No.	Description	Date
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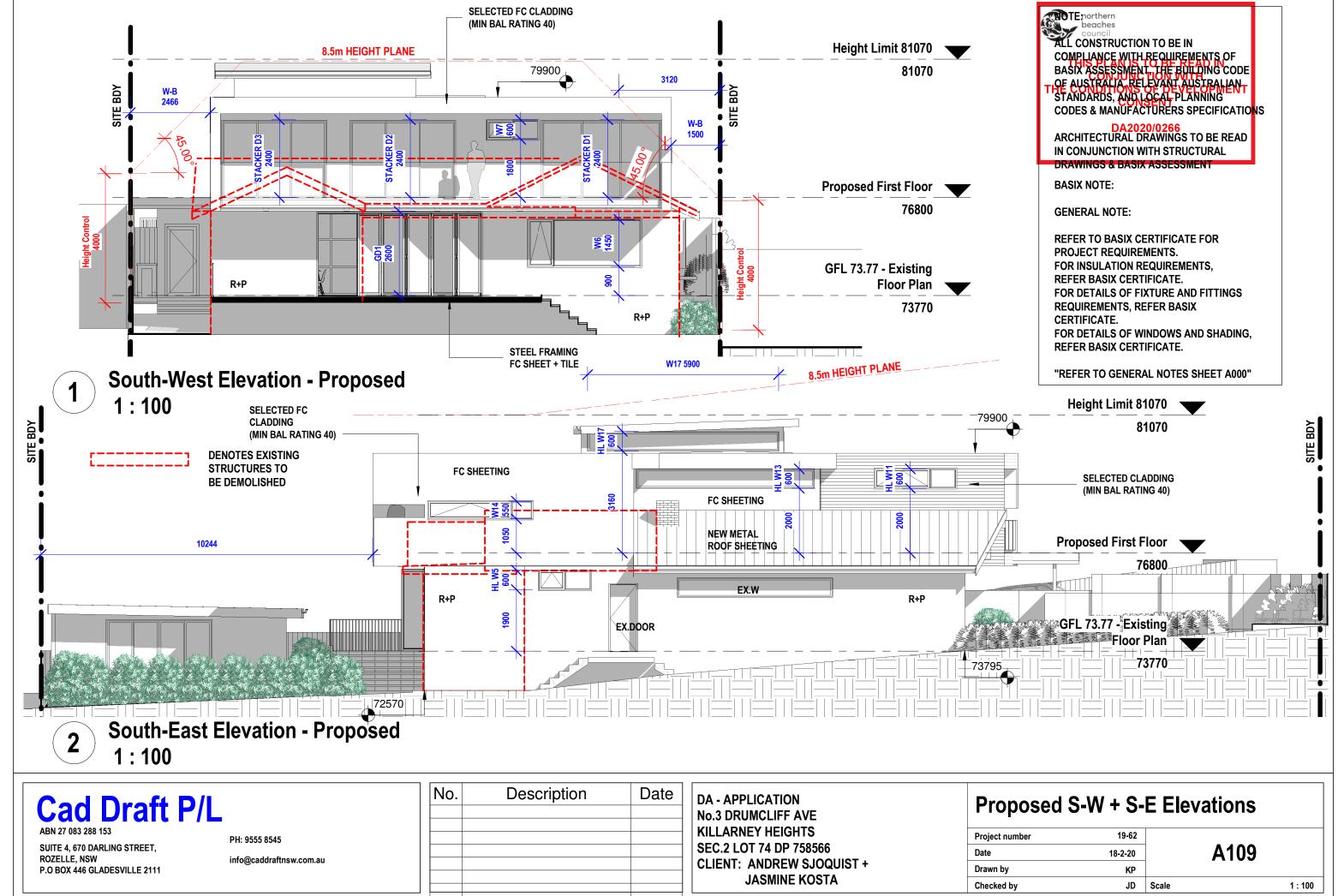
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CLIENT: ANDREW SJOQUIST +
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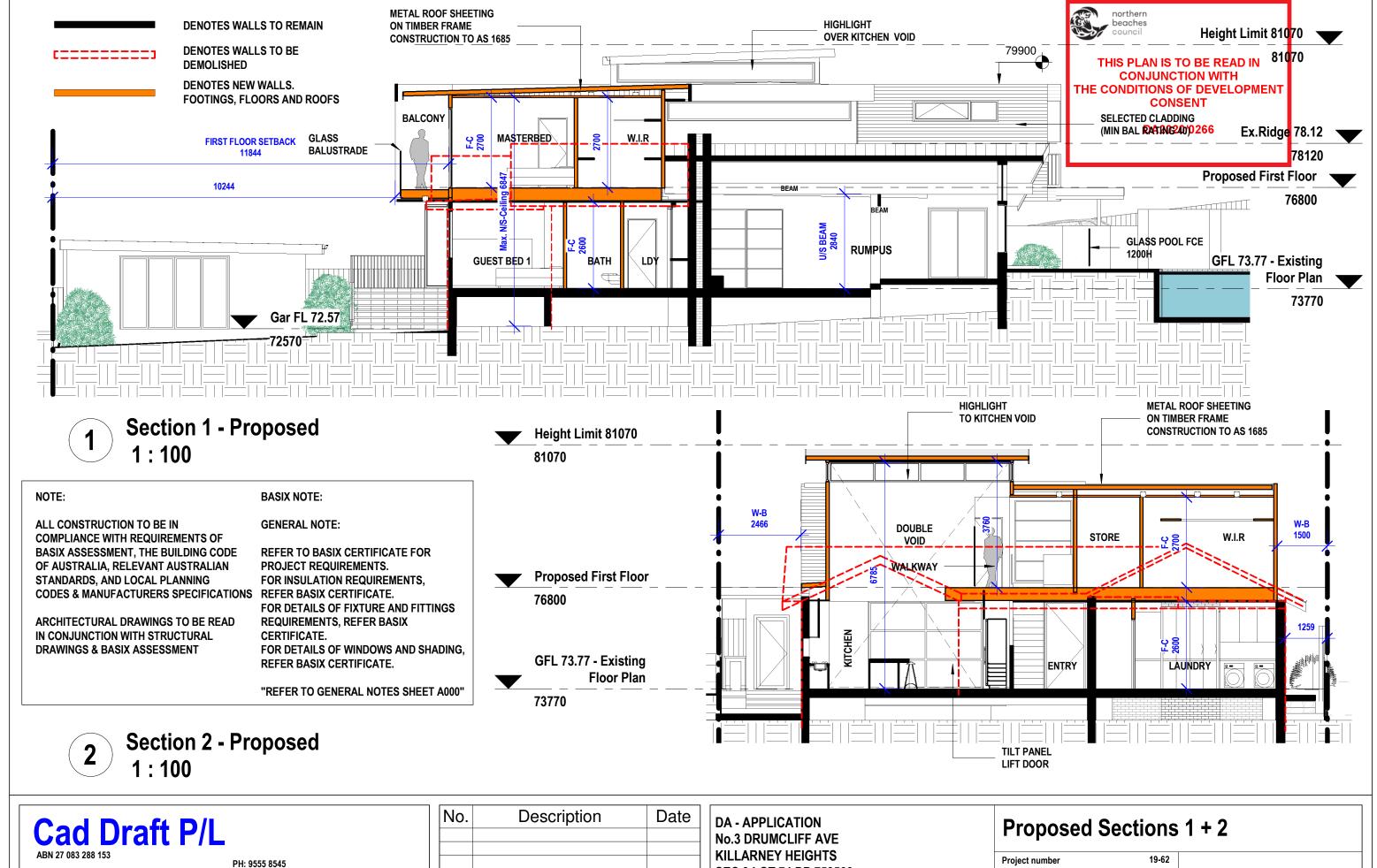
Proposed First Floor Plan

Project number	19-62		
Date	18-2-20	A107	
Drawn by	КР		
Checked by	JD	Scale	1:100





I/03/2020 4:52:40 PM



SEC.2 LOT 74 DP 758566

CLIENT: ANDREW SJOQUIST +

JASMINE KOSTA

Date

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SUITE 4, 670 DARLING STREET,

P.O BOX 446 GLADESVILLE 2111

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ROZELLE, NSW

1:100

A110

18-2-20

ΚP

JD Scale



ALL CONSTRUCTION TO BE IN **COMPLIANCE WITH REQUIREMENTS OF** BASIX ASSESSMENT, THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, AND LOCAL PLANNING **CODES & MANUFACTURERS SPECIFICATIONS**

ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL **DRAWINGS & BASIX ASSESSMENT**

BASIX NOTE:

GENERAL NOTE:

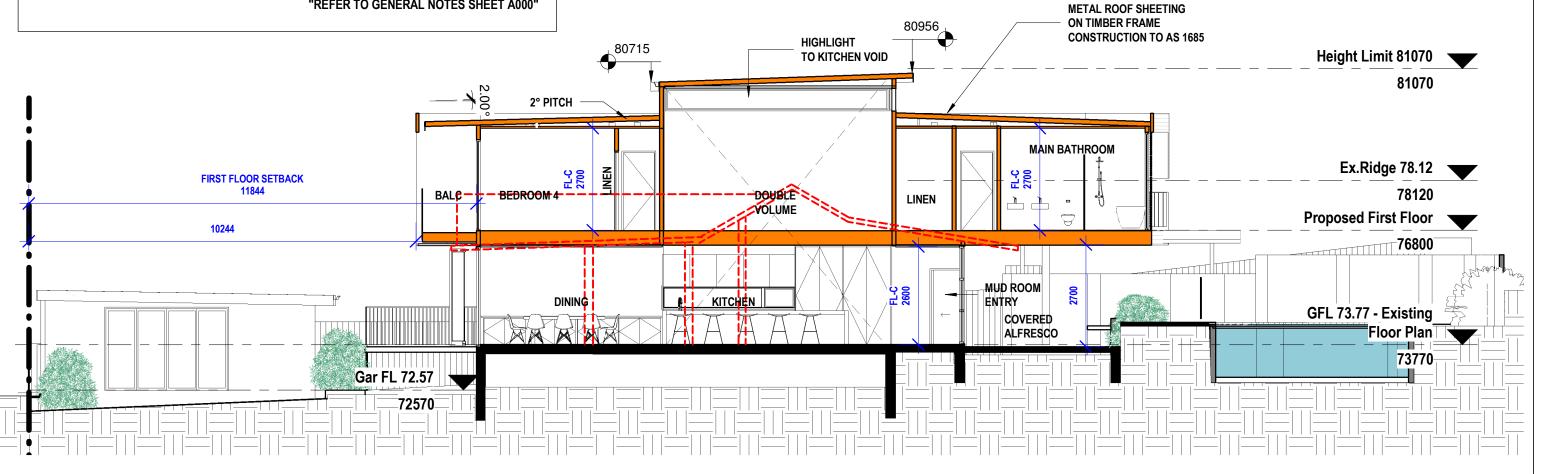
REFER TO BASIX CERTIFICATE FOR PROJECT REQUIREMENTS. FOR INSULATION REQUIREMENTS, REFER BASIX CERTIFICATE. FOR DETAILS OF FIXTURE AND FITTINGS REQUIREMENTS, REFER BASIX CERTIFICATE. FOR DETAILS OF WINDOWS AND SHADING, REFER BASIX CERTIFICATE.

"REFER TO GENERAL NOTES SHEET A000"



THIS PLAN IS TO BE READ IN **CONJUNCTION WITH** THE CONDITIONS OF DEVELOPMENT **CONSENT**

DA2020/0266





SUITE 4, 670 DARLING STREET, **ROZELLE, NSW** P.O BOX 446 GLADESVILLE 2111 PH: 9555 8545

Section 3 - Proposed

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No.	Description	Date
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DA - APPLICATION No.3 DRUMCLIFF AVE **KILLARNEY HEIGHTS SEC.2 LOT 74 DP 758566 CLIENT: ANDREW SJOQUIST +**

JASMINE KOSTA

Proposed - Section 3				
Project number	19-62			
Date	18-2-20		A111	
Drawn by	KP			
Checked by	JD	Scale		1:100

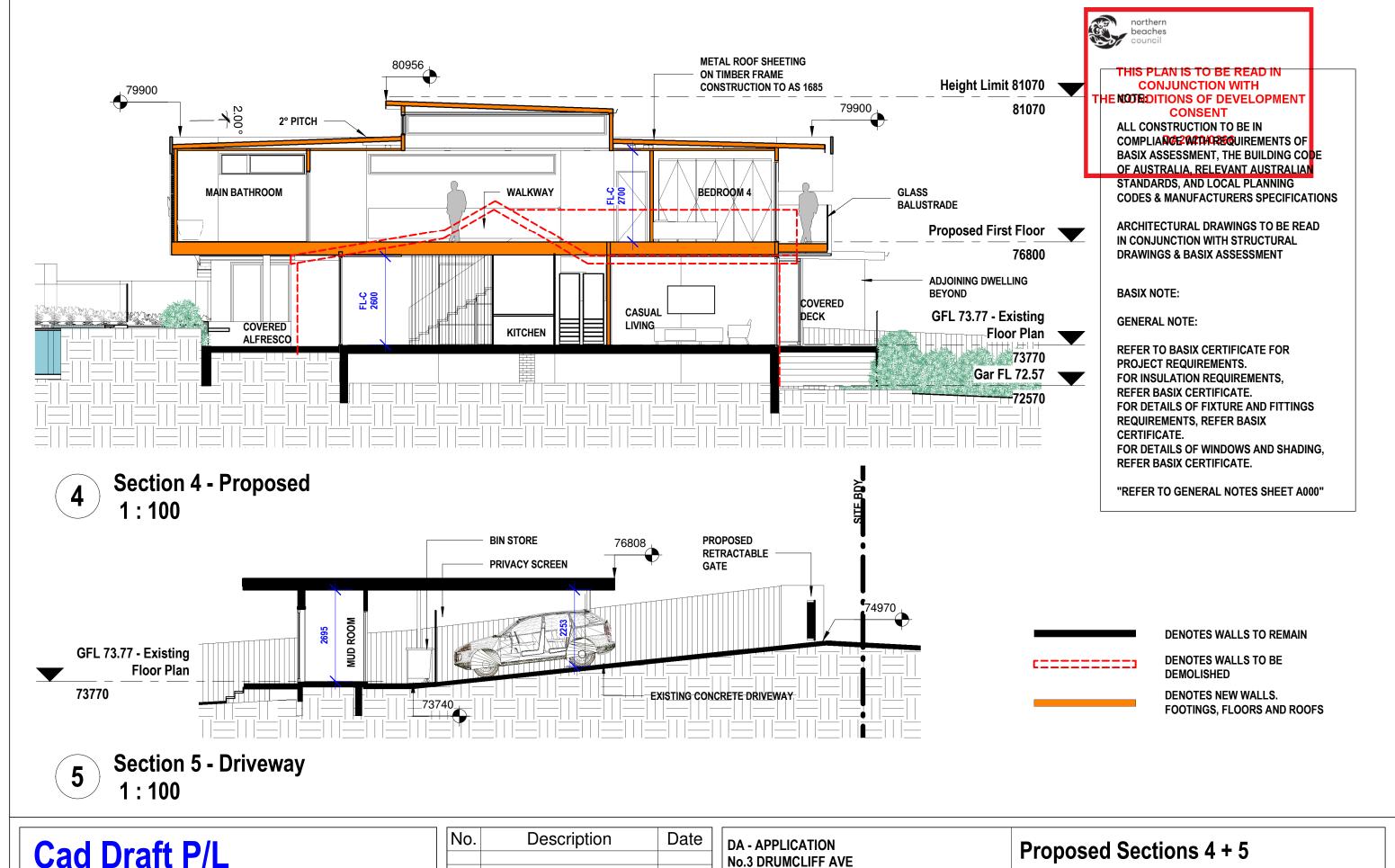
DENOTES WALLS TO REMAIN

FOOTINGS, FLOORS AND ROOFS

DENOTES WALLS TO BE

DENOTES NEW WALLS.

DEMOLISHED



A112

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SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

Project number

Checked by

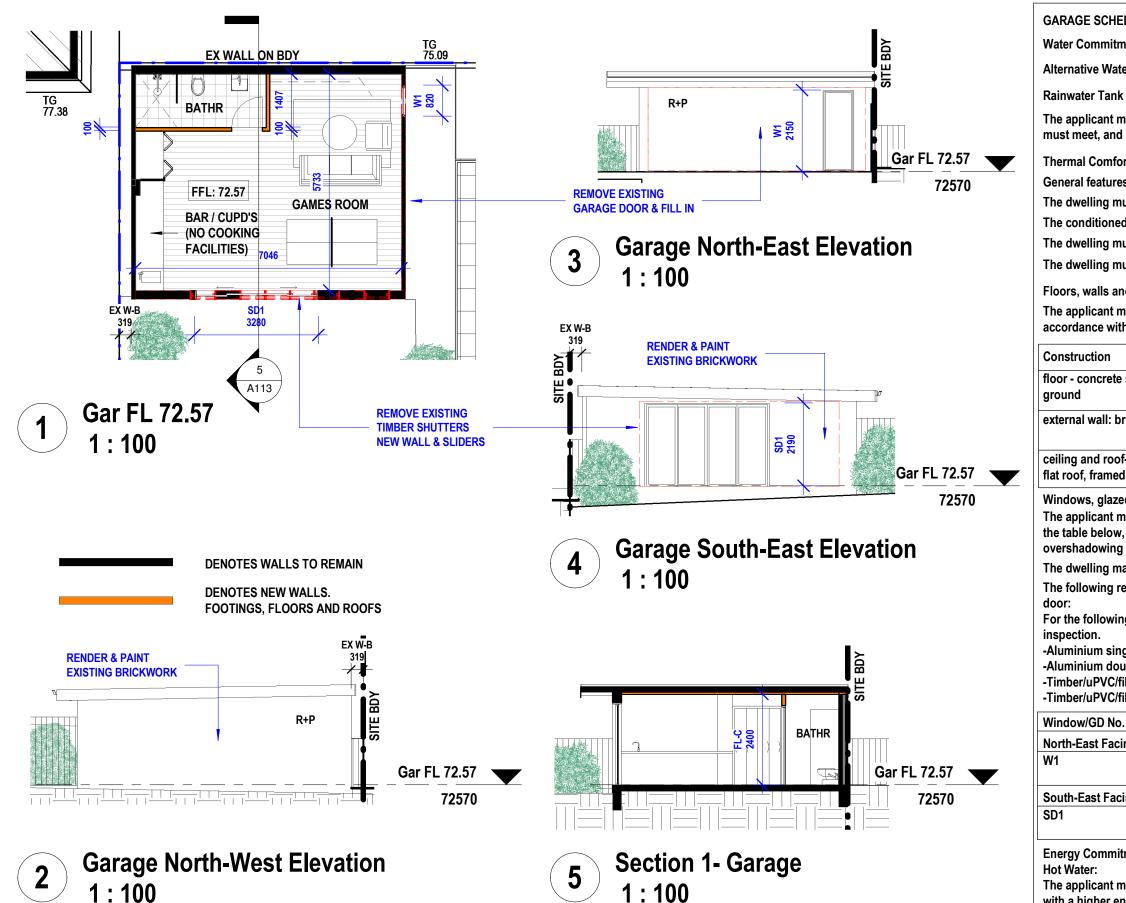
Date

19-62

ΚP

JD Scale

18-2-20



GARAGE SCHEDULE OF BASIX COMMITMENTS:

Water Commitments:

Alternative Water:

THIS PLAN IS TO BE READ IN

CONJUNCTION WITH

The applicant must install a rain water Cank of a Cleast 2000 Tok the Site! The rainwater tank must meet, and be installed in accordance with the Year Nements of all regulatory authorities.

Thermal Comfort Commitments:

DA2020/0266

General features:

The dwelling must not have more than 2 storeys

The conditioned floor area of the dwelling must not exceed 300m².

The dwelling must not contain open mezzanine area exceeding 25m².

The dwelling must not contain third habitable attic room.

Floors, walls and ceiling/roof:

The applicant must construct the floor(s), walls, and ceilings/roofs) of the dwelling in accordance with the specifications listed in the table below

Construction	Additional insulation required (R-value)	Other specifications
floor - concrete slab on ground	nil	
external wall: brick veneer	R1.86 (or R2.40 including construction)	
ceiling and roof- flat ceiling flat roof, framed	ceiling: 3.5 (up), roof: none	framed: light (solar absorptance<0.475)

Windows, glazed doors and skylights:

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The dwelling may have 1 skylight (<0.7m²) which is not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed

For the following glass and frame types, the certifier check can be performed by visual inspection.

- -Aluminium single clear
- -Aluminium double (air) clear
- -Timber/uPVC/fibreglass single clear
- -Timber/uPVC/fibreglass double (air) clear

Window/GD No.	Max Height	Max Width	Туре	Shading Device	Overshadowing
North-East Facing					
W1	2190	820	aluminium, single, clear	none	not overshadowed
South-East Facing					
SD1	2190	3280	aluminium,	none	not

Energy Commitments:

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 starts.

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KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +

JASMINE KOSTA

Proposed Garage Conversion Plan				
Project number	19-62			
Date	18-2-20		A113	
Drawn by	KP			
Checked by	JD	Scale	1 : 100	



R1 ROOFING-WOODLAND GREY
TO REPLACE EXISTING ROOF



R2 ROOFING-CLIPLOCK FOR ALL NEW ROOFING



F1 FC SHEETING TO REAR UPPER LEVEL(MIN BAL RATING 40)



R+P RENDER AND PAINT COLOUR



C1 CLADDING ON FRONT SECTION
(NON TIMBER - MODWOOD OR FC MIN.BAL RATING 40)



GD GLASS DOORS



GB GLASS BALUSTRADE

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DA - APPLICATION No.3 DRUMCLIFF AVE KILLARNEY HEIGHTS SEC.2 LOT 74 DP 758566 CLIENT: ANDREW SJOQUIST
CLIENT: ANDREW SJOQUIST

JASMINE KOSTA

	Project number	19-62	A114
	Date	18-2-20	
	Drawn by	KP	
	Checked by	JD	Scale

External Materials Board