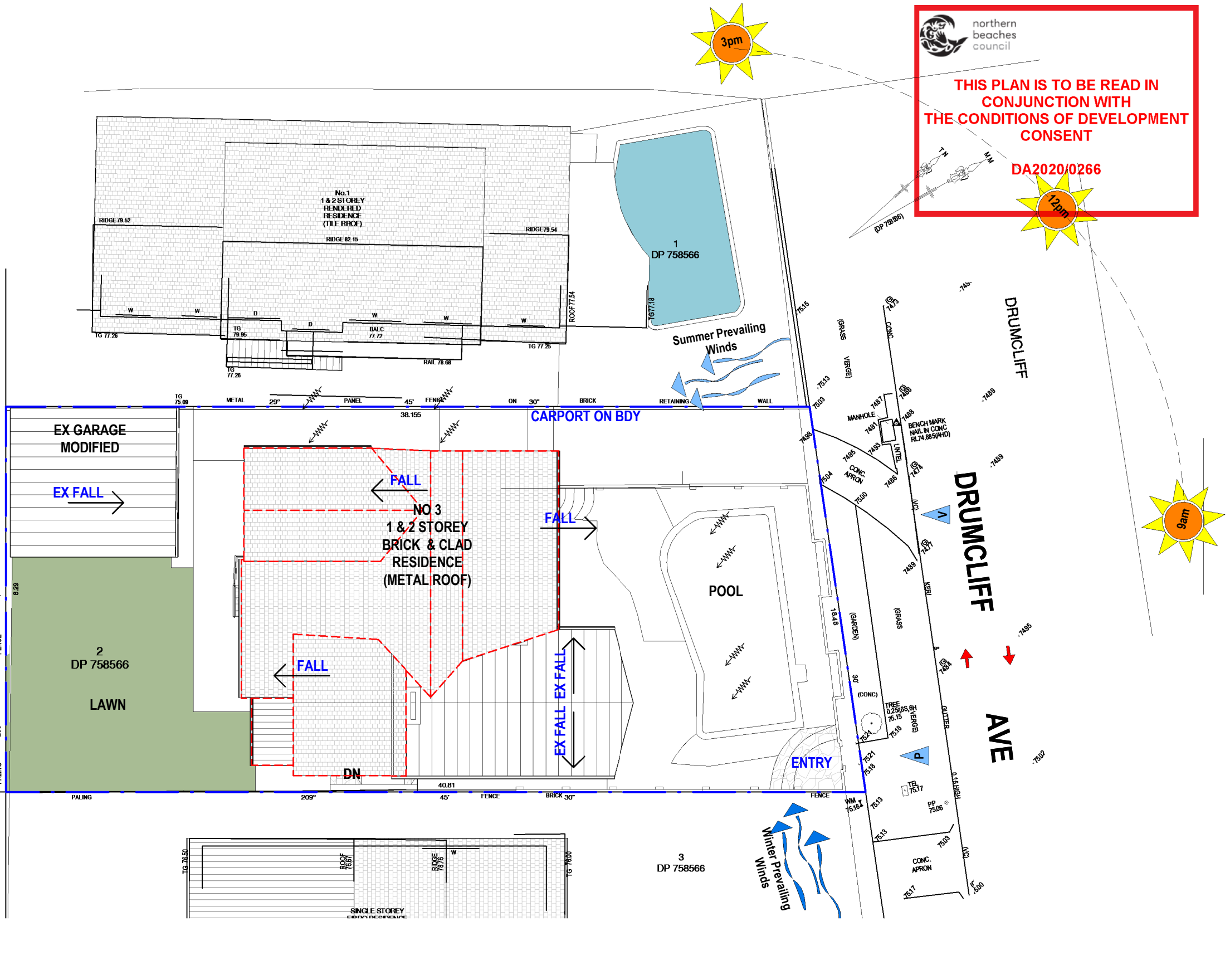
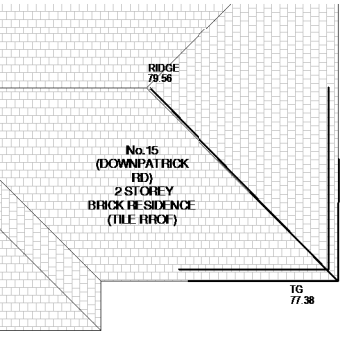


1 Site Analysis Plan
1 : 200



- LEGEND:
- DENOTES OUTLINE OF EX ROOF TO BE DEMOLISHED
 - DENOTES AREA OF PROPOSED NEW ROOF
 - MIDDAY SUN
 - SOLAR ACCESS
 - VEHICULAR TRAFFIC
 - PEDESTRIAN ACCESS
 - VEHICULAR ACCESS

Cad Draft P/L

ABN 27 083 288 153
SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

PH: 9555 8545
info@caddraftnsw.com.au

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

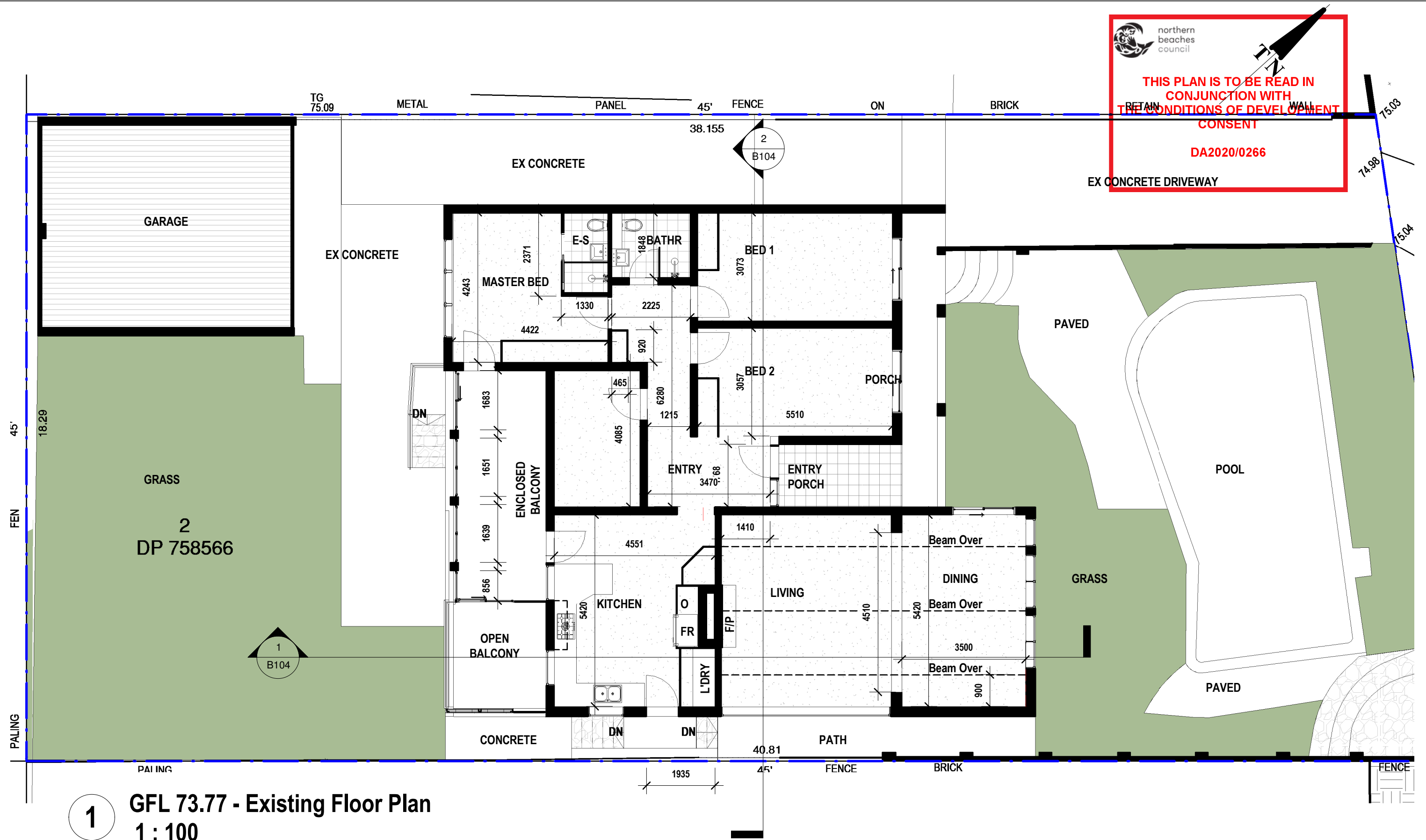
DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

Site Analysis Plan

| | |
|----------------|---------|
| Project number | 19-62 |
| Date | 18-2-20 |
| Drawn by | KP |
| Checked by | JD |

A103

Scale 1 : 200



1 GFL 73.77 - Existing Floor Plan
1 : 100

Cad Draft P/L

ABN 27 083 288 153
SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

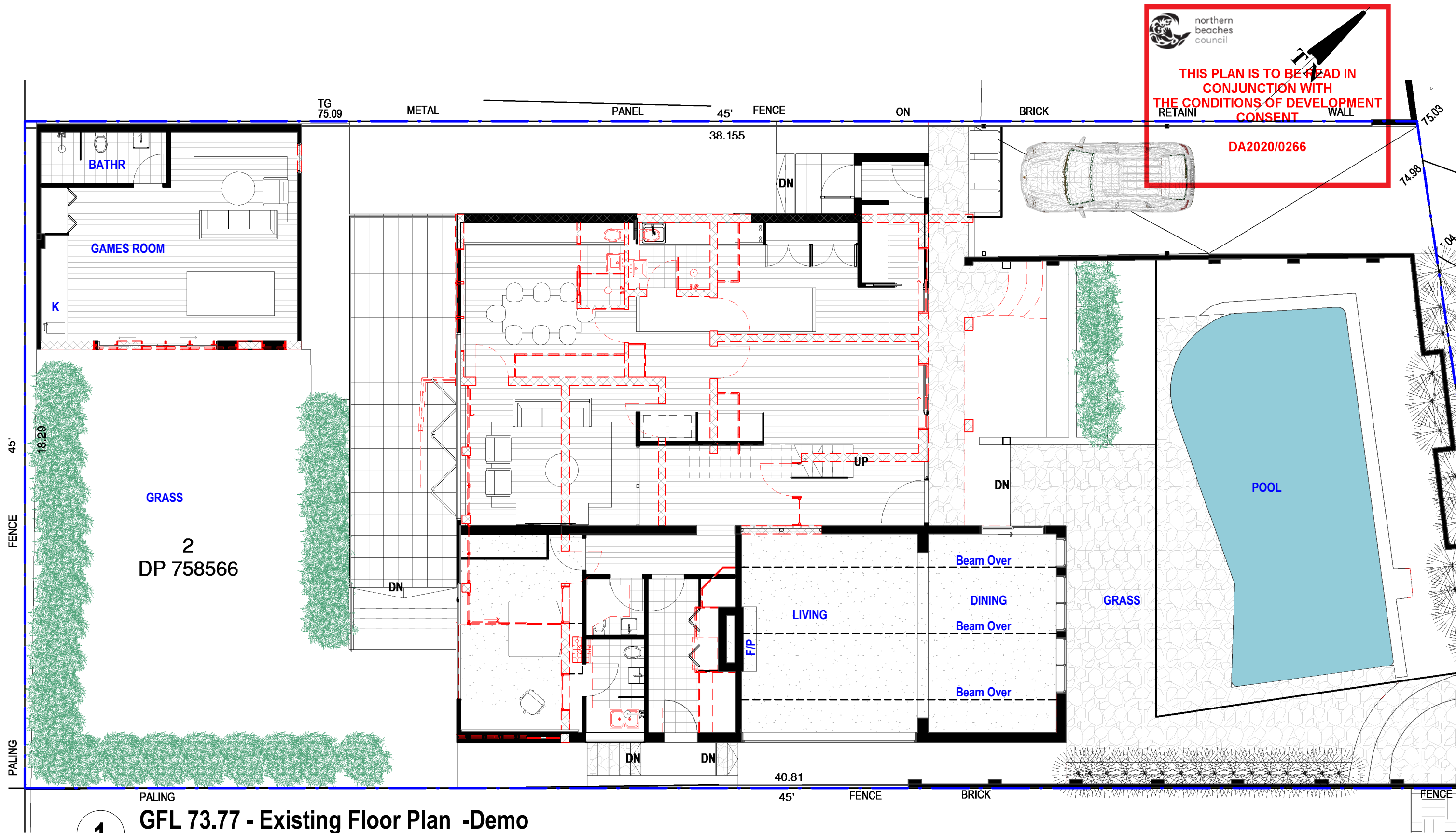
PH: 9555 8545
info@caddraftnsw.com.au

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

Existing Floor Plan

| | | |
|----------------|---------|---------|
| Project number | 19-62 | A104 |
| Date | 18-2-20 | |
| Drawn by | KP | |
| Checked by | JD | |
| Scale | | 1 : 100 |



1

GFL 73.77 - Existing Floor Plan -Demo
1 : 100

Cad Draft P/L

ABN 27 083 288 153
SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

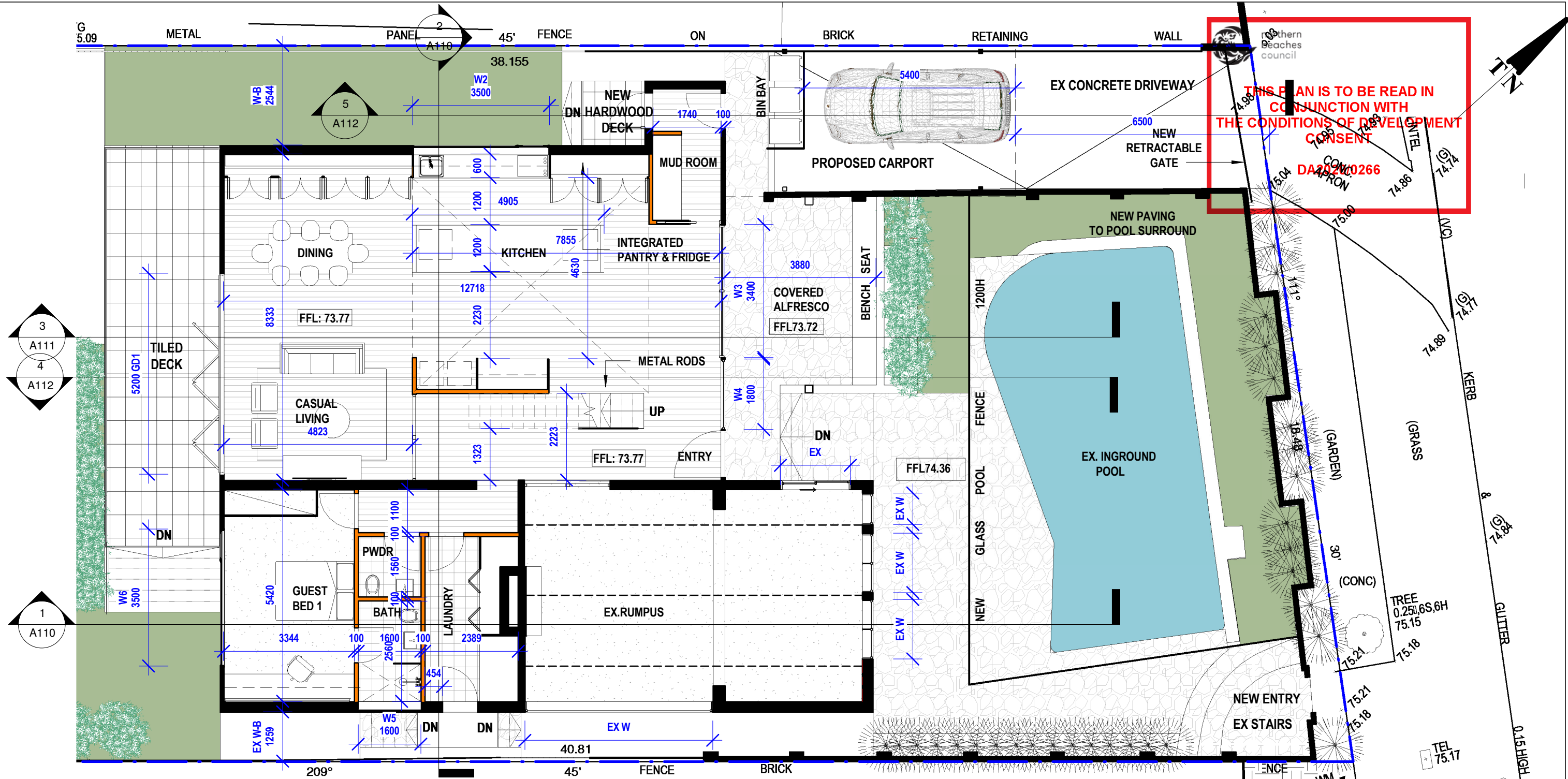
PH: 9555 8545
info@caddraftnsw.com.au

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

Demolition Plan

| | | |
|----------------|---------|---------|
| Project number | 19-62 | A105 |
| Date | 18-2-20 | |
| Drawn by | KP | |
| Checked by | JD | |
| Scale | | 1 : 100 |



1 GFL 73.77 - Proposed Ground Floor
1 : 100

NOTE:
ALL CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF BASIX ASSESSMENT, THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, AND LOCAL PLANNING CODES & MANUFACTURERS SPECIFICATIONS

ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS & BASIX ASSESSMENT

BASIX NOTE:
REFER TO BASIX CERTIFICATE FOR PROJECT REQUIREMENTS.
FOR INSULATION REQUIREMENTS, REFER BASIX CERTIFICATE.
FOR DETAILS OF FIXTURE AND FITTINGS REQUIREMENTS, REFER BASIX CERTIFICATE.

FOR DETAILS OF WINDOWS AND SHADING, REFER BASIX CERTIFICATE.
"REFER TO GENERAL NOTES SHEET A000"

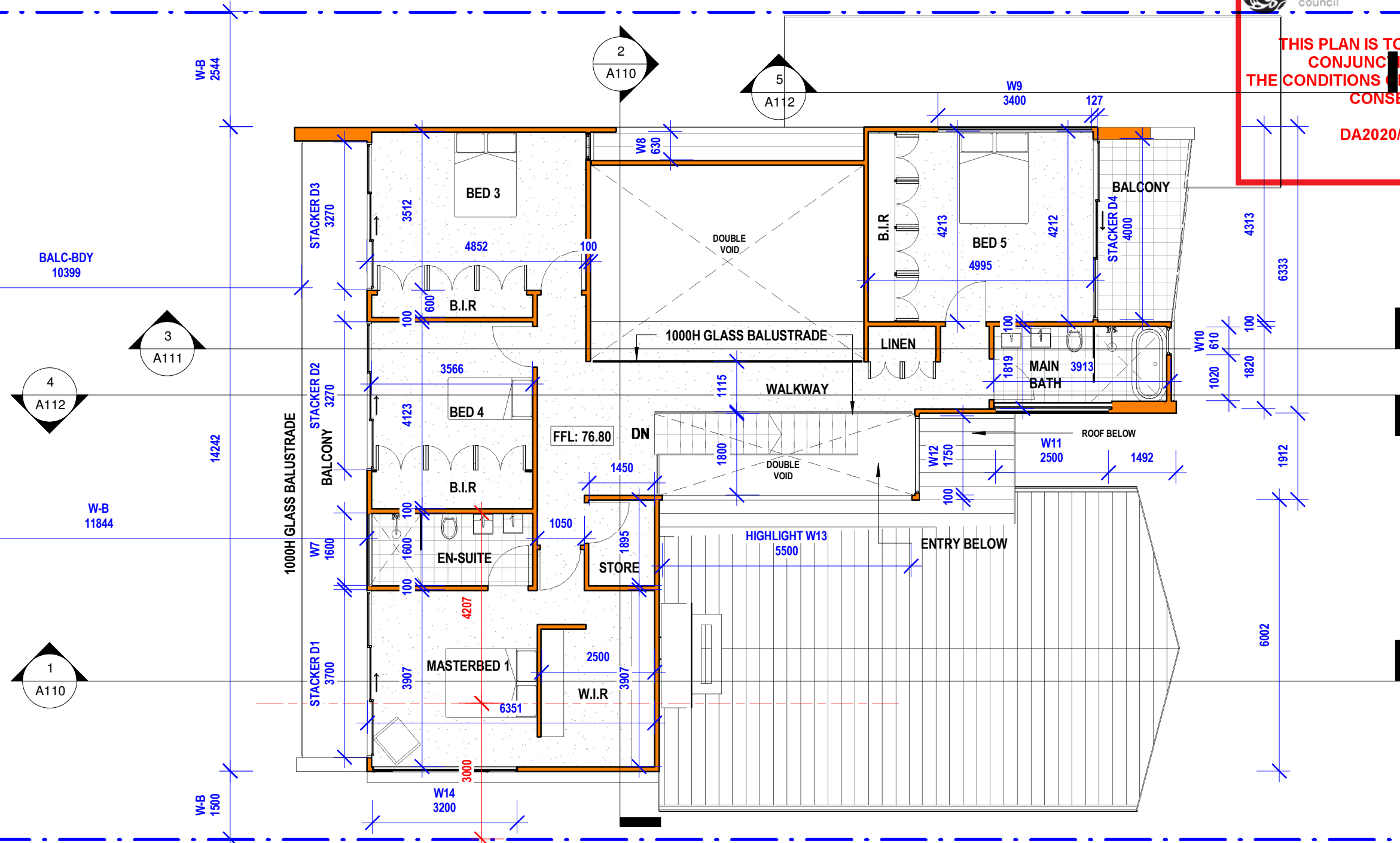
Cad Draft P/L

ABN 27 083 288 153
SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111
PH: 9555 8545
info@caddraftnsw.com.au

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |

DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

| Proposed Ground Floor | | |
|-----------------------|---------|---------|
| Project number | 19-62 | A106 |
| Date | 18-2-20 | |
| Drawn by | KP | |
| Checked by | JD | |
| Scale | | 1 : 100 |



1000H GLASS BALUSTRADE

NOTE:

ALL CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF BASIX ASSESSMENT, THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, AND LOCAL PLANNING CODES & MANUFACTURERS SPECIFICATIONS

ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS & BASIX ASSESSMENT

BASIX NOTE:

REFER TO BASIX CERTIFICATE FOR PROJECT REQUIREMENTS. FOR INSULATION REQUIREMENTS, REFER BASIX CERTIFICATE. FOR DETAILS OF FIXTURE AND FITTINGS REQUIREMENTS, REFER BASIX CERTIFICATE.

FOR DETAILS OF WINDOWS AND SHADING, REFER BASIX CERTIFICATE.

"REFER TO GENERAL NOTES SHEET A000"

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

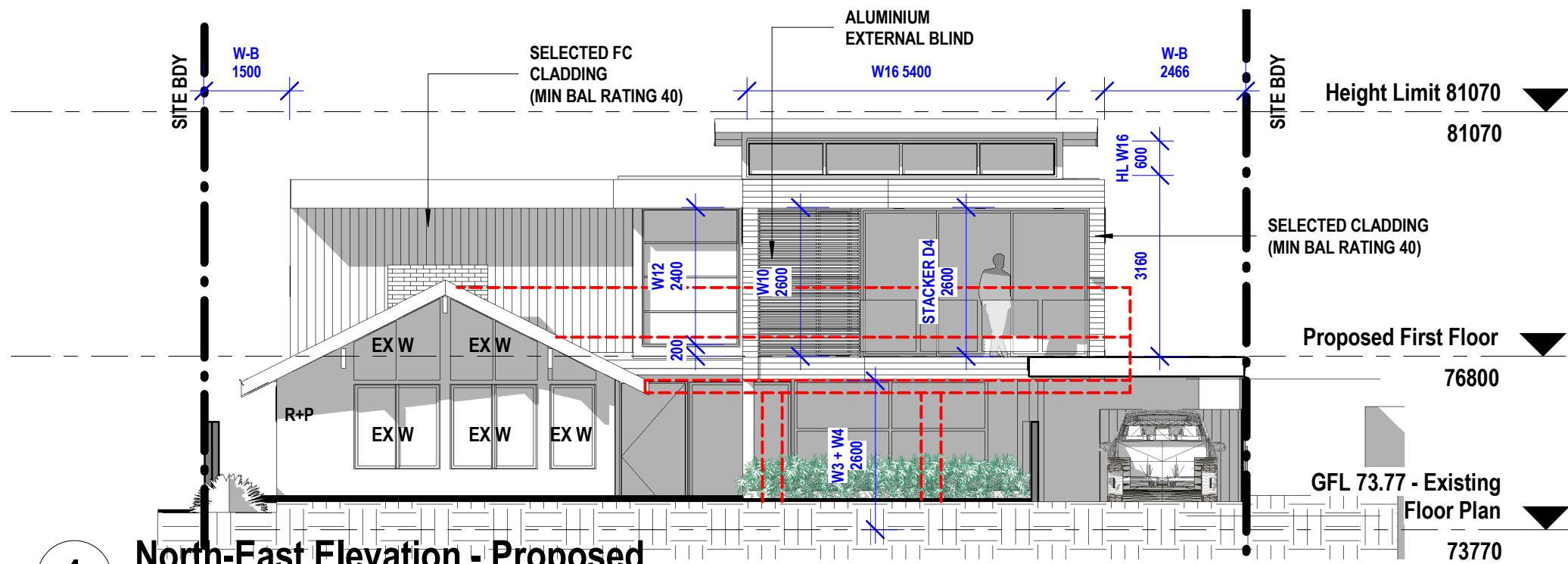
Proposed First Floor Plan

| | | |
|----------------|---------|-------------|
| Project number | 19-62 | A107 |
| Date | 18-2-20 | |
| Drawn by | KP | |
| Checked by | JD | |
| Scale | | 1 : 100 |

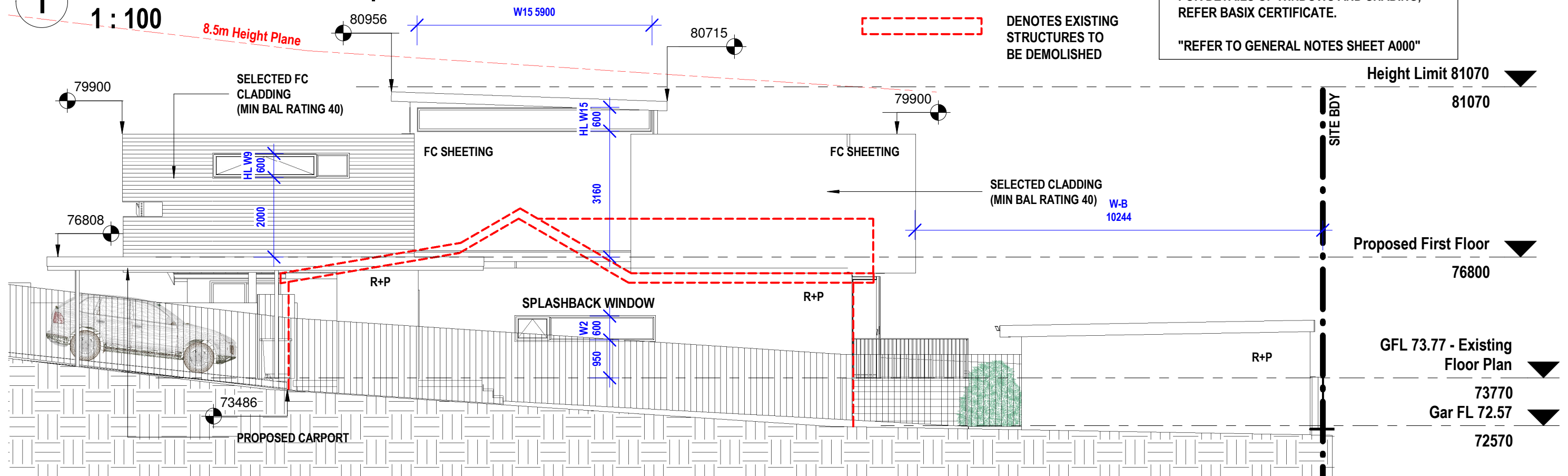
Cad Draft P/L

ABN 27 083 288 153
SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

PH: 9555 8545
info@caddraftnsw.com.au



1 North-East Elevation - Proposed
1 : 100



2 North-West Elevation - Proposed
1 : 100

NOTE:

ALL CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF BASIX ASSESSMENT, THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, AND LOCAL PLANNING CODES & MANUFACTURERS SPECIFICATIONS

ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS & BASIX ASSESSMENT

BASIX NOTE:

GENERAL NOTE:

REFER TO BASIX CERTIFICATE FOR PROJECT REQUIREMENTS. FOR INSULATION REQUIREMENTS, REFER BASIX CERTIFICATE. FOR DETAILS OF FIXTURE AND FITTINGS REQUIREMENTS, REFER BASIX CERTIFICATE. FOR DETAILS OF WINDOWS AND SHADING, REFER BASIX CERTIFICATE.

"REFER TO GENERAL NOTES SHEET A000"

Cad Draft P/L

ABN 27 083 288 153
SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

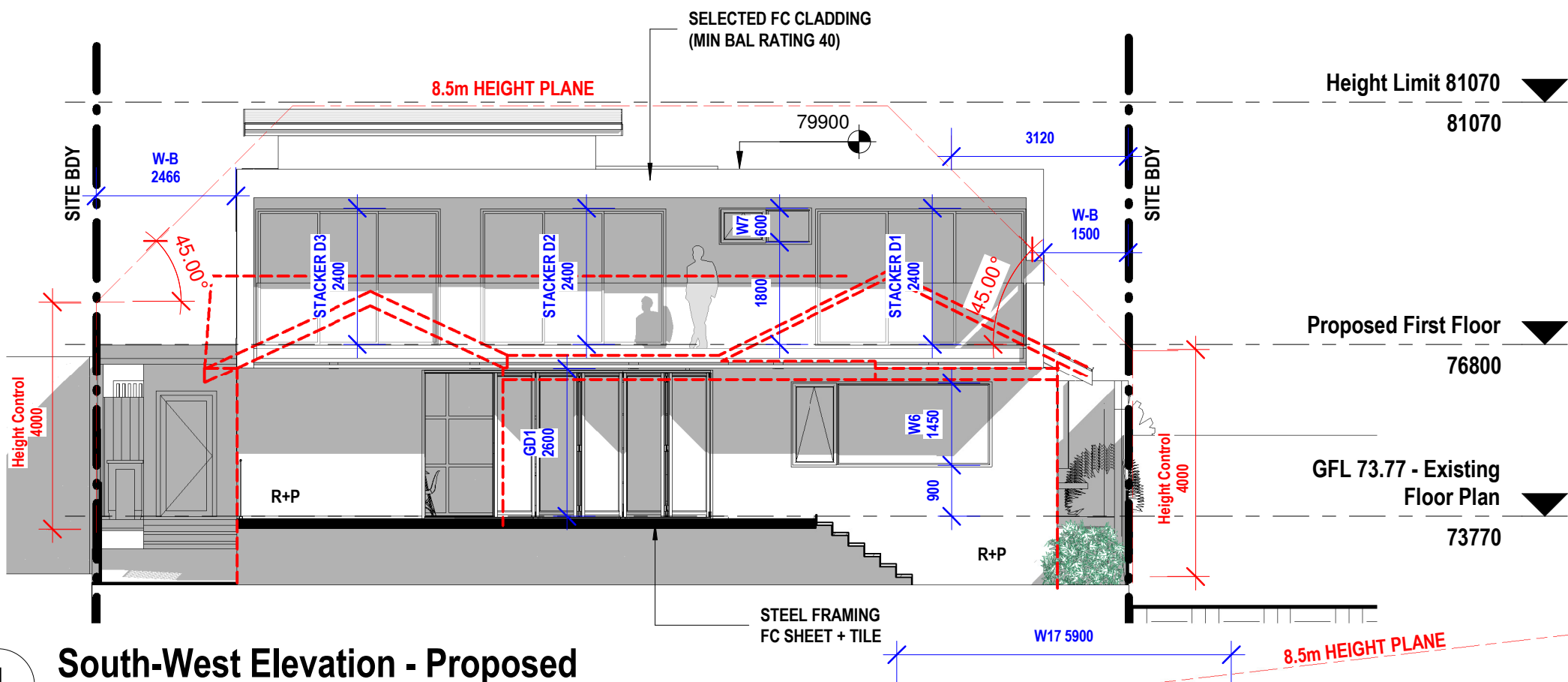
PH: 9555 8545
info@caddraftnsw.com.au

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

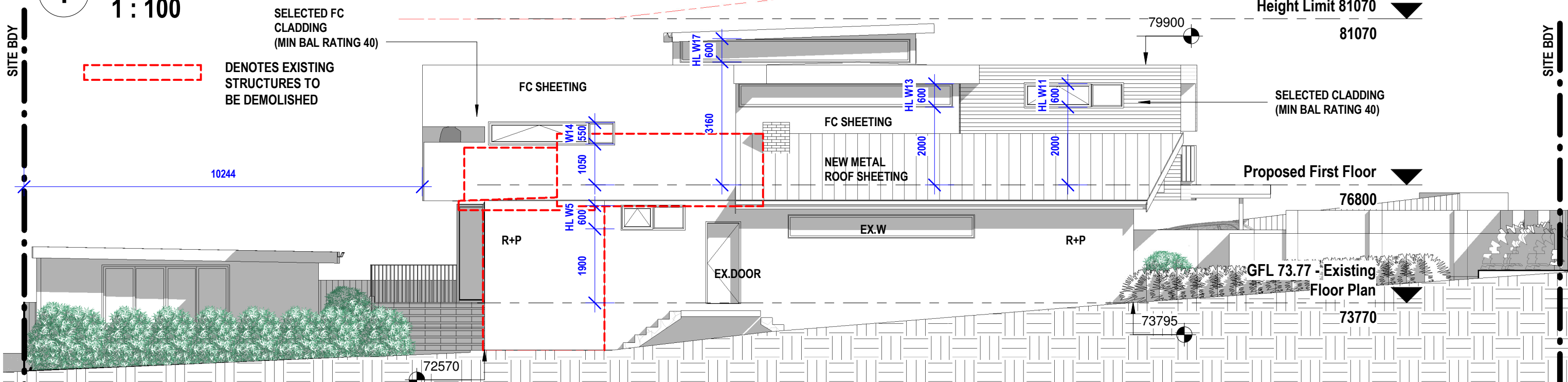
Proposed N-E + N-W Elevations

| | | | | |
|----------------|---------|-------------|-------|---------|
| Project number | 19-62 | A108 | Scale | 1 : 100 |
| Date | 18-2-20 | | | |
| Drawn by | KP | | | |
| Checked by | JD | | | |



1 South-West Elevation - Proposed
1 : 100

NOTE: northern beaches council
ALL CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF BASIX ASSESSMENT, THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, AND LOCAL PLANNING CODES & MANUFACTURERS SPECIFICATIONS
DA2020/0266
ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS & BASIX ASSESSMENT
BASIX NOTE:
GENERAL NOTE:
REFER TO BASIX CERTIFICATE FOR PROJECT REQUIREMENTS.
FOR INSULATION REQUIREMENTS, REFER BASIX CERTIFICATE.
FOR DETAILS OF FIXTURE AND FITTINGS REQUIREMENTS, REFER BASIX CERTIFICATE.
FOR DETAILS OF WINDOWS AND SHADING, REFER BASIX CERTIFICATE.
"REFER TO GENERAL NOTES SHEET A000"



2 South-East Elevation - Proposed
1 : 100

Cad Draft P/L

ABN 27 083 288 153
SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

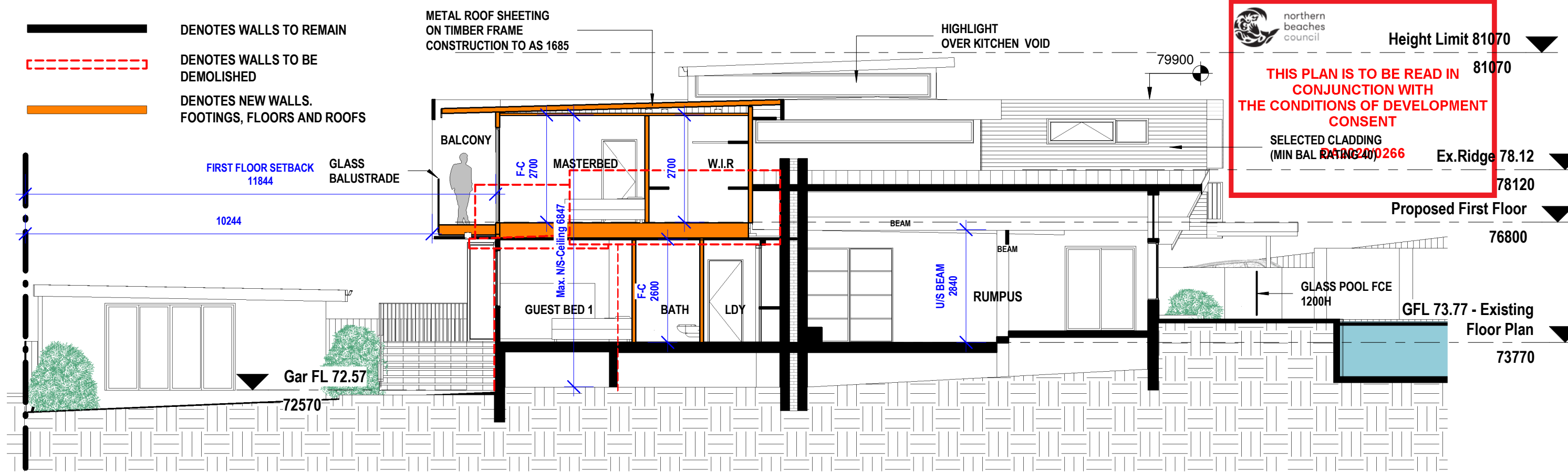
PH: 9555 8545
info@caddraftnsw.com.au

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

Proposed S-W + S-E Elevations

| | | |
|----------------|---------|-------------|
| Project number | 19-62 | A109 |
| Date | 18-2-20 | |
| Drawn by | KP | |
| Checked by | JD | |
| Scale | | 1 : 100 |

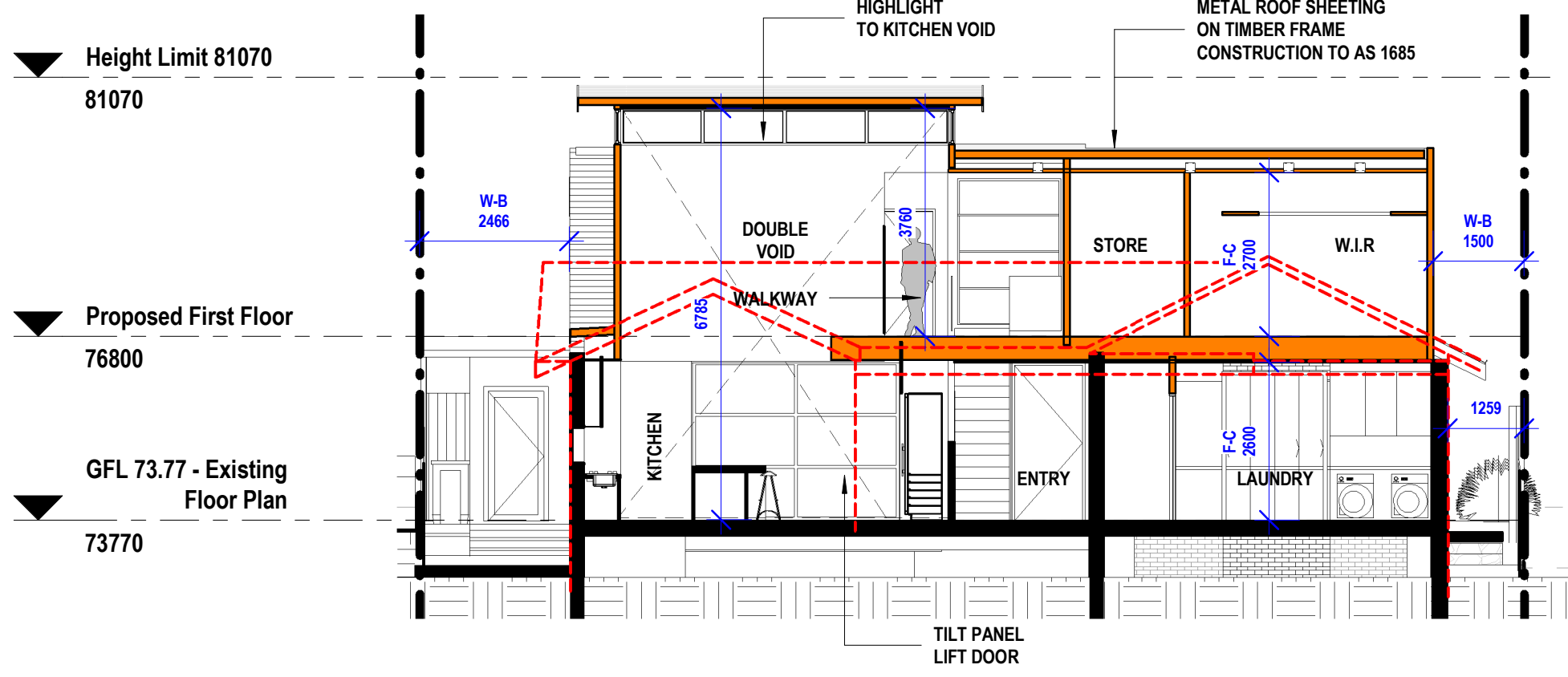


1 Section 1 - Proposed
1 : 100

NOTE:
ALL CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF BASIX ASSESSMENT, THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, AND LOCAL PLANNING CODES & MANUFACTURERS SPECIFICATIONS
ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS & BASIX ASSESSMENT

BASIX NOTE:
GENERAL NOTE:
REFER TO BASIX CERTIFICATE FOR PROJECT REQUIREMENTS.
FOR INSULATION REQUIREMENTS, REFER BASIX CERTIFICATE.
FOR DETAILS OF FIXTURE AND FITTINGS REQUIREMENTS, REFER BASIX CERTIFICATE.
FOR DETAILS OF WINDOWS AND SHADING, REFER BASIX CERTIFICATE.
"REFER TO GENERAL NOTES SHEET A000"

2 Section 2 - Proposed
1 : 100



Cad Draft P/L

ABN 27 083 288 153
SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

PH: 9555 8545
info@caddraftnsw.com.au

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

Proposed Sections 1 + 2

| | | |
|----------------|---------|---------|
| Project number | 19-62 | A110 |
| Date | 18-2-20 | |
| Drawn by | KP | |
| Checked by | JD | |
| Scale | | 1 : 100 |

10/03/2020 4:52:47 PM

NOTE:

ALL CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF BASIX ASSESSMENT, THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, AND LOCAL PLANNING CODES & MANUFACTURERS SPECIFICATIONS

ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS & BASIX ASSESSMENT

BASIX NOTE:

GENERAL NOTE:

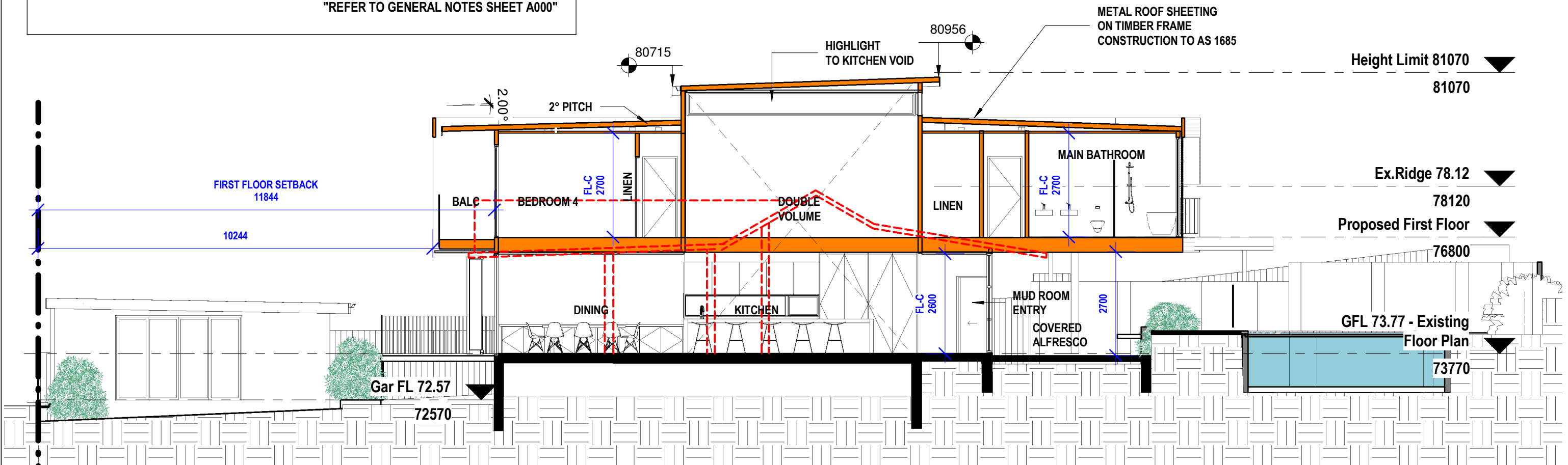
REFER TO BASIX CERTIFICATE FOR PROJECT REQUIREMENTS.
FOR INSULATION REQUIREMENTS, REFER BASIX CERTIFICATE.
FOR DETAILS OF FIXTURE AND FITTINGS REQUIREMENTS, REFER BASIX CERTIFICATE.
FOR DETAILS OF WINDOWS AND SHADING, REFER BASIX CERTIFICATE.

"REFER TO GENERAL NOTES SHEET A000"



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0266



3

Section 3 - Proposed
1 : 100

- DENOTES WALLS TO REMAIN
- DENOTES WALLS TO BE DEMOLISHED
- DENOTES NEW WALLS, FOOTINGS, FLOORS AND ROOFS

Cad Draft P/L

ABN 27 083 288 153

SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

PH: 9555 8545

info@caddraftnsw.com.au

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

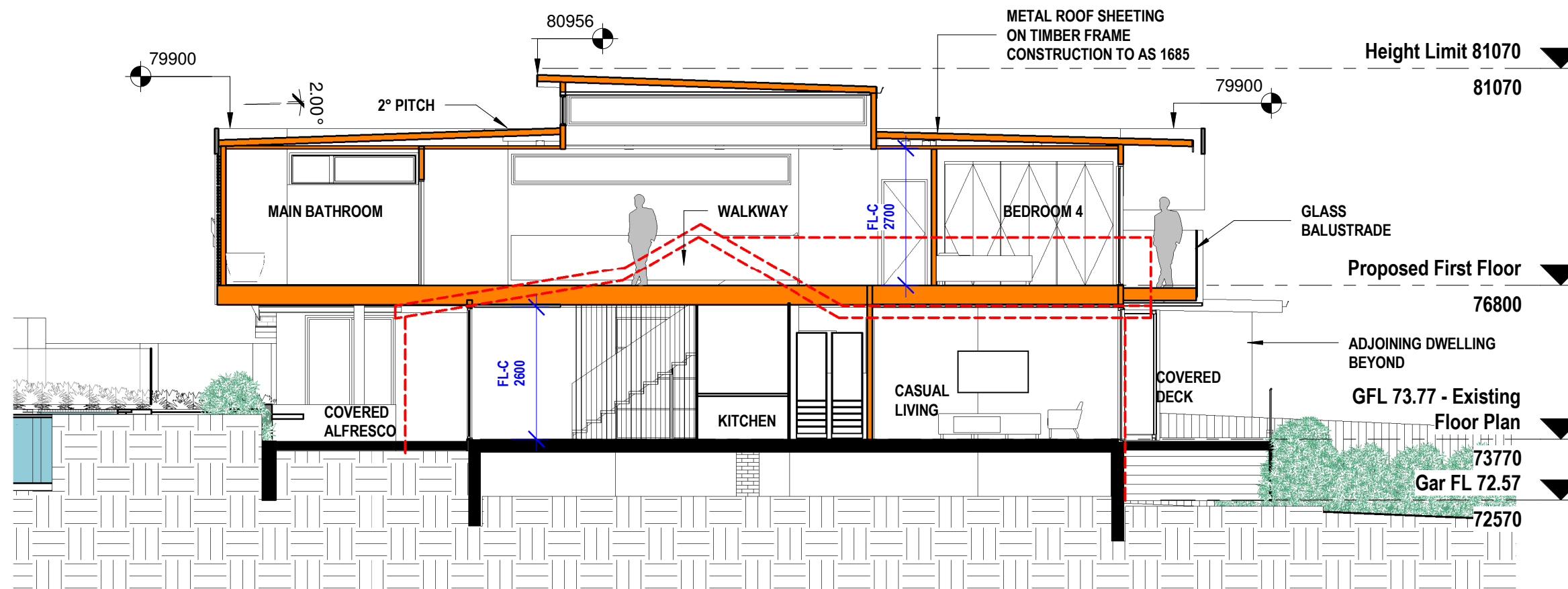
DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

Proposed - Section 3

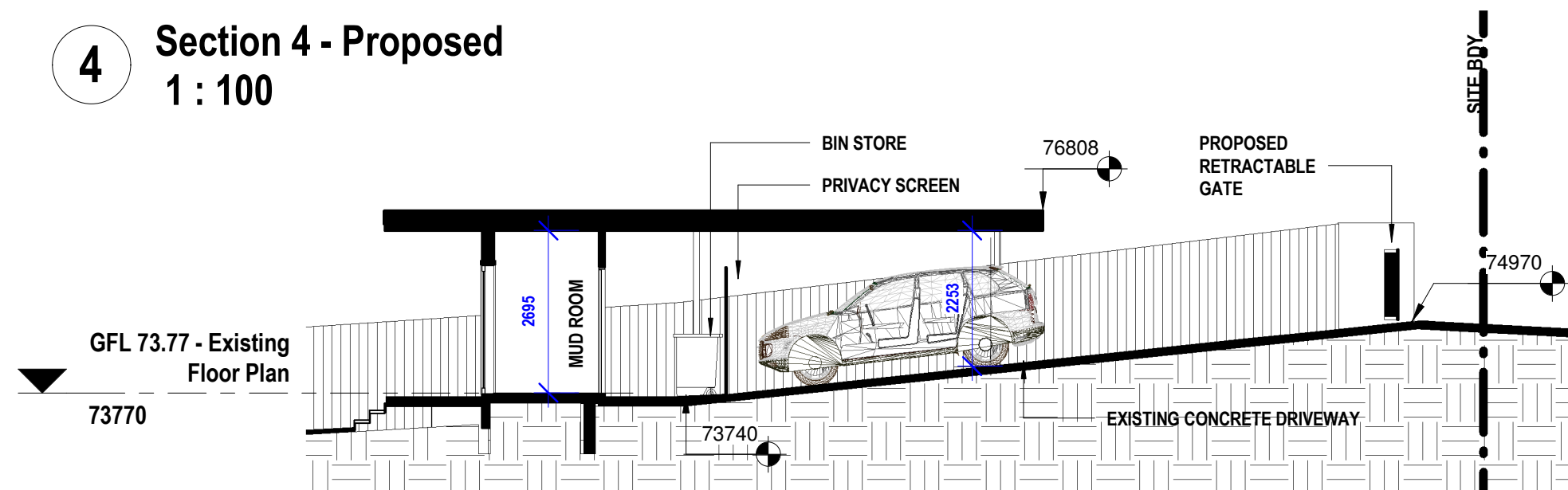
| | | |
|----------------|---------|---------|
| Project number | 19-62 | A111 |
| Date | 18-2-20 | |
| Drawn by | KP | |
| Checked by | JD | |
| Scale | | 1 : 100 |



"REFER TO GENERAL NOTES SHEET A000"



4 Section 4 - Proposed
1 : 100



5 Section 5 - Driveway
1 : 100

Cad Draft P/L

ABN 27 083 288 153
SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

PH: 9555 8545

info@caddraftnsw.com.au

[illegible]

**DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA**

Proposed Sections 4 + 5

| | | |
|----------------|---------|---------------|
| Project number | 19-62 | A112 |
| Date | 18-2-20 | |
| Drawn by | KP | |
| Checked by | JD | |
| | | Scale 1 : 100 |

A112

1 : 100



DENOTES WALLS TO REMAIN

DENOTES NEW WALLS.

FOOTINGS, FLOORS AND ROOFS

RENDER & PAINT EXISTING BRICKWORK

R+P

EX W-B
319
SITE BDY

Gar FL 72.57
72570

Gar FL 72.57
72570

10/03/2020 4:53:03 PM

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

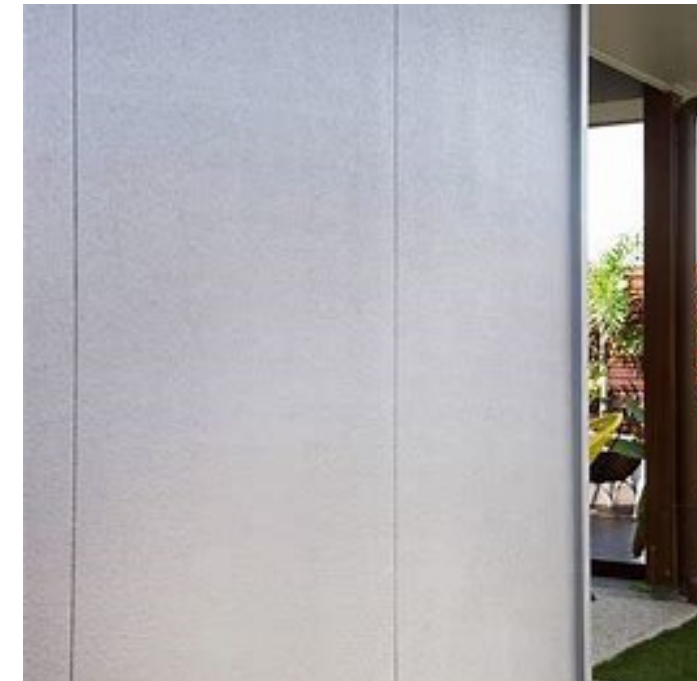
DA2020/0266



**R1 ROOFING-WOODLAND GREY
TO REPLACE EXISTING ROOF**



**R2 ROOFING-CLIPLOCK FOR
ALL NEW ROOFING**



**F1 FC SHEETING TO REAR
UPPER LEVEL(MIN BAL RATING 40)**



R+P RENDER AND PAINT COLOUR



**C1 CLADDING ON FRONT SECTION
(NON TIMBER - MODWOOD OR FC MIN.BAL RATING 40)**



GD GLASS DOORS



GB GLASS BALUSTRADE

Cad Draft P/L

ABN 27 083 288 153
SUITE 4, 670 DARLING STREET,
ROZELLE, NSW
P.O BOX 446 GLADESVILLE 2111

PH: 9555 8545

info@caddraftnsw.com.au

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DA - APPLICATION
No.3 DRUMCLIFF AVE
KILLARNEY HEIGHTS
SEC.2 LOT 74 DP 758566
CLIENT: ANDREW SJOQUIST +
JASMINE KOSTA

External Materials Board

| | |
|----------------|---------|
| Project number | 19-62 |
| Date | 18-2-20 |
| Drawn by | KP |
| Checked by | JD |

Scale

A114