

STATEMENT OF ENVIRONMENTAL EFFECTS

PROJECT
CONSTRUCTION OF
A SECONDARY DWELLING

PROPERTY
11 COOLAWIN ROAD
AVALON BEACH

CLIENT
ROSS BUTLER
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JOB NO 21-101

DATED 5 April 2022

1.0 INTRODUCTION

The purpose of this submission is to enlighten Council on some of the thoughts behind the design development of the proposed secondary dwelling the proprietors wish to construct on the property at 11 Coolawin Road, Avalon Beach.

This statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed.

This presentation also outlines the design mechanisms implemented to ensure that the impact of the proposal on the adjoining amenity is lessened.

As a result of this assessment, it is concluded that the development of the site in the manner proposed is has been designed in a way which meets Council's planning objectives and contributes to the design and landscape character of the area and is therefore worthy of the support from Council.

It should be noted that DA 124/16 was approved on the 28th June 2016 for a secondary dwelling on this site. The revised architectural design was commissioned by the current owners of 11 Coolawin Road to improve the contribution of the secondary dwelling to the streetscapes of both Palmgrove Road and Coolawin Road as well as adjusting the design to better accommodate the recently completed significant renovation to the adjoining property at number 9 Coolawin Road from a design perspective.

The revised design has been conceived to sit effectively in the landscape and to present a higher architectural quality than the approved secondary dwelling. Indeed, the purpose of the redesign has been to create a small dwelling which architecturally merges the development at number 9 Coolawin Road and the existing house on the subject site while retaining (and building) on the landscape character of the corner.

2.0 THE SITE AND EXISTING BUILDING

The property is located at 11 Coolawin Road, Avalon Beach Lot 2 DP 734942. The block of land is approximately 982.1sqm in site area, faces south on Palmgrove Road. The site slopes down towards the front boundary and is zoned C4 Environmental Living under the Pittwater Local Environmental Plan 2014. The site proposed for the development is of irregular shape and has an average slope of approximately 20% towards Palmgrove Road.

A two-storey dwelling exists on the property. There is a vehicle crossing on Palmgrove Road and a driveway runs along the eastern boundary.



Image 1: Existing dwelling at 11 Coolawin Road, Avalon Beach



Image 2: Survey Plan

3.0 EXISTING STREETScape

The general vicinity of the site is characterised by large scale residential dwellings with a variety of architectural styles. The surrounding dwellings comprise a mix of single and two storey dwellings.

To the immediate North of the subject property, at 9 Coolawin Road, Avalon Beach, a two-storey dwelling exists. The construction on this site is recently completed, it is very substantial and includes a two-storey element that has a “Hamptons” style.



Image 3: A two-storey dwelling at 9 Coolawin Road, Avalon Beach

To the immediate Northeast of the subject property, at 2 The Knoll, a single-storey dwelling exists. Refer to the image 5.



Image 4: A single storey dwelling at 2 The Knoll

Across the road of the subject property, at 7 and 8 The Knoll, two-storey dwellings exist. Refer to image 6.



Image 5: 7 and 8 The Knoll

Across the road of the subject property on the opposite side of Coolawin Road, at 52 Palmgrove Road, a large scale attached dual occupancy exists.



Image 6: 52 Palmgrove Road

The remainder streetscape of The Knoll, Coolawin Road and Palmgrove Road is an amalgamation of one and two- storey dwellings in a wide range of architectural styles, character, materials, finishes, bulk and scale.



Image 7. Streetscape of The Knoll



Image 8. Streetscape of Palmgrove Road

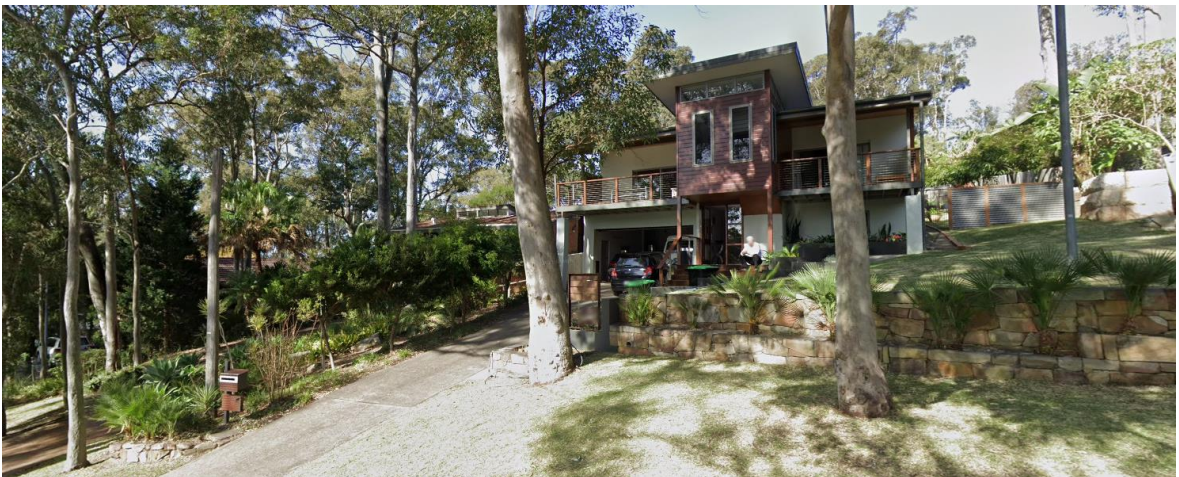


Image 9. Streetscape of Coolawin Road

4.0 THE PROPOSAL

The proprietors of 11 Coolawin Road, Avalon Beach, requested RK Designs to design a secondary dwelling that will cater to and complement two families' needs and lifestyles. We believe that this was adequately carried out in our proposal before Council.

The building adopts a modern Australian architectural style by responding to the physical and landscape nature of the site and the built form around it. By doing this, the building and its setting will have a level of architectural design and finish which meets – and in many ways exceeds – the contribution of other buildings to the streetscape and landscape amenity.

The design works explicitly to;

- Locate the dwelling to protect protected trees
- Form an architectural "link" between the large dwelling on number 9 Coolawin located to the north of the proposed dwelling and the existing house on number 11 and respect the general architectural form of Coolawin Road and Palmgrove. This has been achieved by adopting a modern style and the use of contemporary materials and also setting the FFL so that it is higher than the house on the northern side of the site. This respects the general form of Coolawin Road, where houses on the higher side of higher FFLs achieves the same design outcomes (improve solar access and access to summer breeze while addressing privacy and overlooking)
- Reducing excavation and impacts on natural drainage
- Optimizing passive solar access to the dwelling
- Positioning and designing the house to optimize through flow breeze, particularly of the north-east sea breeze which dominates in summer
- Protecting the privacy of neighbours.

The proposed dwelling is similar to the approved dwelling; however, the design orientates the main living areas and kitchen towards the Coolawin frontage and adopts a higher standard of design and materials. However, this is substantially more expensive than building a simple structure like the approved secondary dwelling. The proposed design form is a modern take on Australian vernacular architecture exemplified by being up off the ground on columns with deep overhanging skillion roofs for protection from sun and rain.

Privacy:

A new entry foyer was created to give the secondary dwelling a sense of intimacy. There is a shared open space between the primary and secondary dwellings to enjoy outdoor activities between two families. Further, the privacy issue can be resolved through the positioning of openings. Openings of the proposed secondary dwelling do not overlook existing openings of surrounding buildings (2 The Knoll, 9 Coolawin Road and primary residence). Also, the secondary dwelling is placed with the required setbacks to achieve high privacy and tranquility of residents.

Amenity:

To increase the amenity, habitable areas, including living, kitchen and dining, are placed towards North and West. North and West facing openings allow the space to penetrate daylight and cross ventilation into the building. The simple open plan of the secondary dwelling generates a compact yet pleasant space for users. Openings towards the garden will enable both visual and physical interaction between indoor and outdoor living and entertaining. A large garden curtilage and courtyard will provide a landscaped setting as well as privacy of neighbours and the granny flat occupants from Coolawin and Palmgrove Roads.

Context consideration:

The form and finishes of the proposed secondary dwelling also reflect the surrounding characteristics of the existing streetscape. It had adopted the architectural style of a double skillion roof with a similar colour tone to the surrounding. The design solution to hide the undercroft of the deck from the street also positively give back to the streetscape. Furthermore, a secondary dwelling will also satisfy affordable rental housing with high amenities for residents.

5.0 COMPLIANCE WITH THE PITTWATER DCP 21 AND PITTWATER LOCAL ENVIRONMENTAL PLAN 2014

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

PITTWATER LOCAL ENVIRONMENTAL PLAN 2014

Zone C4: Environmental Living

1. Objectives of zone

- To provide for low-impact residential development in areas with special ecological, scientific or aesthetic values.
- To ensure that residential development does not have an adverse effect on those values.
- To provide for residential development of a low density and scale integrated with the landform and landscape.
- To encourage development that retains and enhances riparian and foreshore vegetation and wildlife corridors.

2. Permitted without consent

Home businesses; Home occupations

3. Permitted with consent

Bed and breakfast accommodation; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Environmental protection works; Group homes; Health consulting rooms; Home-based child care; Home industries; Jetties; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Respite Day care centres; Roads; **Secondary dwellings**; Tank-based aquaculture; Water recreation structures

4. Prohibited

Industries; Service stations; Warehouse or distribution centres; Any other development not specified in item 2 or 3

Therefore, the development is permissible with a consent.

5.1 FLOOR AREA

The requirements of the Northern Beaches Council, Pittwater Development Control Plan and the subject proposal's compliance with the Development Control Plan are outlined as follows.

Part 5 clause 5.4 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

(9) Secondary dwellings on land other than land in a rural zone If development for the purposes of a secondary dwelling is permitted under this plan on land other than land in a rural zone, the total floor area of the dwelling, excluding any area used for parking, must not exceed whichever of the following is the greater:

- (a) 60 square metres,
- (b) 25% of the total floor area of the principal dwelling.

Comment:

SITE AREA = 982.1 sqm

Total floor area of the principal dwelling = 303.6 sqm

25% of total floor area of the principal dwelling = 76 sqm

total floor area of the secondary dwelling = 59.6sqm

Therefore, the proposal complies with the controls. Refer to the Area Calculations Sheet.

5.2 BUILDING HEIGHT

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014:

Part 4 clause 4.3 (2FA) and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

Allowable height - 5.5 metres to the highest point of the roof.

Proposed height - 5.5 metres maximum to the highest point of the roof.

The proposed building is one storey in height with 3 and 10 degrees pitched double skillion roof.

Therefore, the proposal complies with the requirements. Refer to the architectural drawings.

5.3 ACID SULFATE SOILS

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014, **Clause 7.1** and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

The site has been identified on the Acid Sulfate Soils Map as being with the Class 5 Acid Sulfate Soils Area. The proposal will not see any substantial disturbance of the site to accommodate the secondary dwelling and accordingly no further investigation is deemed necessary in this instance.

5.4 GEOTECHNICAL HAZARDS

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014, **Clause 7.7** and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

The site is identified as Hazard H1 on Council's Geotechnical Hazard Map. Accordingly, a Geotechnical Investigation has been prepared by White Geotechnical Group. The proposal will be carried out in accordance with the recommendations of this report along with the arborist report so as to find the best design solution which meets both the geotech and landscape considerations presented by the site

5.5 BIODIVERSITY

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014, **Clause 7.6** and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

The proposed development is a minor development that does not affect visual significance of district or diminish the biodiversity structure of the land. The proposal does not impose on the site or surrounding sites as it has no impact on the natural inhabitants of the area. Therefore, the proposal complies with the requirements

PITTWATER 21 DEVELOPMENT CONTROL PLAN GENERAL CONTROLS

5.6 OFF-STREET VEHICLE PARKING

B6.3 The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows.

For a Secondary Dwelling a minimum of 1 space is required in addition to existing requirement for the principal dwelling (based on number of bedrooms in principal dwelling).

Comment:

The proposal presently before Council has addressed the requirements for the vehicle access and parking.

The existing garage within the main dwelling can accommodate 1 car space. In addition, the driveway from Palmgrove Road is capable to accommodate two car spaces with a minimum dimension of 3.0m x 6.0m in accordance with Pittwater 21 DCP as per the existing situation. Refer to the image below.



Image 10: Car access from Palmgrove Road.

5.7 SECONDARY DWELLINGS AND RURAL WORKER'S DWELLINGS:

C1:11 The requirements of Northern Beaches Council, Pittwater Development Control Plan 2014, compliance with the Development Control Plan are as follows:

Controls:

The development of a secondary dwelling or rural worker's dwelling will result in not more than two dwellings being erected on an allotment of land.

Comment/ there are only two dwellings on the land. (Refer to the site plan)

A secondary dwelling or rural worker's dwelling contains not more than two bedrooms and not more than one bathroom.

Comment/ there are only two bedrooms and one bathroom for the proposed secondary dwelling. (Refer to the architectural drawings)

A landscaping strip of 1.5m minimum width shall be provided along the side boundary where any driveway is located adjacent to an existing dwelling.

Comment/ N/A

Where the secondary dwelling or rural worker's dwelling is separate from the principal dwelling, only one storey will be allowed.

Comment/ the secondary dwelling is a single storey structure.

Where the secondary dwelling or rural worker's dwelling is located within, or is attached to the principal dwelling, the maximum building is to be in accordance with the height controls contained within Pittwater Local Environmental Plan 2014.

Comment/ the development complies with the height limit as per PLEP (refer to section 5.2)

A secondary dwelling above a detached garage is not supported.

Comment/ N/A

Therefore, the proposal complies with the requirements of the Development Control Plan

PITTWATER 21 DEVELOPMENT CONTROL PLAN, AVALON BEACH LOCALITY

5.8 CHARACTER AS VIEWED FROM A PUBLIC PLACE:

D:1.1 The requirements of Northern Beaches Council, Pittwater Development Control Plan 2014, compliance with the Development Control Plan are as follows:

Controls:

- The control seeks to achieve the outcomes:
- To achieve the desired future character of the Locality.
To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing built and natural environment.
- To enhance the existing streetscapes and promote a scale and density that is in keeping with the height of the natural environment.
- The visual impact of the built form is secondary to landscaping and vegetation, or in commercial areas and the like, is softened by landscaping and vegetation.
- High quality buildings designed and built for the natural context and any natural hazards.
- Buildings do not dominate the streetscape and are at 'human scale'.
- To preserve and enhance district and local views which reinforce and protect the Pittwater's natural context.

Comment:

The required controls to achieve the outcomes are to ensure that the building form maintains a compatibility with the locality through appropriate design relief and is secondary to the landscaping of the site.

The bulk and scale of the proposed development will have negligible (if any) impacts on adjoining properties. The proposed development is consistent with the various new or altered developments in the area and will bring the secondary dwelling in line with the quality and architecture of some of the newer dwellings in the street, thus enhancing the existing streetscape and visual character of the area.

The generous front and side setbacks will also protect the landscape amenity of the site and the Coolawin/Palmgrove corner. A landscape plan has been prepared which creates an integrated design response to the overall site and its contribution to the Coolawin Road and Palmgrove Road streetscapes.

5.9 BUILDING COLOURS AND MATERIALS

D1.5 The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows.

- The development enhances the visual quality and identity of the streetscape.
- To provide attractive building facades which establish identity and contribute to the streetscape.
- To ensure building colours and materials compliments and enhances the visual character its location with the natural landscapes of Pittwater.
- The colours and materials of the development harmonise with the natural environment.
- The visual prominence of the development is minimised.
- Damage to existing native vegetation and habitat is minimised.
- An informal beachside appearance of the Avalon Beach Village.

Controls

External colours and materials shall be dark and earthy tones as shown below:



White, light coloured, red or orange roofs and walls are not permitted:



The proposed colours and finishes have been selected to complement existing works and the characteristics of the neighbourhood.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Finishes Schedule.

5.10 BUILDING SETBACKS AND SIDE BOUNDARY ENVELOPE

D1.8 AND D1.9 The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows.

Required setbacks

Primary Front	-	6.5 metres
Primary Side	-	2.5 metres
Secondary Side	-	1.0 metres
Rear	-	6.5 metres

Proposed setbacks

Primary Front	-	3.25 metres
Primary Side	-	26.1 metres
Secondary Side	-	1.0 metres
Rear	-	N/A

The proposal does not comply with the rear setback requirement of the Development Control Plan. Refer to 5.11 Variation of the proposal.

5.11 VARIATION OF THE PROPOSAL

Outcome:

- To achieve the desired future character of the Locality.
- The amenity of residential development adjoining a main road is maintained.
- Vegetation is retained and enhanced to visually reduce the built form.
- Vehicle manoeuvring in a forward direction is facilitated.
- To encourage attractive street frontages and improve pedestrian amenity.
- To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing urban environment.

The varied proposal is in keeping within the characteristics of the existing locality. Trees are retained and enhanced visually to reduce the built form as per the arboricultural report. Visual continuity and pattern of buildings and landscape elements are maintained. The visual quality of the streetscape and public spaces is protected.

There is sufficient vehicle maneuvering area in a forward direction to be facilitated. The proposal considered a design solution to encourage attractive street frontage and improve pedestrian amenity. The new development responds and reinforces sensitively relating to the existing environment.

The majority of the building conforms to Council setback requirements. However, there is a non-compliance to the front setback. We have proposed a 3.25 metre front setback. The varied front setback does not increase the bulk and scale of the building, nor does it contribute to an adverse impact in the creation of shadows on the adjoining properties. The proposed variation will be consistent with the zone's objectives and the development standards that are being varied.

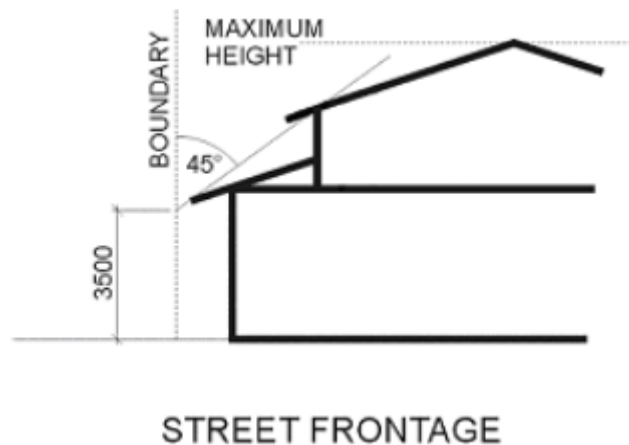
We ask that Council take into consideration the existing approved secondary dwelling. The secondary dwelling footprint was approved to be approximately 1 metre from Palmgrove Road (Refer to image 11). The proposed design has been adjusted to increase this substantially. This means, the wall facing Palmgrove will now sit further to the back at 3.25 metre setback.

The substantial work has been invested into the design and placement of the proposed dwelling to increase Palmgrove Road setback while also ensuring the other design considerations such as privacy, solar access and streetscape, are well addressed. The elevation will be obscured from Palmgrove due to the angles as well as the vegetation. This is a far superior design outcome to the existing approved secondary dwelling

5.12 BUILDING ENVELOPE

D1.11 The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows:

Buildings are to be sited within the following envelope:



Comment:

The proposed building is one storey in height with 3 and 10 degrees pitched double skillion roof.

The proposal is located well below the height of trees in the natural environment, minimises bulk and scale through a well-articulated built form and provides generous amounts of landscaping throughout to visually reduce the built form when viewed from the public and private domain.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Architectural Drawings.

5.13 LANDSCAPED AREA

D1:14 The requirements of the Northern Beaches Council, Pittwater Development Control Plan and the subject proposal's compliance with the Development Control Plan are outlined as follows.

SITE AREA = 982.1 sqm

LANDSCAPED AREA

Required Landscaping = 60 % of Site Area = 589.26sqm

Proposed Landscaped area = 608.9sqm

Proposed Landscaped area as % of Site Area = 62%.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Area Calculation Sheet.

Existing trees and vegetation are confined mainly to the northern and south-western boundaries of the site. One native tree between Coolawin Road frontage and the proposed dwelling is within 5 metres of the works. The house's structure has been specifically designed to be steel pylons, thereby minimising the number and size of supporting structures and providing flexibility in location to ensure necessary protections are afforded this tree. The environmental issue has been addressed explicitly in the accompanying Arborist Report.

Another eucalypt tree is located around 8 meters from the house. Landscaping on the remainder of the proposed development site consists of two palm trees retained in-situ and two frangipani trees relocated to form part of the proposed landscaping. The dwelling has been designed to "address" Coolawin Road; otherwise, this significant elevation would comprise the house's back.

6.0 OTHER REQUIREMENTS

The proposal presently before Council has also addressed other requirements such as energy efficiency and sustainability, site/waste management, soil, water and waste management, site analysis and context, streetscape, car parking, materials and finishes, landscaping, erosion and sediment control, drainage, landscaping and the like have also been addressed in detail in this development application.

As a result, the proposal complies with the Development Control Plan requirements for all of these items.

7.0 CONCLUSION

We, therefore, present before Council, a proposal that combines Council codes and regulations and the principles of these codes and regulations with our client's requirements and, at the same time, is in context with its surroundings.

We would appreciate Council reviewing all of the matters and providing the proprietors with feedback that will enable them to proceed with the preparation of the Development Application submission to Council.

We await your positive reply on this proposal and, in anticipation of your assistance, we wish to thank you on behalf of the proprietors for your efforts.

Should you require any further information, please do not hesitate to contact our office.

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