

Sediment and Erosion control fences:
The Builder shall supply and fix all sediment and erosion control fences, as required by Council prior to any excavation works

SEDIMENT FENCE
F1 Provide sediment fence on down slope boundary as shown on plan.
F2 Geotextile fabric to be buried 200 mm below ground at the lower edge.

Overlap
Drive post a minimum of 600 into the ground
3000 Max
600-1200
Runoff
Geotextile fabric

Stakes driven 600 mm 600 into the ground with the first stake angle towards the previously laid bale
Geotextile filter fabric fasten on top edge
Strawbale & geotextile sediment fence
Disturbed Area
Runoff
Undisturbed Area
F3 Drainage area is 0.5 HA with a maximum slope gradient 1:2 maximum and a maximum slope length of 50 m.

SITE RATIO'S - EXISTING:

SITE AREA	961.1m ²
SITE AREA LESS ACCESS HANDLE	813.1m ²
BUILDING FOOTPRINT	172m ²
GARAGE FOOTPRINT	36.5m ²
DRIVEWAY	65m ²
COURTYARD	48m ²
DECK	36m ²
PAVED AREAS	36m ²
POOL SURROUNDS	67m ²
AREAS UNDER 2m WIDE	33.5m ²
SUM TOTAL	493m ²
EXISTING LANDSCAPED AREA	320.1m ² 39.3%

SITE RATIO'S - PROPOSED:

SITE AREA	961.1m ²
SITE AREA LESS ACCESS HANDLE	813.1m ²
BUILDING FOOTPRINT	192.5m ²
GARAGE FOOTPRINT	36.5m ²
DRIVEWAY	65m ²
COURTYARD	48m ²
DECK	26m ²
PAVED AREAS	22m ²
POOL SURROUNDS	57m ²
AREAS UNDER 2m WIDE	35m ²
SUM TOTAL	482m ²
PROPOSED LANDSCAPED AREA	331.1m ² 40.7%

- LEGEND**
- +26.23 Denotes spot height.
 - +25.37 TK Denotes height on top of kerb.
 - T-0.2/5/4 Denotes tree-diameter/spread/height.
 - Denotes overhead power wires.
 - Denotes Sydney Water Sewer.
 - (Plotted approx vide DBYD Sequence No.69266494)
 - Denotes flow direction of roof waters.
 - Denotes ridge and levels.
 - Denotes gutter and levels.
 - Denotes level on top of Brick Wall.
 - Denotes window and levels.

- ENCUMBRANCES NOTED ON TITLE FOLIO 83/239216**
1. LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANTS
 2. APPURTENANT EASEMENT TO DRAIN WATER (D.P.536625)
 3. RESTRICTIONS ON THE USE OF LAND (D.P.239216)
 4. EASEMENT TO DRAIN WATER (D.P.239216)
 5. EXCEPTING LAND BELOW A DEPTH FROM THE SURFACE OF 15.24 METRES

STORMWATER NOTE:
Stormwater is to be connected to the existing drainage system which drains to the rear of the property

Modification - 4.55(1A)
Change entry walkway roof to pitched roof instead of the D.A. 2018/1449 approved flat roof

NOTES:
All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.

Finished ground levels on the plan are subject to the site conditions.

Do not scale from drawings. Figured dimensions to be given preference over scale. All figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

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- BASIX INFORMATION REQUIREMENTS:**
- LIGHTING:**
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps
- WATER COMMITMENTS:**
Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating
- HOT WATER SYSTEM:**
The existing hot water system shall remain
- INSULATION REQUIREMENTS:**
Concrete slab on ground: Nil
Floor above existing dwelling or building: Nil
External walls: The external walls shall meet minimum R 1.70 (including construction)
Ceilings: The new ceilings shall meet minimum R 2.50 (up)
Roof: The roof shall have a foil / sarking and be of dark colour (solar absorption > 0.70)
- WINDOWS & GLAZED DOORS:**
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.
Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.
Shading devices: Shading devices shall be installed in accordance with the Basix certificate
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate
- SKYLIGHTS:**
All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.
All new skylights shall meet the requirements of the Basix certificate

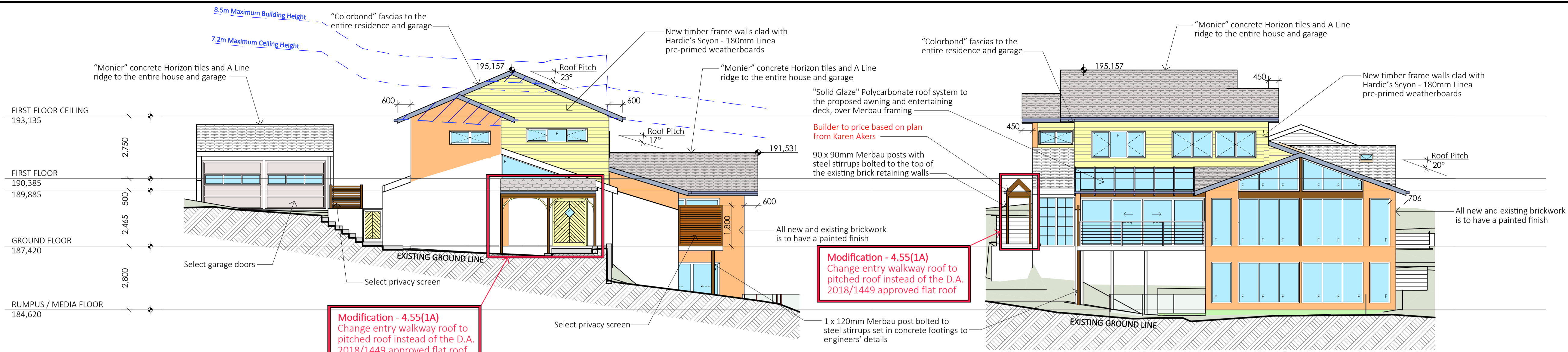
Modification - 4.55(1A)
Change entry walkway roof to pitched roof instead of the D.A. 2018/1449 approved flat roof and W18 change

LIFESTYLE HOME DESIGNS
LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client
MR & MRS STRIZIC
Project Name
Alterations & Additions
4 TALLARA PLACE
LOT 83, D.P. 239216
TERRY HILLS N.S.W. 2084

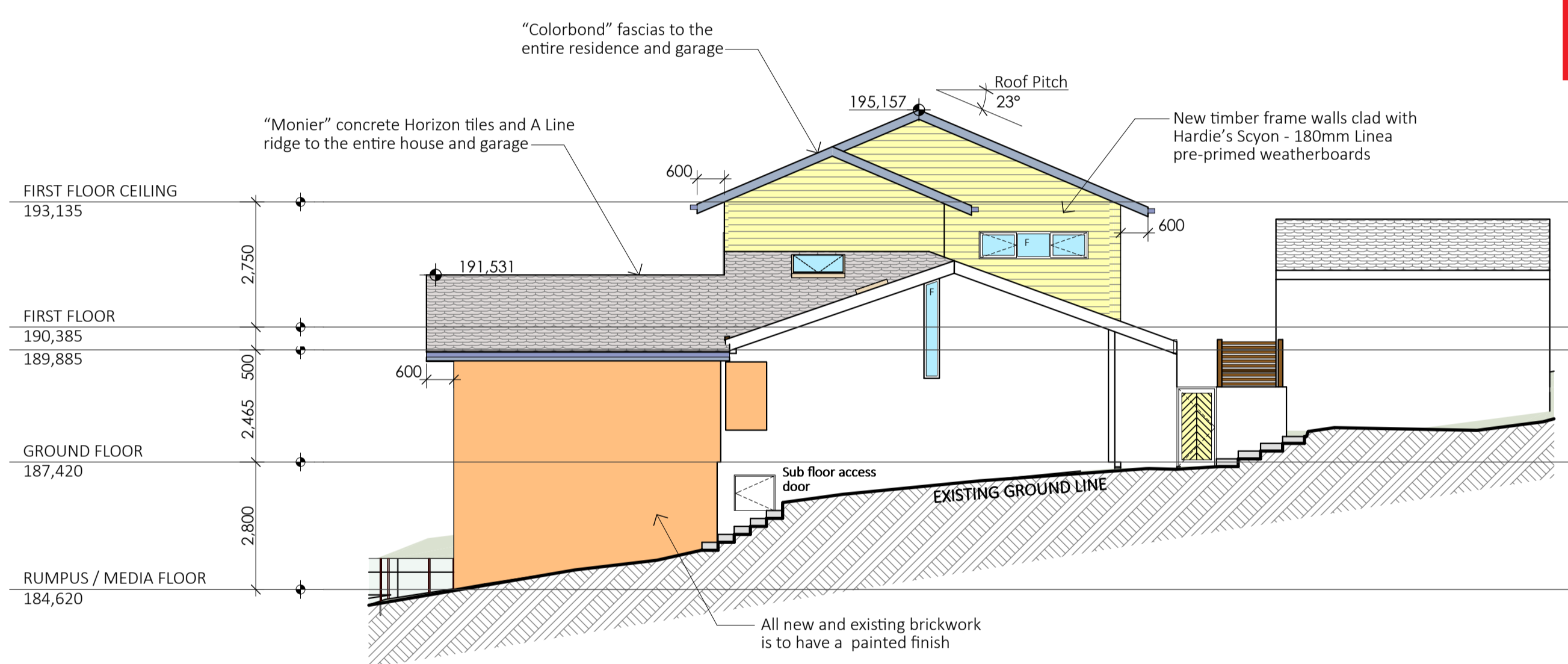
Drawing Title:
SITE PLAN

Scale: 1:100 (A1)	Date: APRIL 2019
Council: NORTHERN BEACHES	Checked By: J. Adams
Project No: 1719	Drawing No.: DA 01
ANNEXURE "A"	Plot Date: 8/07/2019

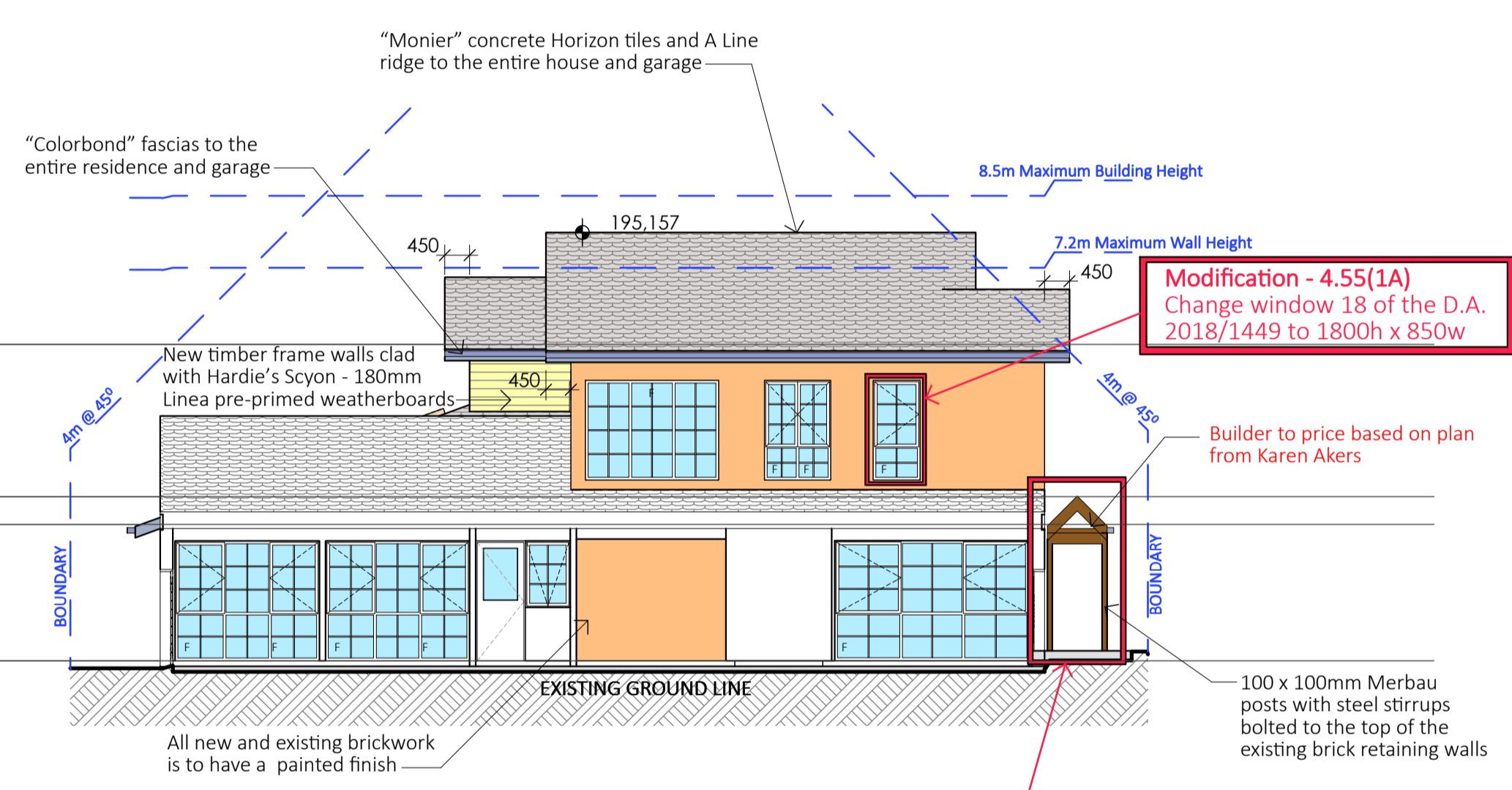


1 EAST ELEVATION 1:100

2 NORTH ELEVATION 1:100



3 WEST ELEVATION 1:100



4 SOUTH ELEVATION 1:100

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2019/0333

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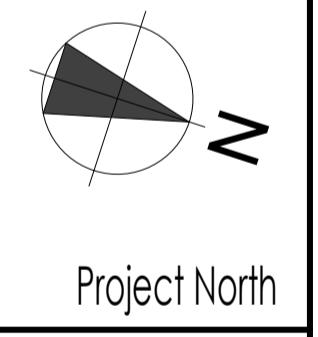
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Client
MR & MRS STRIZIC
Project Name
Alterations & Additions
4 TALLARA PLACE
LOT 83, D.P. 239216
TERRY HILLS N.S.W. 2084

Drawing Title: ELEVATIONS & SECTIONS			
Scale:	1:100 (A1)	Date:	APRIL 2019
Council:	NORTHERN BEACHES	Checked By:	J. Adams
Project No:	1719	Drawing No.:	DA 04
ANNEXURE "A"		Plot Date:	8/07/2019