



# NEWPORT MARINA AND RESIDENTIAL DEVELOPMENT

122-128 CRESCENT RD & 55-57 THE AVENUE  
DP210342, DP503390, DP545339 & DP556902  
ESSEX DEVELOP

## SUBDIVISION DEVELOPMENT APPLICATION 20220005: DRAWING LIST

### DRAWING LIST

NUMBER	SHEET NAME
AD-DA900	COVER PAGE
AD-DA901	LOCATION PLAN
AD-DA902	DEMOLITION PLAN
AD-DA903	ARCHITECTURAL ENVELOPE PLAN
AD-DA904	ARCHITECTURAL ENVELOPE SECTIONS
AD-DA905	SUBDIVISION PLAN
AD-DA906	OVERLAY DEMO & NEW
AD-DA910	DEMOLITION WASTE MANAGEMENT PLAN
AD-DA911	3D ENVELOPE DIAGRAM
AD-DA912	LANDSCAPE PRINCIPLES FOR LOT LAYOUTS

### GENERAL NOTES

1. DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. IF IN DOUBT OBTAIN WRITTEN ADVICE FROM SCOTT CARVER OR WHERE APPLICABLE VIA THE PRINCIPAL'S REPRESENTATIVE
2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE MINIMUM SETTING OUT REQUIREMENTS
3. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORKS. NOTIFY THE PRINCIPALS REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES
4. ALL ARCHITECTURAL DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT CONTRACTS, ARCHITECTURAL REPORTS, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION
5. ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE INCLUDING RELEVANT AUSTRALIAN STANDARDS AND REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION
6. DESIGN DRAWINGS ARE BASED ON SURVEY INFORMATION. PRIOR TO DETAILED DESIGN AND CONSTRUCTION, THE CONTRACTOR IS TO UNDERTAKE A FULL SURVEY TO VERIFY ALL DIMENSIONS AND CONFIRM LOCATION OF EXISTING STRUCTURE, SERVICES, BUILDING FABRIC AND SITE FEATURES.
7. ANY CONSULTANT DRAWING INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS ARE SUBJECT TO LATEST REQUIREMENT AND ARE TO BE USED AS A GUIDE ONLY
8. ALL WALL AND ROOF CONSTRUCTION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE ACCOMPANYING BASIX CERTIFICATION AND BCA CLASS 1A.

SURVEY PLAN:  
BY BOXALL SURVEYORS



[Status] PRELIMINARY

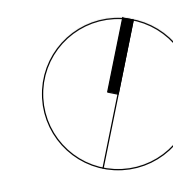
[Nom. Architect] DOUG SOUTHWELL /7362

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History

[Rev#]	[Description]	[Date]dd.mm.yy
1	SUBDIVISION DA	07.06.2022
2	SUBDIVISION DA	12.07.2022
3	REVISED SUBDIVISION DA	06.10.2023
4	REVISED SUBDIVISION DA	24.10.2023





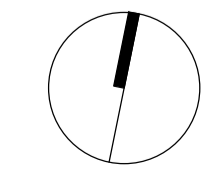
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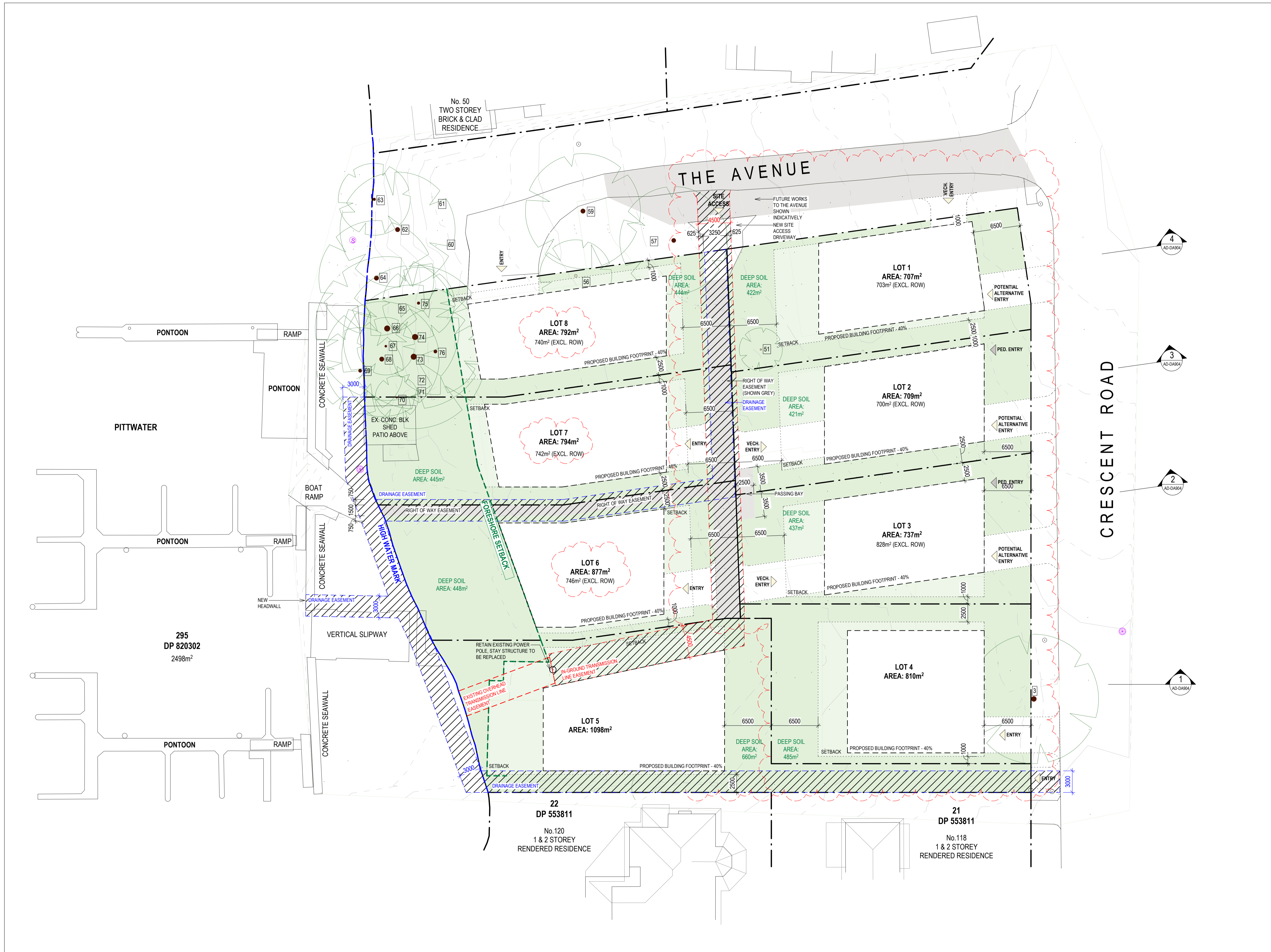
- BOUNDARY LINE
- - - DEMOLITION
- HIGH WATER MARK
- - - FORESHORE SETBACK
- 01 TREE TO REMAIN
- 02 TREE TO BE DEMOLISHED

FOR DETAILED ARBORIST REPORT REFER TO REPORT 6322 BY RAINTREE CONSULTING - DATED 25.05.2022

EXISTING EASEMENTS  
 A. TRANSMISSION LINE  
 B. RIGHT OF CARRIAGEWAY  
 C. DRAIN WATER (1.83M WIDE)

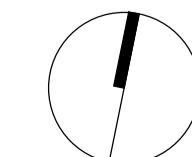
BASED ON SURVEY BY BOXALL DATED 05.05.2022 - DRAWING NO. 11369-001-A





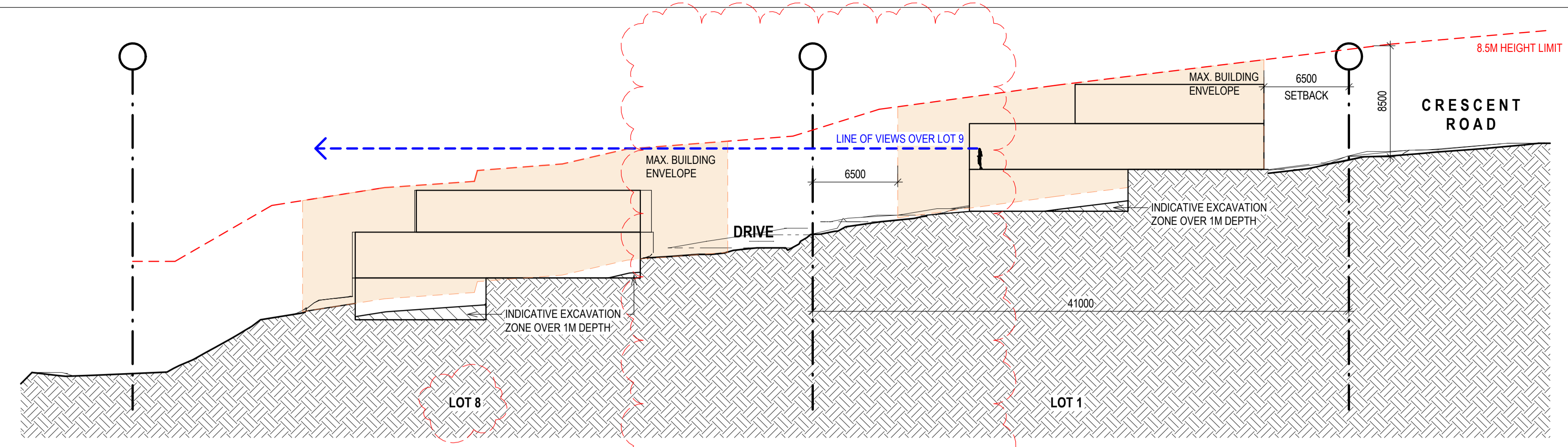
**NOTE**  
 ALL HOUSE FOOTPRINTS  
 CAN ACHIEVE MIN BUILDING  
 AREA OF 175M² AS PER B2.2

- LEGEND**
- BOUNDARY LINE
  - - - HIGH WATER MARK
  - - - FORESHORE SETBACK
  - ▭ RIGHT OF WAY
  - ▨ DRAINAGE EASEMENTS  
REFER TO SITESWORKS AND  
DRAINAGE PLAN FROM BG&E
  - ▨ UNDERGROUND CABLE EASEMENT  
REFER TO PROPOSED UNDERGROUND  
SERVICES PLAN FROM IGS
  - [ - - ] INDICATIVE BUILDING FOOTPRINT  
SUBJECT TO FUTURE DWELLING DA
  - ▭ INDICATIVE LANDSCAPED AREA
  - ▭ BUILDING SETBACK
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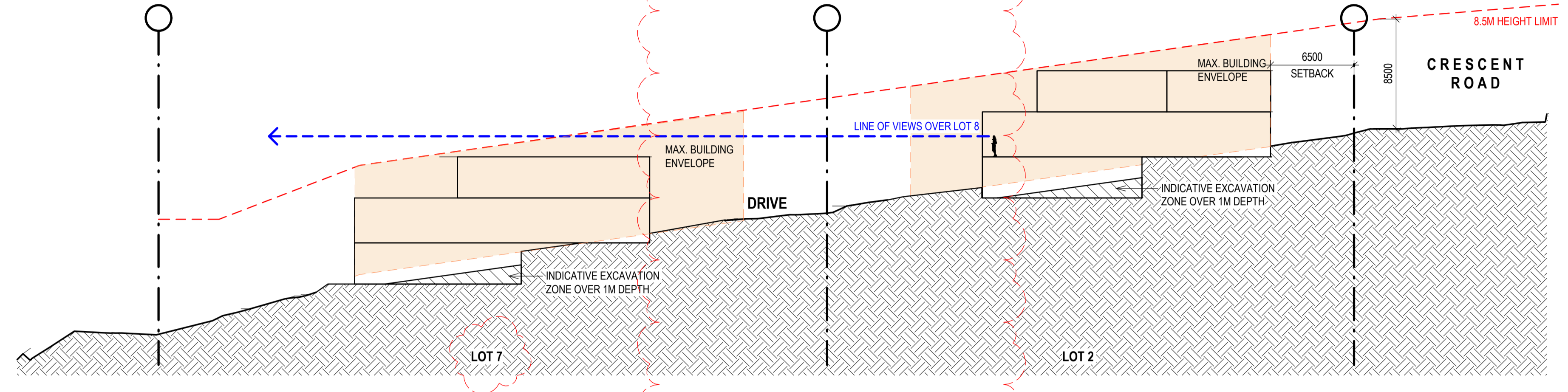


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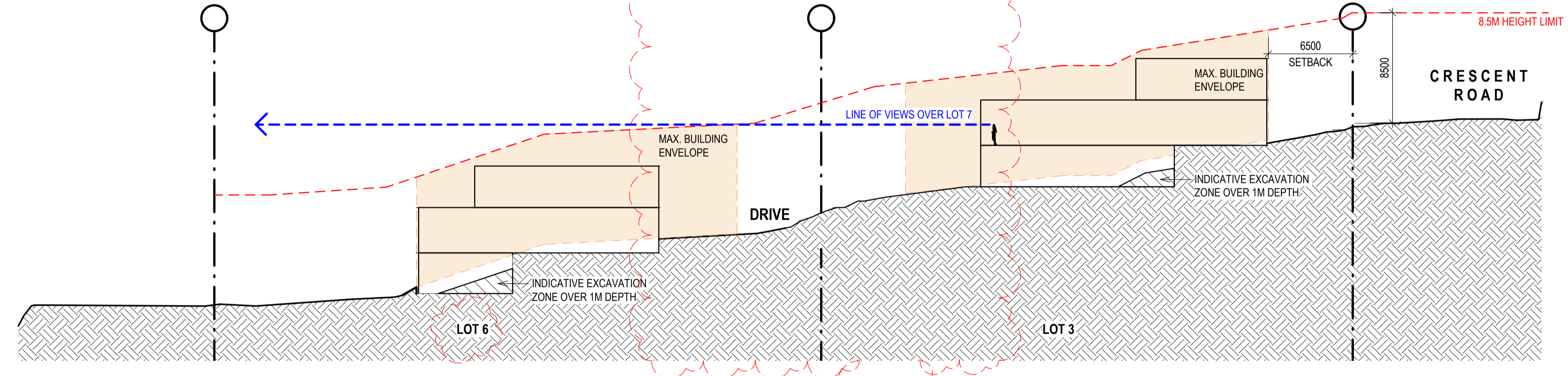
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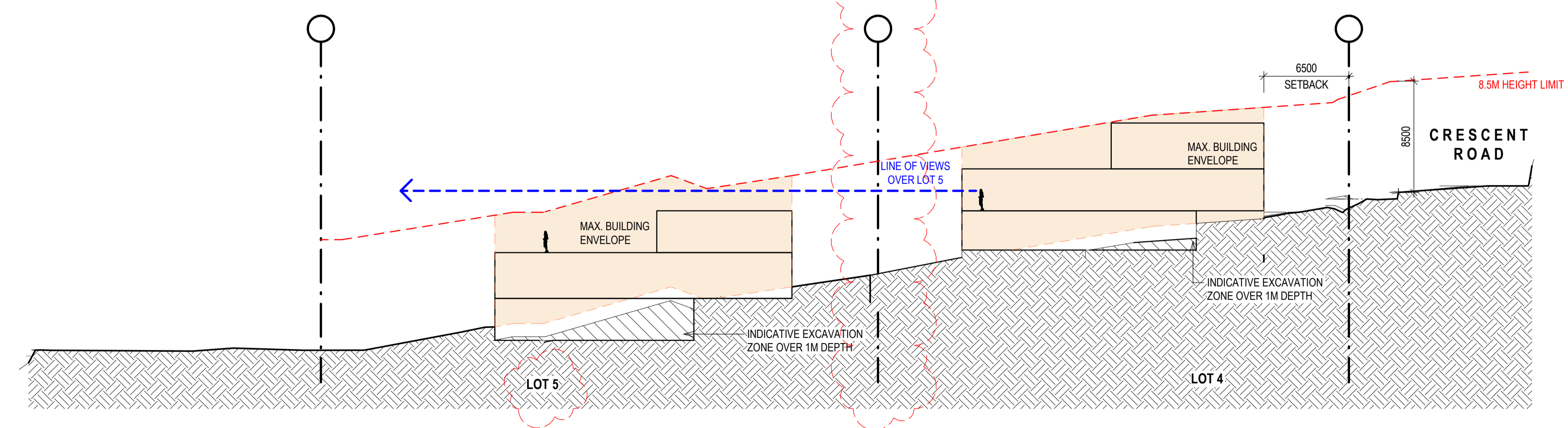
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2 SECTION 2  
1 : 250



1 SECTION 1  
1 : 250



**LEGEND**

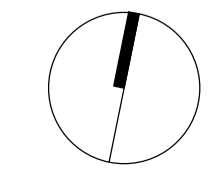
- MAX. BUILDING ENVELOPE
- PERMISSIBLE BUILDING MASS. INDICATIVE ABOVE GROUND AREA
- DEMONSTRATES WHAT FLOOR AREA CAN BE ACHIEVED WITH SIMPLE MASSING FLOOR PLATES. THIS DOES NOT INDICATE FINAL SIZE OF DWELLING, A DESIGN EXERCISE FOR EACH LOT WILL NEED TO BE UNDERTAKEN TO DETERMINE COMPOSITION INCLUDING POOL, INTERNAL COURTYARD ET.C
- INDICATIVE EXCAVATION ZONE OVER 1M DEPTH, PENDING FINAL HOUSE DESIGN

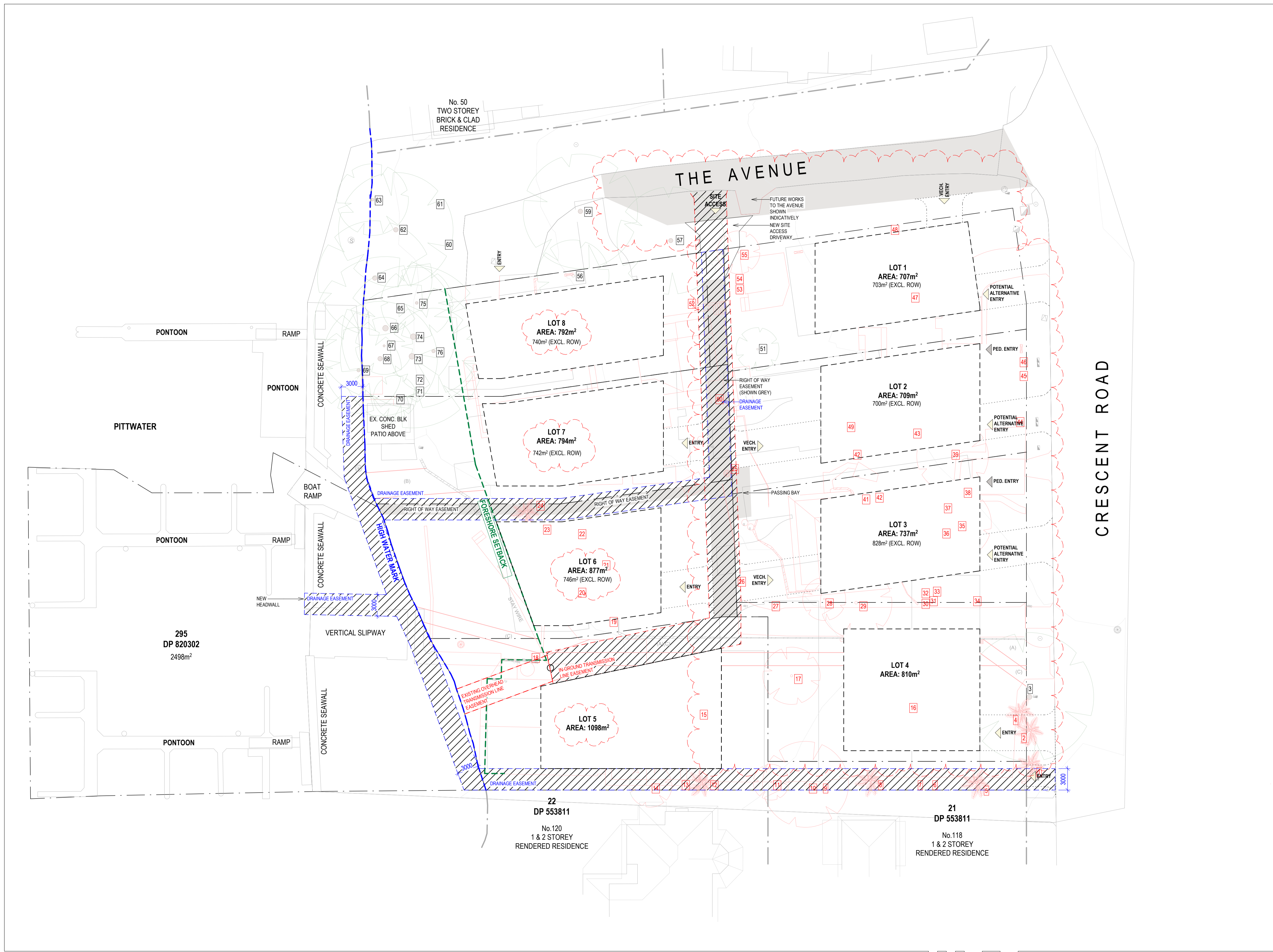


**LEGEND**

	BOUNDARY LINE
	HIGH WATER MARK
	FORESHORE SETBACK
	RIGHT OF WAY
	DRAINAGE EASEMENTS REFER TO SITEWORKS AND DRAINAGE PLAN FROM BG&E
	UNDERGROUND CABLE EASEMENT REFER TO PROPOSED UNDERGROUND SERVICES PLAN FROM IGS

BASED ON SURVEY BY BOXALL DATED  
 05.05.2022 - DRAWING NO. 11369-001-A





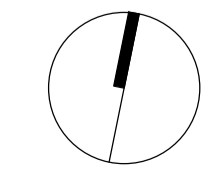
**LEGEND**

- BOUNDARY LINE
- - - DEMOLITION
- - - HIGH WATER MARK
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FOR DETAILED ARBORIST REPORT REFER TO REPORT 6322 BY RAINTREE CONSULTING - DATED 25.05.2022

EXISTING EASEMENTS  
 A. TRANSMISSION LINE  
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**NOTES**

- DISCONNECT POWER SUPPLY, GAS, WATER AND TELEPHONE LINE.
- PROVIDE 1.8m TEMPORARY FENCE TO SECURE DEMOLITION SITE
- PROVIDE INDICATOR AND WARNING SIGNS BEFORE WORKS BEGIN.
- BUILDER TO PROVIDE SILT FENCE TO PREVENT SEDIMENTATION RUN-OFF.
- BUILDER TO MINIMISE DUST BY SPRAYING WATER DURING DEMOLITION.
- WORKS TO BE DONE BY HAND SUCH AS: ROOF TILES, ROOF TIMBER, EXTERNAL CLADDING AND TIMBER FRAME.
- A HEAVY EXCAVATOR WILL BE USED TO DEMOLISH THE PROPERTY AND TO LOAD THE TRUKS.
- WORK SHALL BE DONE BETWEEN 7.00am. AND 5.00pm. FROM MONDAY TO FRIDAY INCLUSIVE.
- TIPPER TRUCKS WILL PARK ON DRIVEWAYS AND CROSSOVERS PROTECTED WITH TIMBER.
- LOADS SHOULD BE COVERED BEFORE LEAVING THE SITE. ADJACENT PROPERTIES AND PUBLIC RIGHT OF WAYS SHALL BE PROTECTED. THE ACCESS POINT FOR THE SITE WILL BE FROM EXISTING DRIVEWAYS
- THE SITE SHALL HAVE BINS TO SEGREGATE MATERIALS SUCH AS A SCRAP METAL BIN AND SPOIL STOCKPILE. THIS WILL ALLOW MATERIAL TO BE RECYCLED IN EFFECTIVELY
- NO REQUIREMENTS ON THE SITE FOR UNDER PINNING OR SHORING WILL BE UNDERTAKEN.

**NOTE:** ASBESTOS IF ANY SHOULD BE REMOVED MANUALLY BY WET METHOD, AS REQUIRED UNDER WORKCOVER AND SAFTY REGULATIONS TO AUSTRALIAN STANDARD 2601-1991, WRAPPED WITH PLASTIC AND PLACED IN A DEDICATED BIN.THE BIN IS SECURELY SEALED AND TIPPED AT A SUITABLY APPROVED SITE.

**DETAIL OF EXISTING STRUCTURES**

LOT 122, DP 556902 / 122 CRESCENT ROAD, 2 STOREY RENDERED COMMERCIAL BUILDING, CLAD WORKSHOP AND BITUMEN CARPARK  
 LOT 111, DP 556902 / 124 CRESCENT ROAD, CONCRETE DRIVEWAY ANDTHREE CONTAINERS  
 LOT 1, DP503390 / 126 CRESCENT ROAD, SINGLE STOREY FIBRO RESIDENCE AND FIBRO GARAGE  
 LOT 3, DP210342 / 128 CRESCENT ROAD, SINGLE STOREY BRICK RESIDENCE  
 LOT 2, DP210342 / 55 THE AVENUE, SINGLE STOREY WEATHERBOARD CLAD RESIDENCE  
 LOT 21, DP545339 / 57 THE AVENUE, ONE AND TWO STOREY BRICK RESIDENCE

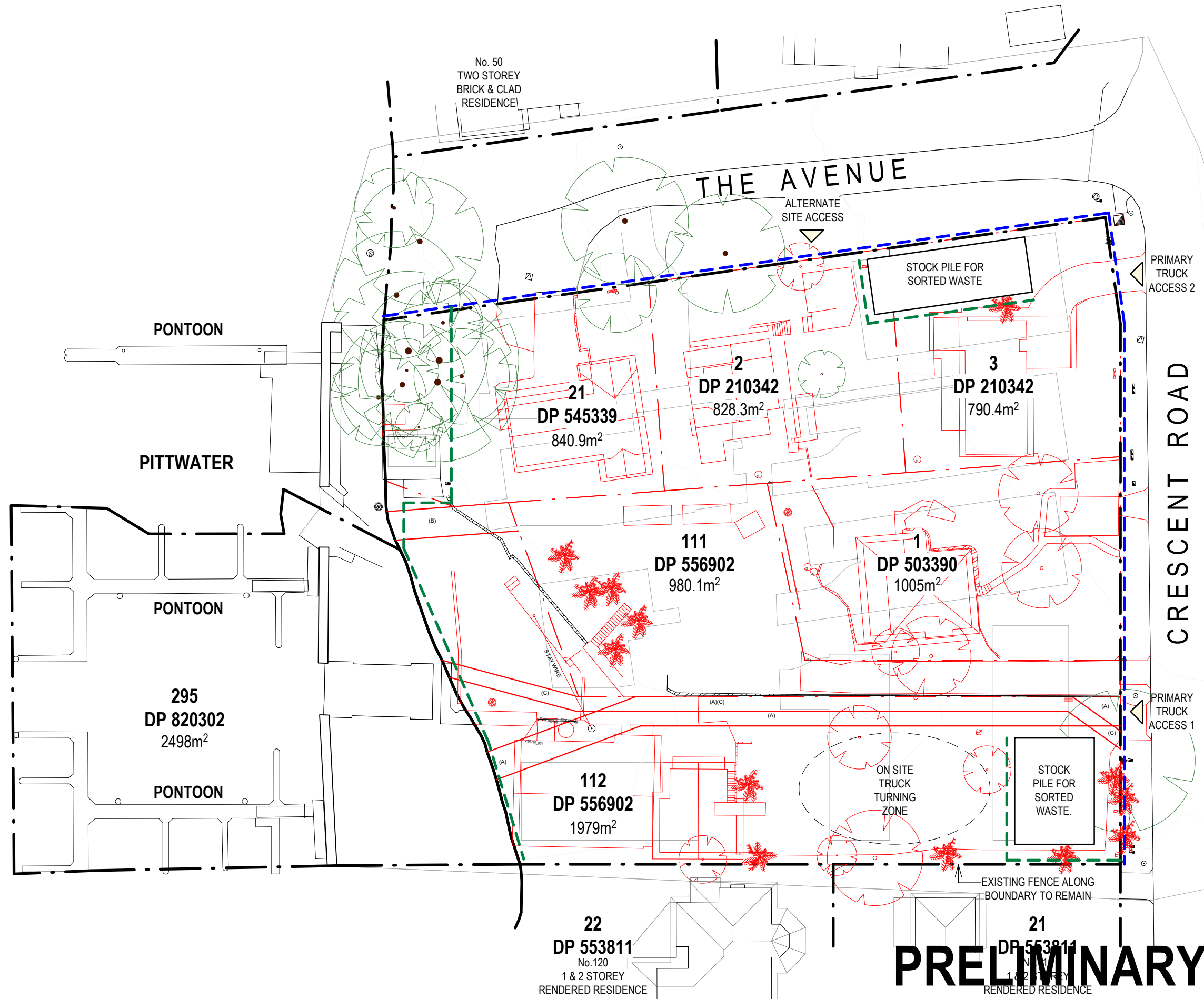
**NAME AND DETAILS OF DEMOLISHER:** TO BE ADVISED.  
 FINAL LOCATION SUBJECT TO DEMOLITION CONTRATOR.

**EROSION CONTROL NOTES**

- ALL EROSION SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH 'MANAGING URBAN STORMWATER, 3rd EDITION' PRODUCED BY THE NSW DEPARTMENT OF HOUSING. STANDARD DRAWING (SD) NUMBERS REFERENCED ON THIS DRAWING CAN BE OBTAINED FROM THIS PUBLICATION.
- ALL EROSION AND SILATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS. AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.
- ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THIS PLAN.
- INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER
- NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.

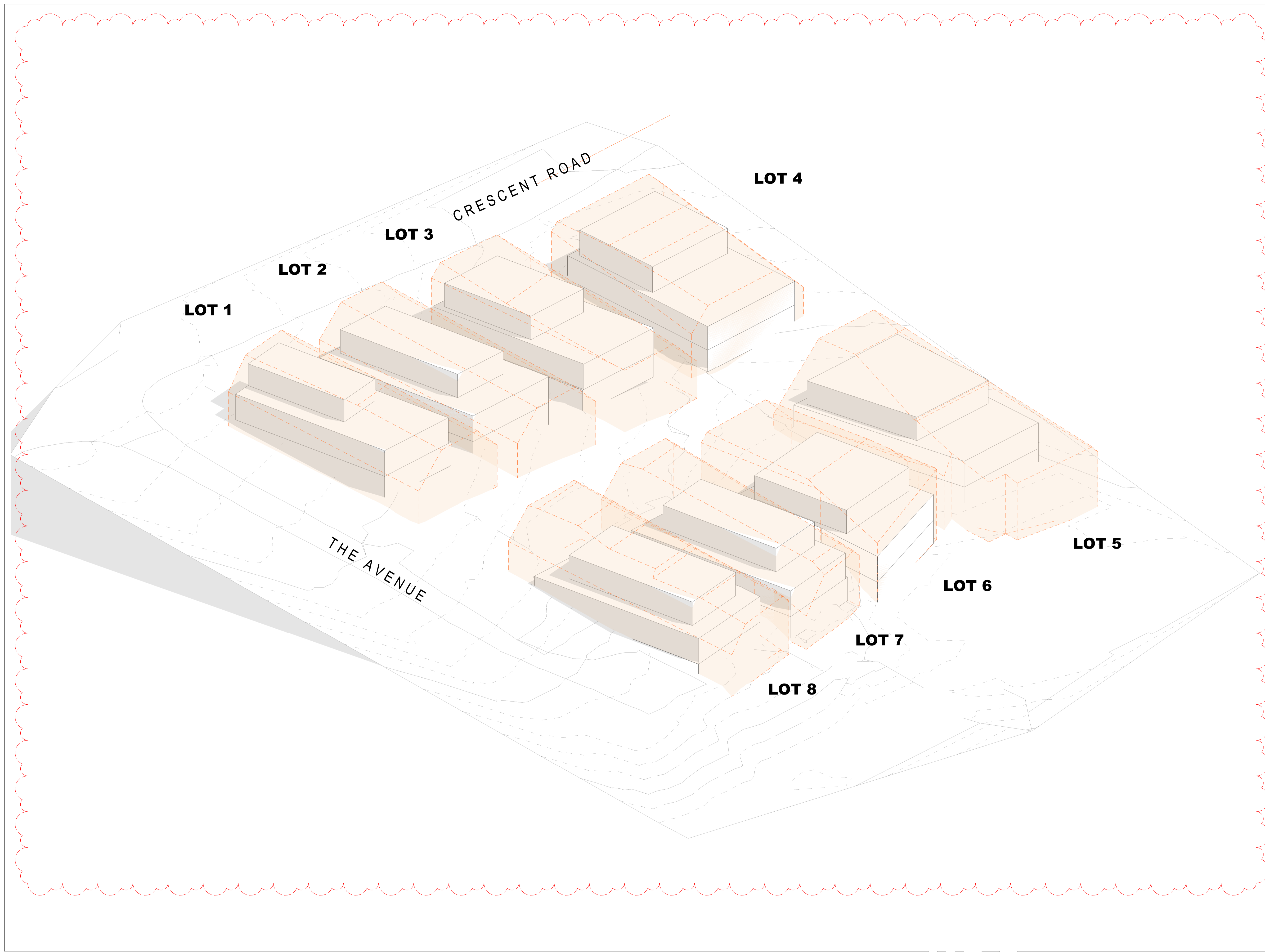
**LEGEND**

- DEMOLISHED
- TEMPORARY FENCE
- SEDIMENT CONTROL



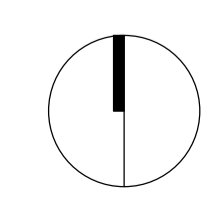
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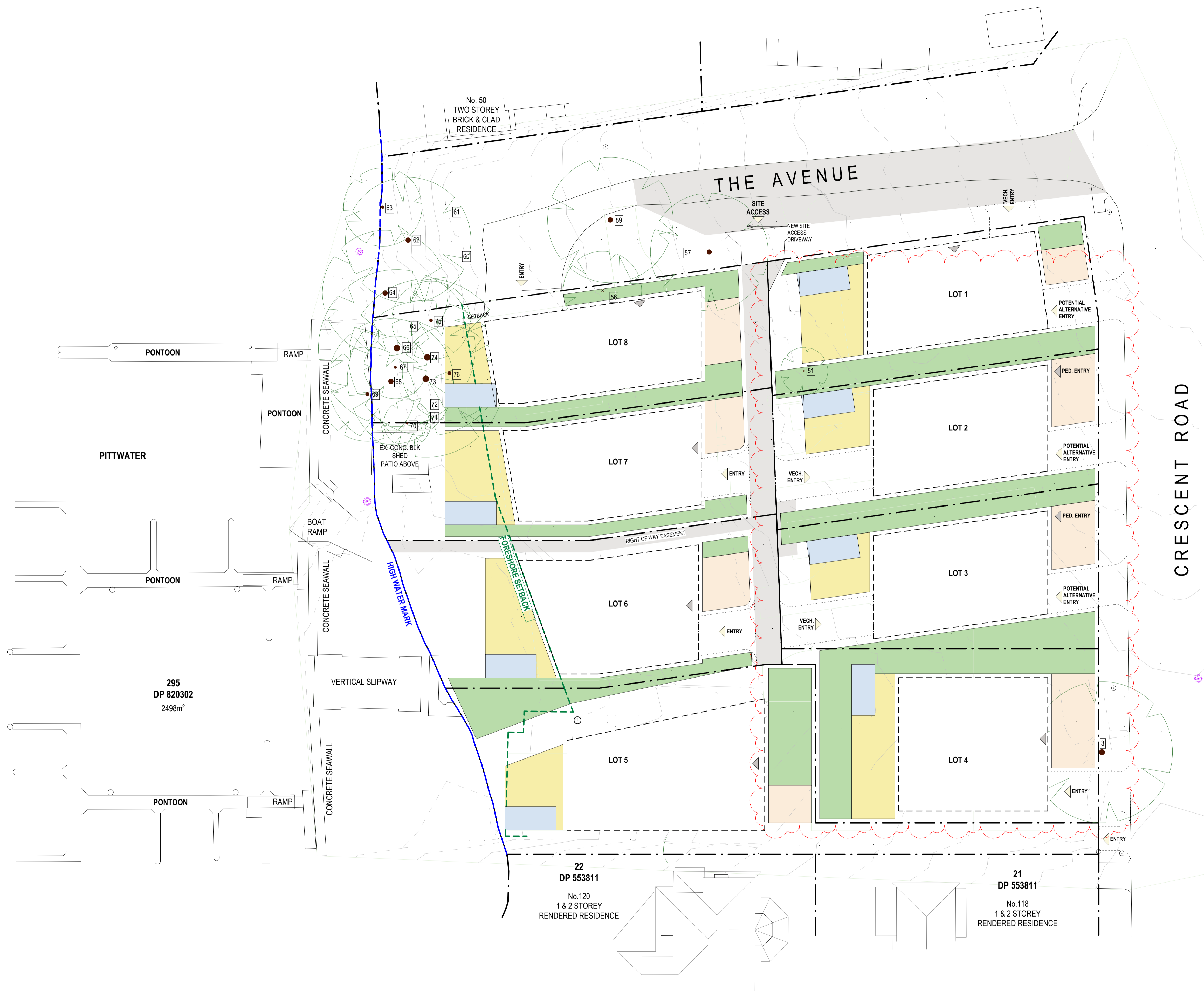


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- BOUNDARY LINE
- - - HIGH WATER MARK
- - - FORESHORE SETBACK
- ▭ RIGHT OF WAY
- 01 EXISTING TREES TO BE RETAINED. REFER TO ARBORIST REPORT
- ◀ INDICATIVE DRIVEWAY ENTRY
- ◀ INDICATIVE RESIDENTIAL FRONT DOOR
- ◻ PRIVATE COURTYARD/GARDEN AREA
- ◻ MAIN OUTDOOR LIVING SPACE (DECK/BBQ AREA ETC.)
- ◻ INDICATIVE POOL LOCATION
- ◻ GARDEN / DEEP SOIL AREA FOR TREE PLANTING
- ◻ REMAINDER OF AREA WITHIN BOUNDARY TO BE NEW PLANTING AND LAWN AREA

TO BE READ IN CONJUNCTION WITH ARCHITECTURAL SUBDIVISION PACKAGE.