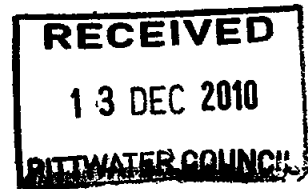


- ACCREDITED CERTIFIERS
- PRINCIPAL CERTIFYING AUTHORITY
- CONSTRUCTION CERTIFICATES
- FIRE SAFETY/BUILDING CONSULTANTS



9 December 2010

Pittwater Council
PO Box 882
MONA VALE NSW 1660



The General Manager
 Attention Planning Department

Dear Sir/Madam

Re N0452/08/S96/1 & CC50P09 1 5 Bilgola Terrace, BILGOLA

Please find attached a copy of the Construction Certificate for the proposed development that has been granted by the Accredited Certifier, Mr Patrick Doherty

The CC, Notice of Commencement and Appointment of Principal Certifying Authority relates to provision for modification of Development Consent NO452/08/S96/1 for alterations and additions to the existing dwelling

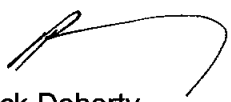
Together with CC, we have enclosed the following for Council's record

- 1 Construction Certificate / NOC & PCA Application Form
- 2 Other documents relied upon

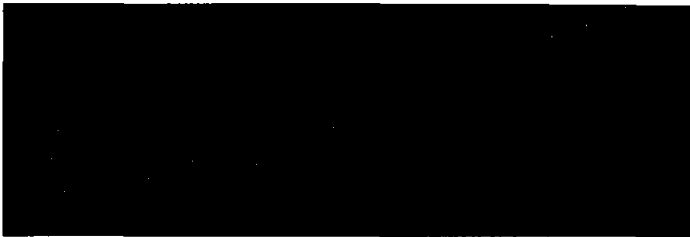
In accordance with Council's policy we have attached a cheque for the registration of this certificate. In forwarding the receipt for this cheque it is requested that reference be made to the address of the premises

If you have any queries regarding the above please do not hesitate to contact the undersigned on 9566 4952 / 0424 699 924 during business hours

Yours faithfully,


Patrick Doherty
NSW Building Approvals
 cc
 Mr and Mrs Mitchell
 5 Bilgola Terrace
 BILGOLA NSW 2107

- ACCREDITED CERTIFIERS
- PRINCIPAL CERTIFYING AUTHORITY
- CONSTRUCTION CERTIFICATES
- FIRE SAFETY/BUILDING CONSULTANTS



Construction Certificate

Issued under the Environmental Planning and Assessment Act 1979
Certificate No 50P09 I

Applicant Mark and Katrina Mitchell
Owner K Mitchell and M Mitchell
Subject land 5 Bilgola Terrace, BILGOLA Lot 8 DP 822263
Proposal Modification of Development Consent
No452/08/S96/1 for Alterations and additions to
the existing dwelling
BCA Classification Class 1a
Cost of building works \$NIL increase
Builder Colmer Constructions Pty Ltd Li No U 148830C
DA No N0452/08/s96/1
Determination Date 7 September 2010
Consent Authority Pittwater Council
Date of receipt of CC application 9 December 2010
Determination Approved
Date of Determination 9 December 2010

Approved plans **ARCHITECTURAL**

- Plans prepared by Nick Karahalios Job No 081356
1B 081356 2B 081356-3B and dated 25 August
2008
- Structural Engineering Details prepared by Barrenjoey
Consulting Engineers Pty Ltd 01 to 05 (inclusive)

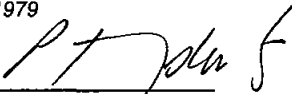
Construction Certificate Attachments

Attachments
☒ Approved plans
☒ Specifications (SOUTHspec)

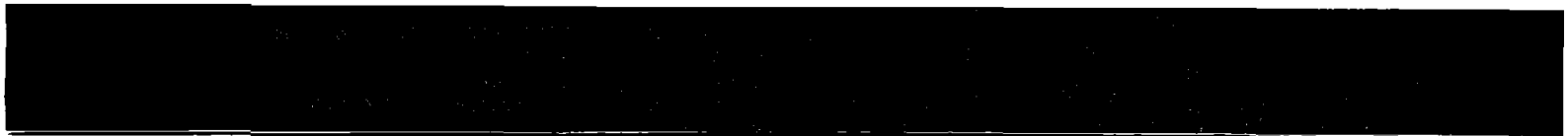
Accredited Certifier Patrick Doherty
Accreditation Level & No Grade 2 – BPB0094
Accreditation Body Building Professionals Board

I certify that

- the work if completed in accordance with documentation accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of *Environmental Planning & Assessment (EP&A) Regulation 2000* as are referred to in sec 81A (5) of the *EP&A Act 1979*

Signed 
Patrick Doherty
Accredited Certifier

Date 9 December 2010



- ACCREDITED CERTIFIERS
- PRINCIPAL CERTIFYING AUTHORITY
- CONSTRUCTION CERTIFICATES
- FIRE SAFETY/BUILDING CONSULTANTS

NSW BUILDING
APPROVALS

Construction Certificate Application
Under Section 109C (1) (b), 81A (2) and 81A (4) of the Environmental Planning and Assessment Act 1979

1 Details of the applicant

Mr ☒ Ms ☐ Mrs ☒ Other

First name Mark / Katrina Family name Mitchell Company/ Organisation

Flat/street no 5 Street name Bilgola Terrace

Suburb or town Bilgola State NSW Postcode 2107

Daytime telephone 9973 1851 Fax 9907 1844 Mobile 0412 259121

Email mark@ungefastwear.com.au

2 Identify the land

Level / Flat no Street no & Street name 5 Bilgola Terrace

Suburb or town Postcode 2107

State Bilgola

Lot no 8 DP/ MPS no 822263 Section

Building Name Volume/ folio

3 Estimated cost of the development

\$ NIL increase including GST

4 Describe the development

What type of work do you propose to carry out?

Building work ☒

Subdivision work ☐

Describe the work

Modification of Development Consent N0452/08/s96/1 for alterations and additions to the existing dwelling house

5 Development Consent

Development Consent Number
NO452/08/S96/1

Date Consent Determined
16 June 2009

Consent Authority (Local Government)
Pittwater Council

6 Signatures

Applicant's Signature

Signature

Date

[Signature] 29/11/10

Owners Consent

- Every owner of the land must sign this application
- If the owner is a company this form must be signed by an authorised director of the company
- If the property is a unit under strata title or a lot in a community title this form must be signed by the chairperson or the secretary of the Body Corporate or the appointed managing agent
- If you are signing on the owner's behalf as the owner's legal representative you must state the nature of your legal authority and attach documentary evidence (e.g. power of attorney, executor, trustee, company director, etc)

As the owner(s) of the above property I/we consent to this application. I also consent for NSW Building Approvals staff to enter the land to carry out inspections relating to this application.

Owners Signature

Signature

[Signature]

Name Of Person and/or Company Name & Address

Mark Mitchell
5 BILGOLA TERRACE
BILGOLA

Date

Owners Signature

Signature

[Signature]

Name Of Person and/or Company Name & Address

KATRINA MITCHELL
5 BILGOLA TERRACE
BILGOLA

Date

7 Details of the principal contractor/builder

Builder's name

COURIER CONSTRUCTIONS PTY LTD

Builder's licence number

148830C

Flat/street no

189

Street name

HUDSON PDE

Suburb or town

TRAVERS POINT

State

NSW

Postcode

267

Daytime telephone

MOBILE

Fax

0299185796

Mobile

0415 464 264

OFFICE USE ONLY date received

09/12/2010

SUITE 15/12-12 GLEBE POINT ROAD
GLEBE
NSW 2037
WWW.NSWBUILDING.COM.AU

MOBILE 0424 699 924
PHONE (02) 9536 4952
FAX (02) 9516 6310
EMAIL pdi@nswbuilding.com.au

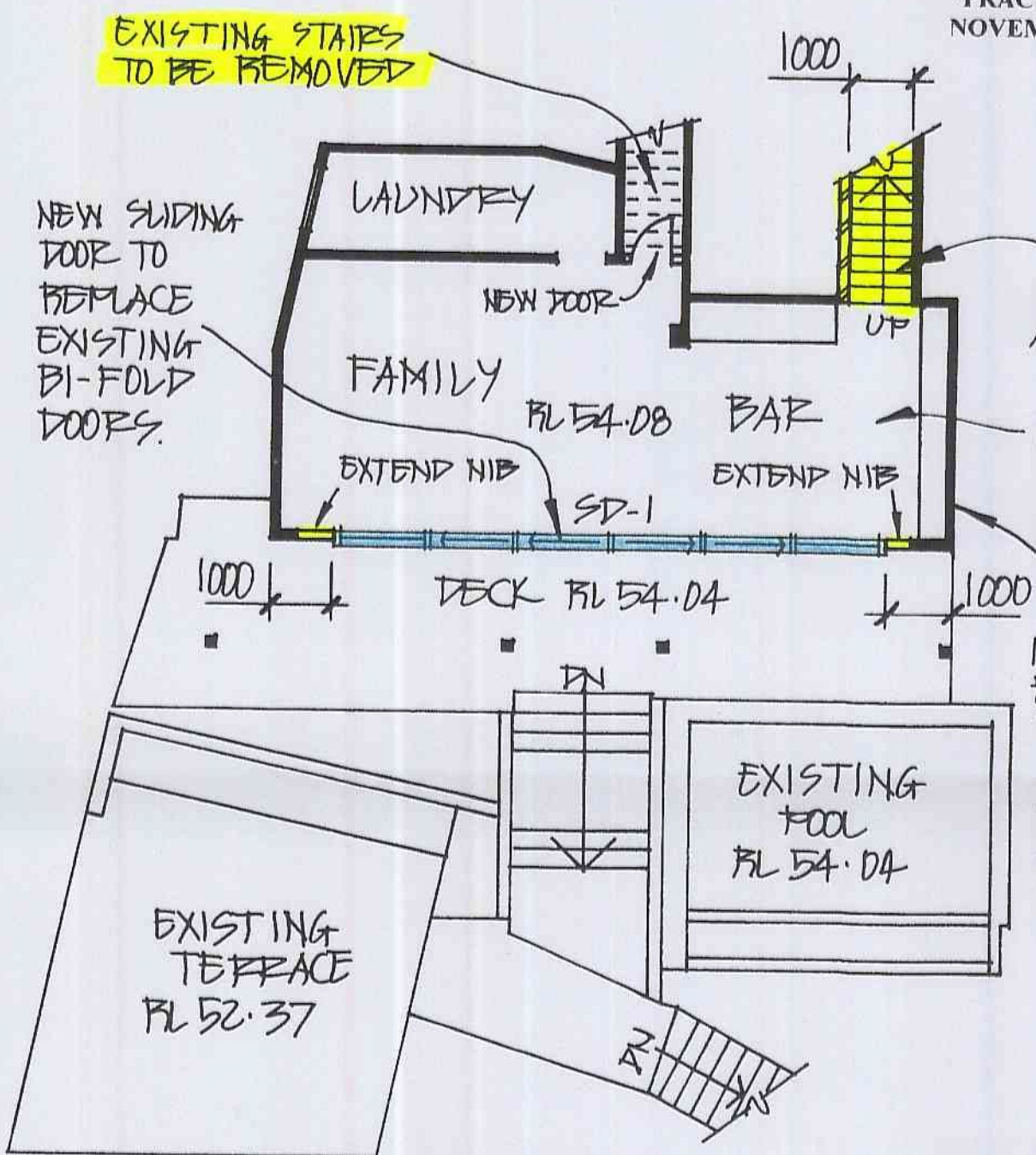
NOTE

- INDICATES SMOKE ALARM TO COMPLY WITH THE BCA PART 3.7.2 AND AS 3786.
- FW = FLOOR WASTE
- SP = CAVITY SLIDING DOOR

ALL DIMENSIONS AND LEVELS TO BE CONFIRMED ON SITE

ALL NEW TIMBER FRAMING TO COMPLY WITH AS 1684

NOTE: EXTERNAL DOORS SHALL COMPLY WITH DEVELOPMENT CONTROL SERVICES "PRACTICAL NOTE 3/06" - REVISED NOVEMBER 2007 (RELEASE-2)

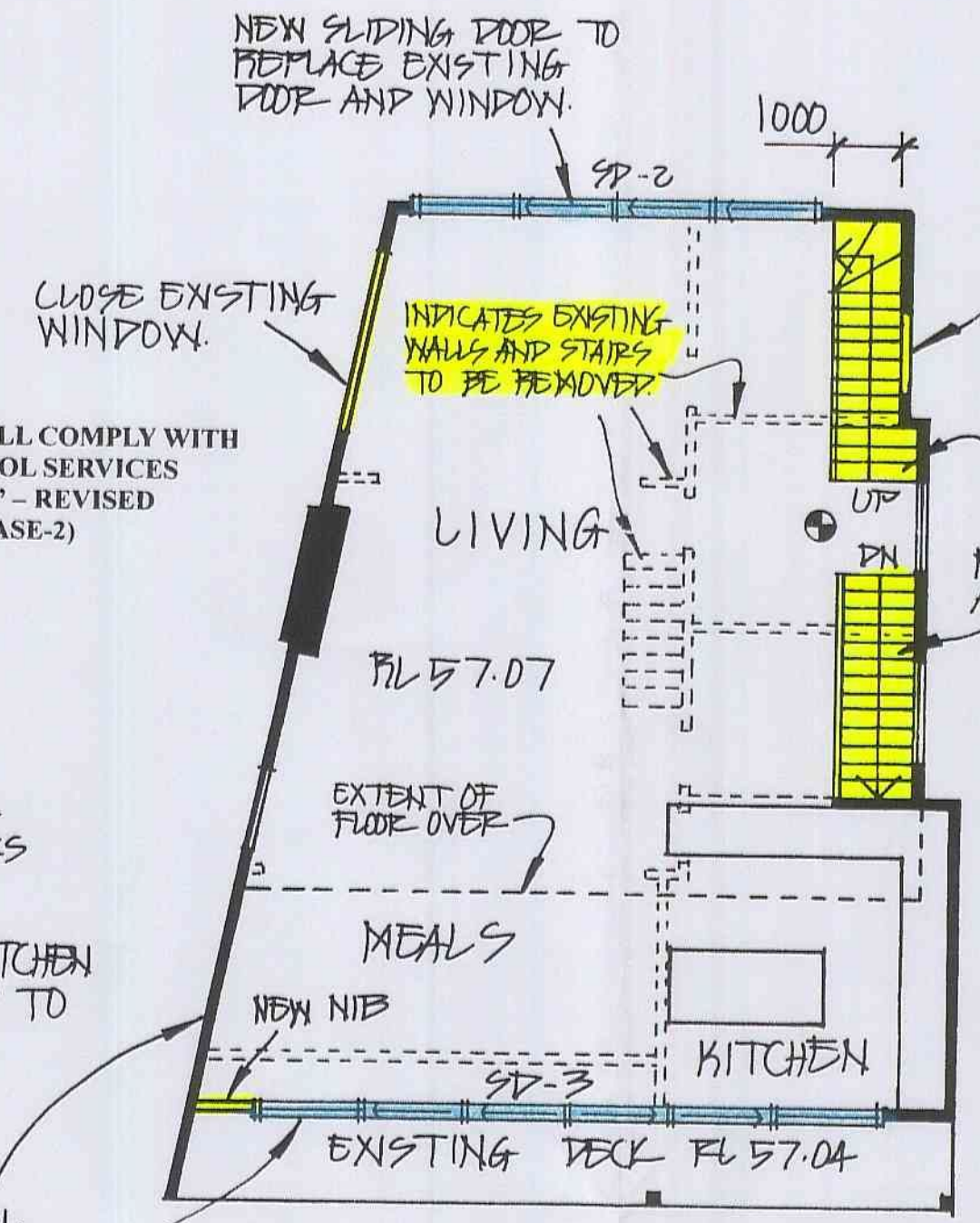


PLAN LEVEL -1 SCALE 1:100

WINDOW AND DOOR SCHEDULE			
WINDOW No	WIDTH	HEIGHT	NOTES
W. 1	3000	600	
W. 2	3000	1400	
W. 3	1200	500	
W. 4	1750	1400	
W. 5	1500	2300	
SD. 1	8400	2300	SLIDING STACKER
SD. 2	5800	2300	SLIDING STACKER
SD. 3	9000	2300	SLIDING STACKER
SD. 6	6800	2300	SLIDING STACKER

CONFIRM ALL DOOR AND WINDOW SIZES ON SITE

ALL EXTERNAL GLAZING TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%



PLAN LEVEL -2 SCALE 1:100

BUSHFIRE PRONE CONSTRUCTION

THE PROPOSED ADDITIONS SHALL BE CONSTRUCTED TO A MINIMUM STANDARD OF LEVEL 1 AS 3959, 1999 AND AS PER THE RECOMMENDATIONS OF THE BUSHFIRE RISK ASSESSMENT REPORT DATED 23/06/08 REFERENCE No. G58 AND PREPARED BY RON COFFEY PFA AUSTRALIA.

- At the commencement of building works and in perpetuity the entire property should be managed as an Inner Protection Area (IPA) as outlined within Planning for Bush Fire Protection 2006 and the Service's document 'Standards for Asset Protection Zones'.
- The Inner Protection Area should comprise of the following:
- minimal fine fuel at ground level,
 - vegetation that does not provide a continuous path to building/s for the transfer of fire,
 - shrubs and trees that do not form a continuous canopy and vegetation is planted/cleared into clumps rather than continuous rows,
 - species that retain dead material or deposit excessive quantities of ground fuel are avoided,
 - shrubs and trees are pruned or removed so they do not touch or overhang the building/s, and
 - vegetation is located far enough away from the building/s so that plants will not ignite the building/s by direct flame contact or radiant heat emission.

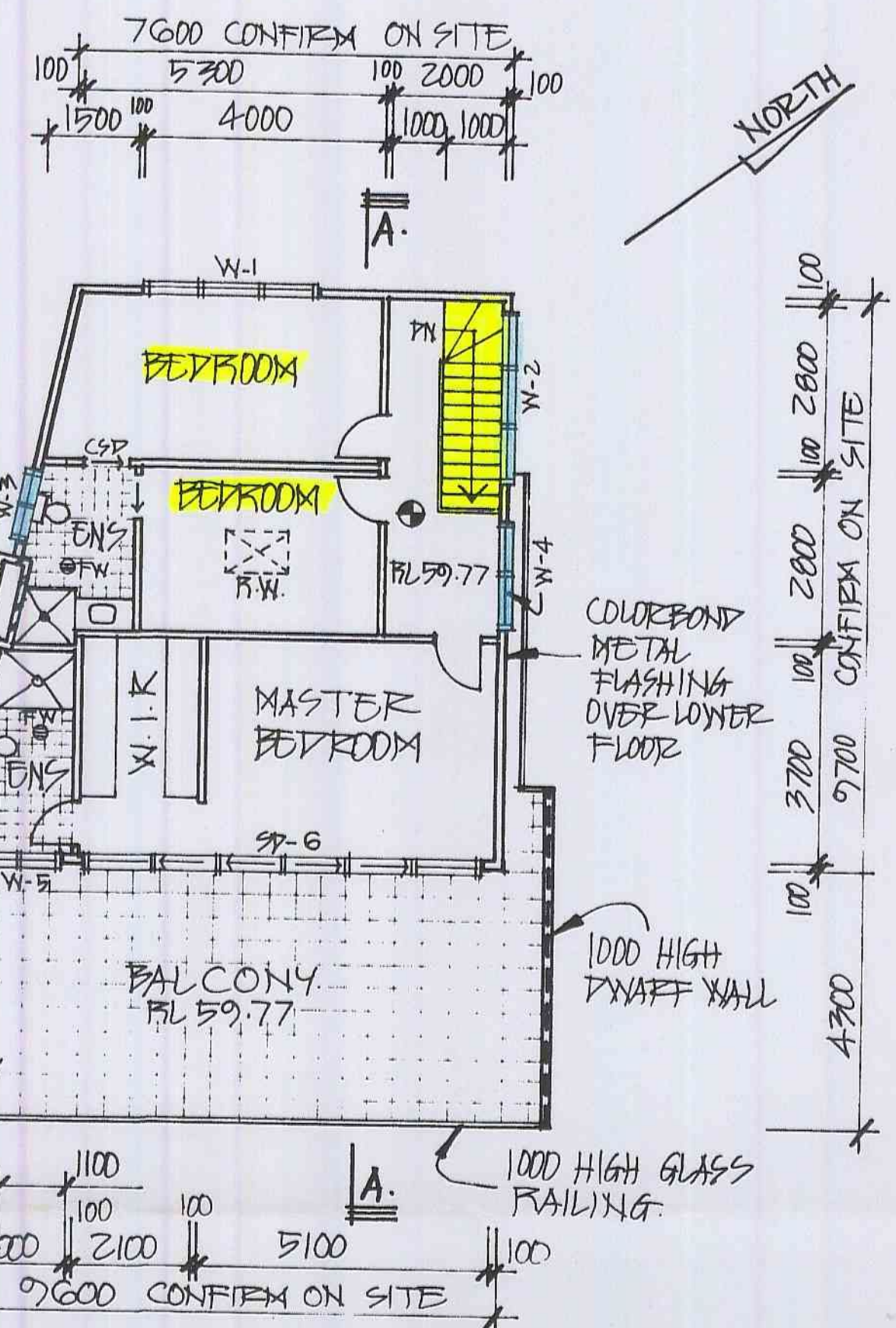
BASIX CERTIFICATE COMPLIANCE REQUIREMENTS

- NEW HOT WATER SYSTEM TO BE GAS INSTANTANEOUS
- MINIMUM 40% OF NEW OR ALTERED LIGHT FITTINGS ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT-EMITTING DIODE (LED) LAMPS.
- ALL NEW SHOWER HEADS AND TAPS TO HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR A 3 STAR WATER RATING
- ALL NEW TOILETS TO HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING
- EXTERNAL TIMBER FRAME WALL - R2.0 INSULATION MINIMUM INCLUDING CONSTRUCTION.
- FLAT CEILING PITCHED ROOF-CEILING R2.5 MINIMUM -ROOF FOIL SARKING-MINIMUM-(MEDIUM SOLAR ABSORPTANCE 0.475, 0.70)
- GLAZING REQUIREMENTS FOR AL NEW ALUMINIUM FRAME WINDOWS AND DOORS REFER TO BASIX REPORT

SHADING OVER WINDOWS AND SLIDING DOORS TO FULLY COMPLY WITH THE REQUIREMENTS OF THE BASIX REPORT

ABOVE NOTES TO BE READ IN-CONJUNCTION WITH THE BASIX CERTIFICATE No.A84565 - IF IN DOUBT ASK

NSW
Ph: 0424 699 924
The builder must construct the building in accordance with the Building Code of Australia and the Development Consent conditions
CONSTRUCTION CERTIFICATE
09/12



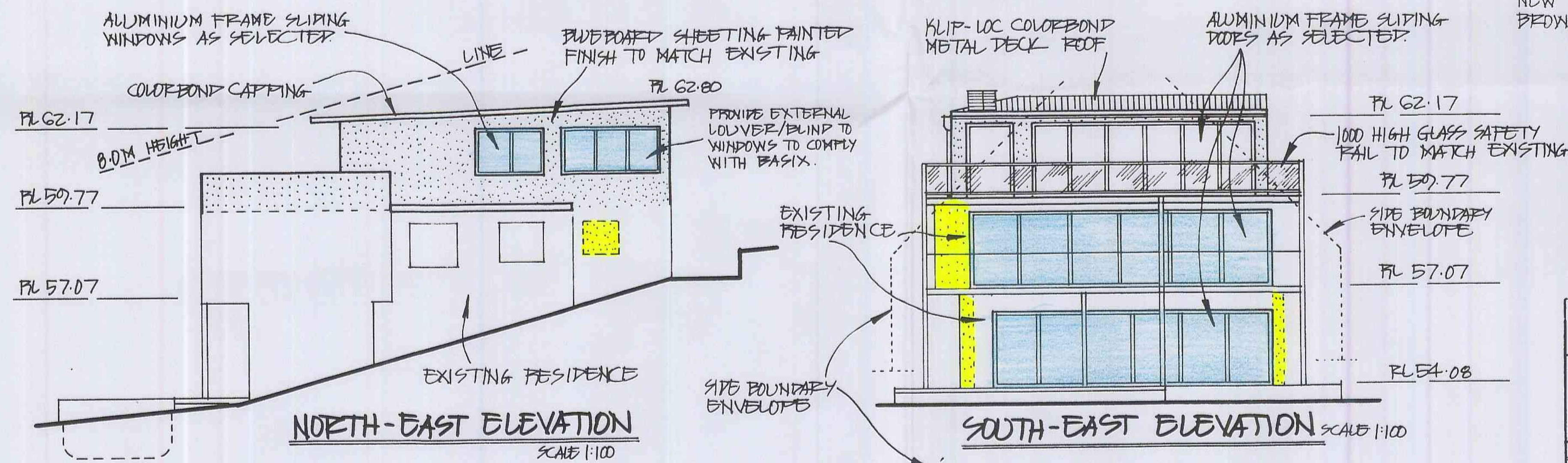
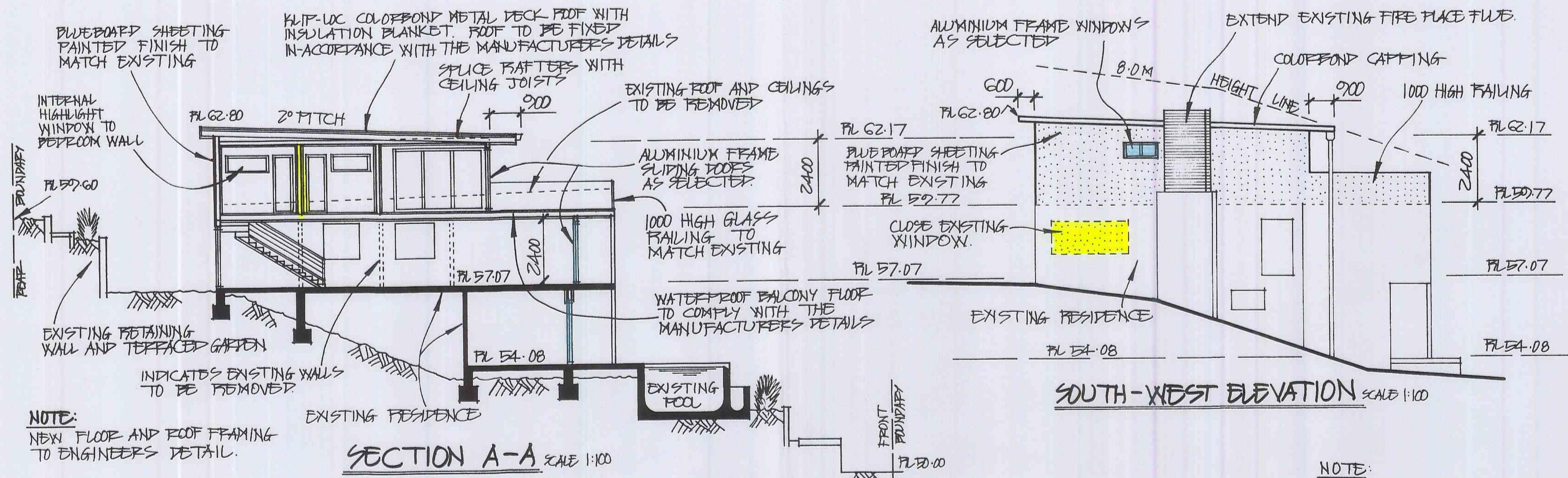
PLAN LEVEL -3 SCALE 1:100

AMENDMENTS
B - INTERNAL WALLS REMOVED AND ROOMS RELOCATED. WINDOWS AND SLIDING DOORS AMENDED.
04-05-2010

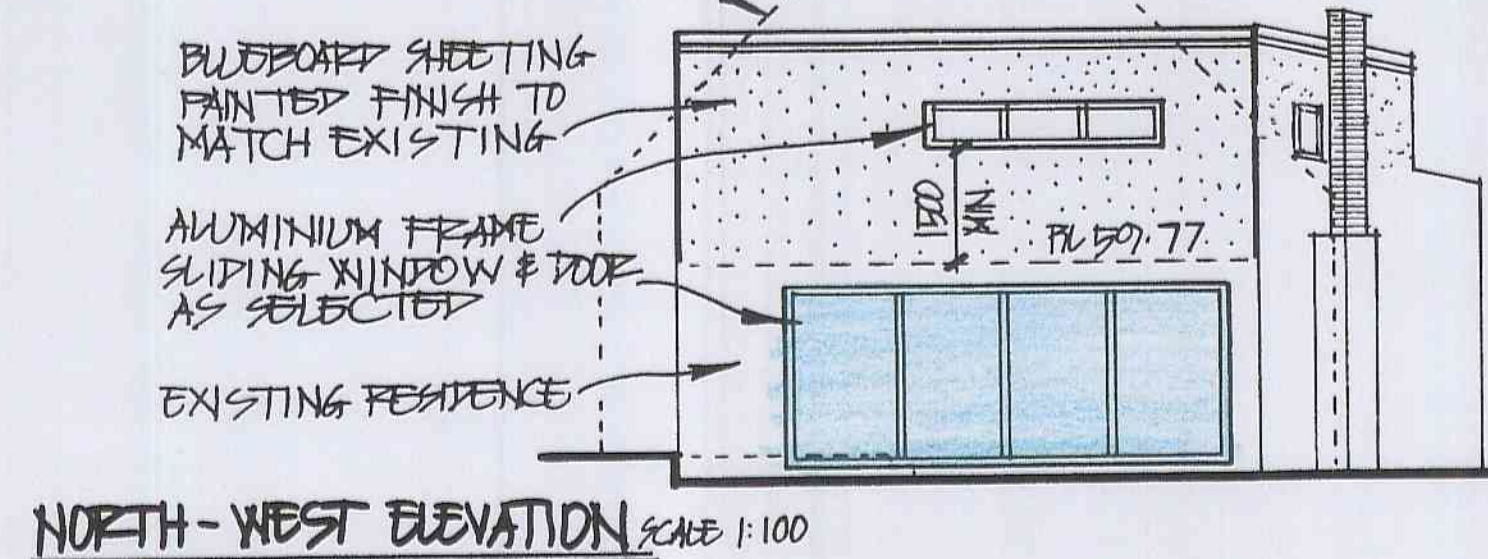
PROPOSED TOP FLOOR ADDITION		
LOCATION: 5 BILGOLA TERRACE, BILGOLA.		
FOR: MRS. M & MRS. K. MITCHELL		
DATE	DESIGNED BY	JOB No
28/06/08	NICK K	DB1356-1B



9360 5121 MOB: 0407 360 512 FAX: 9360 4382
513 BELLAIR STREET, SURRY HILLS 2010



NOTE:
ALL PLUMBING AND DRAINAGE FIXTURES ARE TO BE CONCEALED AND NOT EXPOSED TO PUBLIC VIEW ON BUILDINGS OVER ONE STOREY IN HEIGHT.

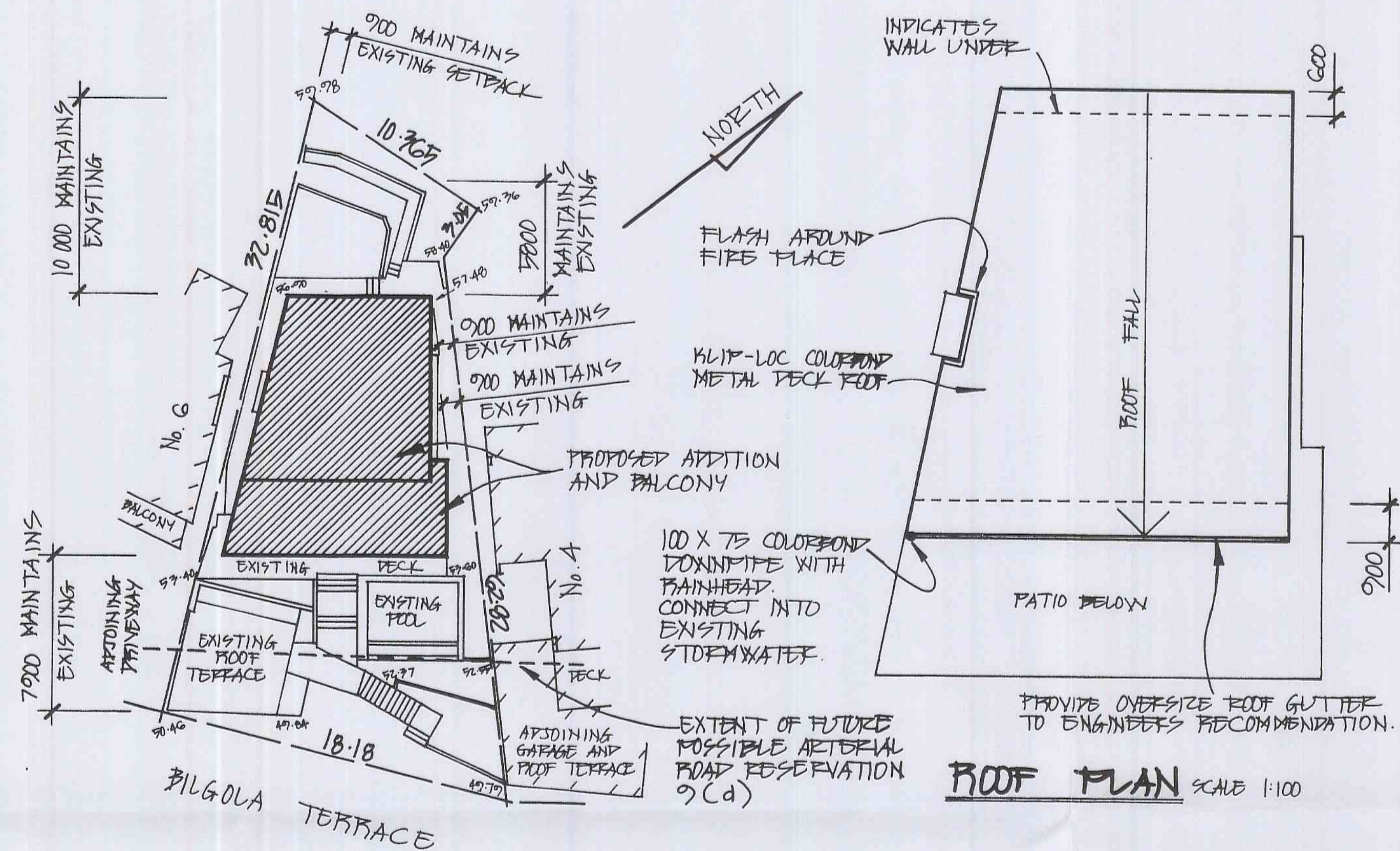


NSW
Ph: 0424 699 924
The builder must construct the building in accordance with the Building Code of Australia and the Development Consent conditions
CONSTRUCTION CERTIFICATE
09/12

AMENDMENTS
B - INTERNAL WALLS REMOVED AND ROOMS RELOCATED. WINDOWS AND SLIDING DOORS AMENDED.
04-05-2010

PROPOSED TOP FLOOR ADDITION		
LOCATION		
5 BILGOLA TERRACE, BILGOLA.		
FOR		
MR. M & MRS. K. MITCHELL		
DATE	DESIGNED BY	JOB No
25/06/08	NICK K	081756-2B





ROOF PLAN SCALE 1:100

SITE PLAN AND SITE ANALYSIS PLAN SCALE 1:200

NOTE
 SITE COVERAGE NOT APPLICABLE AS PROPOSED ADDITIONS ARE OVER THE EXISTING DWELLING. I.E NO EXISTING YARD OR GARDEN AREAS ARE TO BE REMOVED. EXISTING SITE COVER = 41.20%

AMENDMENTS
 B - INTERNAL WALLS REMOVED AND ROOMS RELOCATED. WINDOWS AND SLIDING DOORS AMENDED.
 04-05-2010

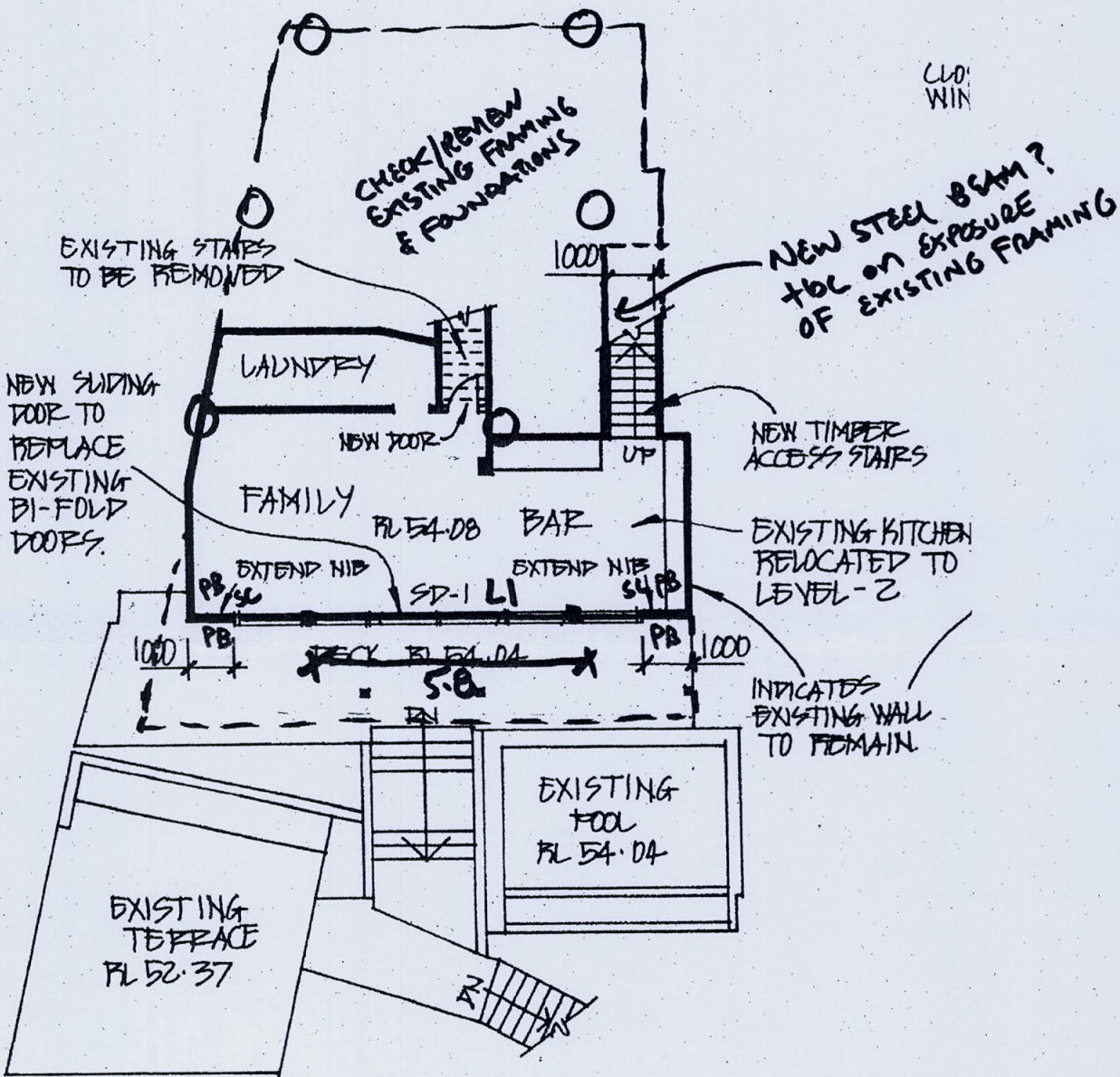
PROPOSED TOP FLOOR ADDITION		
LOCATION: 5 BILGOLA TERRACE, BILGOLA.		
FOR: MR. M & MRS. K. MITCHELL		
DATE 25/08/08	DRAWN BY NICK. K.	ID No DB13563 B



NICK KARAHALIOS
 ARCHITECTURAL DRAFTSMAN
 DESIGNER - HOMES, TOWNHOUSES, VILLAS
 EXTENSIONS & ALTERATIONS

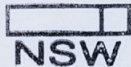
9360 5121 MOB: 0407 360 512 FAX: 9360 4382
 513 BUCKINGHAM STREET, SUFFY HILLS 2010

NSW
 Ph: 0424 699 924
 The builder must construct the building in accordance with the Building Code of Australia and the Development Consent conditions
 CONSTRUCTION CERTIFICATE
 09/12



LEVEL 2 FLOOR FRAMING

LI - ~~3600546~~ 3100532



Ph: 0424 699 924
These plans have been relied upon
by NSW Building Approvals
for the issue of a
CONSTRUCTION CERTIFICATE

NOT TO SCALE

Barrenjoey Consulting Engineers Pty Ltd

Stormwater

PO Box 672

Civil

Avalon NSW 2107

P: 9918 6264 F: 9918 5841

M: 0418 620 330

E: lucasbce@bigpond.com

ABN: 13124694917

ACN: 124694917

PROJECT:

PROPOSED TOP FLOOR
ADDITION

AT-5 BALGOLA TERRACE,
BALGOLA

DRAWING:

LEVEL-2 FLOOR FRAMING

Job No:

NK1356

Drawing No:

01

Document Certification

Barrenjoey Consulting Engineers Pty Ltd

per

Lucas Molloy MBEA OFENG NPER Director

ACN: 124694917

AT-5 BILGOLA TERRACE,
BILGOLA

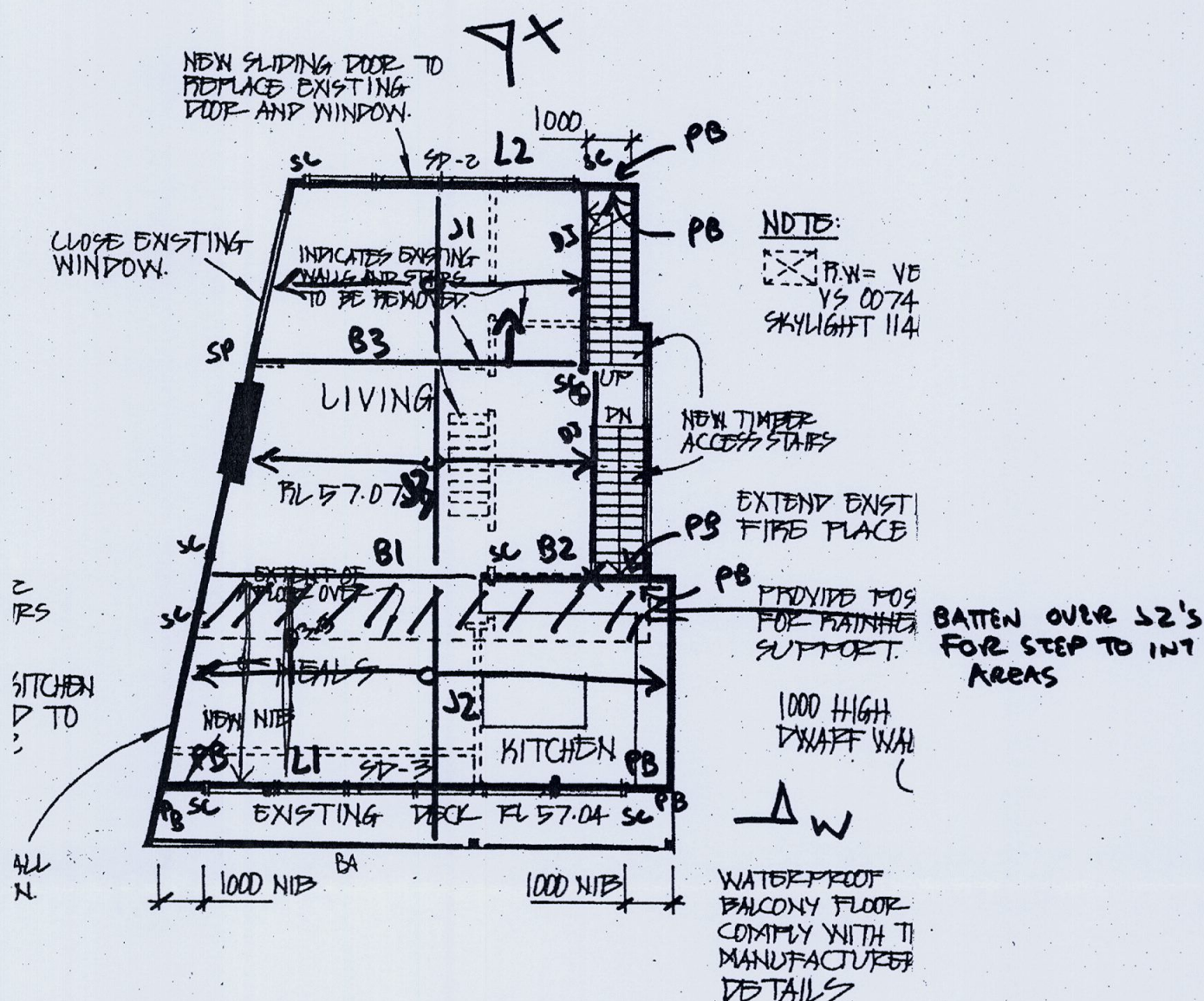
LEVEL-3 FLOOR FRANK

94136

20

per

Lucas Molloy MIEA CPeng NPER Director



BA-250PFC

LEVEL 3 FLOOR FRAMING

- PB- PLY BRACE W/IN FRAME
 J1- 240x45 Myspr 1/1 @ 450 cts
 J2- 240x45 Myspr 1/1 @ 300 cts
 B1 - 310 UB 46
 B2 - 300x75 Myspr 1/1
 B3 - 2x 300 PFC's (back to back + bolted on site)
 or 360 UB 56
 L1 - 360 UB 56 → 310 UB 32
 L2 - 300 PFC
 SC - 89x89x6 SHS
- J3-300x
- NSW
 Ph: 0434 600

13-300-4511

NSW

Ph: 0424 699 924

These plans have been relied upon
by NSW Building Approvals
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CONSTRUCTION CERTIFICATE

NOT TO SCALE

ACN: 124694917

AT-5 BALFOUR TERRACE,
BALFOUR

LEVEL-3 ROOF PLAN

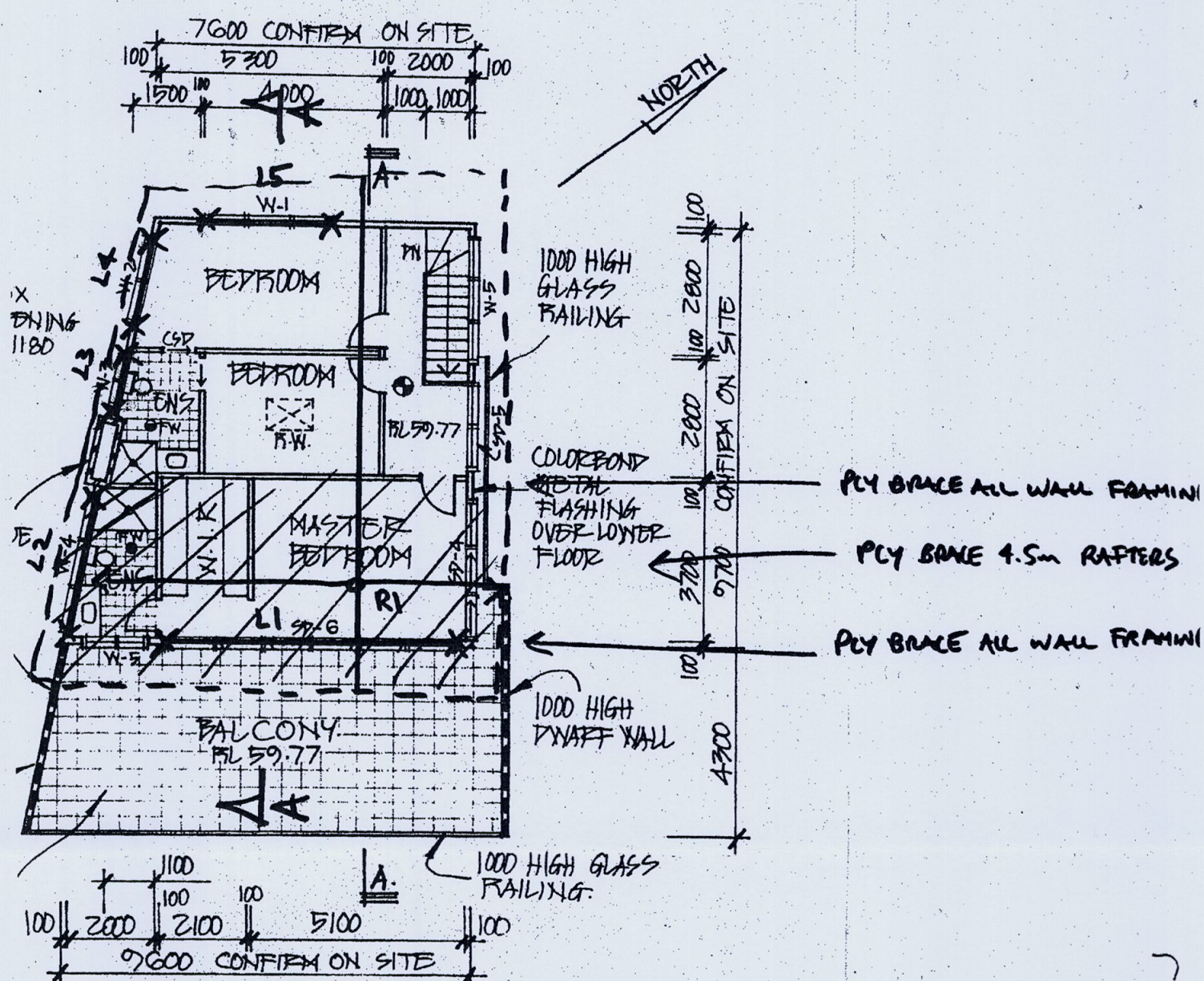
NK 1356

30

Barrenjoeey Consulting Engineers Pty Ltd

per

Lucas Molloy MIEA CPENG NPER Director



NOT TO SCALE

LEVEL 3 ROOF FRAMING

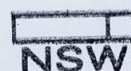
R1- 150x45 Hyspn 1/1 e 600 cts (max cant e cave 900mm)

LI- 250 PFC galv

L2/L3/L4 - 2x150x45 NI Lintels

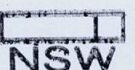
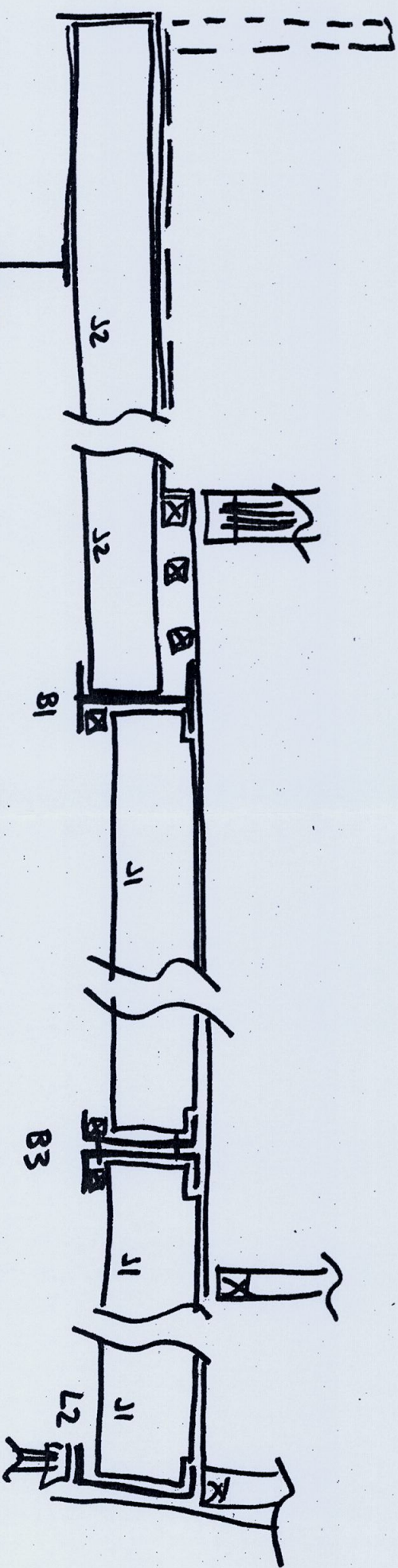
L5 - 200x63 H1 Lintel

X - Double studs + tie down to floor framing

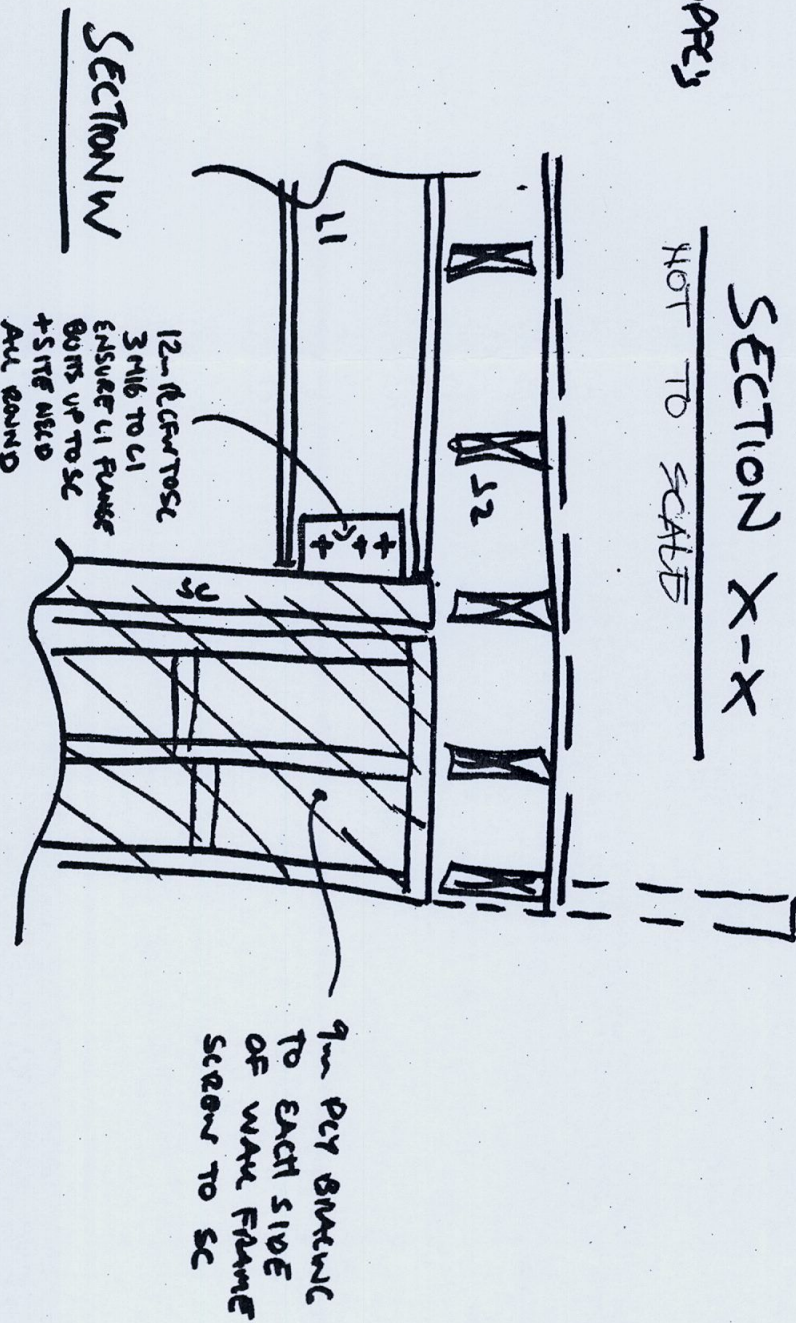
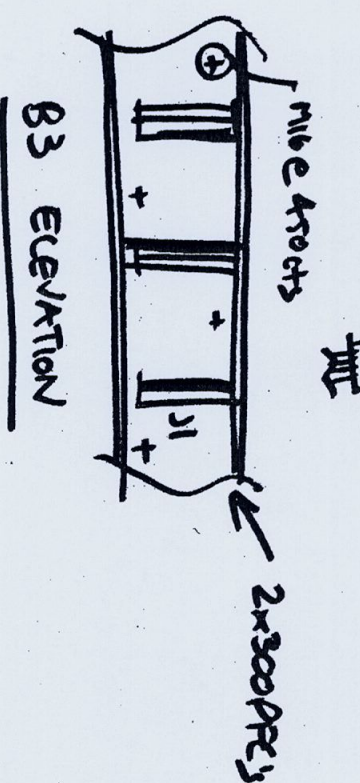


Ph: 0424 699 924

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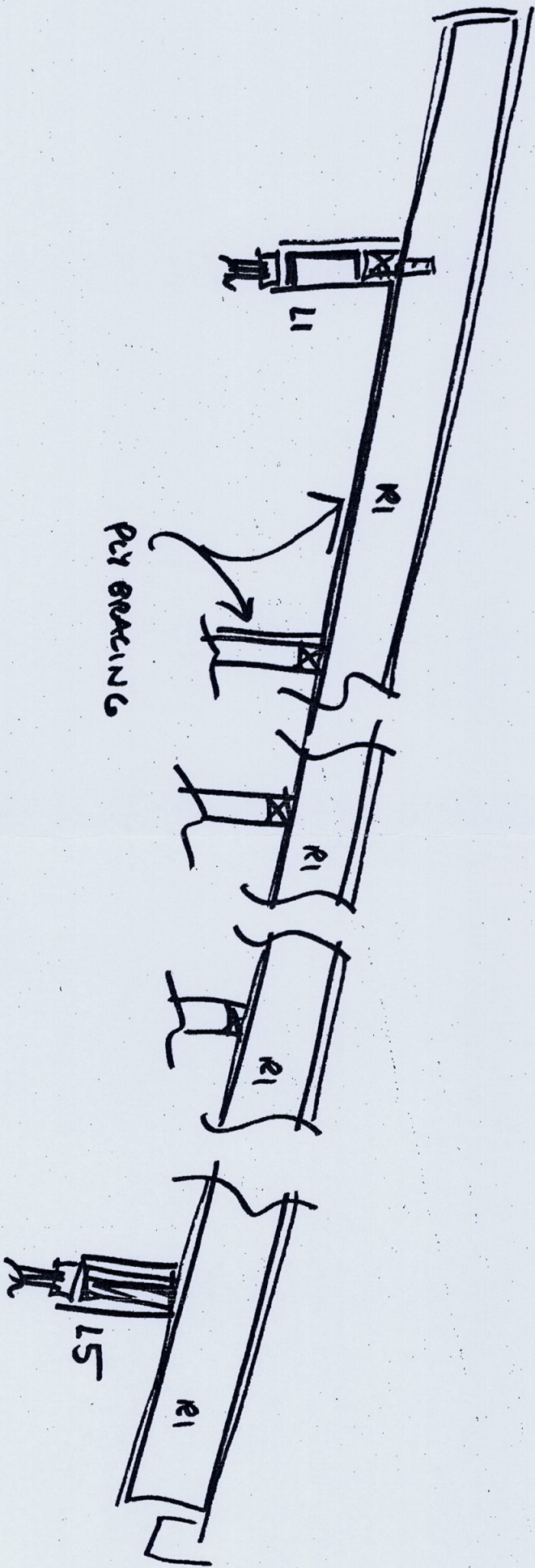


Ph: 0424 699 924
These plans have been relied upon
by NSW Building Approvals
for the issue of a
CONSTRUCTION CERTIFICATE



Barrenjoey Consulting Engineers pty ltd Stormwater PO Box 672 Avalon NSW 2107 P: 9918 6264 F: 9918 5841 M: 0418 620 330 E: lucasbce@bigpond.com ABN: 13124694917 ACN: 124694917		PROJECT: PROPOSED TOP FLOOR ADDITION AT- 5 BALGOLA TERRACE, BALGOLA	
DRAWING: TYPICAL SECTIONS		Job No : NK-1356	
Document Certification Barrenjoey Consulting Engineers pty ltd per Lucas Molloy MBEA CPENG NPER Director		Drawing No : 04	

NSW
Ph: 0424 699 924
These plans have been relied upon
by NSW Building Approvals
for the issue of a
CONSTRUCTION CERTIFICATE



Section A
NOT TO SCALE

Barenjoey Consulting Engineers ptgtd Stormwater Structural Civil		PROJECT: PROPOSED TOP FLOOR ADDITION AT- 5 BILGOLA TERRACE BILGOLA		DRAWING : TYPICAL SECTIONS	
PO Box 672 Avalon NSW 2107 P: 9918 6264 F: 9918 5841 M: 0418 620 330 E: lucasbcc@bigpond.com ABN: 13124694917 ACN: 124694917		Job No : NK-1356	Drawing No : 05	Document Certification Barenjoey Consulting Engineers ptgtd per Lucas Molloy MBEA CPENG NPER Director	