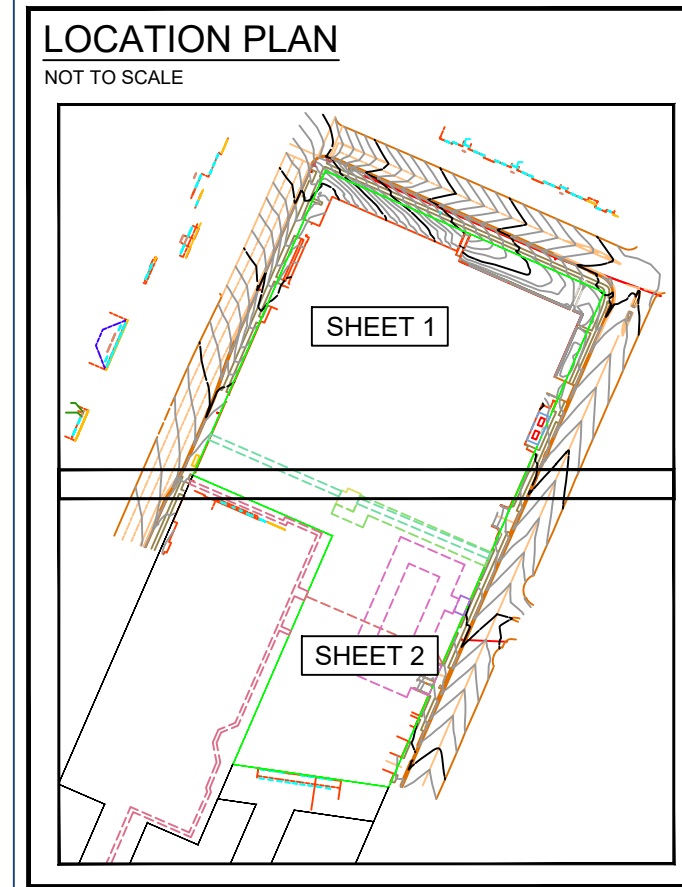


SERVICE LEGEND	
DRAINAGE	
GRATE	
SIDE ENTRY PIT	
STORM WATER MANHOLE	
ELECTRICAL	
CABLE MANHOLE	
CABLE PIT / BOX	
CABLE DOME	
CONSUMER POLE	
LIGHT POLE	
POWER POLE	
STAY POLE	
STAY WIRE ANCHOR	
OH POWER LINE	
GAS	
GAS MANHOLE	
GAS MARKER	
GAS METER	
GAS VALVE	
SEWERAGE	
SEWER MANHOLE	
PROPERTY CONNECTION	
SEWER LINE	
COMMUNICATIONS	
COMMS MANHOLE	
COMMS MARKER	
COMMS CABLE PIT	
WATER	
FLUSH POINT	
HYDRANT	
STOP VALVE	
TAP	
WATER MARKER	
WATER METER	
UNDEFINED	
UNDEFINED MANHOLE	
UNDEFINED PIT	
UNDEFINED SERVICE	
SURVEY	
DATUM	
PEG FOUND	
SURVEY STATION	
TEMPORARY / BENCH MARK	
OTHER	
AWNING / EAVES	
ROOF RIDGE	
FLOOR RL	
BOLLARD	
WINDOW / DOOR	
BANK - BOTTOM	
BANK - TOP	
LOT SERVICE RECORD	
STATUS	LOCATED
	NO SERVICE
SERVICE	NO SERVICE
	CONFIRM
WATER	<input checked="" type="checkbox"/>
SEWER CONN.	<input checked="" type="checkbox"/>
GAS	<input checked="" type="checkbox"/>
COMMS	<input checked="" type="checkbox"/>
POWER LUG	<input checked="" type="checkbox"/>
POWER OH	<input checked="" type="checkbox"/>
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND/OR AVAILABILITY ON SITE.	



BUILDING LEGEND	
BUILDING LINE & WINDOWS	
WINDOW SILL LEVEL	00.00
WINDOW HEAD LEVEL	00.00
BUILDING LINE & DOORS	
DOOR BASE LEVEL	00.00
DOOR HEAD LEVEL	00.00
BALCONY	
BUILDING EAVES	

NOTE:
AHD LEVEL DERIVED FROM PERMANENT
SURVEY MARKS LISTED IN CONTROL
TABLE

NOTE:
THIS PLAN HAS BEEN PREPARED WITH
MGA2020 ZONE 56 COORDINATES.

CONTOUR LEGEND - 0.5m INTERVALS	
MAJOR CONTOURS	00
MINOR CONTOURS	

SURVEY CONTROL COORDINATE LISTING MGA2020 ZONE 56		
NAME	EASTING	NORTHING
SS1720	341680.605	6264150.418
PM9154	341424.344	6264084.787
SS195238	341513.008	6264112.512

A boundary identification has been
undertaken. Please refer to all
notes on the plan.

John School 21/01/25

GERALD SELLWOOD
Registered Surveyor Id SU008183

REV	DESCRIPTION	DRN	DATE	APP
8	BOUNDARY INFORMATION & ADDITIONAL SURVEY DATA ADDED	MR	21/01/25	TJ

PROJECT	: DEE WHY RSL - 932 PITTWATER ROAD
SUBURB	: DEE WHY
AUTHORITY	: NORTHERN BEACHES COUNCIL
SURVEY PLAN	: DP 706230
C/T	: 1/706230
BUILDERS / CLIENTS: Boundary position for site survey has been verified by boundary identification survey. The information shown on this plan is current at the time of survey. Features located are relative to true boundary position with varying accuracies determined by the nature and verticality of the feature identified. Utilities may vary from schematic presentation, clearance to be checked on site. Confirm service information with relevant authorities. Refer to "Before You Dig Australia" for underground service confirmation. Consult Land Surveys on any anomaly before design and construction.	
SCALE @ A1 : 1:250	
ALL DISTANCES ARE IN METRES	

CLIENT	: DEE WHY RSL CLUB
SURVEYED ON	: 22/11/2024
SURVEYOR	: ND
DRAWN	: MR
Land Surveys	
JOB No:	2401308
PLAN:	FS
DRG:	001
REV:	B
SHEET	1 OF 2

BOUNDARY LEGEND	
CADASTRAL BOUNDARY (SUBJECT LOT)	
(BEARINGS & DISTANCES SHOWN DERIVED FROM DP 706230. GREEN DISTANCES ARE SURVEYED, RED ARE AS PER TITLE)	
CADASTRAL BOUNDARY (ADJOINING)	
EASEMENT (A)	
EASEMENT (B)	
EASEMENT (C)	
EASEMENT (D)	
EASEMENT (E)	
EASEMENT (F)	
EASEMENT (G)	
EASEMENT (H)	

BOUNDARY NOTES

THIS MODEL IS PREPARED FOR FARRELL COYNE PROJECTS AND IS OF AN IDENTIFICATION SURVEY ONLY, AND AS SUCH IT IS NOT EXAMINED FOR REGISTRATION BY NSW LAND REGISTRY SERVICES.

NO RESPONSIBILITY CAN THEREFORE BE ACCEPTED FOR ANY FUTURE DIFFERENCE IN BOUNDARY LOCATION WHICH MAY RESULT FROM RE-SURVEY OF NEARBY LANDS OR SUBSEQUENT REGISTRATION OF OTHER SURVEY PLANS.

THE BOUNDARY SHOWN IS SUITABLE FOR DESIGN PURPOSES IF CONSTRUCTION IS TO OCCUR ADJACENT OR AT A CRITICAL OFFSET TO A BOUNDARY THEN THE BOUNDARY SHOULD BE MARKED.

ONLY THE TITLE FOR LOT 1 IN DP706230 WAS SEARCHED (ON 13/11/24) AND IT IS AFFECTED BY:

- (A) EASEMENT TO DRAIN WATER AFFECTING THE EXISTING LINE OF PIPES (W12122)
- (B) EASE TO AUGUR OF SUBSTATION PREMISES NO 15453 (AHT62216)
- (C) RIGHT OF WAY 3.5 & 5 WIDE (AHT62216) (W293865)
- (D) EASEMENT FOR ELECTRICITY PURPOSES 2 WIDE (AHT62216) (W293865)
- (E) EASEMENT FOR ELECTRICITY AND OTHER PURPOSES 4 WIDE (AHT62216) (W293865)
- (F) EASEMENT FOR ELECTRICITY & OTHER PURPOSES 3.5 WIDE (DP1297412)
- (G) RIGHT OF CARRIAGEWAY 3.06, 1.1, 5.3, 6.7 AND 10.75 WIDE (LIMITED IN STRATUM) (DP1297412) - SEE NOTE 1
- (H) RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS
- (I) COVENANTS AFFECTING PARTS OF THE LAND (A480390) (NOTE: SITES NOT SHOWN)
- (J) CAVEAT (J533858)

THE LOT IS BENEFITED BY:

- (H) EASEMENT FOR EMERGENCY EGRESS 1.2, 1.4, 1.5, 1.5 & 3.25 WIDE (DP1265629)

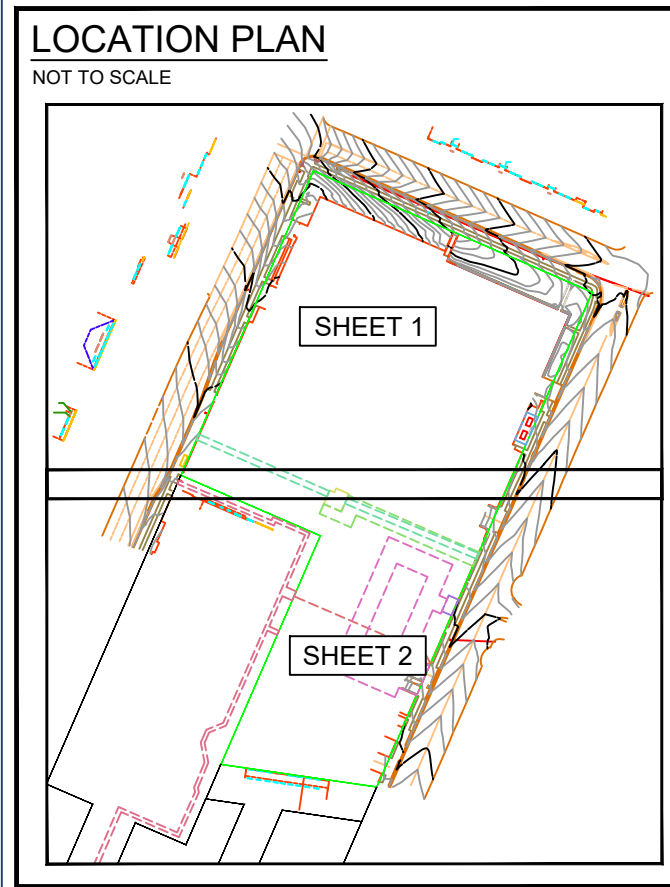
NOTE 1 - THE EXTENT OF (G) ONLY IS SHOWN - REFER TO DP1297412 FOR STRATUM LIMITS AND POSITIONS

MGA2020 CO-ORDINATES ARE RELATIVE TO PM9154 'X' AND SS10202 'Y' (SOURCE SCIMS 12/11/24)

A SCALE FACTOR HAS NOT BEEN APPLIED.

THE ORIGIN OF LEVELS IS PM9154+16.681m AHD (SOURCE SCIMS 12/11/24)

SERVICE LEGEND	
DRAINAGE	
GRATE	
SIDE ENTRY PIT	
STORM WATER MANHOLE	
ELECTRICAL	
CABLE MANHOLE	
CABLE PIT / BOX	
CABLE DOME	
CONSUMER POLE	
LIGHT POLE	
POWER POLE	
STAY POLE	
STAY WIRE ANCHOR	
OH POWER LINE	
GAS	
GAS MANHOLE	
GAS MARKER	
GAS METER	
GAS VALVE	
SEWERAGE	
SEWER MANHOLE	
PROPERTY CONNECTION	
SEWER LINE	
COMMUNICATIONS	
COMMS MANHOLE	
COMMS MARKER	
COMMS CABLE PIT	
WATER	
FLUSH POINT	
HYDRANT	
STOP VALVE	
TAP	
WATER MARKER	
WATER METER	
UNDEFINED	
UNDEFINED MANHOLE	
UNDEFINED PIT	
UNDEFINED SERVICE	
SURVEY	
DATUM	
PEG FOUND	
SURVEY STATION	
TEMPORARY / BENCH MARK	
OTHER	
AWNING / EAVES	
FLOOR RL	
BOLLARD	
WINDOW / DOOR	
BANK - BOTTOM	
BANK - TOP	
LOT SERVICE RECORD	
STATUS	LOCATED
	NOT FOUND
SERVICE	NO SERVICE
	CONFIRM
WATER	<input checked="" type="checkbox"/>
SEWER CONN.	<input checked="" type="checkbox"/>
GAS	<input checked="" type="checkbox"/>
COMMS	<input checked="" type="checkbox"/>
POWER LUG	<input checked="" type="checkbox"/>
POWER OH	<input checked="" type="checkbox"/>
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND/OR AVAILABILITY ON SITE.	



BUILDING LEGEND	
BUILDING LINE & WINDOWS	
WINDOW SILL LEVEL	
WINDOW HEAD LEVEL	
BUILDING LINE & DOORS	
DOOR BASE LEVEL	
DOOR HEAD LEVEL	
BALCONY	
BUILDING EAVES	

NOTE:
AHD LEVEL DERIVED FROM PERMANENT SURVEY MARKS LISTED IN CONTROL TABLE

NOTE:
THIS PLAN HAS BEEN PREPARED WITH MGA2020 ZONE 56 COORDINATES.

CONTOUR LEGEND - 0.5m INTERVALS	
MAJOR CONTOURS	00
MINOR CONTOURS	

SURVEY CONTROL COORDINATE LISTING MGA2020 ZONE 56			
NAME	EASTING	NORTHING	ELEVATION
SS1720	341680.605	6264150.418	8.008
PM9154	341424.344	6264084.787	16.681
SS195238	341513.008	6264112.512	15.009

A boundary identification has been undertaken. Please refer to all notes on the plan.

21/01/25

GERALD SELLWOOD
Registered Surveyor Id SU008183

REV	DESCRIPTION	DRN	DATE	APP
8	BOUNDARY INFORMATION & ADDITIONAL SURVEY DATA ADDED	MR	21/01/25	TJ

PROJECT : DEE WHY RSL - 932 PITTWATER ROAD
SUBURB : DEE WHY
AUTHORITY : NORTHERN BEACHES COUNCIL C/T : 1/706230

BUILDERS / CLIENTS: Boundary position for site survey has been verified by boundary identification survey. The information shown on this plan is current at the time of survey. Features located are relative to true boundary position with varying accuracies determined by the nature and veracity of the features identified. Utilities may vary from schematic presentation, clearances to be checked on site. Confirm service information with relevant Authorities. Refer to "Before You Dig Australia" for underground service confirmation. Consult Land Surveys on any anomaly before design and construction.

SCALE @ A1 : 1:250
ALL DISTANCES ARE IN METRES



BOUNDARY LEGEND	
CADASTRAL BOUNDARY (SUBJECT LOT)	
(BEARINGS & DISTANCES SHOWN DERIVED FROM DP 706230 GREEN DISTANCES ARE SURVEYED, RED ARE AS PER TITLE)	
CADASTRAL BOUNDARY (ADJOINING)	
EASEMENT (A)	
EASEMENT (B)	
EASEMENT (C)	
EASEMENT (D)	
EASEMENT (E)	
EASEMENT (F)	
EASEMENT (G)	
EASEMENT (H)	

BOUNDARY NOTES

THIS MODEL IS PREPARED FOR FARRELL COYNE PROJECTS AND IS OF AN IDENTIFICATION SURVEY ONLY, AND AS SUCH IT IS NOT EXAMINED FOR REGISTRATION BY NSW LAND REGISTRY SERVICES.

NO RESPONSIBILITY CAN THEREFORE BE ACCEPTED FOR ANY FUTURE DIFFERENCE IN BOUNDARY LOCATION WHICH MAY RESULT FROM RE-SURVEY OF NEARBY LANDS OR SUBSEQUENT REGISTRATION OF OTHER SURVEY PLANS.

THE BOUNDARY SHOWN IS SUITABLE FOR DESIGN PURPOSES IF CONSTRUCTION IS TO OCCUR ADJACENT, OR AT A CRITICAL OFFSET TO A BOUNDARY THEN THE BOUNDARY SHOULD BE MARKED.

ONLY THE TITLE FOR LOT 1 IN DP706230 WAS SEARCHED (ON 13/11/24) AND IT IS AFFECTED BY:
(A) EASEMENT TO DRAIN WATER AFFECTING THE EXISTING LINE OF PIPES (W122122)
(B) LEASE TO AUSGRID OF SUBSTATION PREMISES No 15403 (AH762216)
(C) RIGHT OF WAY 3.5 & 5 WIDE (AH762216) (W203865)
(D) EASEMENT FOR ELECTRICITY PURPOSES 2 WIDE (AH762216) (W203865)
(E) EASEMENT FOR ELECTRICITY AND OTHER PURPOSES 4 WIDE (AH762216) (W203865)
(F) EASEMENT FOR ELECTRICITY & OTHER PURPOSES 3.5 WIDE (DP1097412)
(G) RIGHT OF CARRIAGEWAY 3.065, 3.1, 5.3, 6, 7 AND 10.75 WIDE (LIMITED IN STRATUM) (DP1297412) - SEE NOTE 1
• RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS)
• COVENANTS AFFECTING PARTS OF THE LAND (A489390) (NOTE - SITES NOT SHOWN)
• COVEAT (J535558)

THE LOT IS BENEFITED BY:
(H) EASEMENT FOR EMERGENCY EGRESS 12, 145, 1.5 & 3.25 WIDE (DP1265629)

NOTE 1 - THE EXTENT OF (G) ONLY IS SHOWN - REFER TO DP1297412 FOR STRATUM LIMITS AND POSITIONS

MGA2020 CO-ORDINATES ARE RELATIVE TO PM9154 'X' AND SS102022 'Y' (SOURCE SCIMS 12/11/24)
A SCALE FACTOR HAS NOT BEEN APPLIED.
THE ORIGIN OF LEVELS IS PM9154+16.681m AHD (SOURCE SCIMS 12/11/24)

CLIENT : DEE WHY RSL CLUB
SURVEYED ON : 22/11/2024
SURVEYOR : ND
DRAWN : MR

Land Surveys
Unit 6, 3 Gibbs Street
CHATSWOOD NSW 2087
Telephone (02) 9439 6925
sydney@landsurveys.net.au

JOB No : 2401308
PLAN : FS
DRG : 001
REV : B
SHEET : 2 OF 2