

SITE PLAN: 738.3 m²

GARAGE: 12.08 m²

LOWER GROUND FLOOR: 59.94 m²

GROUND FLOOR: 124.58 m²

FIRST FLOOR: 112.38 m²

SECOND FLOOR: 108.73 m²

TOTAL: 417.71 m²

FSR: 0.56:1

0mm

100mm

200mm

300mm

100mm

200mm

I.S.G

N

COOL NORTH EASTERLY
BREEZES COMMON
IN SUMMER

SUMMER SUN

WINTER SUN

43749

SITE SLOPE

32.6%

SITE SLOPE
35%

SITE SLOPE

27%

DP 1199598
AREA 738.3 m²
(DP 1199598)

WINTER SUN

SUMMER SUN

STRONG WESTERLY
WINDS COMMON IN
AFTERNOON CHANGE

STREET

STUART

VIEWS

COLD SOUTHERLY WINDS
COMMON IN WINTER

Date

Rev

Amendment

Project:

PROPOSED SINGLE HOUSE

DA

28 Stuart St, Collaroy NSW 2097



Vigor Master Pty Ltd

Suite 201A, 24 Thomas St,
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Tel. 02 9411 3998

Fax. 02 9413 3983

Email. info@vigormaster.com.au

Drawn by: RT

Checked by: MW

Title: SITE ANALYSIS

Job NO.: DA28SS

Date: 19.02.2024

Scale @ A1:

Scale @ A3: 1 : 200

Drawing NO.: A002

Rev:

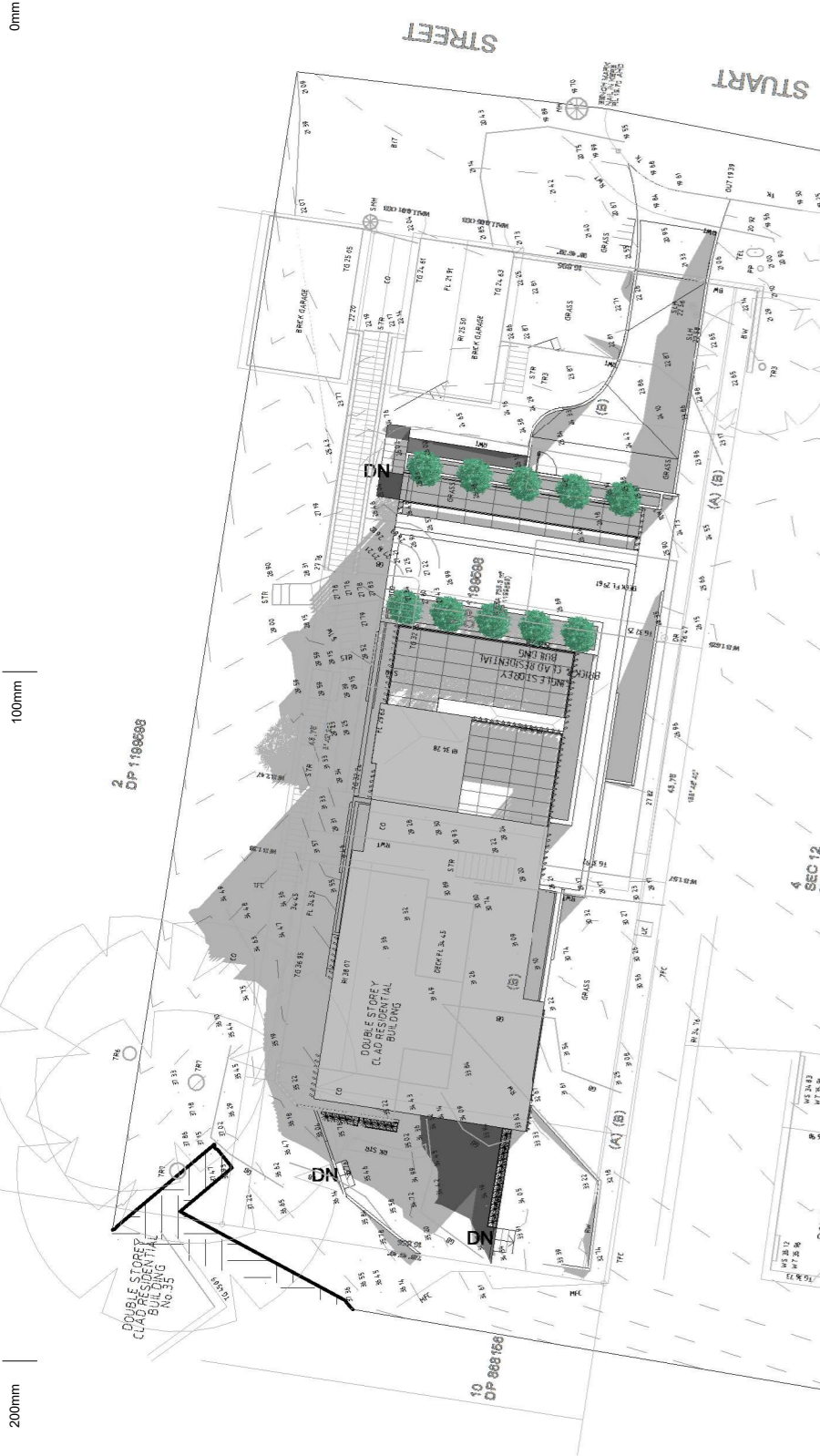


0mm

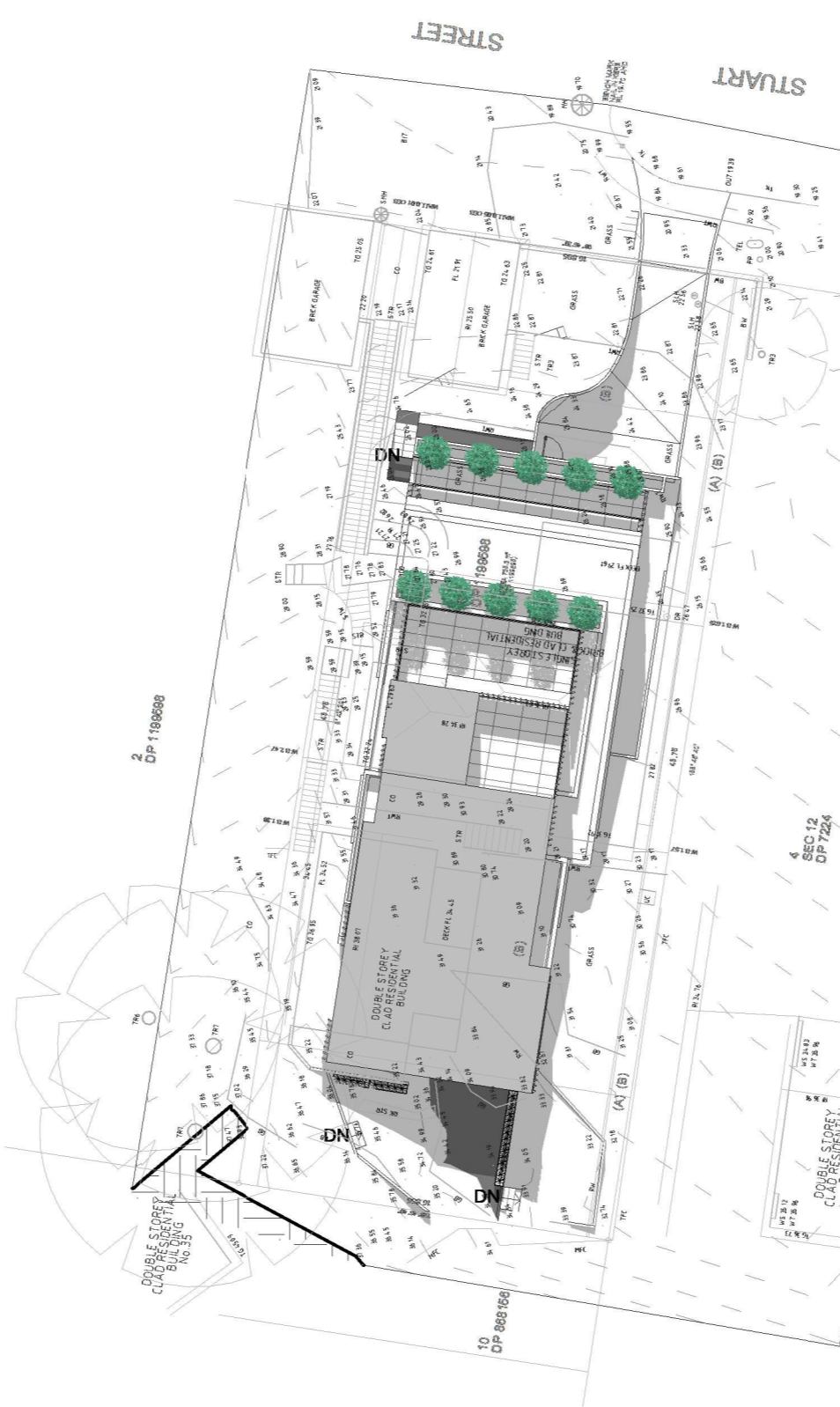
100mm

200mm

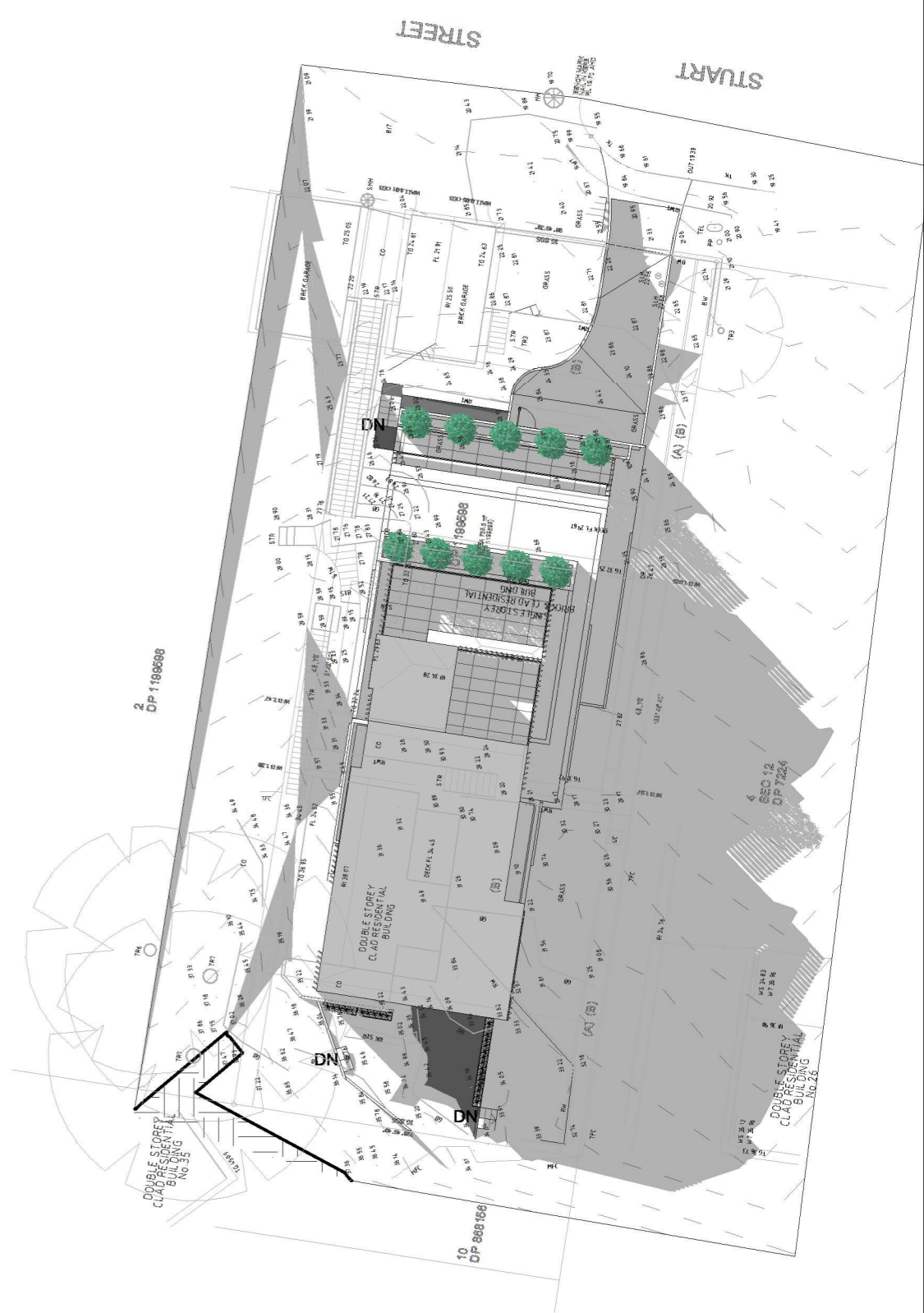
300mm



1 JUNE 21 @ 9am
1 : 300



2 JUNE 21 @ 12pm
1 : 300



3 JUNE 21 @ 3pm
1 : 300

Date

Rev

Amendment

Project:

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Drawn by: RT

Checked by: MW

Title: SHADOW DIAGRAMS

Job NO.: DA28SS

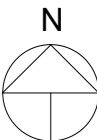
Date: 19.02.2024

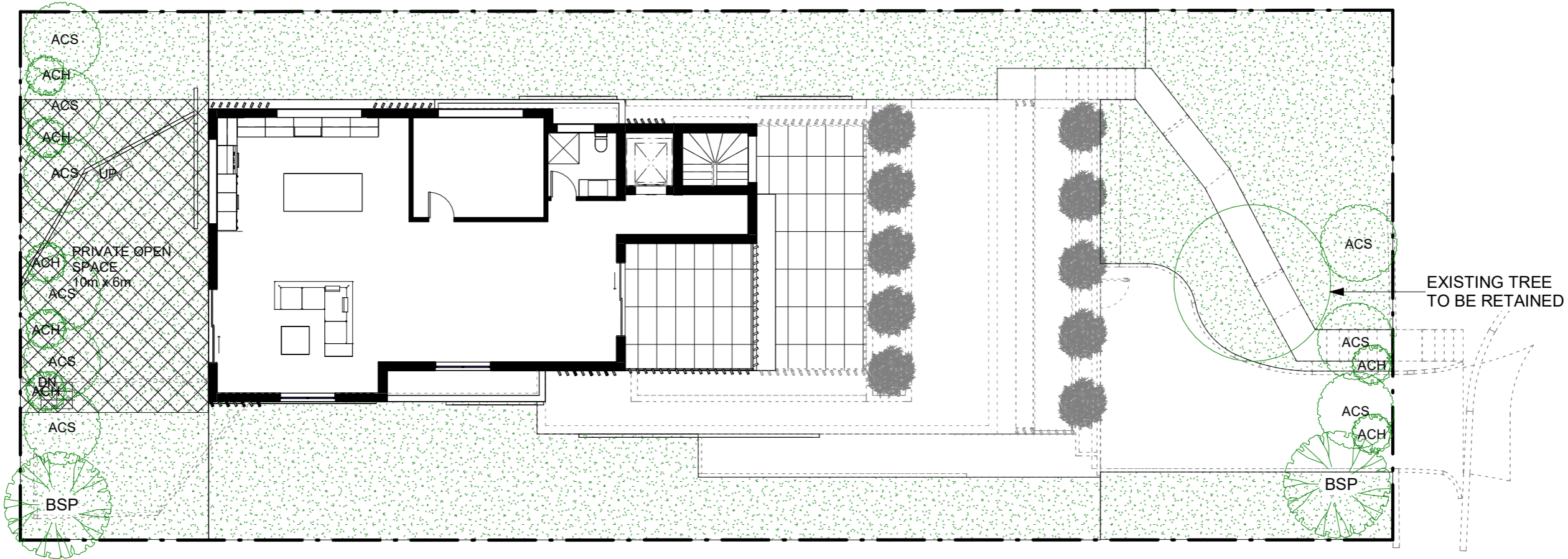
Scale @ A1:

Scale @ A3: 1 : 300

Drawing NO.: A003

Rev:





ID	Latin Name	Common Name	Quantity	Spread	Height
ACS	Acmena smithii 'Minor'	Lillypilly	9	2000	2500
ACH	Actinotus helianthi	Flannel Flower	7	1000	1000
BSP	Banksia spinulosa	Hairpin Banksia	2	3000	3500



Date	Rev	Amendment

Project:
PROPOSED SINGLE HOUSE

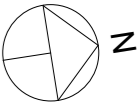
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Tel. 02 9411 3998
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Email. info@vigormaster.com.au

Drawn by: RT
Checked by: MW
Title: LANDSCAPE PLAN

Job NO.: DA28SS
Date: 19.02.2024
Scale @ A1:
Scale @ A3: 1 : 150
Drawing NO.: A004
Rev:



0mm

100mm

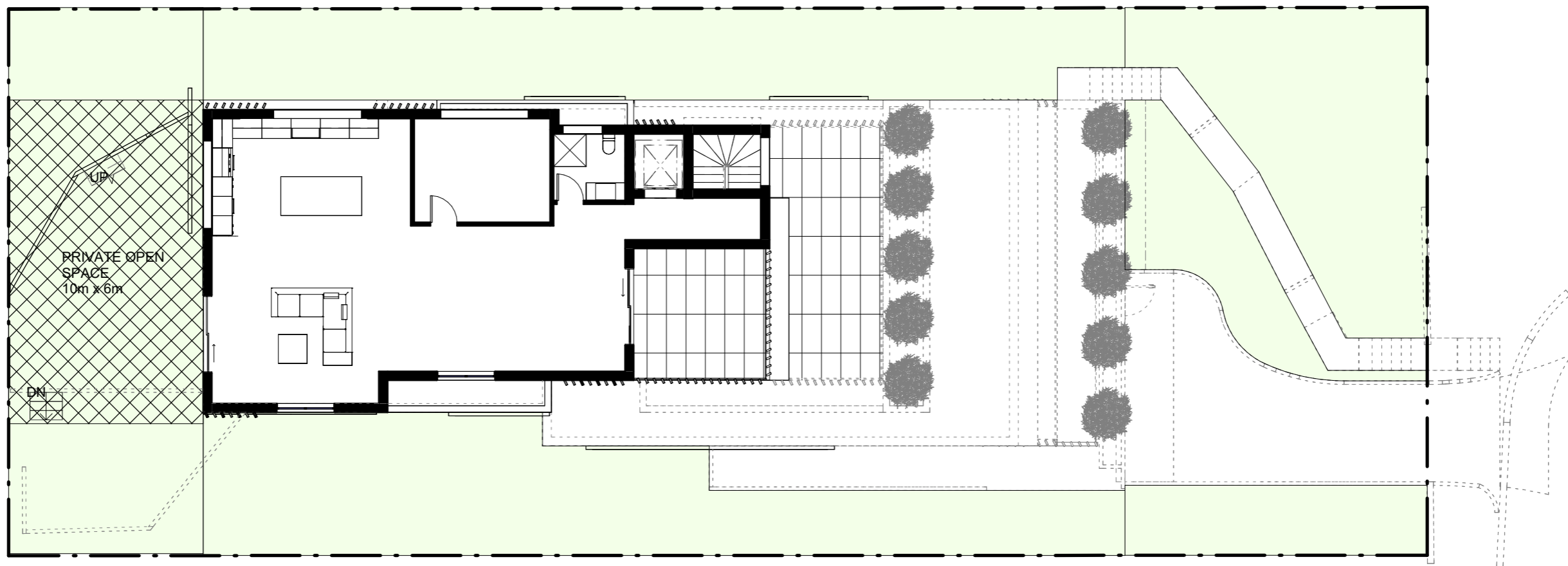
200mm

300mm

0mm

100mm

200mm



LANDSCAPE



PRIVATE OPEN SPACE

SITE PLAN: 738.3 m²

LANDSCAPE: 370.43 m² = 50.17%
IMPERVIOUS AREA: 367.87 m² = 49.83%

PRIVATE OPEN SPACE: 60 m²

Date

Rev

Amendment

Project:

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Drawn by: RT

Checked by: MW

Title: LANDSCAPE & OPEN SPACE CALCULATION

Job NO.: DA28SS

Date: 19.02.2024

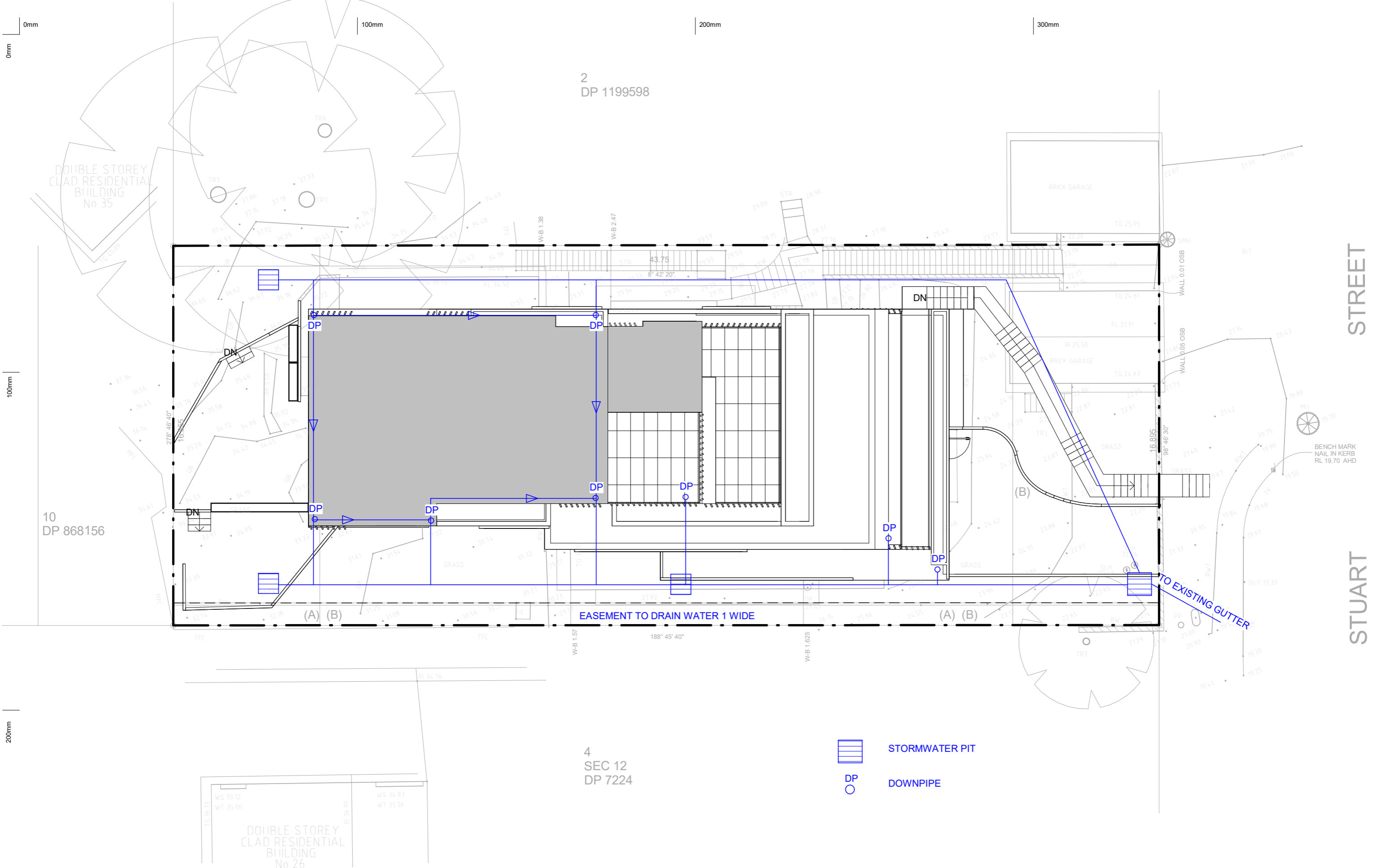
Scale @ A1:

Scale @ A3: 1 : 150

Drawing NO.: A005

Rev:






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Project:
PROPOSED SINGLE HOUSE

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Construction Management

Vigor Master Pty Ltd

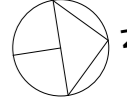
Suite 201A, 24 Thomas St,
Chatswood NSW 2067
Tel. 02 9411 3998
Fax. 02 9413 3983
Email. info@vigmaster.com.au

Drawn by: RT
Checked by: MW
Title: **STORMWATER PLAN**

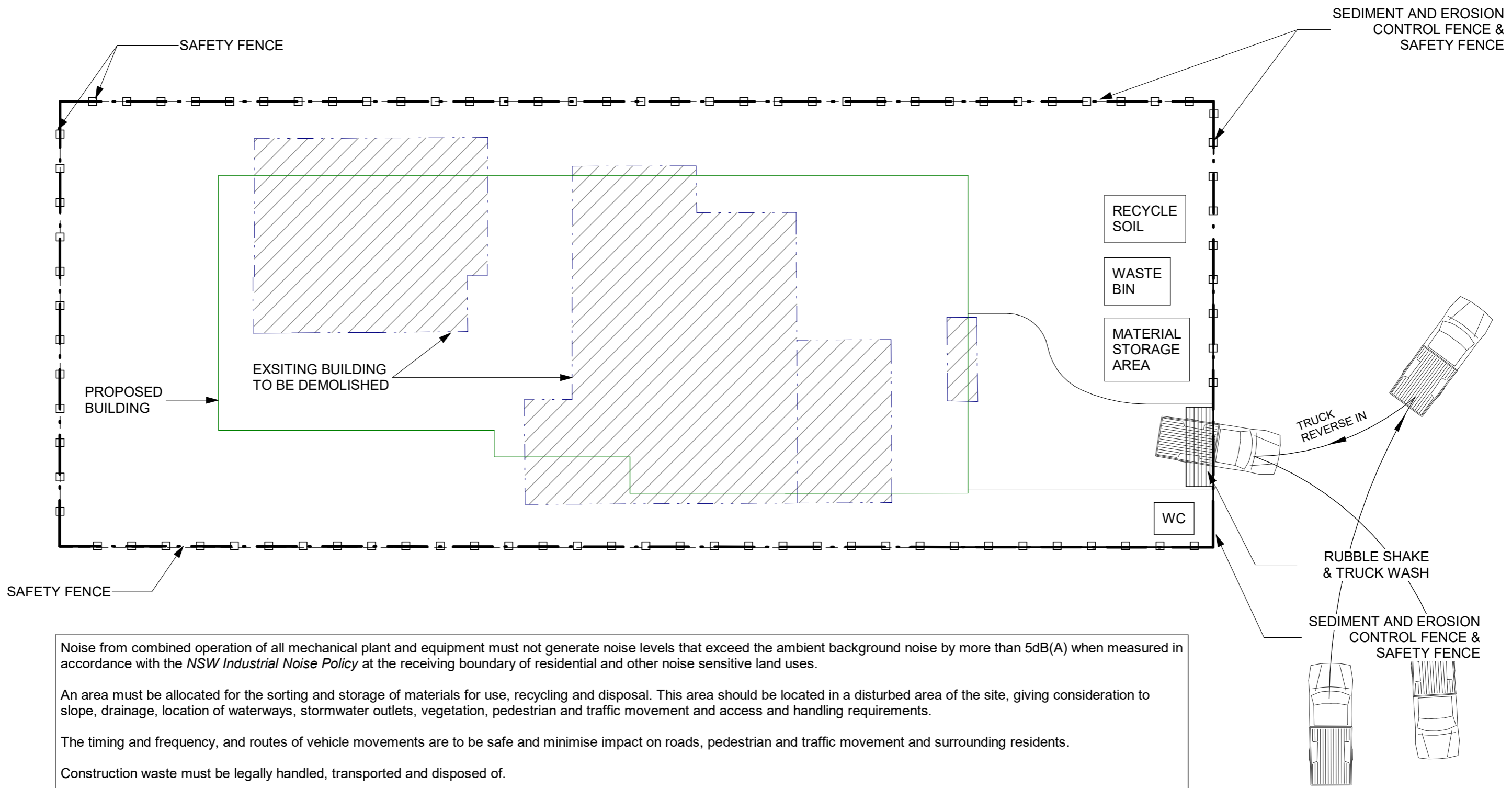
Job NO.: DA28SS
Date: 19.02.2024

Scale @ A1:
Scale @ A3: 1 : 150
Drawing NO.: A006

Rev:



N



Noise from combined operation of all mechanical plant and equipment must not generate noise levels that exceed the ambient background noise by more than 5dB(A) when measured in accordance with the *NSW Industrial Noise Policy* at the receiving boundary of residential and other noise sensitive land uses.

An area must be allocated for the sorting and storage of materials for use, recycling and disposal. This area should be located in a disturbed area of the site, giving consideration to slope, drainage, location of waterways, stormwater outlets, vegetation, pedestrian and traffic movement and access and handling requirements.

The timing and frequency, and routes of vehicle movements are to be safe and minimise impact on roads, pedestrian and traffic movement and surrounding residents.

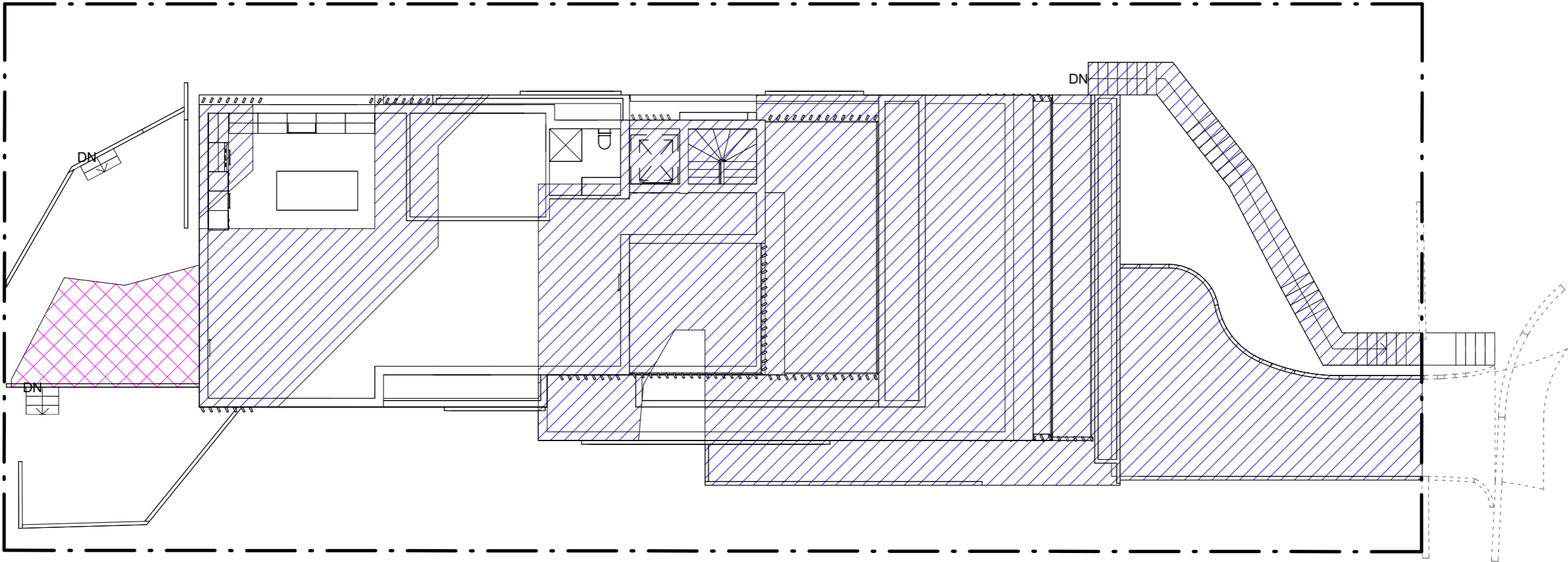
Construction waste must be legally handled, transported and disposed of.

Dedicated safe pedestrian access is, at all times, to be provided around the site.

Construction waste must be minimised and source separation, reuse and recycling of materials must be maximised.

Construction sites will be managed to ensure air and water borne pollutants such as noise, dust, odour and liquids and the like are minimised.

Construction sites will be managed to minimise site disturbance, limiting unnecessary excavation



CUT AREA

FILL AREA

Date	Rev	Amendment

Project:
PROPOSED SINGLE HOUSE

DA
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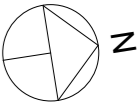


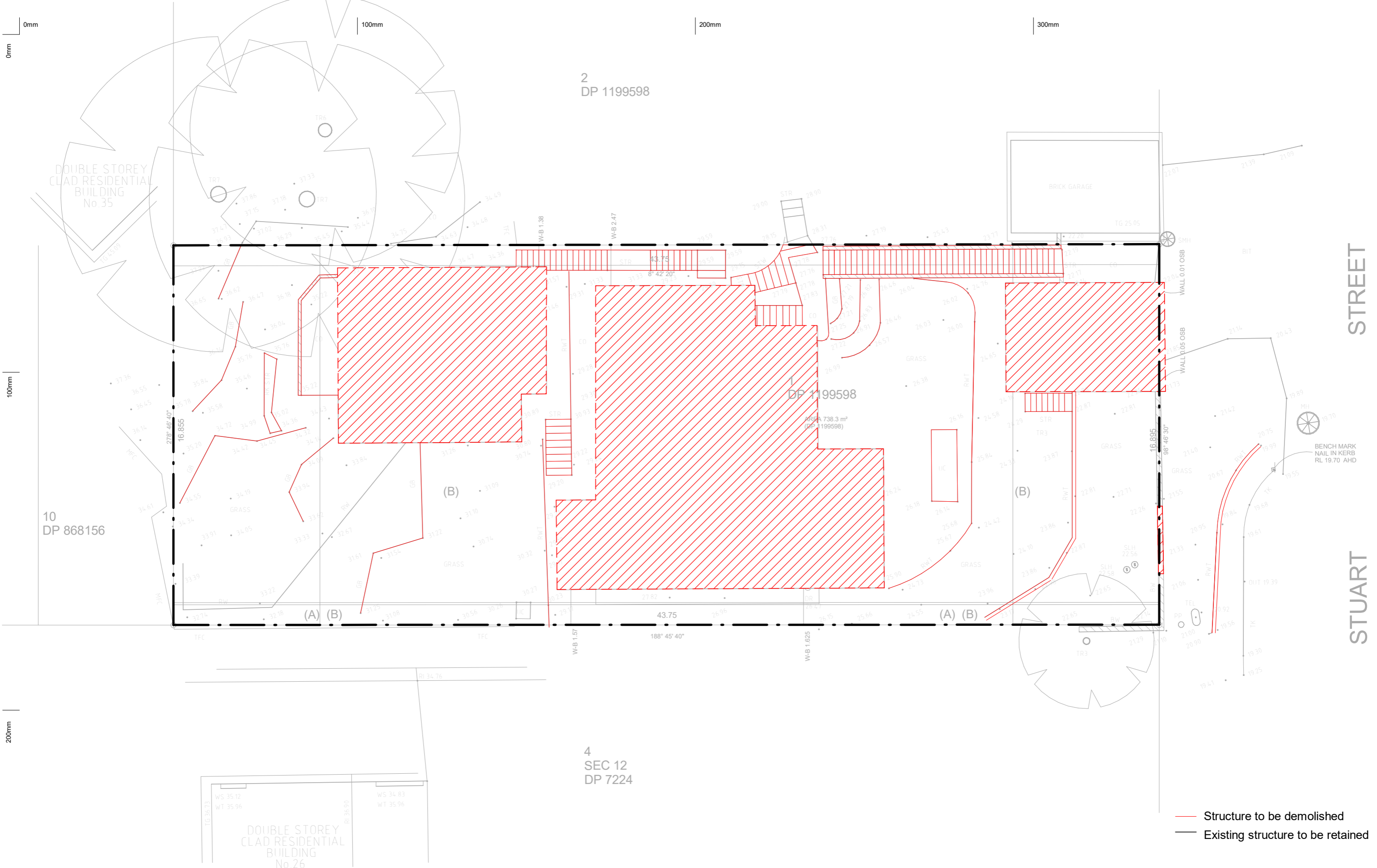
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Chatswood NSW 2067
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Fax. 02 9413 3983
Email. info@vigormaster.com.au

Drawn by: RT
Checked by: MW
Title: **CUT & FILL PLAN**

Job NO.: DA28SS
Date: 19.02.2024
Scale @ A1:
Scale @ A3: 1 : 150
Drawing NO.: A008
Rev:





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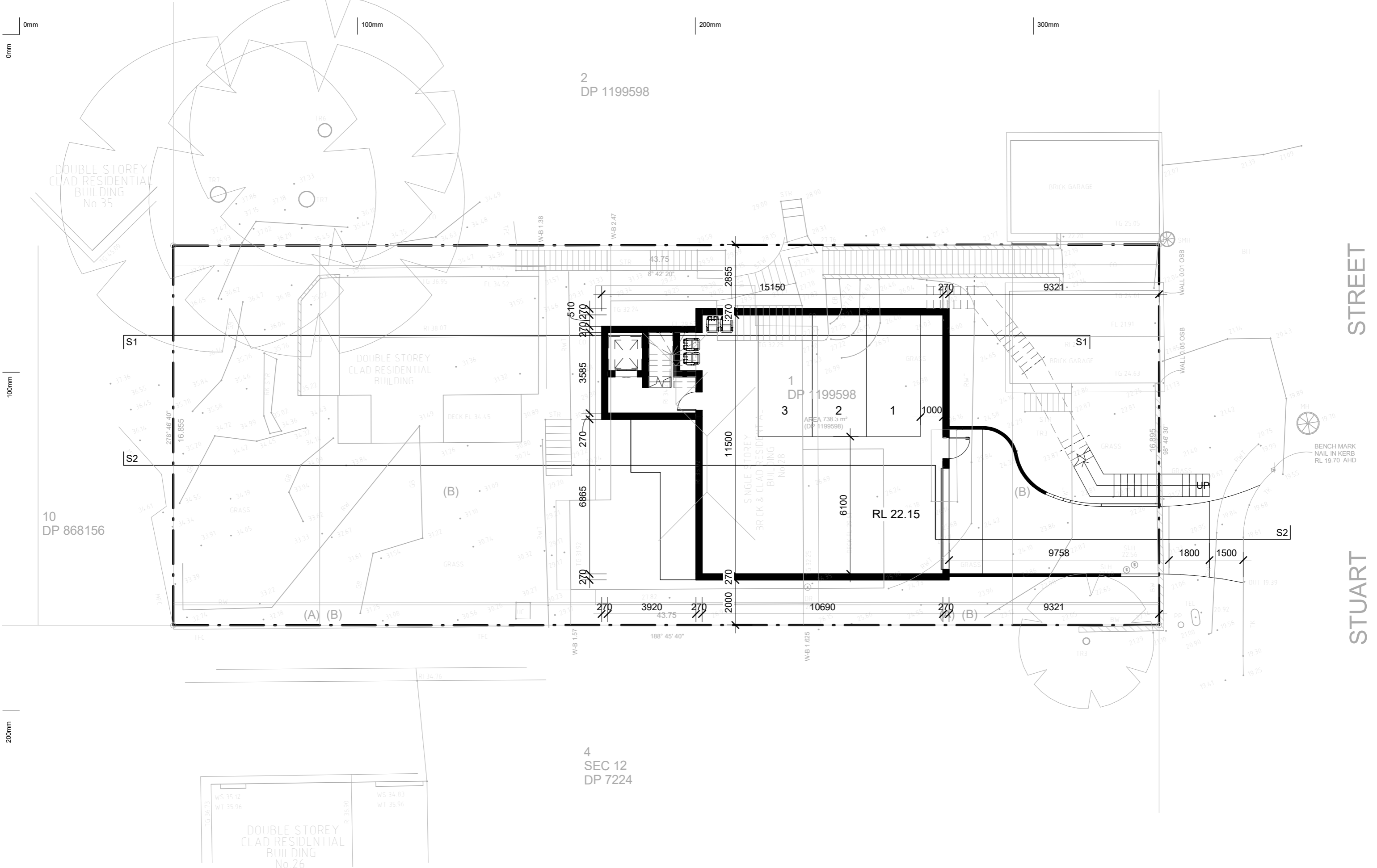
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Drawn by: RT
Checked by: MW
Title: **DEMOLITION PLAN**

Job NO.: DA28SS
Date: 19.02.2024

Scale @ A1:
Scale @ A3: As indicated
Drawing NO.: A009
Rev:



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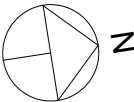
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Chatswood NSW 2067
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Drawn by: RT
Checked by: MW
Title: **GARAGE PLAN**

Job NO.: DA28SS
Date: 19.02.2024

Scale @ A1:
Scale @ A3: 1 : 150
Drawing NO.: A101

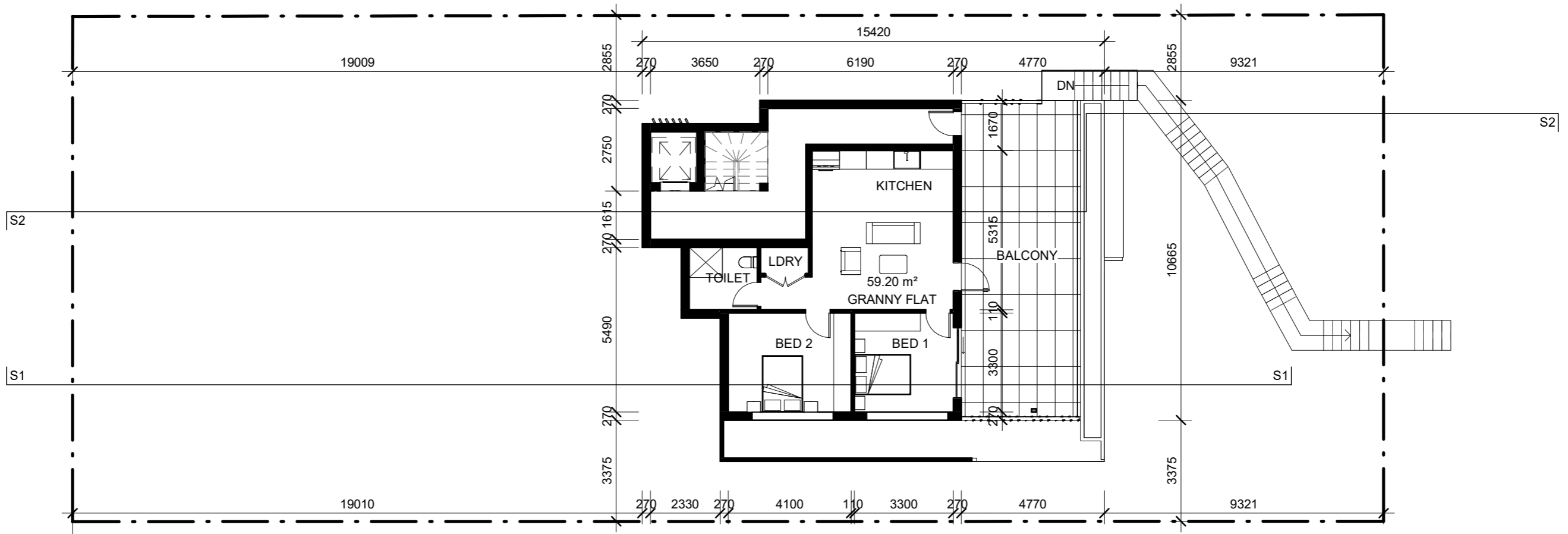
Rev:



0mm 100mm 200mm 300mm

100mm

200mm



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Drawn by: RT

Checked by: MW

Title: LOWER GROUND FLOOR PLAN

Job NO.: DA28SS

Date: 19.02.2024

Scale @ A1:

Scale @ A3: 1 : 150

Drawing NO.: A102

Rev:



0mm

100mm

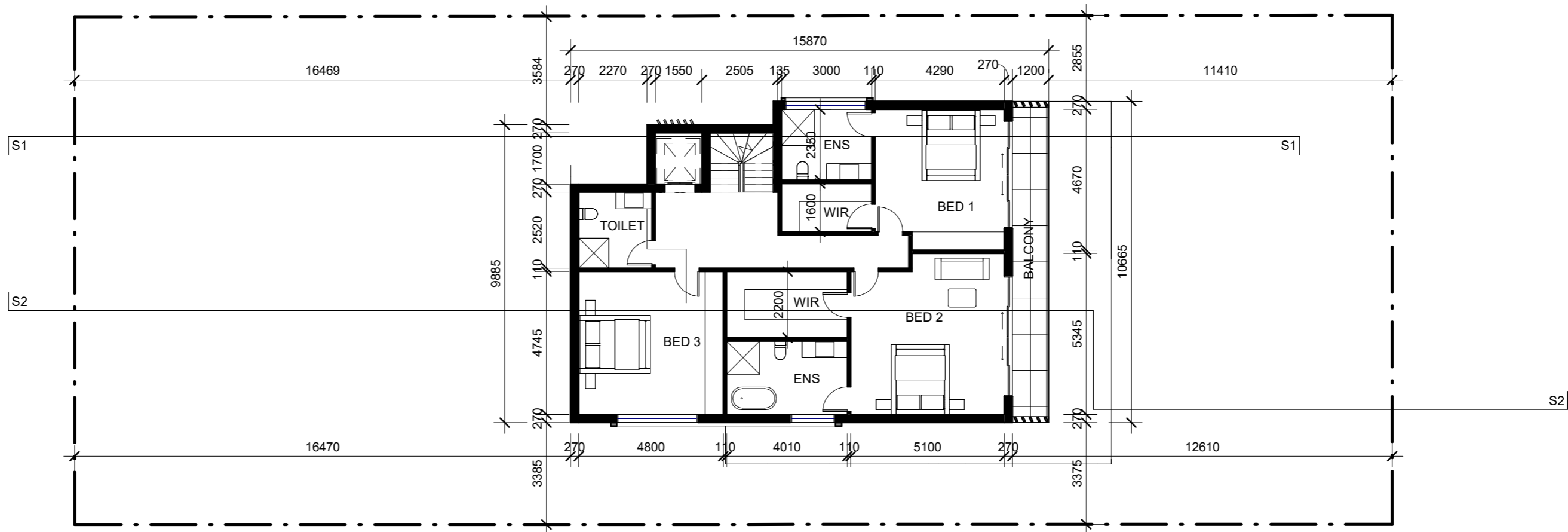
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300mm

0mm

100mm

200mm



Date	Rev	Amendment

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Drawn by: RT
Checked by: MW
Title: **GROUND FLOOR PLAN**

Job NO.: DA28SS
Date: 19.02.2024
Scale @ A1:
Scale @ A3: 1 : 150
Drawing NO.: A103

Rev:



0mm

100mm

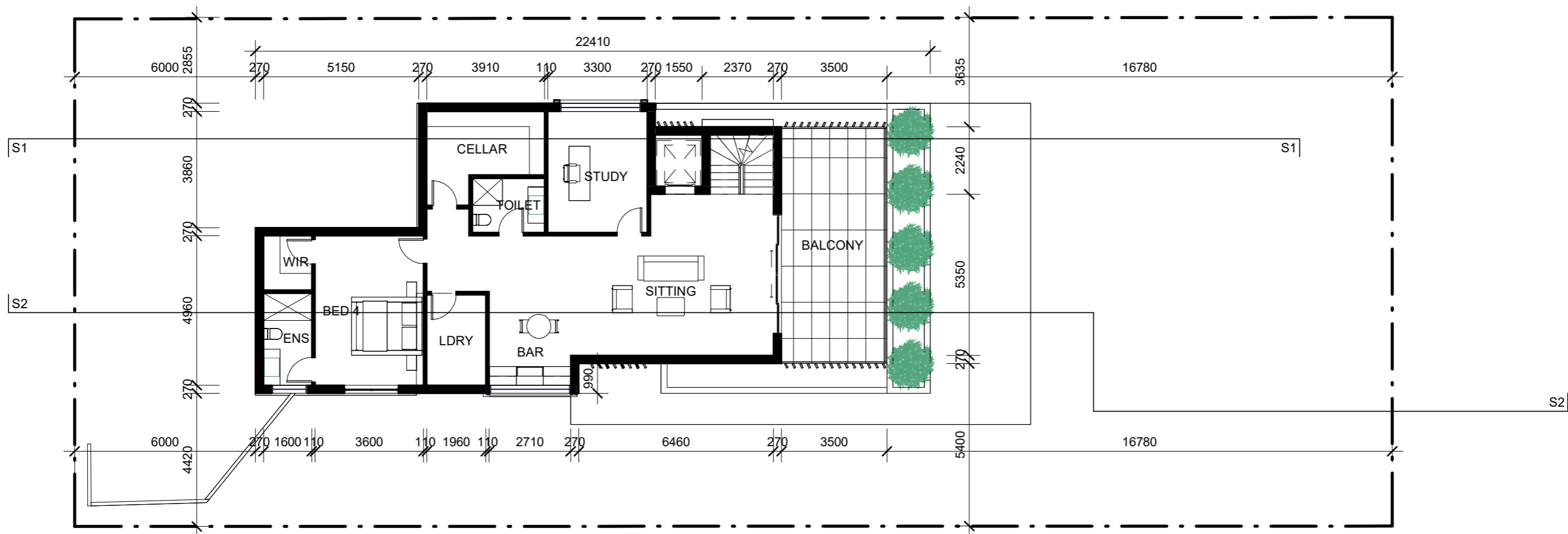
200mm

300mm

0mm

100mm

200mm



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Drawn by: RT
Checked by: MW
Title: FIRST FLOOR PLAN

Scale @ A1:
Scale @ A3: 1 : 150
Job NO.: DA28SS
Date: 19.02.2024
Drawing NO.: A104
Rev:



0mm

100mm

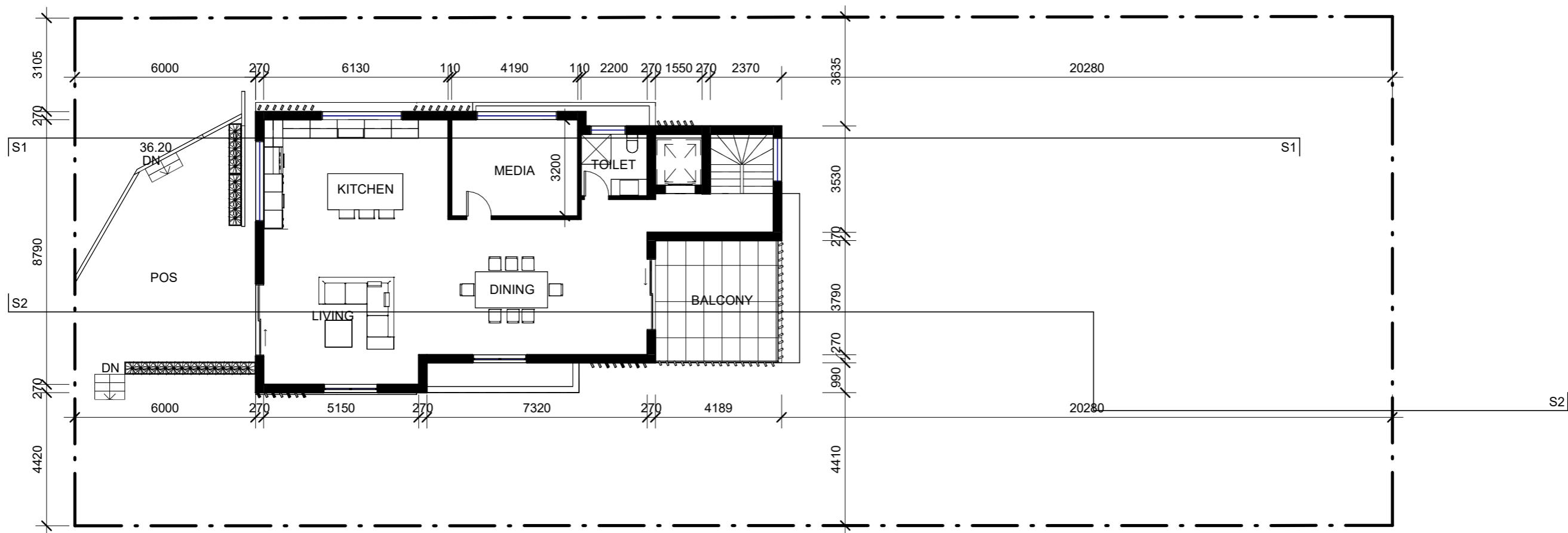
200mm

300mm

0mm

100mm

200mm



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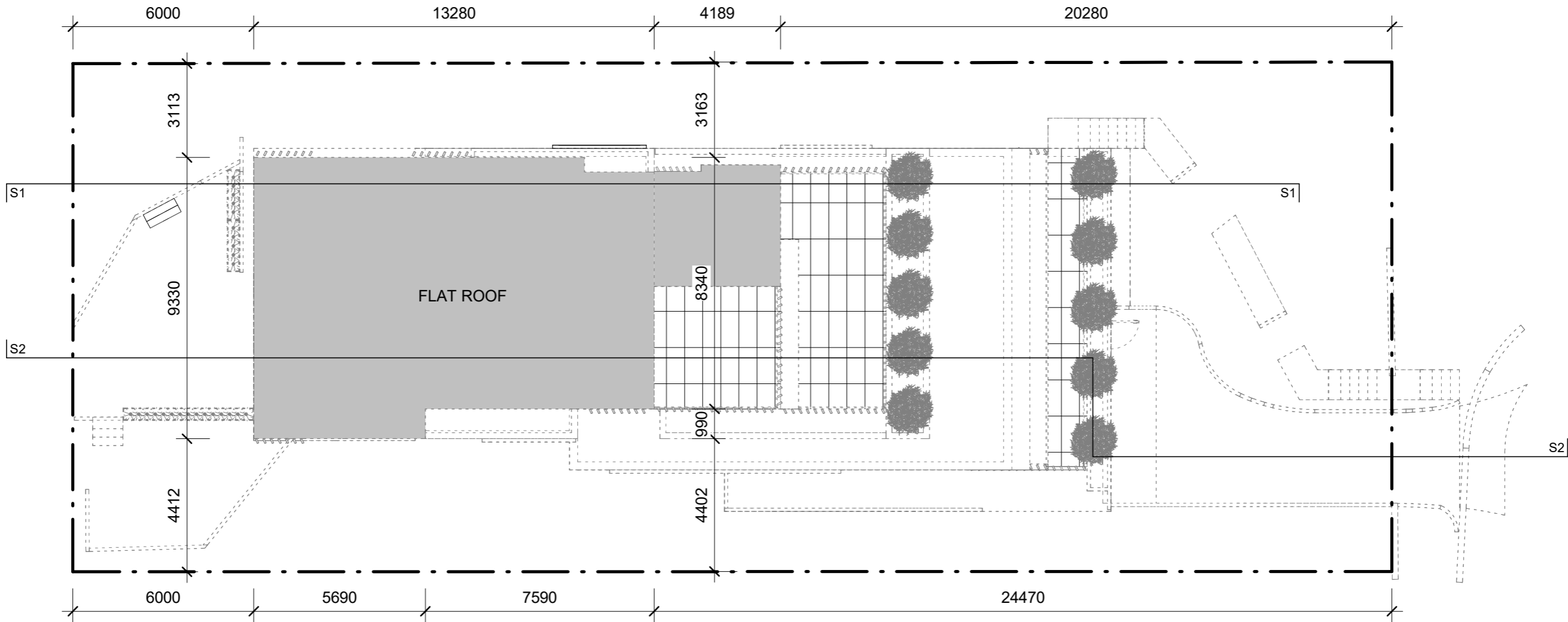
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Chatswood NSW 2067
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Drawn by: RT
Checked by: MW
Title: SECOND FLOOR PLAN

Scale @ A1:
Scale @ A3: 1 : 150
Job NO.: DA28SS
Date: 19.02.2024
Drawing NO.: A105
Rev:





Date	Rev	Amendment

Project:
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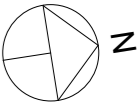
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Drawn by: RT
Checked by: MW
Title: ROOF PLAN

Job NO.: DA28SS
Date: 19.02.2024

Scale @ A1:
Scale @ A3: 1 : 150
Drawing NO.: A106

Rev:



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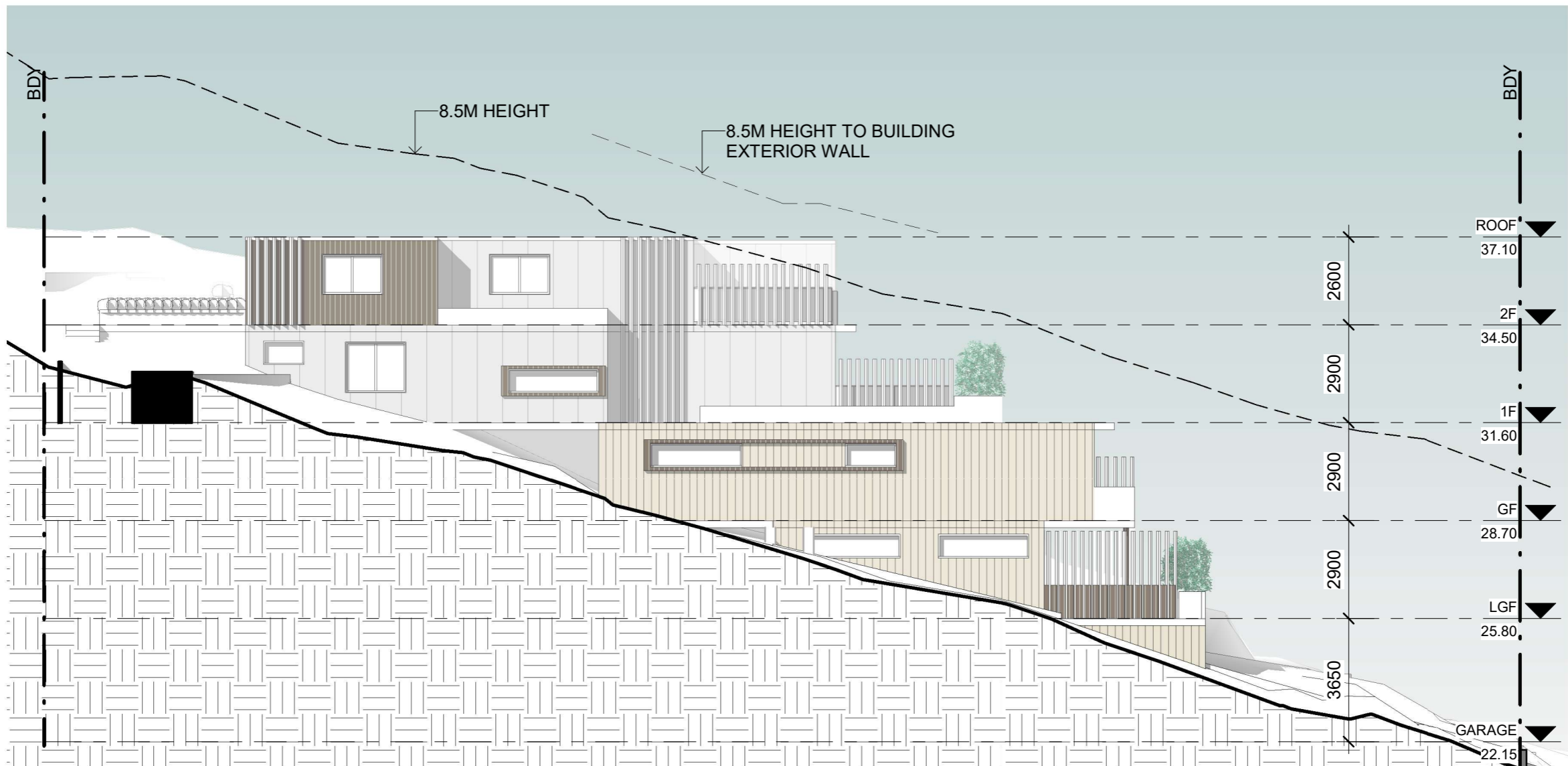
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200mm

300mm

100mm

200mm



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Date	Rev	Amendment

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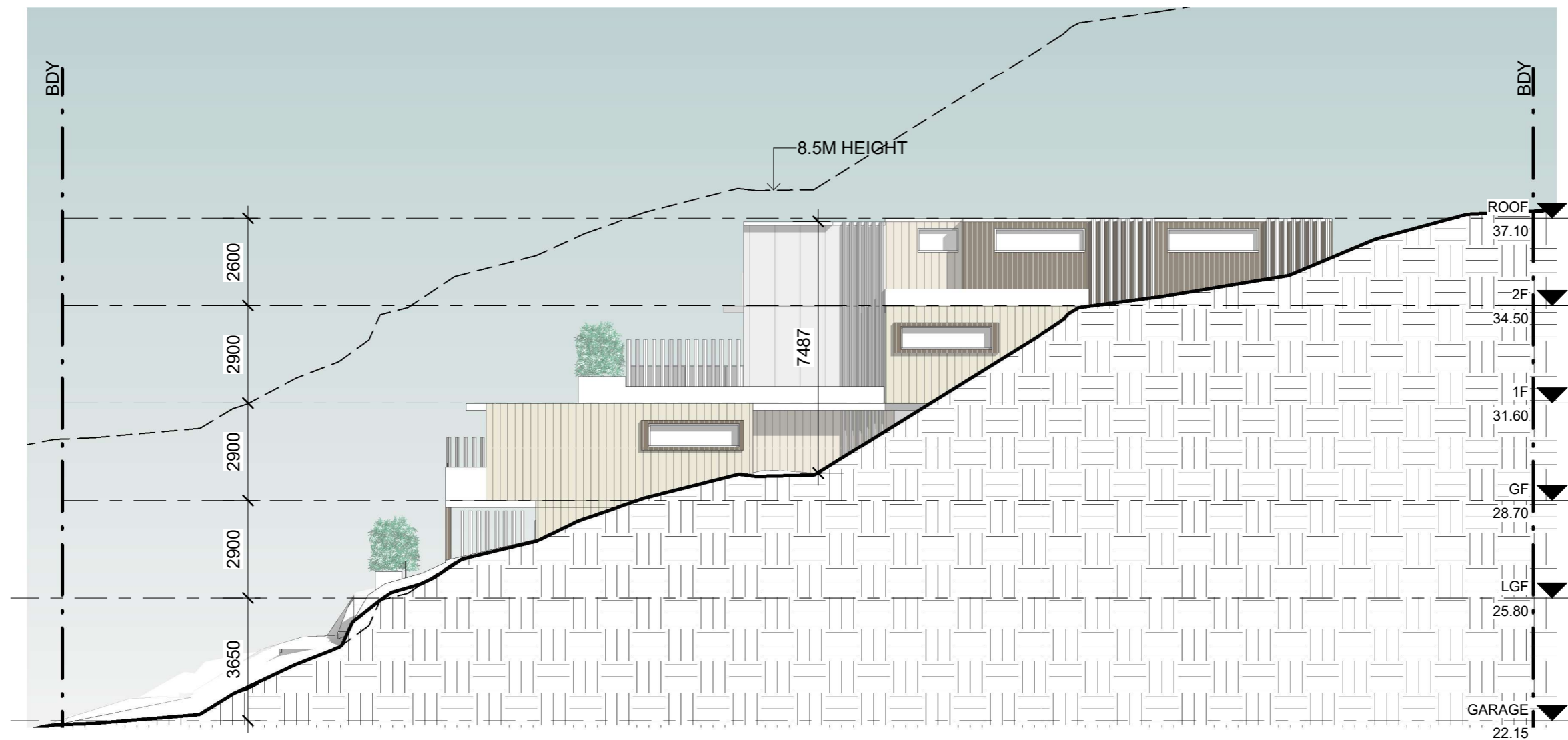


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Drawn by: RT
Checked by: MW
Title: **EAST ELEVATION**

Scale @ A1:
Scale @ A3: 1 : 150
Job NO.: DA28SS
Date: 19.02.2024
Drawing NO.: A201
Rev:



Date	Rev	Amendment
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Drawn by: RT

Checked by: MW

Title: WEST ELEVATION

Job NO.: DA28SS

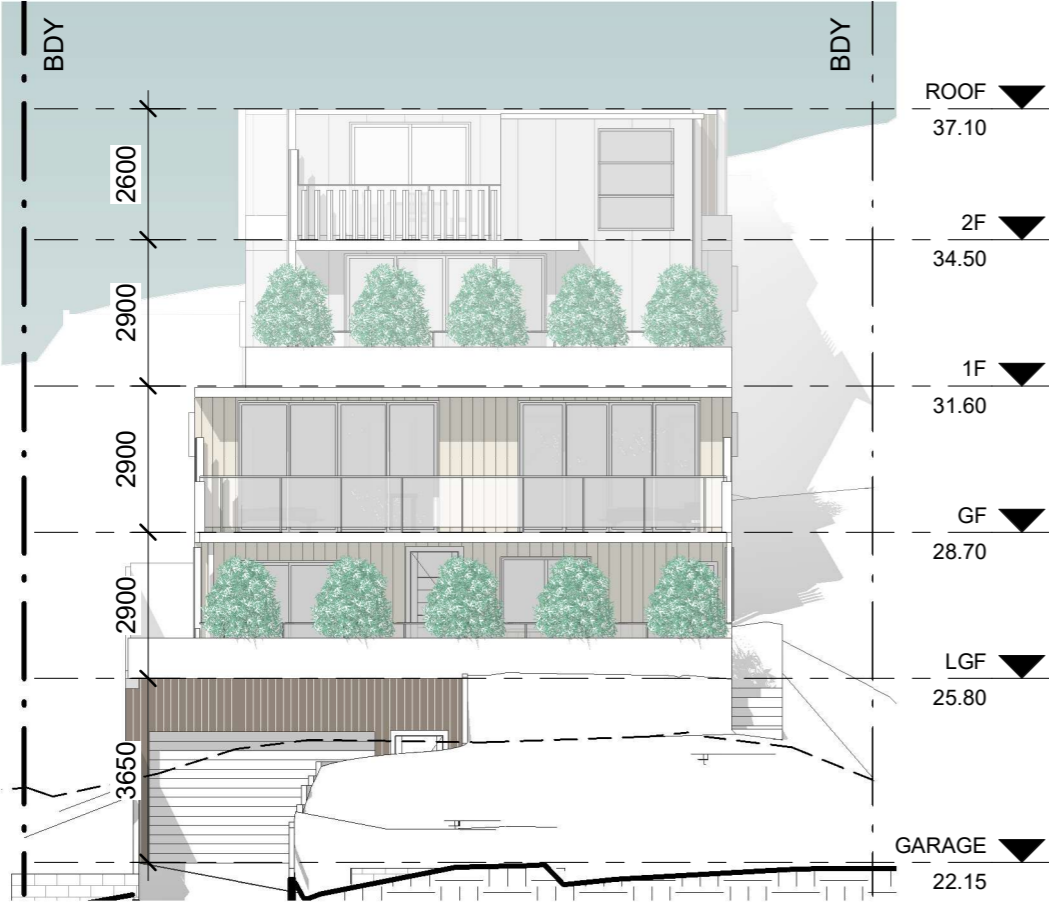
Date: 19.02.2024

Scale @ A1:

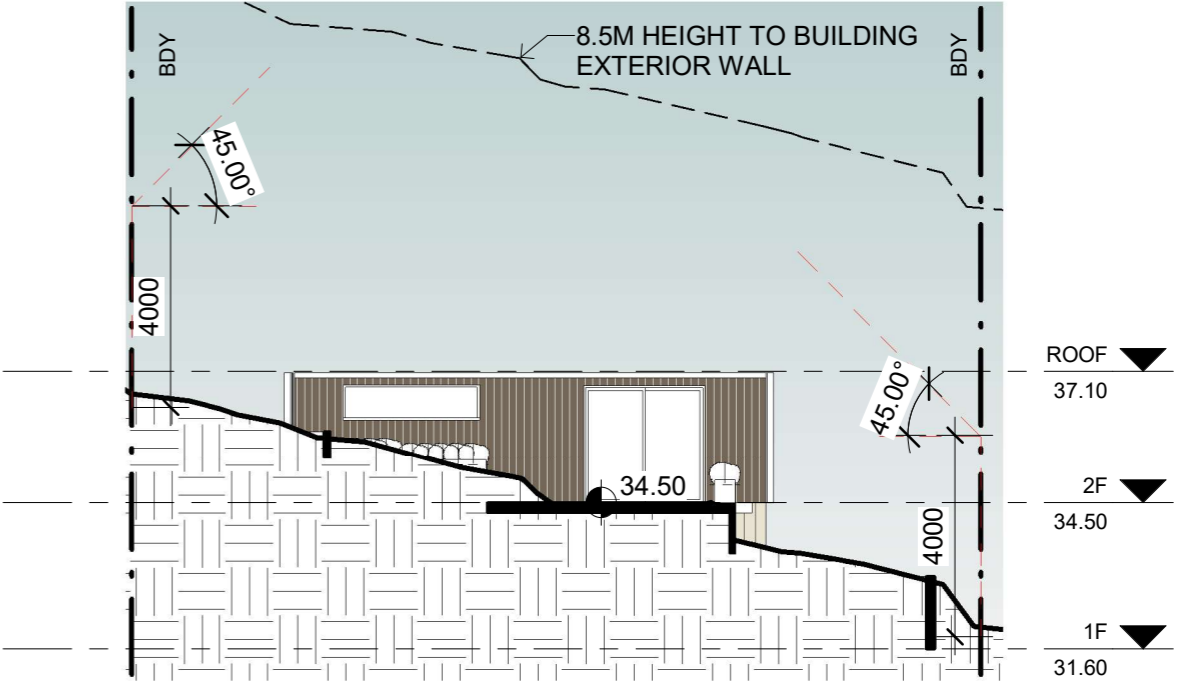
Scale @ A3: 1 : 150

Drawing NO.: A202

Rev:



1 NORTH ELEVATION
1 : 150



2 SOUTH ELEVATION
1 : 150

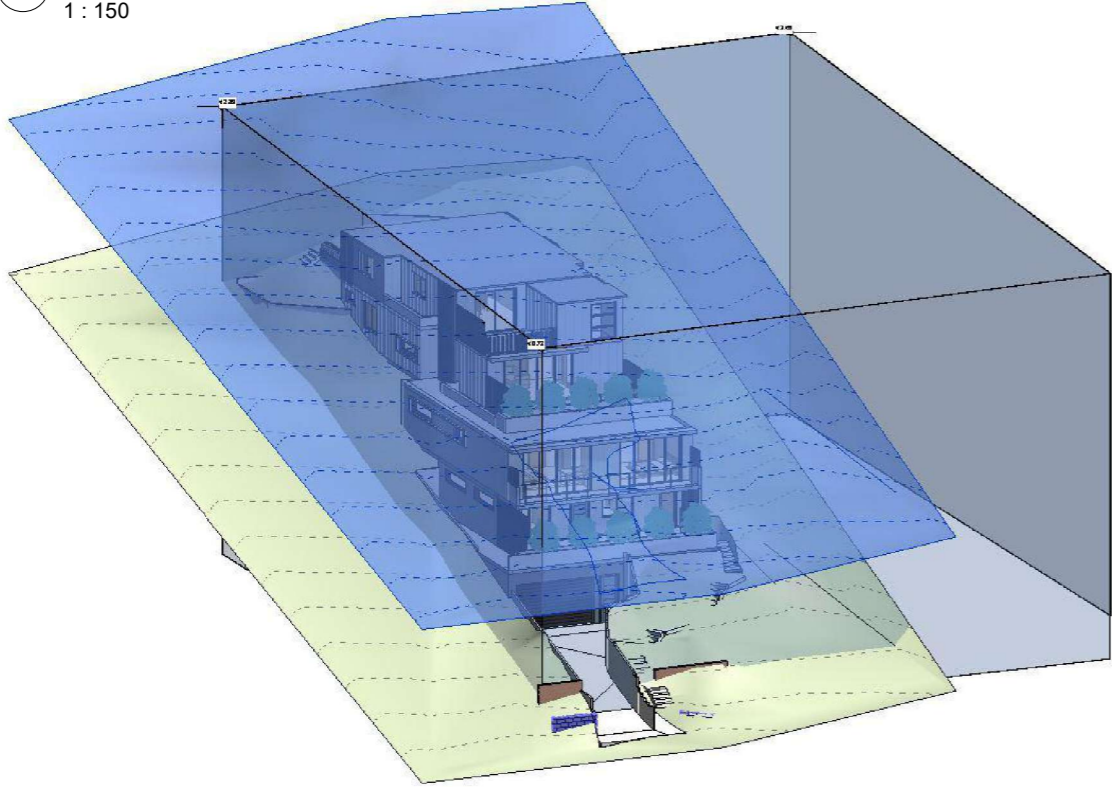


DIAGRAM SHOWING HEIGHT LIMITS



3 VIEW FROM STUART STREET

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Drawn by: RT
Checked by: MW
Title: ELEVATIONS

Job NO.: DA28SS
Date: 19.02.2024
Scale @ A1:
Scale @ A3: 1 : 150
Drawing NO.: A203
Rev:

0mm

100mm

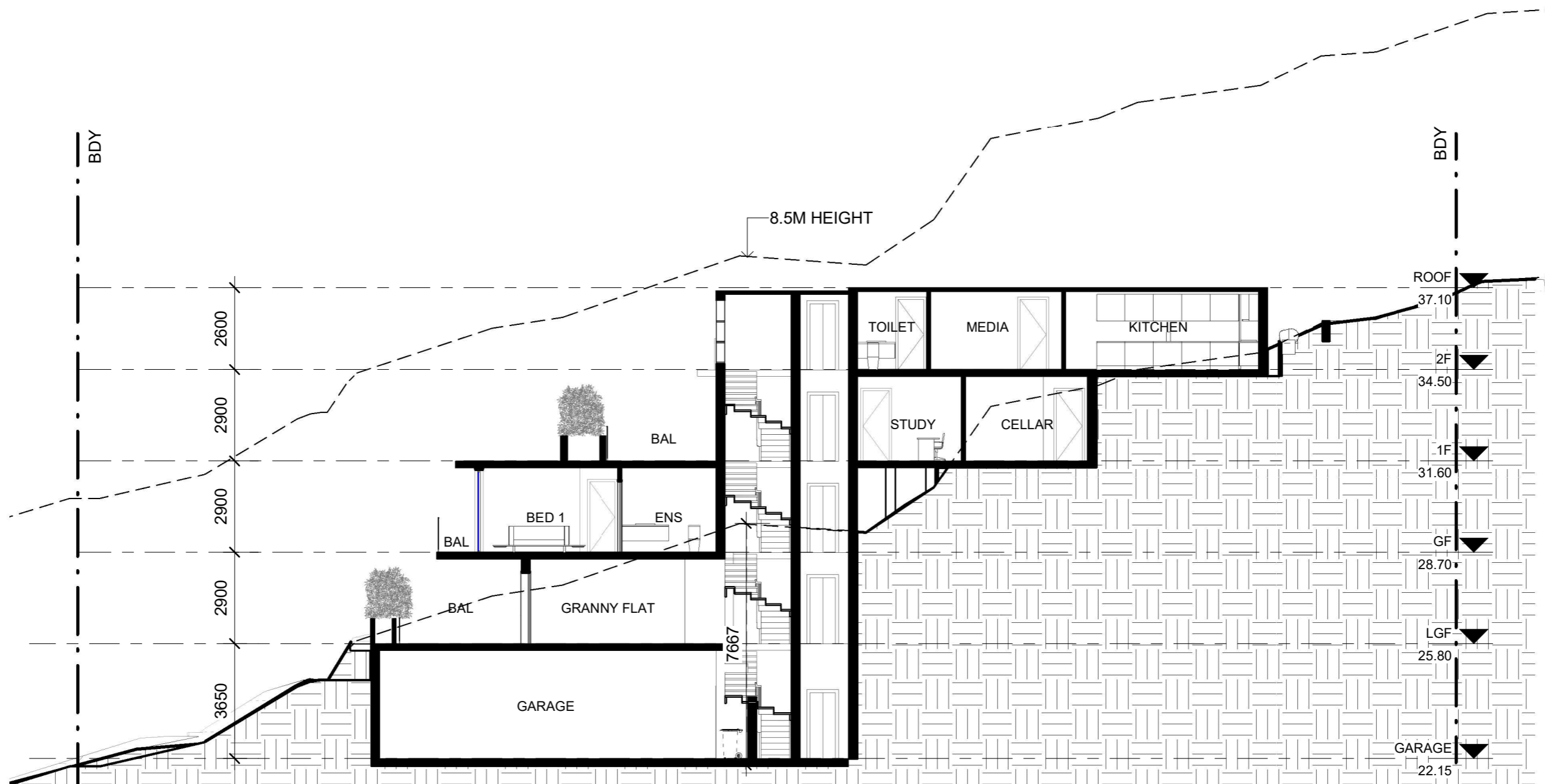
200mm

300mm

0mm

100mm

200mm



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Drawn by: RT

Checked by: MW

Title: SECTION 1

Job NO.: DA28SS

Date: 19.02.2024

Scale @ A1:

Scale @ A3: 1 : 150

Drawing NO.: A204

Rev:

0mm

100mm

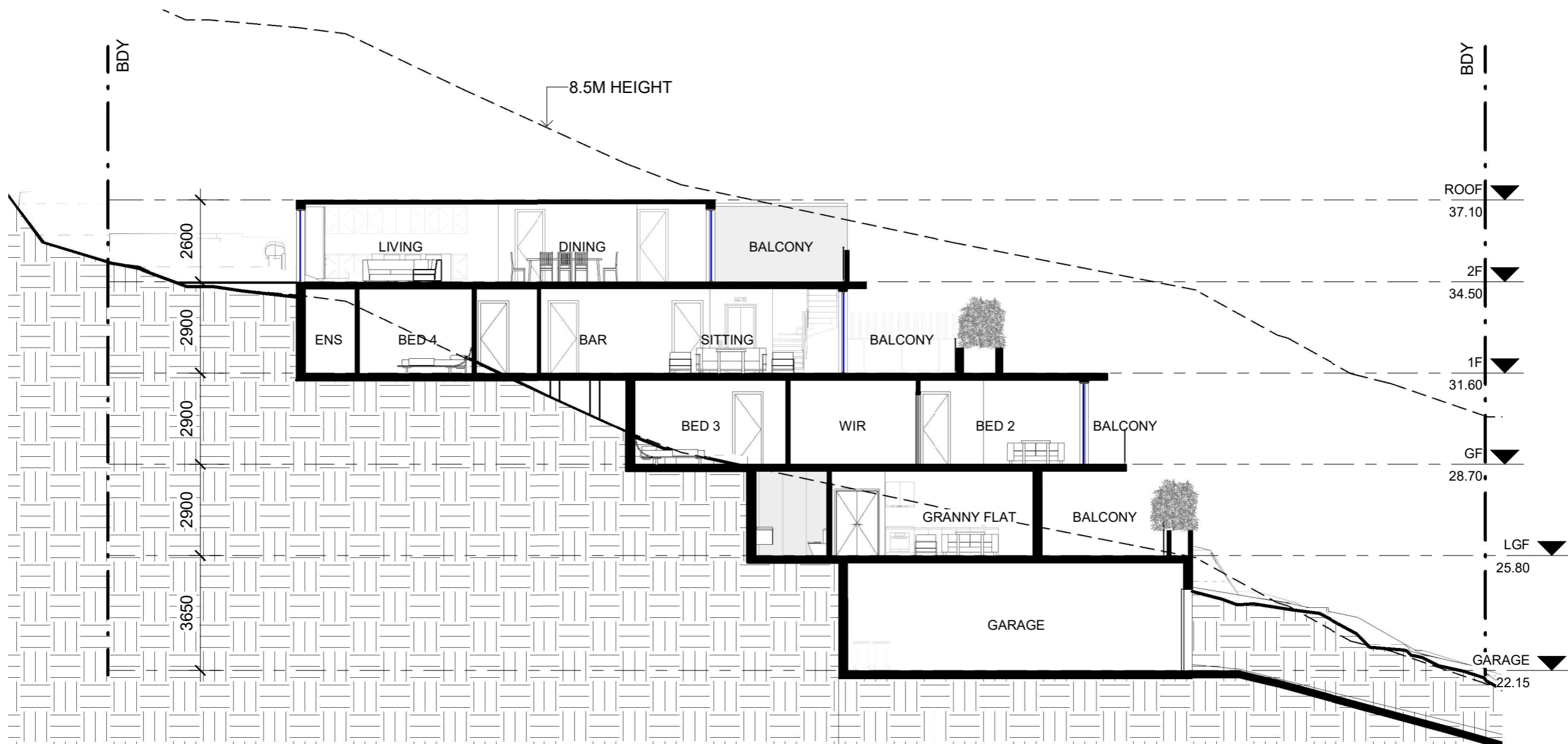
200mm

300mm

0mm

100mm

200mm



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Email. info@vigormaster.com.au

Drawn by: RT

Checked by: MW

Title: SECTION 2

Job NO.: DA28SS

Date: 19.02.2024

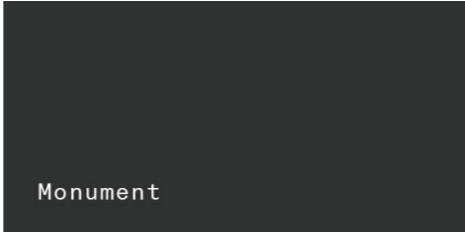

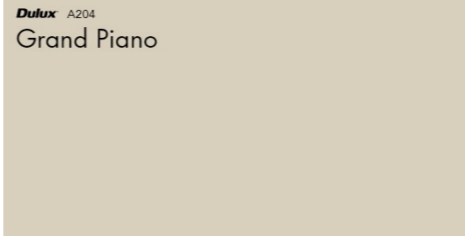

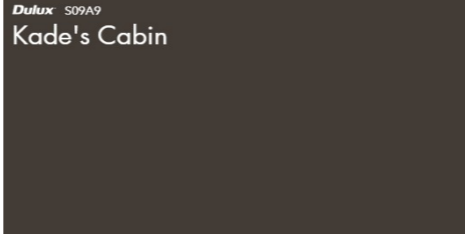
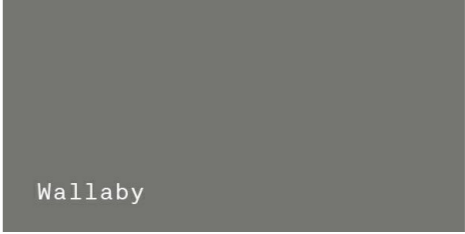
Scale @ A1:

Scale @ A3: 1 : 150

Drawing NO.: A205

Rev:

SCHEDULE OF EXTERNAL FINISHES –
PROPOSED NEW DWELLING AT 28 STUART ST COLLAROY

ELEMENT	MATERIAL	SAMPLE	ELEMENT	MATERIAL	SAMPLE
ROOF	COLORBOND - <i>MONUMENT</i>	 Monument	RAILING	GLASS BALUSTRADE	
EXTERNAL WALLS	RENDERED BRICKWORK WITH PAINT FINISH PAINT FINISH – P1 – DULUX – <i>GRAND PIANO</i>	 <small>Dulux A204</small> Grand Piano	COLUMNS	DARK WOOD	
EXTERNAL WALLS	RENDERED BRICKWORK WITH PAINT FINISH PAINT FINISH – P2 – DULUX – <i>KADE'S CABIN</i>	 <small>Dulux S09A9</small> Kade's Cabin	FASCIA/GUTTER & DOWNPIPES	COLORBOND - <i>WALLABY</i>	 Wallaby

Date	Rev	Amendment

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Drawn by: RT
Checked by: MW
Title: FINISH SCHEDULE

Job NO.: DA28SS
Date: 19.02.2024
Scale @ A1:
Scale @ A3:
Drawing NO.: A301
Rev:

0mm

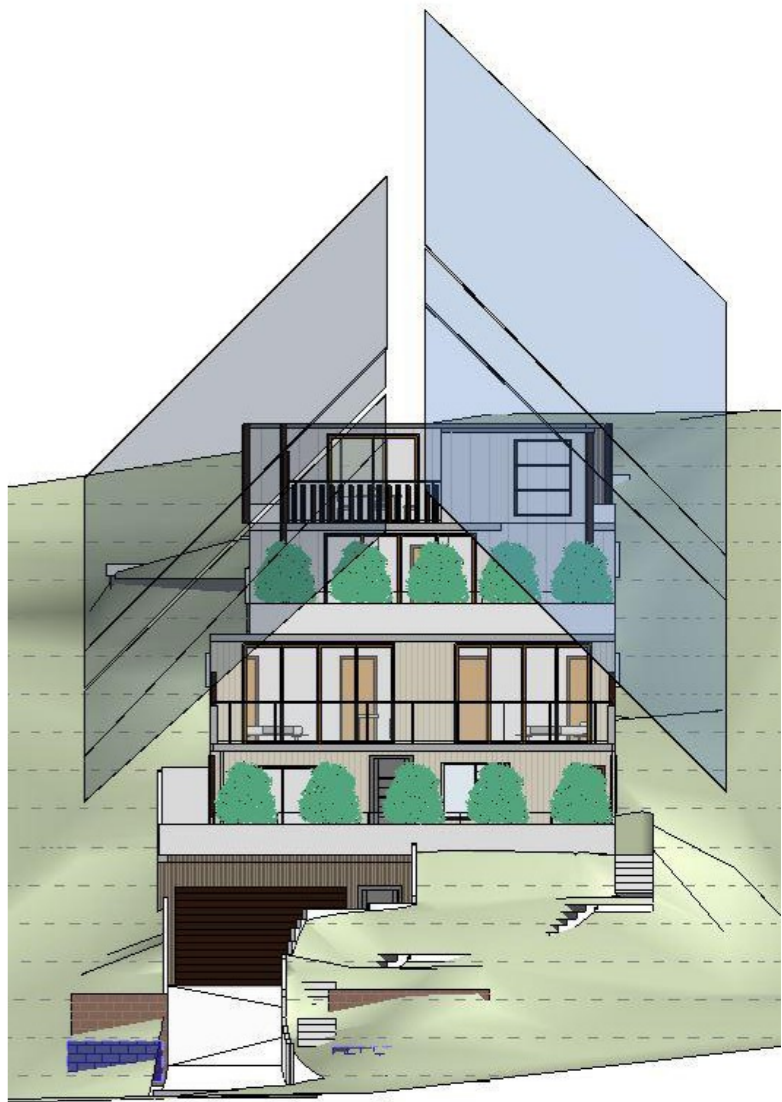
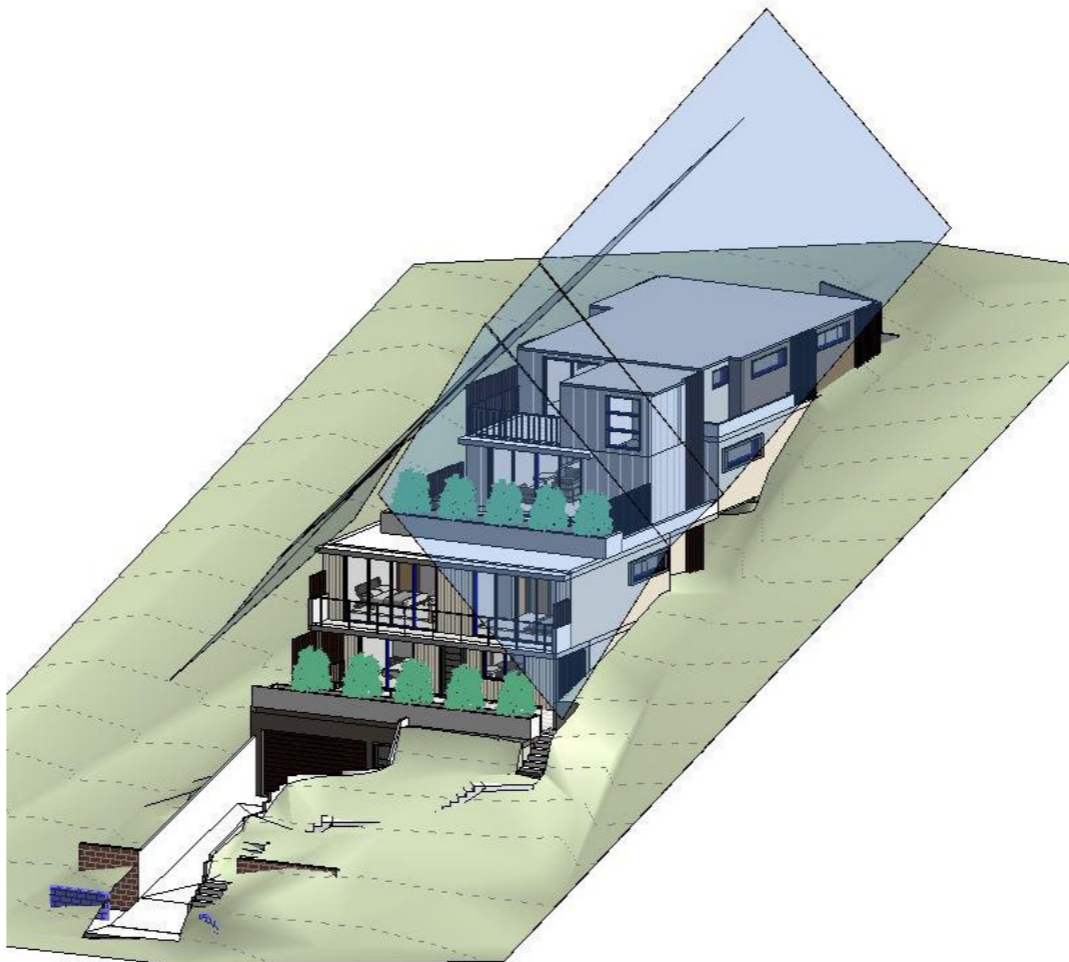
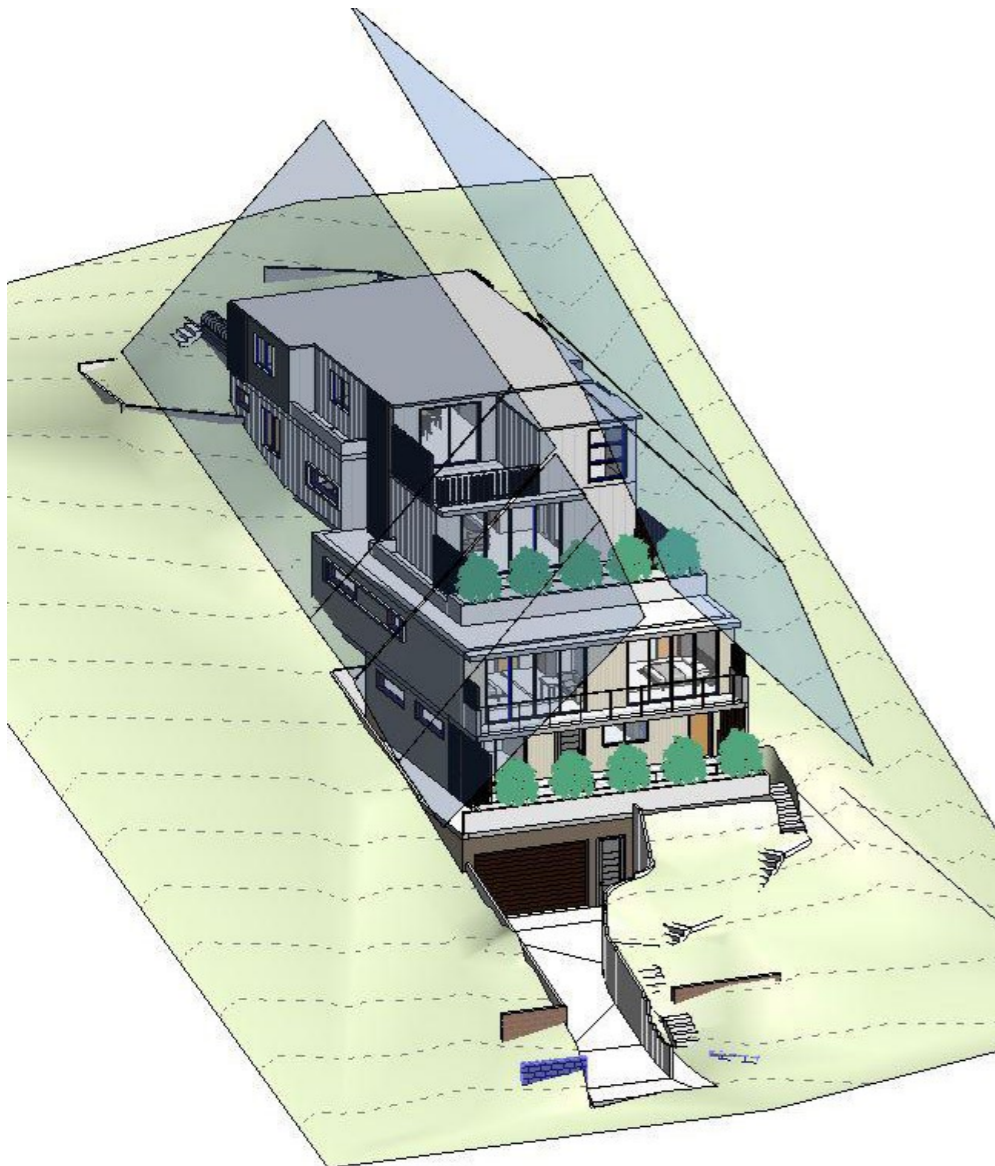
100mm

200mm

300mm

100mm

200mm



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Drawn by: RT
Checked by: MW
Title: **BUILDING ENVELOPE**

Job NO.: DA28SS
Date: 19.02.2024
Scale @ A1:
Scale @ A3:
Drawing NO.: A302
Rev:

LEGEND

PROPOSED GARDEN AREA

PROPOSED LAWN AREA

SITE BOUNDARY

B/E

BRICK LAWN EDGE

PROPOSED PAVED AREA

PROPOSED COLOURED CONCRETE DRIVEWAY

PROPOSED PLAIN CONCRETE CROSSOVER TO COUNCIL SPECIFICATION

PROPOSED RETAINING WALL REFER TO ARCHITECTURAL DRAWINGS

EXISTING RETAINING WALL TO BE RETAINED

PROPOSED 1.2m HIGH FRONT FENCE

PROPOSED 1.8m HIGH COLORBOND BOUNDARY FENCE

+ RL 20.70

EXISTING LEVEL

N.G.L

NATURAL GROUND LEVEL

+ NOM. RL 21.55

PROPOSED NOMINAL LEVEL

+ NOM. TW 21.55

PROPOSED TOP OF WALL &

+ NOM. BW 21.55

BOTTOM OF WALL LEVEL

EXISTING TREE TO BE RETAINED
REFER TO ARBORIST REPORT

EXISTING TREE TO BE REMOVED
REFER TO ARBORIST REPORT

STRUCTURAL ROOT ZONE
REFER TO ARBORIST REPORT

TREE PROTECTION ZONE
REFER TO ARBORIST REPORT

LANDSCAPE DOCUMENT SHALL BE READ IN CONJUNCTION WITH ARBORICULTURE IMPACT ASSESSMENT REPORT PREPARED BY GROWING MY WAY TREE SERVICES (JANUARY 2024)

2 DP 1199598

10-Acmena smithii 'Minor'

15-Dianella caerulea Little Jess™

8-Acmena smithii 'Minor'

18-Syzygium australe "Straight and Narrow"

108-Dichondra repens

8-Dianella caerulea Little Jess™

APPROXIMATE LOCATION OF CLOTHESLINE, FINAL LOCATION TO BE CONFIRMED BY OWNER

9-Dianella caerulea Little Jess™

112-Dichondra repens

3-Syzygium australe "Straight and Narrow"

1-Angophora floribunda

15-Syzygium australe "Straight and Narrow"

7-Westringia fruticosa

33-Dianella caerulea Little Jess™

PROPOSED RESIDENCE REFER TO ARCHITECTURAL DRAWINGS BY VIGOR MASTER

DP 1199598 AREA 738.3 m² (DP 1199598)

BALCONY

LAWN

DRIVEWAY

PROPOSED 1.8m HIGH COLORBOND FENCE

SEC 12

14-Westringia fruticosa

1-Cupaniopsis anacardioides

12-Euphorbia millii 'Fire Sticks'

30-Dichondra repens

1-Banksia ericifolia

10-Lomandra longifolia

2-Cycas revoluta

1-Agave attenuatum

PROPOSED LOCATION OF LETTERBOX

PROPOSED FRONT PATH AND GATE

PLAIN CONCRETE CROSSOVER TO COUNCIL SPECIFICATIONS

PROPOSED COLOURED CONCRETE DRIVEWAY

PROPOSED 1.2m HIGH FRONT FENCE

TREE 1 GLOCHIDION FERDINANDI TO BE RETAINED & PROTECTED REFER TO ARBORIST REPORT

TREE 2 CALLISTEMON CITRINUS TO BE REMOVED REFER TO ARBORIST REPORT

STUART STREET

Notes

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Note:

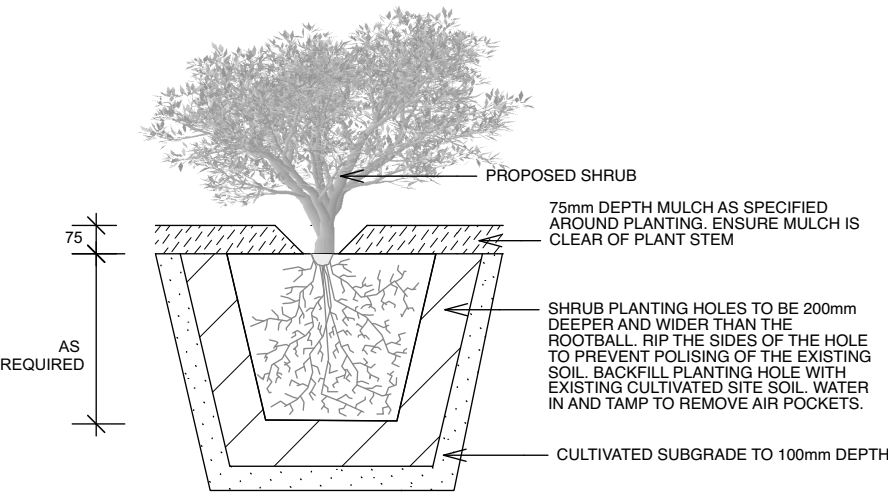
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4. FINAL STAIR LOCATION TO BE DETERMINED ON-SITE & BE RELATIVE TO DAMP PROOF COURSE, EXISTING LEVELS & FOOTINGS

DATE		REVISION	
DRAWING		PROPOSED LANDSCAPE PLAN	
ADDRESS		28 STUART ST COLLARROY	
CLIENT		VIGOR MASTER	
DATE #		30/01/2024	PROJECT # VIGOR MASTER
SCALE @ A3		1:200	DWG # L/01
DRAWN		HY	
CHKD		JC	REVISION
Discount Landscape Plans		65 West Street, North Sydney NSW 2060	
		Tel: (02) 9959 4055 Fx: (02) 9957 5922	
		discount landscape plans quick - guaranteed - affordable	

PLANTING SCHEDULE

NOTES: 90% PLANT SPECIES ARE CONSIDERED LOW WATER-USE SPECIES AND ARE AUSTRALIAN NATIVE PLANT SPECIES ENDEMIC TO THE LOCAL NORTHERN BEACHES COUNCIL AREA

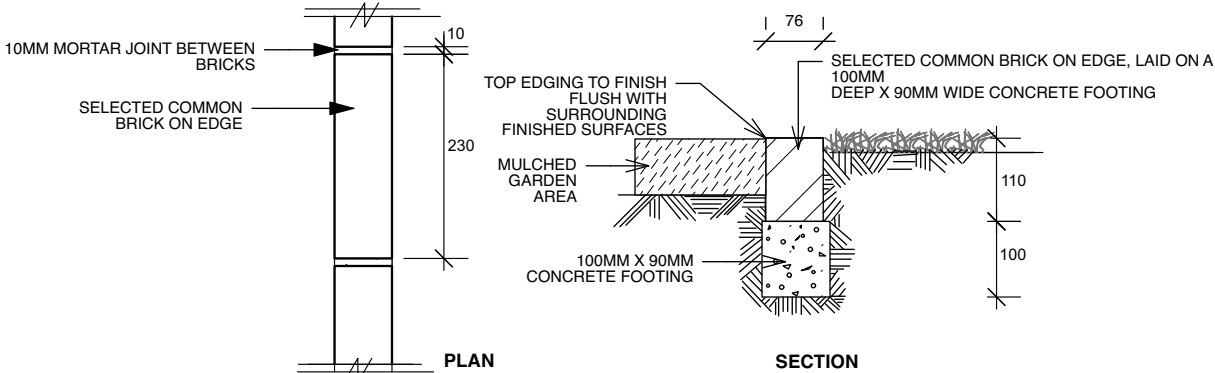
Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Acmena smithii 'Minor'	Lillypilly	18	200mm	1000	1000
Agave attentuatum	Agave	1	150mm	1000	1000
Angophora floribunda	Rough Barked Apple	1	75lt	7000	15000
Banksia ericifolia	Heath Banksia	1	300mm	2000	3000
Cupaniopsis anacardioides	Tuckeroo	1	25lt	5000	10000
Cycas revoluta	Sago Palm	2	200mm	2000	2000
Dianella caerulea Little Jess™	Mauve Flax Lily	65	tube	500	500
Euphorbia millii 'Fire Sticks'	Euphorbia	12	tube	500	700
Lomandra longifolia	Native Grass	10	tube	900	900
Syzygium australe "Straight and Narrow"	Lillypilly "Straight and Narrow"	36	200mm	2000	3000
Westringia fruticosa	Coastal Rosemary	21	200mm	1500	1500



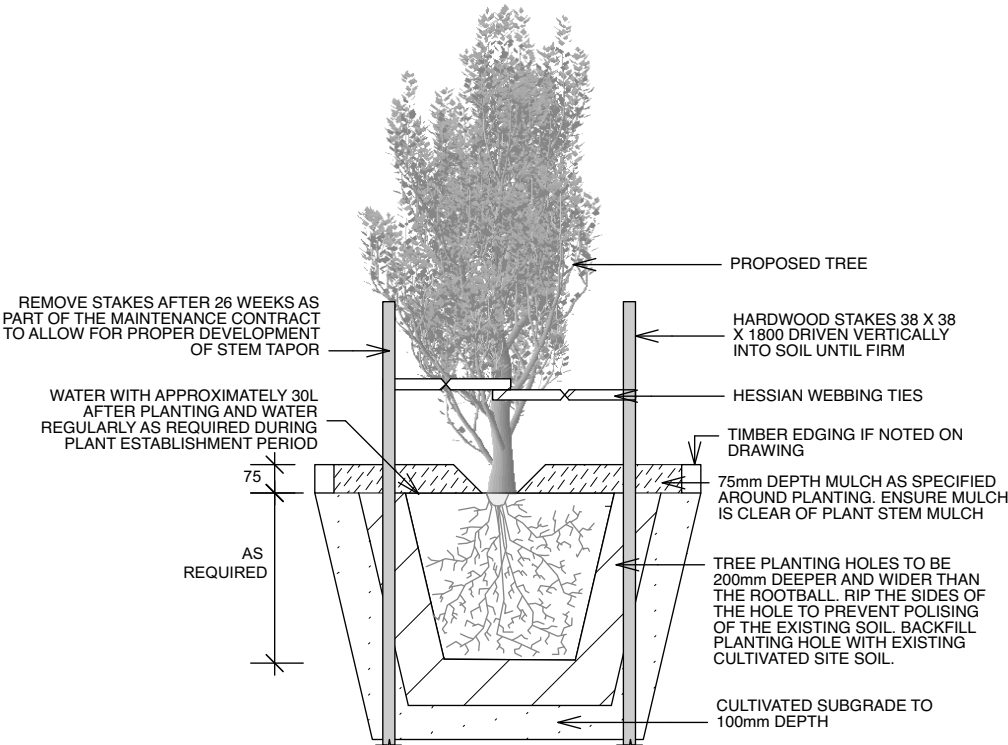
PLANTING DETAIL
SCALE 1:20



SOIL TO GARDEN AREAS
SCALE 1:20



TYPICAL BRICK EDGE DETAIL
SCALE 1:10



TREE PLANTING
& STAKING DETAIL
SCALE 1:20



Notes

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OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works. Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones:(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging.(ii)Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) Recurrent works Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) Watering Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) Replacements Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) Mulched surfaces Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) Stakes & ties Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.



(f) Lawn areas Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

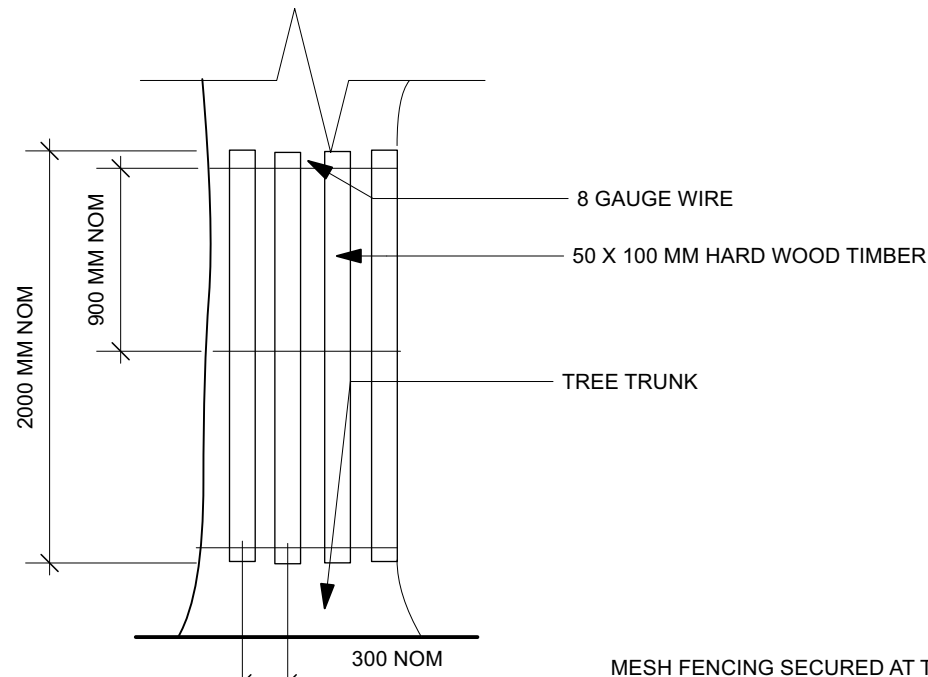
(g) Weeding Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

(h) Pruning Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

(i) Spraying Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) Tree Care Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

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Discount Landscape Plans 65 West Street, North Sydney NSW 2060 Tel: (02) 9959 4055 Fx: (02) 9957 5922				DRAWN HY	REVISION	
				CHKD JC		
						



TREE PROTECTION METHOD ONE
NOT TO SCALE

TREE MANAGEMENT ACTION
Builder shall protect trees to be retained by the following methods prior to commencement of other work on site.

The tree protection shall be maintained intact until the completion of all work on site and then removed.

Storage or disposal of materials beneath canopy of trees to be retained and protected shall not be permitted.

Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Consulting Arborist.

Any excavation work required beneath canopy of tree to be retained shall be undertaken by hand under direct supervision of Arborist. Roots in excess of 50mm diameter shall not be cut. All damage to tree roots shall be treated by arborist at time of immediately.

METHOD ONE
Two metre lengths of 50 x 100mm hardwood timbers shall be installed around trunks of trees to be retained at 300mm centres and secured in position by 8 gauge wires at 900mm spacings.

MESH FENCING SECURED AT TOP, MIDDLE AND BOTTOM WITH 2MM WIRE AT PICKETS

100 MM MULCH AREA

DISTANCE FROM TRUNK TO FENCE AS NOMINATED

TREE TO BE PROTECTED



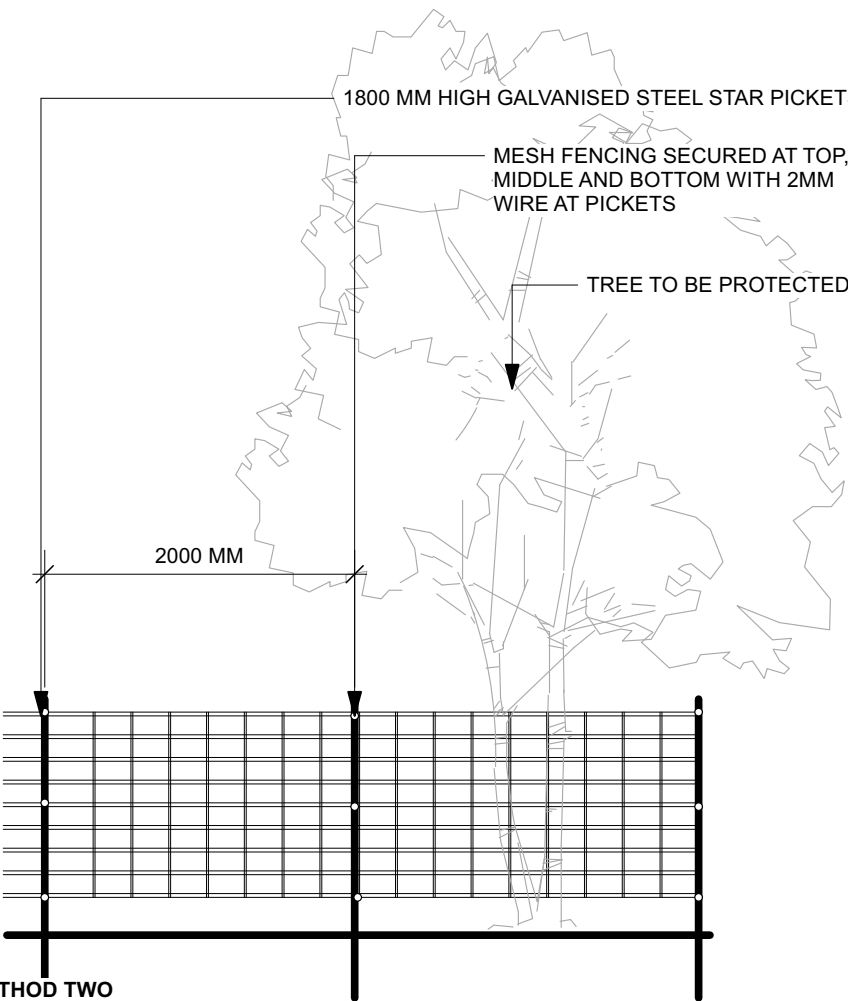
TREE PROTECTION METHOD TWO
NOT TO SCALE

1800 MM HIGH GALVANISED STEEL STAR PICKETS

MESH FENCING SECURED AT TOP, MIDDLE AND BOTTOM WITH 2MM WIRE AT PICKETS

TREE TO BE PROTECTED

2000 MM



TREE MANAGEMENT ACTION
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METHOD TWO
A protective fence shall be installed at a maximum workable distance away from trunk of tree (or distances as nominated on plan). Fence shall comprise of 1800mm high star pickets installed at 1000mm centres with an approved mesh (chain mesh, roadside barrier webbing or similar) secured to pickets by 8 gauge wire top, middle and bottom to form a protective fence totally surrounding tree. Area within protective fence shall be mulched to a depth using native woodchip mulch to a depth of 100mm.



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