

**P** 61 2 9264 5005

## **HARVEY NORMAN** 176-180 & 184-190 CONDAMINE STEET **BALGOWLAH**

DA00 **COVER SHEET** DA00A

**EXISTING PLAN - GROUND FLOOR EXISTING PLAN - LEVEL 1 FLOOR** DA00B DA00C **DEMOLITION PLAN - GROUND FLOOR** DA00D **DEMOLITION PLAN - LEVEL 1 FLOOR** DA01 **OVERALL SITE PLAN - GROUND DA02 OVERALL SITE PLAN - LEVEL 1** 

PROPOSED GROUND FLOOR RETAIL SPACE - PLAN **DA03** 

**DA04** PROPOSED EXISTING MEZZANINE FLOOR DEMOLITION PLAN **DA05** PROPOSED GROUND FLOOR RETAIL SPACE - SECTIONS **DA06** PROPOSED GROUND FLOOR LOBBY EXTENSION - PLAN

**DA07** PROPOSED GROUND FLOOR LOBBY EXTENSION - ELEVATIONS & SECTIONS

**DA08** PROPOSED GROUND FLOOR LOBBY EXTENSION - RCP

**DA09** PROPOSED GROUND AMENITIES UPGRADE

**DA10** PROPOSED WORKS TO CONDAMINE STREET ELEVATION - PLAN

**DA11** PROPOSED WORKS TO CONDAMINE STREET ELEVATION - ELEVATIONS

**DA12** PROPOSED OPENINGS ON GROUND ESCALATOR ENCLOSURE

**DA13** PROPOSED LEVEL 1 ENTRY LOBBY - PLAN

**DA14** PROPOSED LEVEL 1 ENTRY LOBBY - ELEVATIONS

**DA15 PROPOSED LEVEL 1 OPENINGS - PLAN** 

**DA16 PROPOSED LEVEL 1 OPENINGS - ELEVATIONS & SECTIONS** PROPOSED NEW BALUSTRADE ON LEVEL 1 ESCALATOR VOID 01 **DA17** PROPOSED NEW BALUSTRADE ON LEVEL 1 ESCALATOR VOID\_02 **DA18** 

**DA19** PROPOSED LEVEL 1 AMENITIES UPGRADE



21025

EXISTING PLAN - GROUND FLOOR
SCALE 1:500 @ A3

Level 1, 1 Chandos Street

**P** 61 2 9264 5005 ST LEONARDS NSW 2065 **E** gta@gilestribe.com.au ABN 50 001 259 507 Giles Tribe Pty Ltd

**CONDAMINE STREET** 

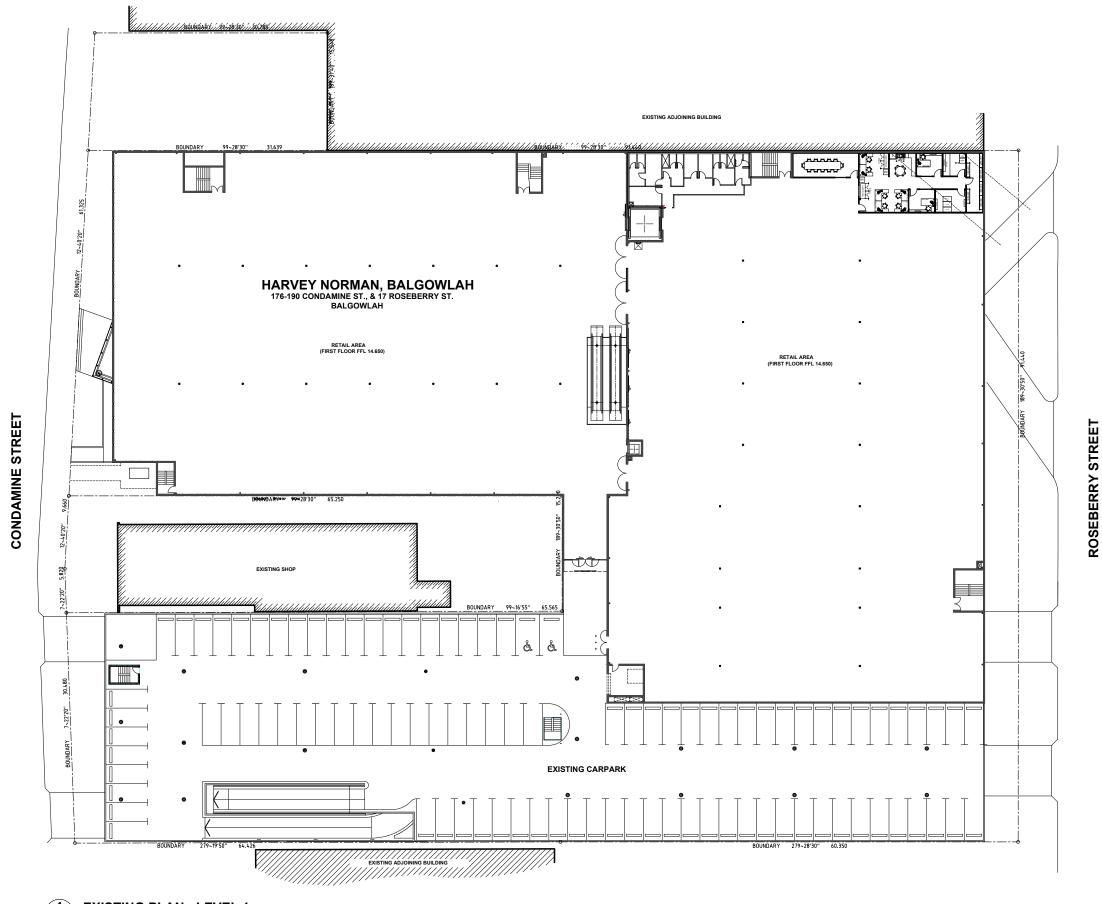
PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST **DA SUBMISSION** Job Ref:

Scale: 1:500 @ A3 Date: JUNE 2021 Drawn: DY/RB 21025

**EXISTING PLAN - GROUND FL** 

Drawing No: Rev: **DA00A A** 

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EXISTING PLAN - LEVEL 1
SCALE 1:500 @ A3

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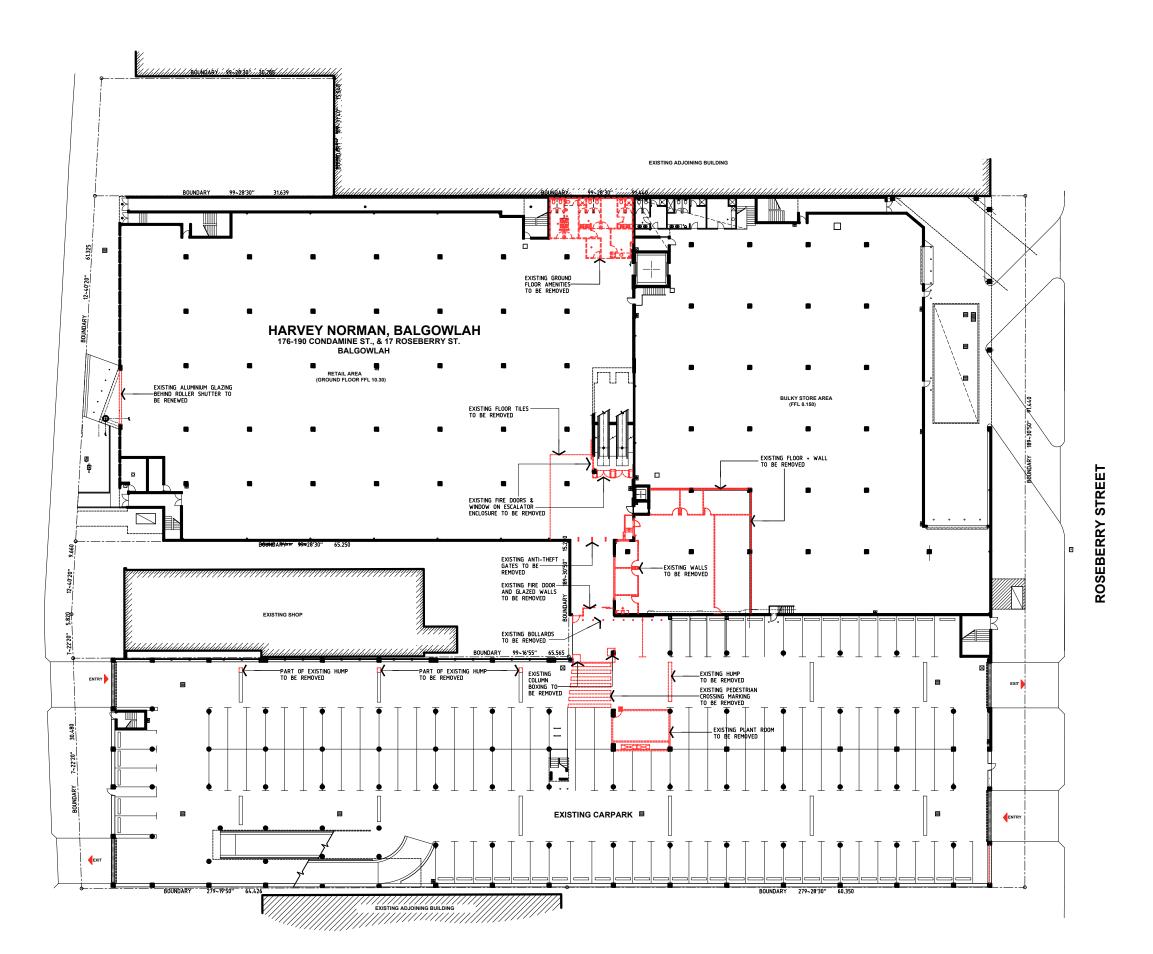


PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST **DA SUBMISSION** Scale: 1:500 @ A3 Date: JUNE 2021 Drawn: DY/RB Job Ref:

21025

**EXISTING PLAN - LEVEL 1** 

Drawing No: Rev: **DA00B** A



DEMOLITION PLAN - GROUND FLOOR

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Level 1, 1 Chandos Street ST LEONARDS NSW 2065

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STREET

CONDAMINE



PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH

DA SUBMISSION

**DEMOLITION PLAN - GROUND FL** 

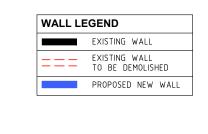
Drawing No: Rev: **A** 

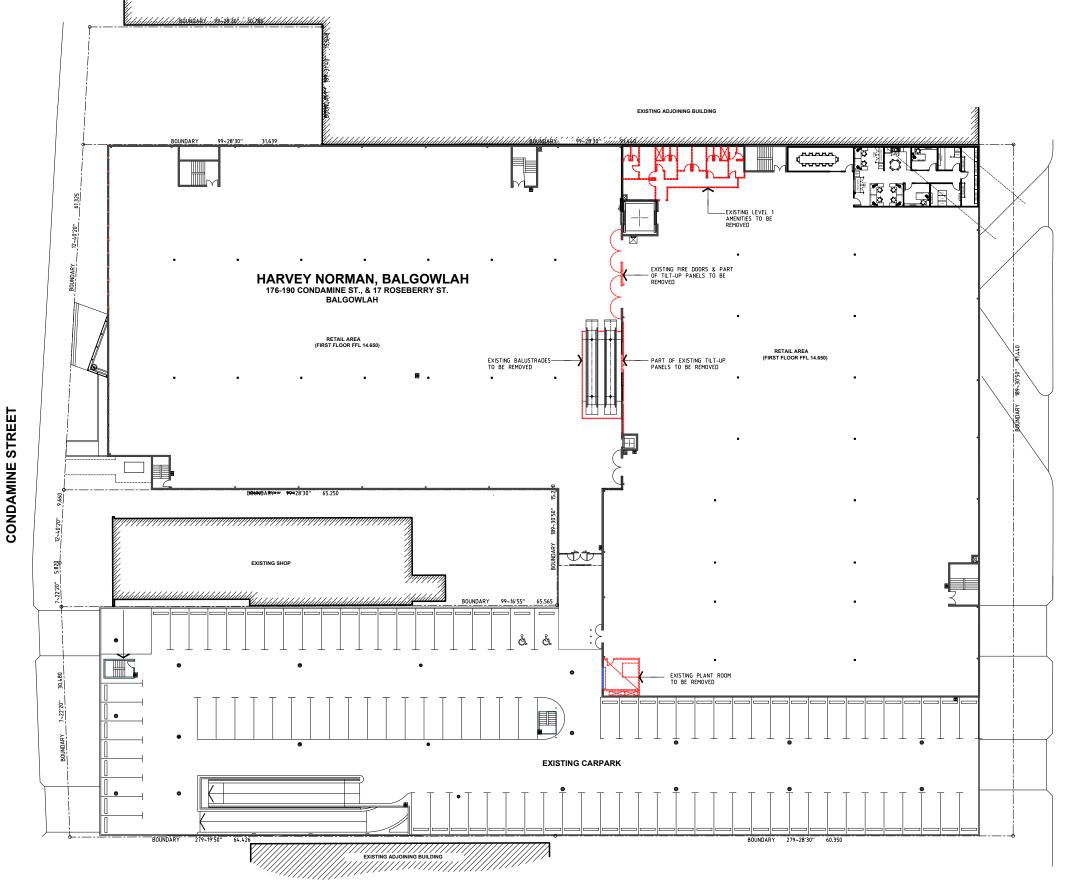
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Scale: 1:500 @ A3 Date: JUNE 2021 Drawn: DY/RB Job Ref: 176-180 & 184-190 CONDAMINE ST 21025

WALL LEGEND

EXISTING WALL EXISTING WALL TO BE DEMOLISHED PROPOSED NEW WALL





DEMOLITION PLAN - LEVEL 1
SCALE 1:500 @ A3

Level 1, 1 Chandos Street

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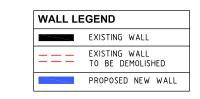
PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST **DA SUBMISSION** Scale: 1:500 @ A3 Date: JUNE 2021 Drawn: DY/RB Job Ref:

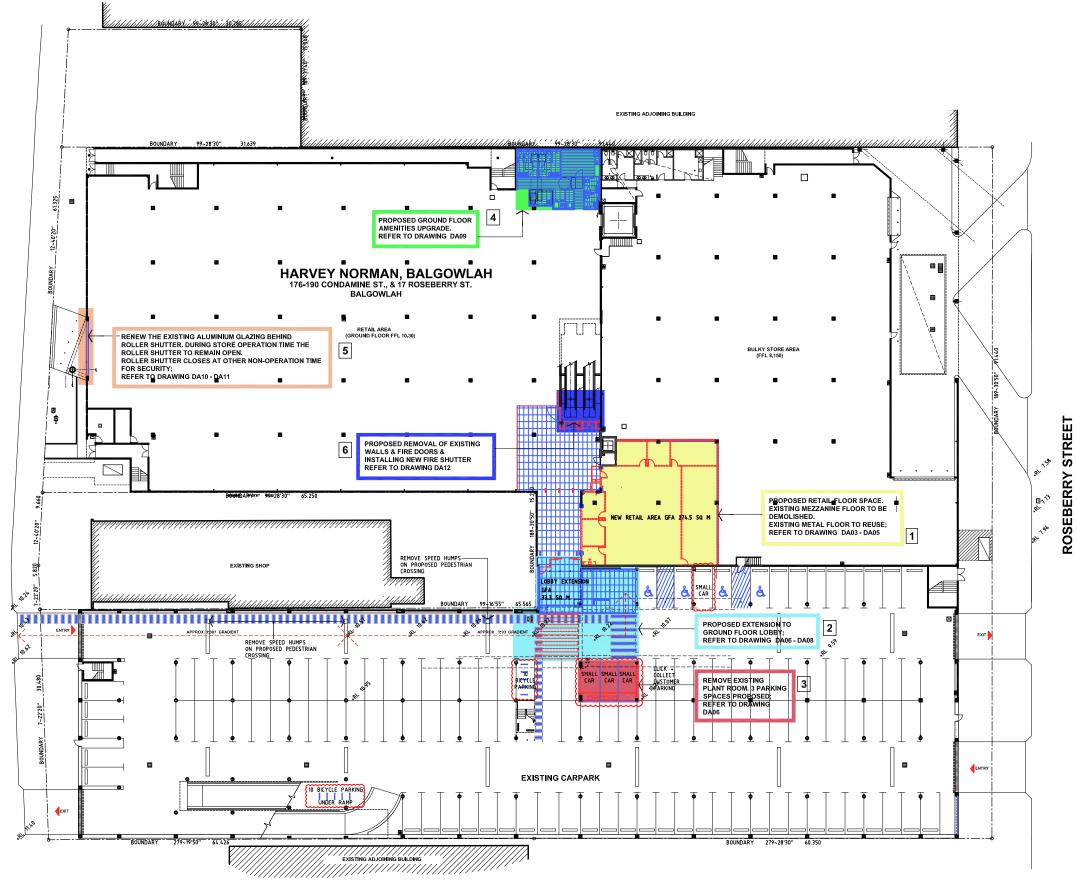
21025

**DEMOLITION PLAN - LEVEL 1** 

ROSEBERRY STREET

Drawing No: Rev: **DA00D A** 





1 OVERALL SITE - GROUND

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CONDAMINE STREET

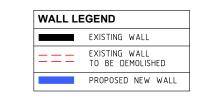


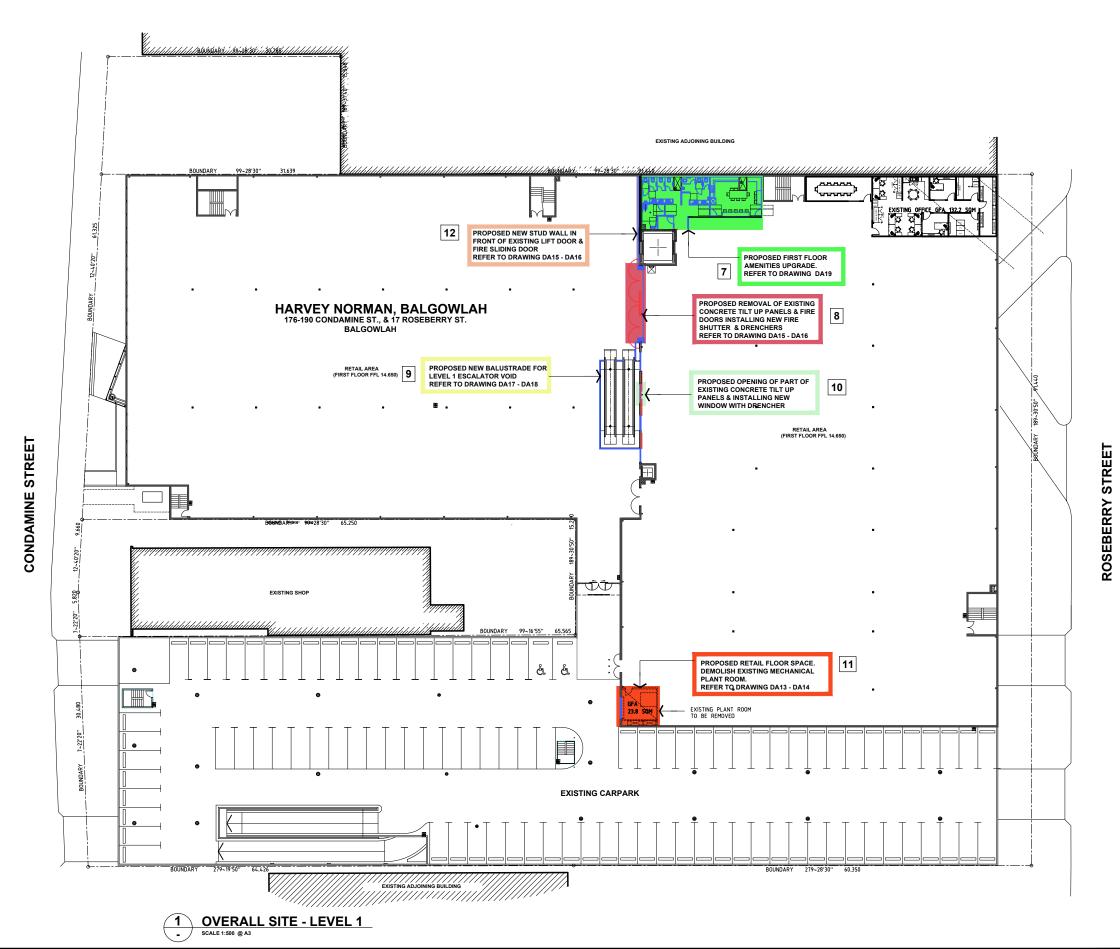
PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST DA SUBMISSION

Scale: 1:500 @ A3 Date: JUNE 2021 Job Ref: 21025

**OVERALL SITE PLAN - GROUND** 

Drawing No. Rev. DA01 B





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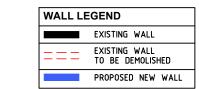
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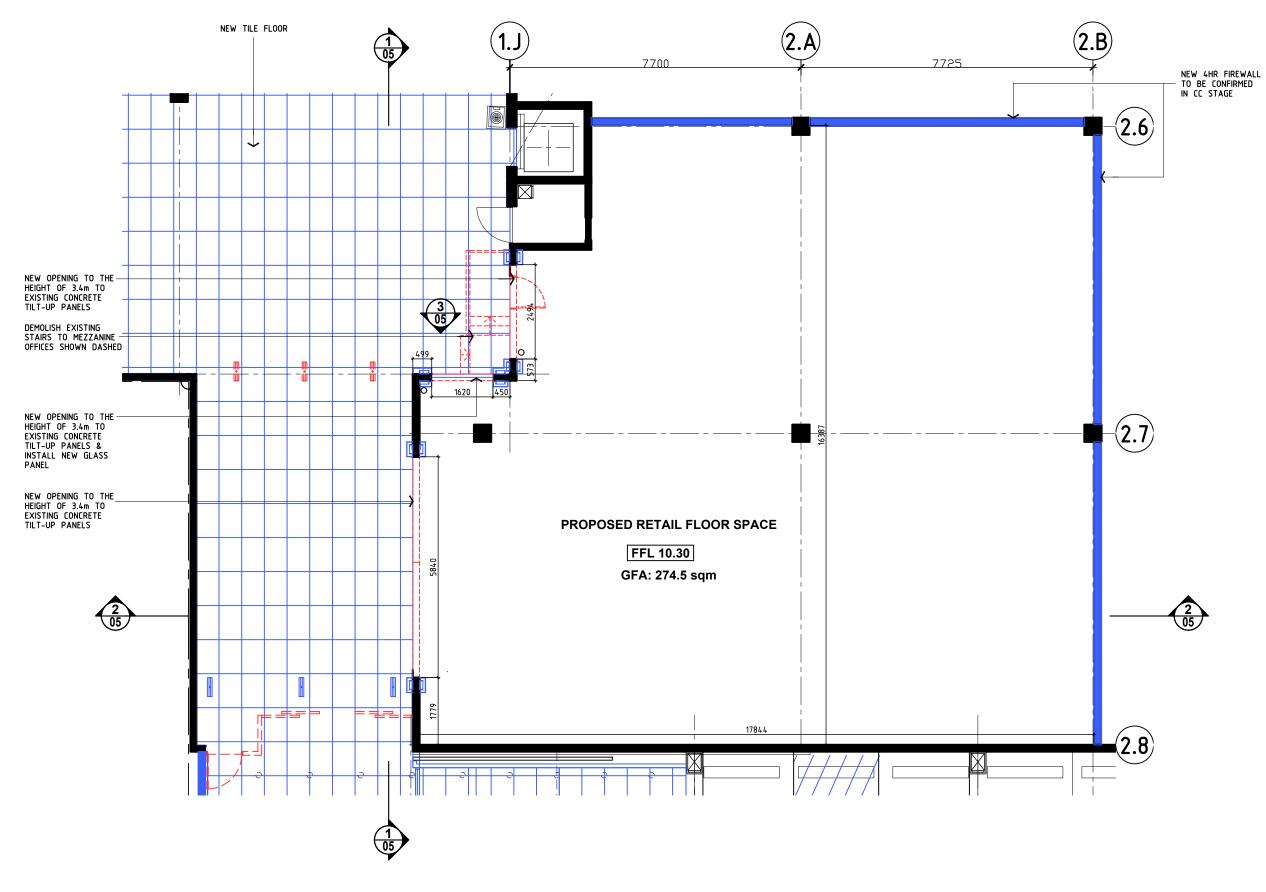
21025

**OVERALL SITE PLAN - L1** 

Drawing No: Rev

DA02 A





1 PROPOSED GROUND RETAIL SPACE - PLAN

SCALE 1:100 @ A3

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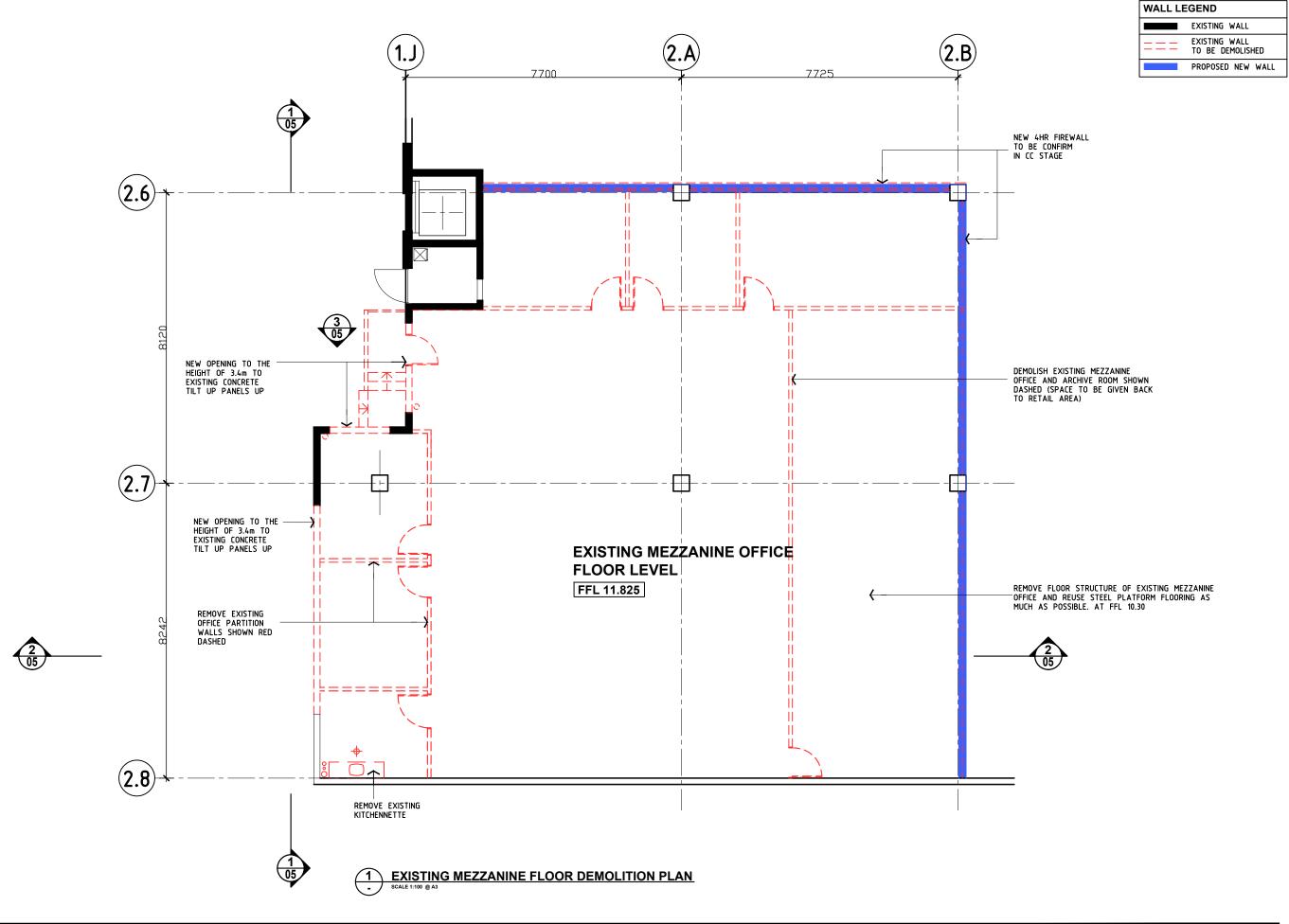
PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST **DA SUBMISSION** Scale: 1:100 @ A3 Date: JUNE 2021 Drawn: DY/RB Job Ref:

21025

PROP. GROUND RETAIL SPACE

Drawing No: Rev: DA03 A

**P** 61 2 9264 5005



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PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST **DA SUBMISSION** Scale: 1:100 @ A3 Date: JUNE 2021 Drawn: DY/RB

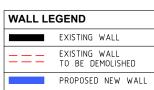
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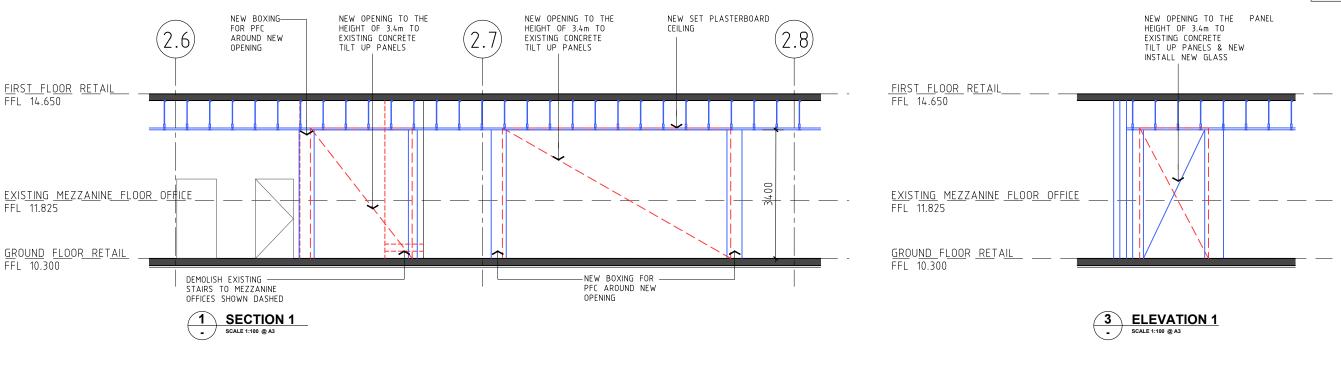
21025

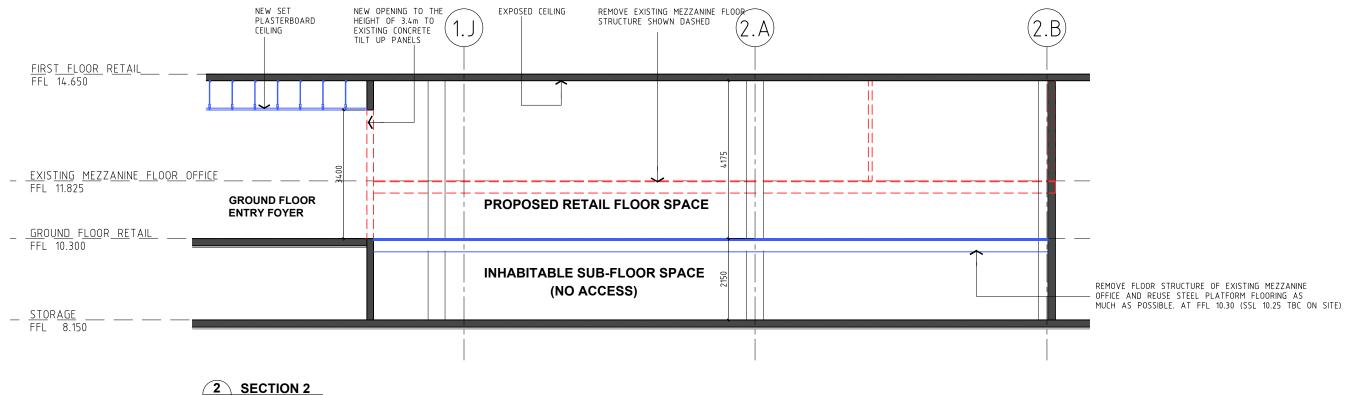
**EXIST. MEZZ DEMOLITION PLAN** 

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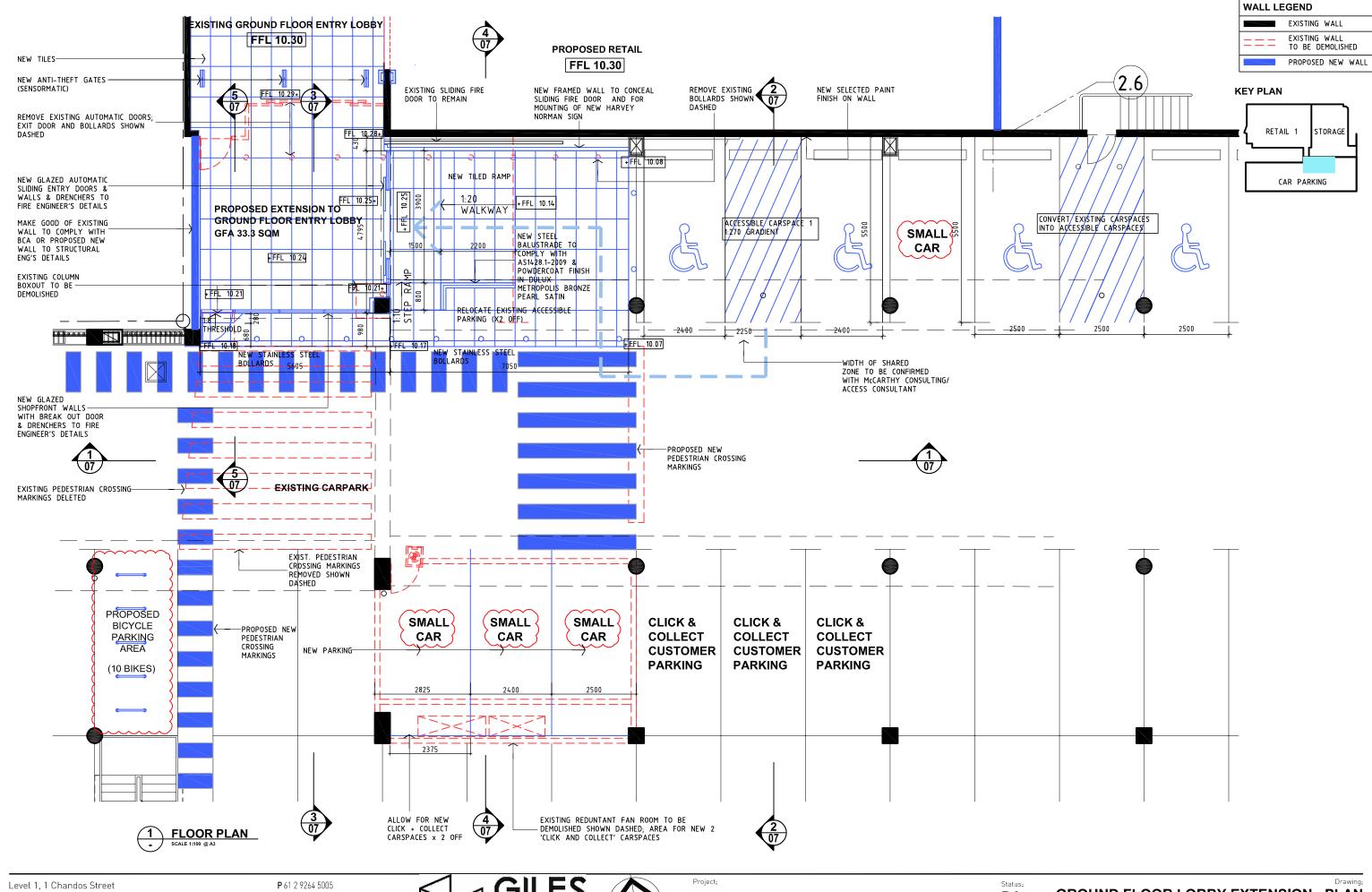
PROPOSED ELEV. & SECTION RETAIL HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST **DA SUBMISSION** 

Scale: 1:100 @ A3 Date: JUNE 2021 Job Ref: 21025

**GROUND RETAIL SPACE SECTIONS** 

Drawing No: Rev

DA05 A



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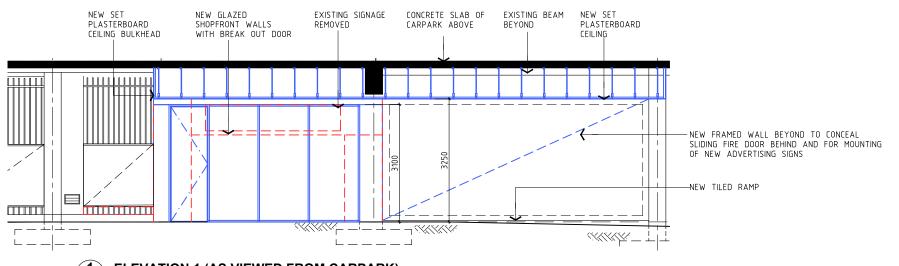
Giles Tribe Pty Ltd

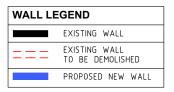
E gta@gilestribe.com.au ABN 50 001 259 507 Mark G Broadley [5823] Stuart D Hill [6459]

PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST DA Job Ref: **GROUND FLOOR LOBBY EXTENSION - PLAN** 

Scale: 1:100 @ A3 Date: JUNE 2021 21025

DA06 B

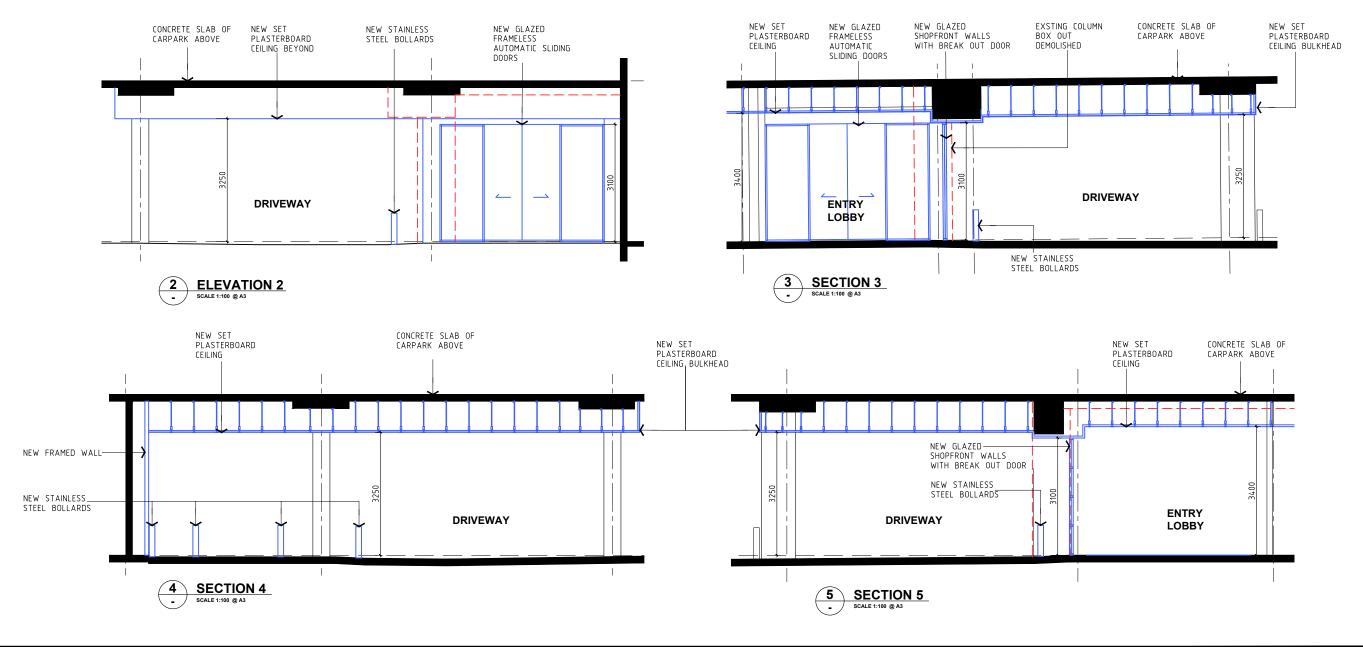




**KEY PLAN** 



**ELEVATION 1 (AS VIEWED FROM CARPARK)** 



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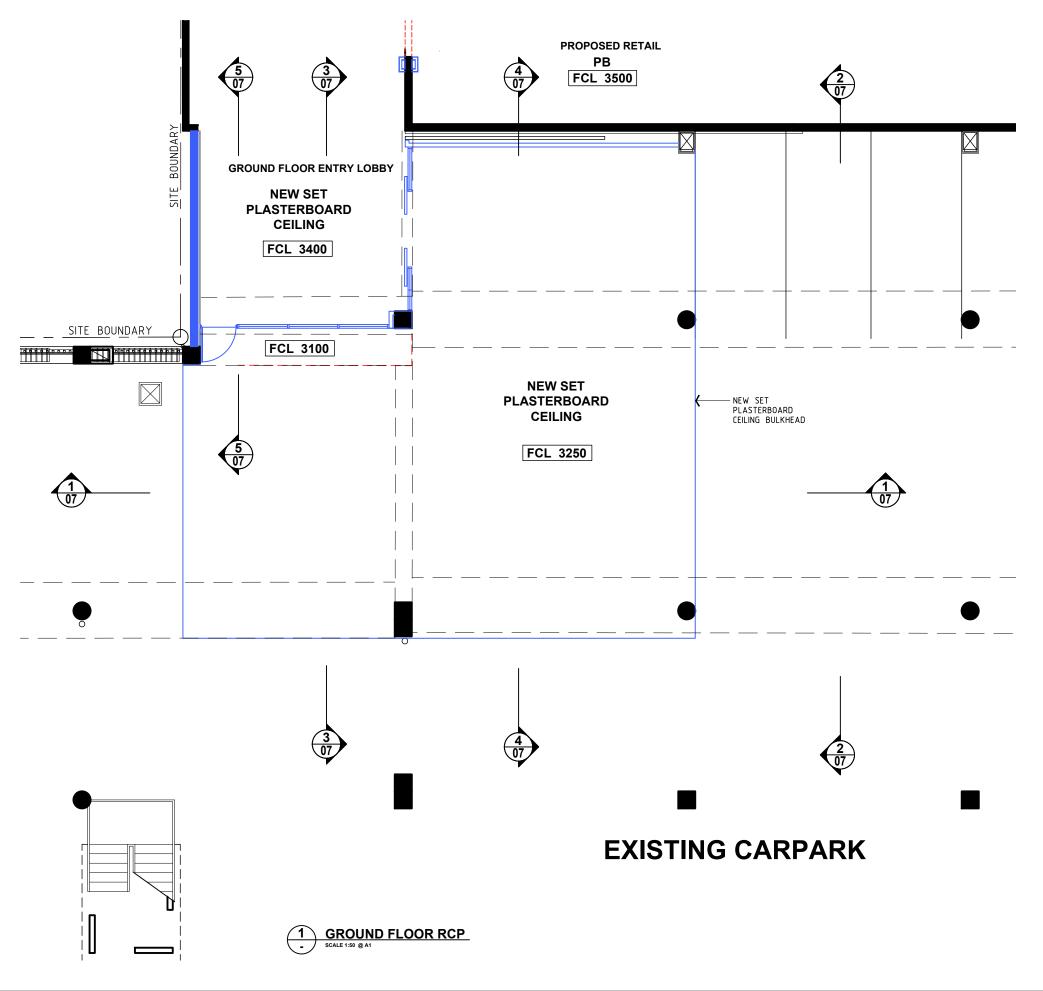
PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST Status: DA Job Ref:

21025

**LOBBY EXTENSION - ELEVATION & SECTION** Scale: 1:100 @ A3 Date: JUNE 2021 Drawn: DY/RB

Drawing No: Rev:

**DA07** A



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PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST Status: DA Job Ref:

21025

Scale: 1:100 @ A3 Date: JUNE 2021 Drawn: DY/RB

WALL LEGEND EXISTING WALL

**KEY PLAN** 

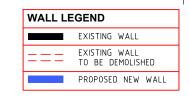
RETAIL 1

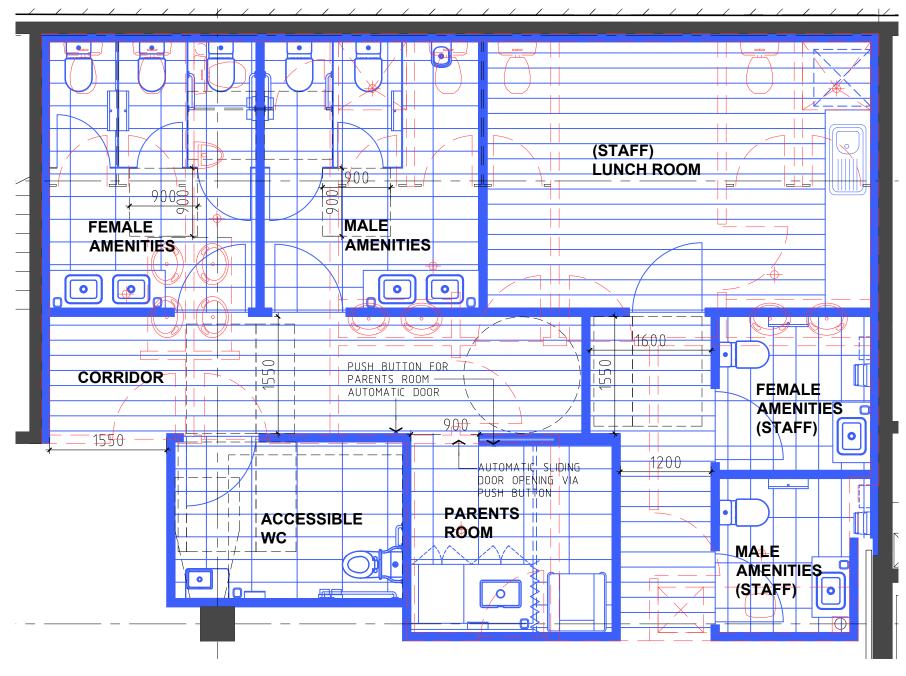
CAR PARKING

EXISTING WALL TO BE DEMOLISHED

PROPOSED NEW WALL

STORAGE





GROUND AMENITIES UPGRADE - PLAN
SCALE 1:50 @ A3

Level 1, 1 Chandos Street

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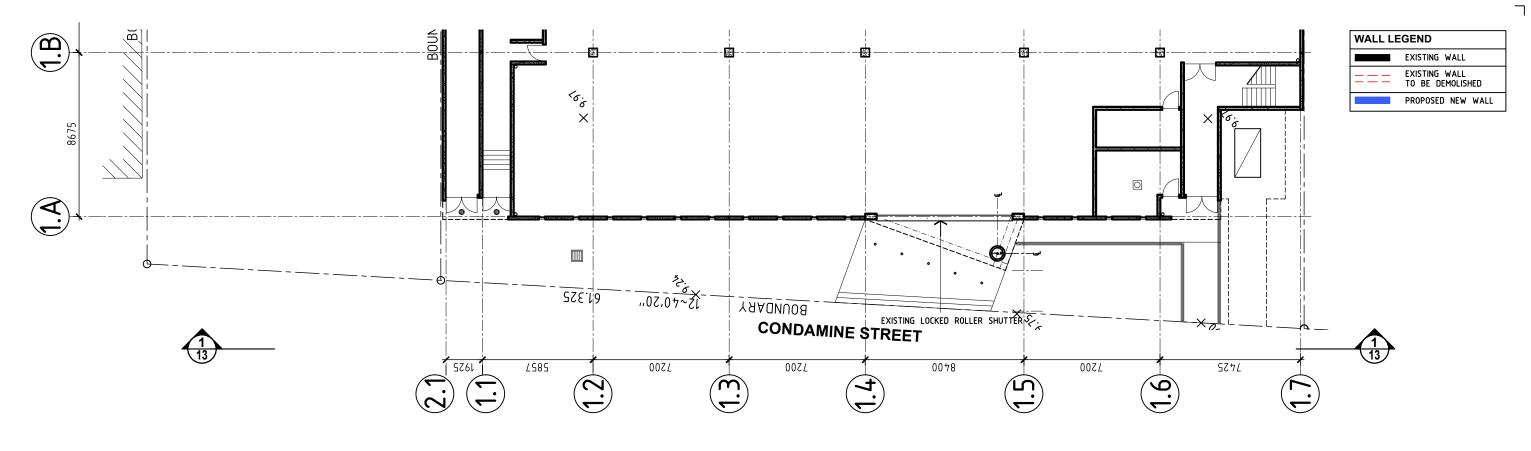
**P** 61 2 9264 5005



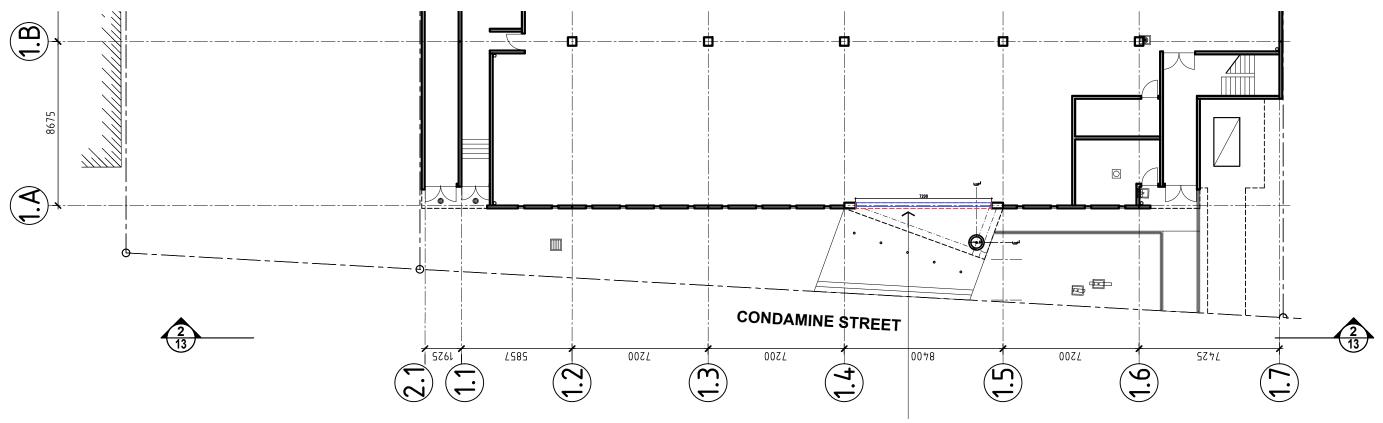
Status: DA Job Ref:

21025

**GROUND AMENITIES UPGRADE - PLAN** Scale: 1:500 @ A3 Date: JUNE 2021 Drawn: DY/RB



## EXISTING GROUND FLOOR PLAN - CONDAMINE ST. STORE ENTRY SCALE 1:200 @ A3



PROPOSED GROUND FLOOR PLAN - CONDAMINE ST. STORE ENTRY

SCALE 1:200 @ A3

RENEW THE EXISTING ALUMINIUM GLAZING BEHIND ROLLER SHUTTER. DURING STORE OPERATION TIME THE ROLLER SHUTTER TO REMAIN OPEN. ROLLER SHUTTER CLOSES AT OTHER

NON-OPERATION TIME FOR SECURITY.

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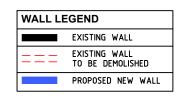
PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST Status: DA

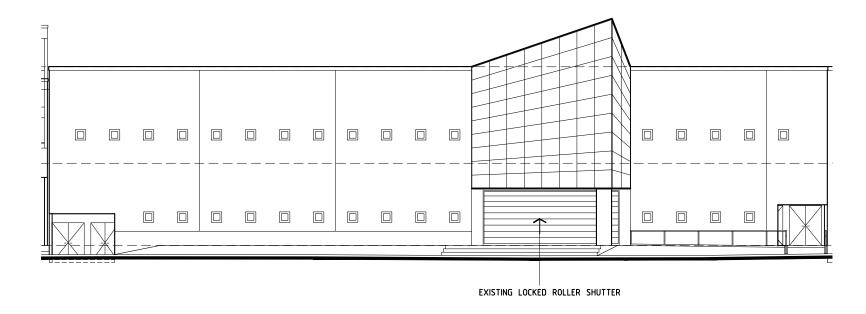
**WORKS TO CONDAMINE ST. - PLAN** 

Scale: 1:100 @ A3 Date: JUNE 2021 Drawn: DY/RB Job Ref: 21025

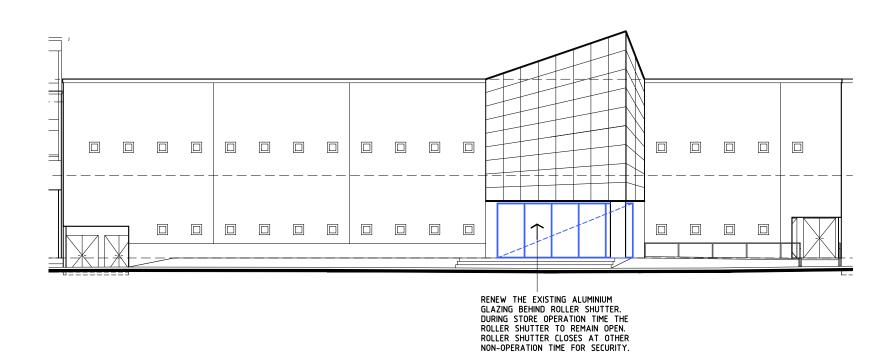
Drawing No: Rev

DA10 A





## 1 EXISTING CONDAMINE STREET ELEVATION (NON-OPERATIONAL) SCALE 1:200 @ A3



PROPOSED CONDAMINE STREET ELEVATION (OPERATIONAL)

Level 1, 1 Chandos Street ST LEONARDS NSW 2065

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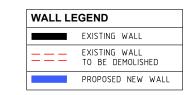
PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH 176-180 & 184-190 CONDAMINE ST Status: DA Job Ref:

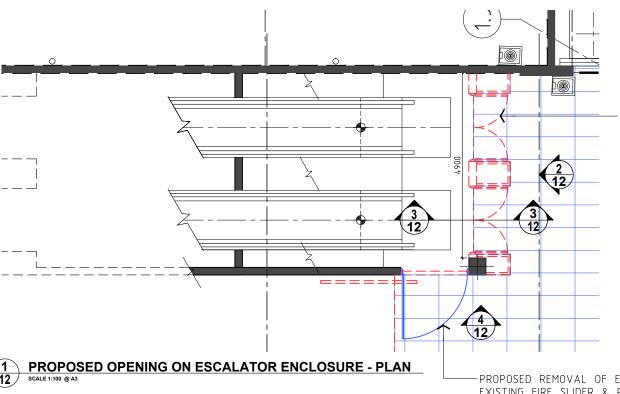
21025

**WORKS TO CONDAMINE ST. - ELEVATION** 

Scale: 1:100 @ A3 Date: JUNE 2021 Drawn: DY/RB

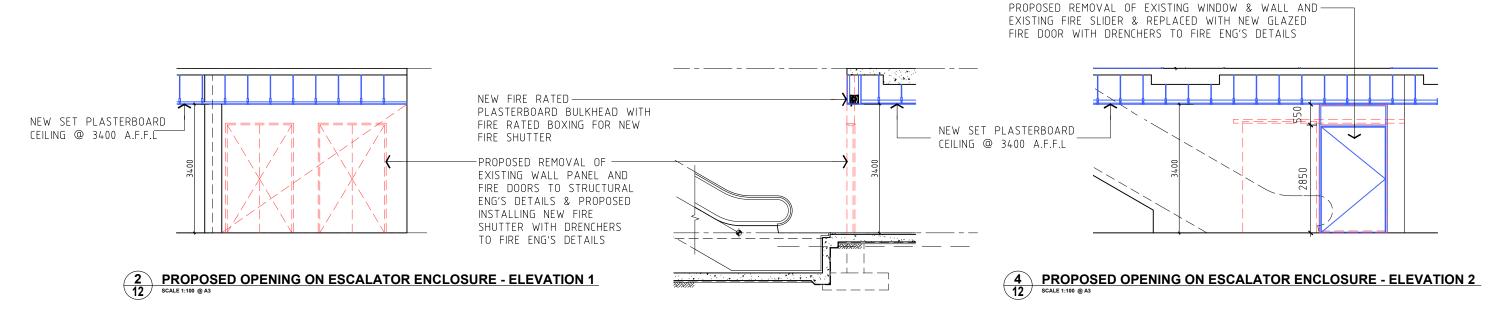
Drawing No: Rev: DA11 A





PROPOSED REMOVAL OF EXISTING WALL PANEL AND FIRE DOORS TO STRUCTURAL ENG'S DETAILS & PROPOSED INSTALLING NEW FIRE SHUTTER WITH DRENCHERS TO FIRE ENG'S DETAILS

PROPOSED REMOVAL OF EXISTING WINDOW & WALL AND EXISTING FIRE SLIDER & REPLACED WITH NEW GLAZED FIRE DOOR WITH DRENCHERS TO FIRE ENG'S DETAILS



PROPOSED OPENING ON ESCALATOR ENCLOSURE - SECTION

Level 8 263 Clarence Street SYDNEY 2000 PO Box Q291 Queen Victoria Building 1230 Giles Tribe Pty Ltd Nominated Architects:

**P** 61 2 9264 5005 **F** 61 2 9264 9908 E qta@gilestribe.com.au ABN 50 001 259 507

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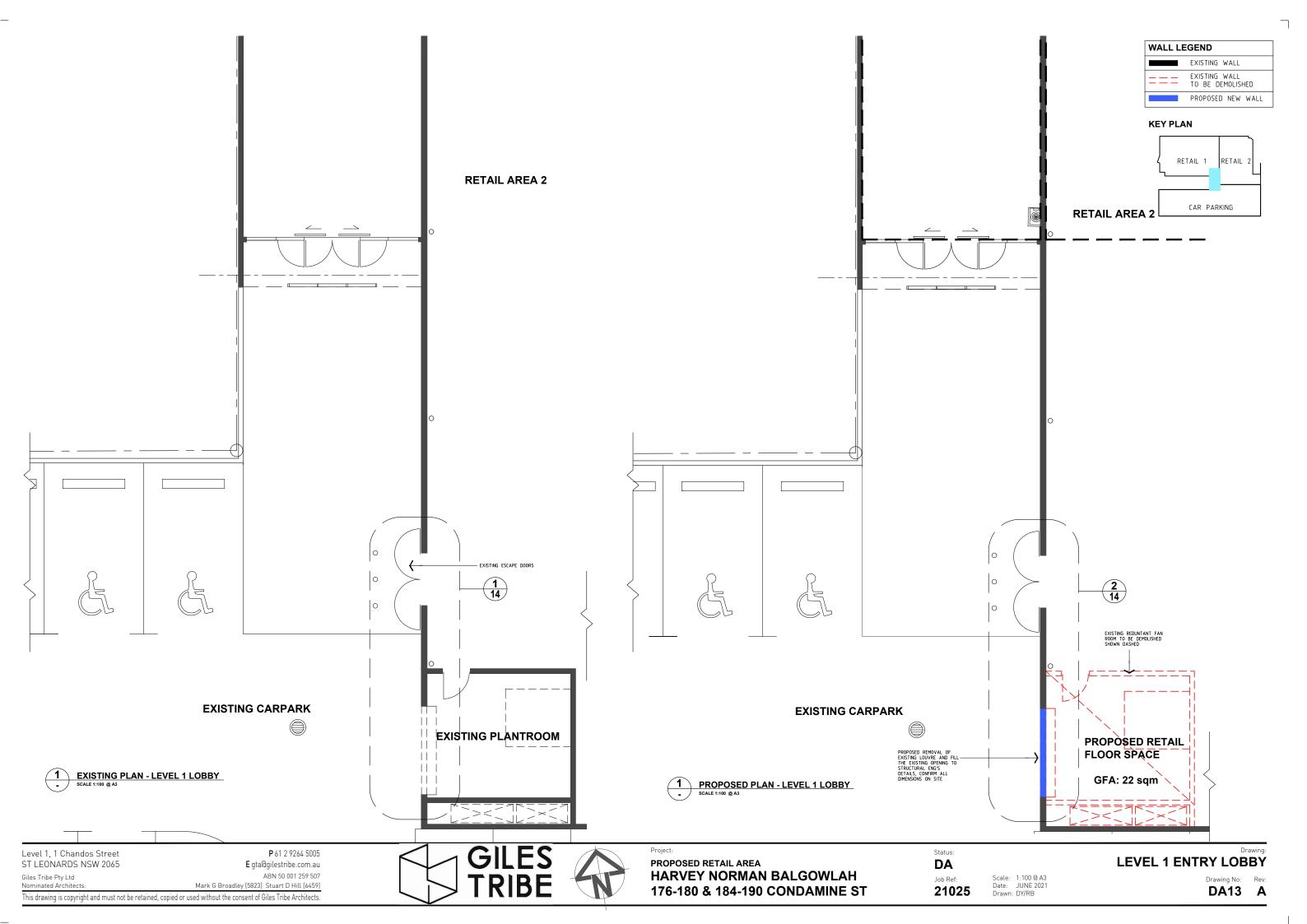


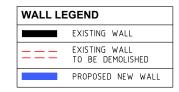
PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH **BALGOWLAH** 

DAOPENING ON GROUND ESCALATOR ENCLOSURE

Scale: 1:500 @ A3 Job Ref: Date: JUNE 2021 21025

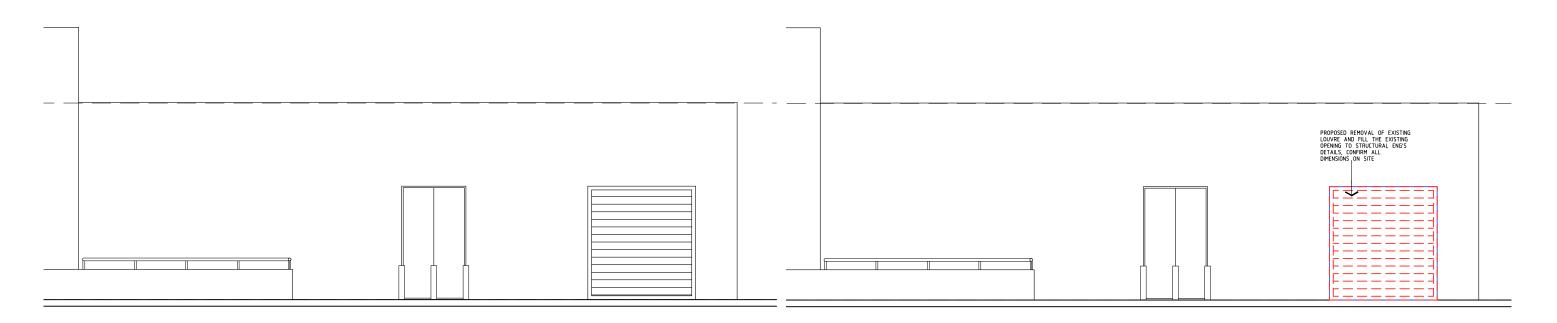
Drawing No: Rev: DA12 A





## **KEY PLAN**





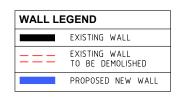


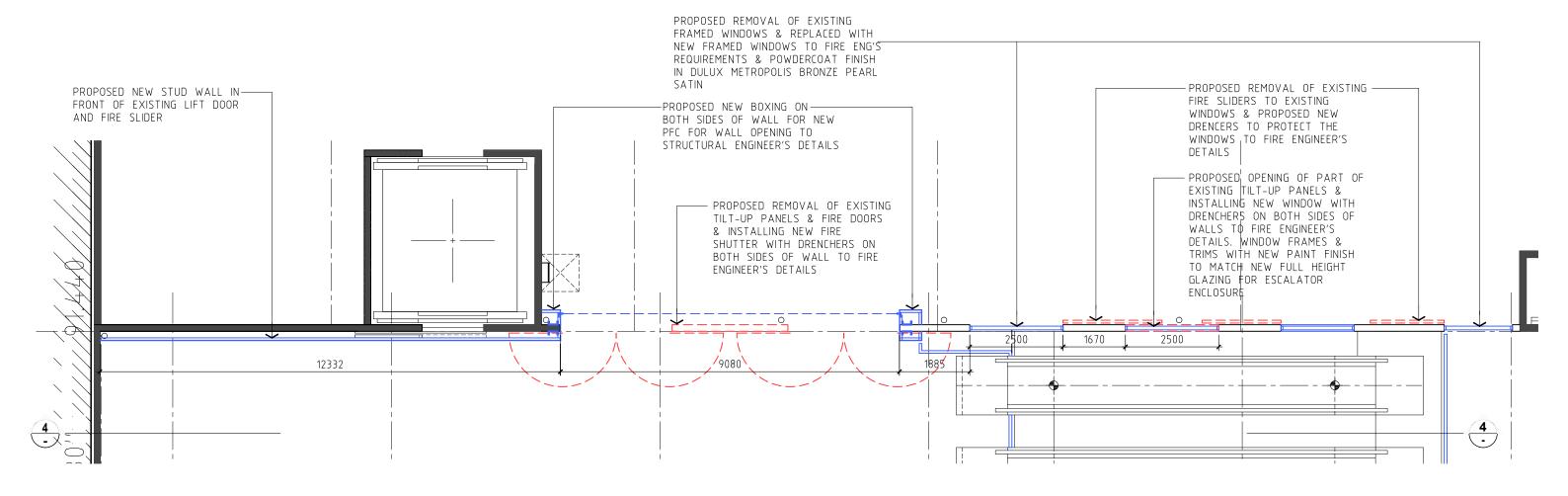




176-180 & 184-190 CONDAMINE ST

Scale: 1:100 @ A3 Date: JUNE 2021 Drawn: DY/RB





PROPOSED LEVEL 1 OPENINGS ON EXISTING WALL - PLAN

SCALE 1:500 @ A3

Level 8 263 Clarence Street SYDNEY 2000
PO Box Q291 Queen Victoria Building 1230
Giles Tribe Pty Ltd
Nominated Architects: Mark G Broadley [5823] S

**P** 61 2 9264 5005 **F** 61 2 9264 9908 **E** gta@gilestribe.com.au

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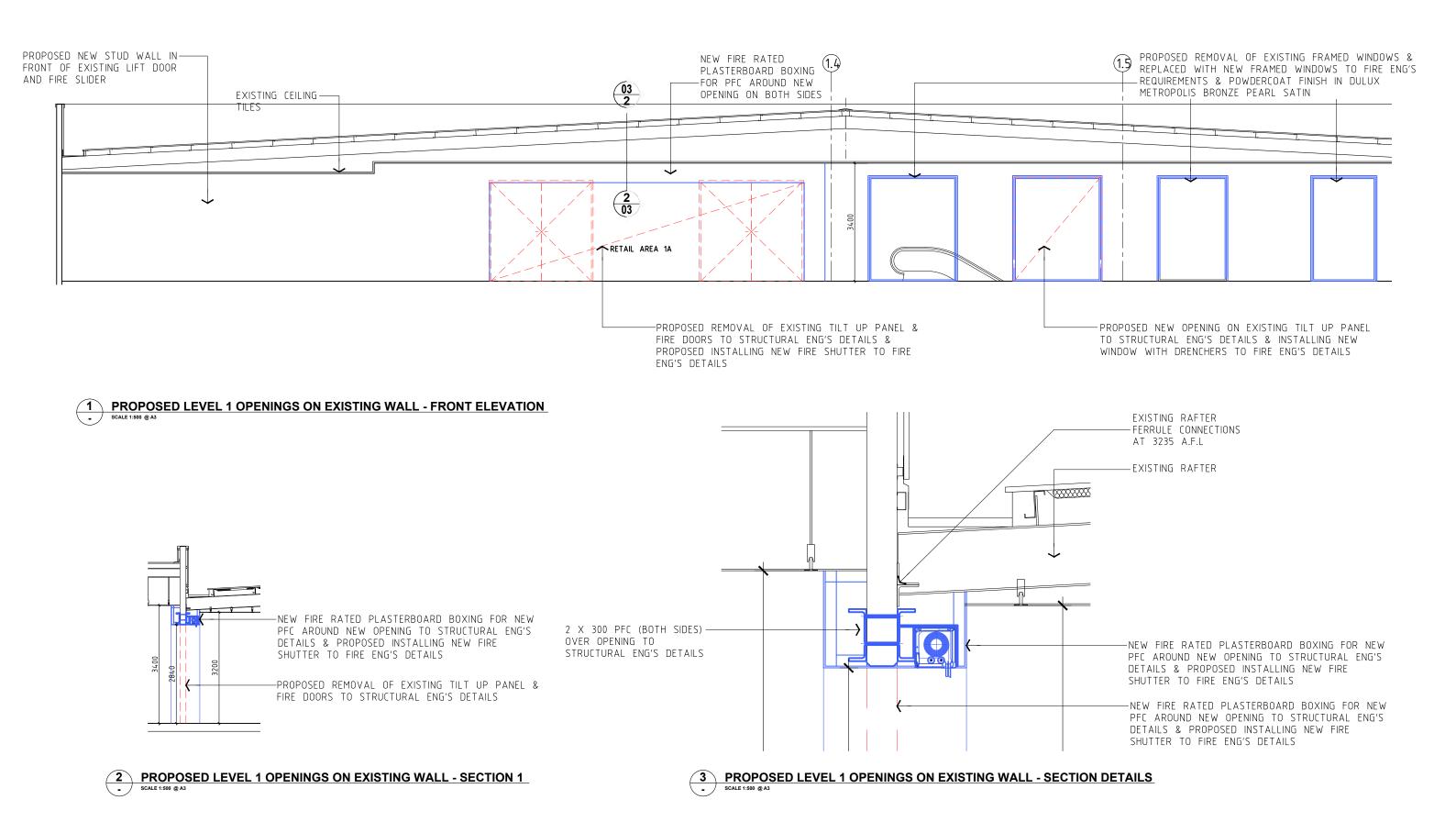
PROPOSED RETAIL AREA
HARVEY NORMAN BALGOWLAH
BALGOWLAH

Status: **DA**Job Ref:

21025

Scale: 1:500 @ A3 Date: JUNE 2021 Drawn: DY/RB L1 OPENINGS - PLAN

Drawing No: Rev: **DA15 A** 



Level 8 263 Clarence Street SYDNEY 2000 PO Box Q291 Queen Victoria Building 1230

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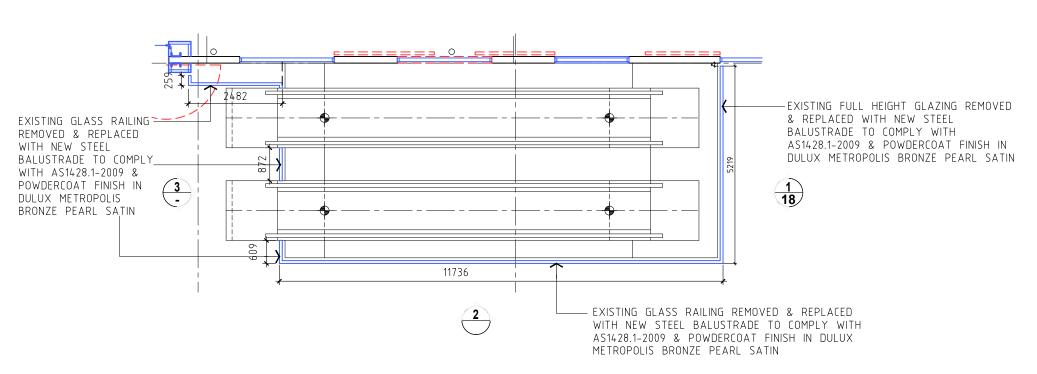
PROPOSED RETAIL AREA
HARVEY NORMAN BALGOWLAH
BALGOWLAH

Status:
DA
Job Ref:
21025

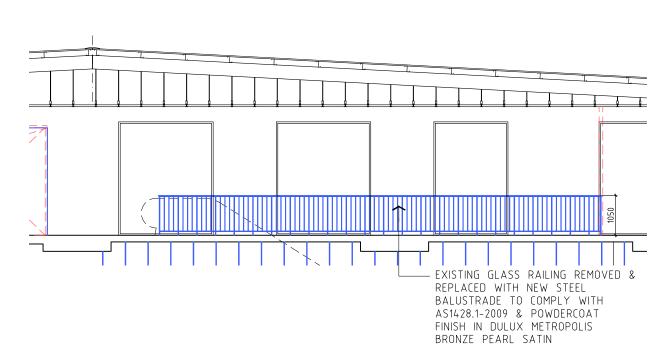
**L1 OPENINGS - ELEVATION & SECTIONS** 

Scale: 1:500 @ A3
Date: JUNE 2021
Drawn: DY/RB

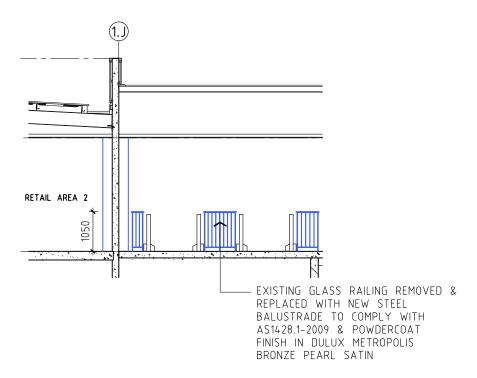
Drawing No: Rev:



PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - PLAN



PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - ELEVATION 1



PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - ELEVATION 2

Level 8 263 Clarence Street SYDNEY 2000 PO Box Q291 Queen Victoria Building 1230 **P** 61 2 9264 5005 **F** 61 2 9264 9908 E gta@gilestribe.com.au ABN 50 001 259 507

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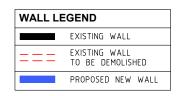
PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH **BALGOWLAH** 

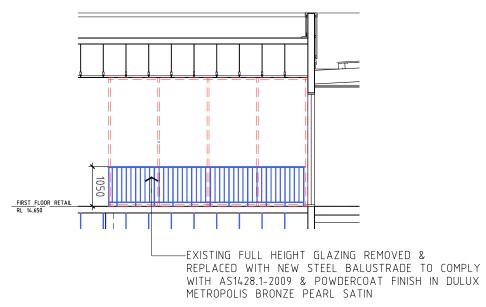
Status: DA Job Ref:

**BALUSTRADE ON LEVEL ESCALATOR VOID** 

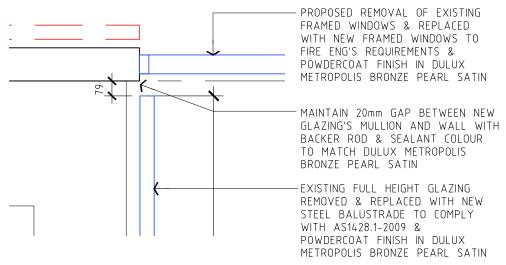
Scale: 1:500 @ A3 Date: JUNE 2021 21025

Drawing No: Rev: **DA17** A





PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - ELEVATION 3



PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - JUNCTION DETAIL 1

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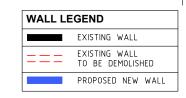
PROPOSED RETAIL AREA HARVEY NORMAN BALGOWLAH **BALGOWLAH** 

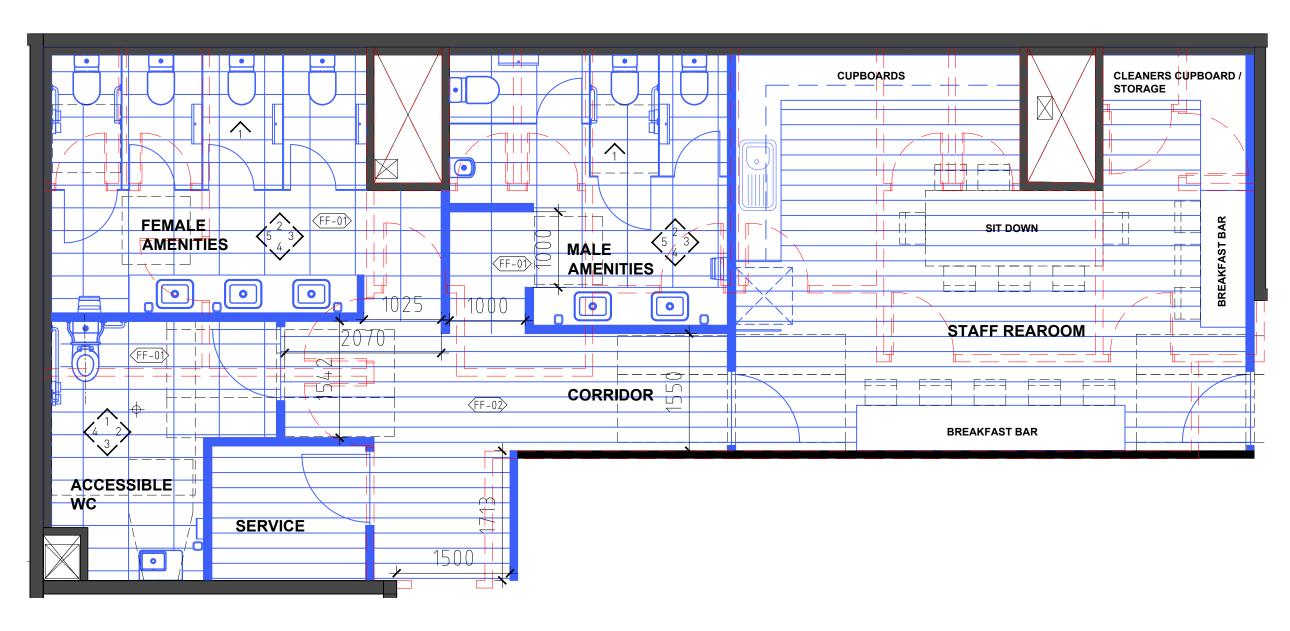
Status: DA Job Ref: 21025

**GLAZING ON L1 ESCALATOR ENCLOSURE** 

Scale: 1:500 @ A3 Date: JUNE 2021

Drawing No: Rev: **DA18** A





1 LEVEL 1 AMENITIES UPGRADE

SCALE 1:50 @ A3

Level 1, 1 Chandos Street ST LEONARDS NSW 2065

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**LEVEL 1 AMENITIES UPGRADE** 

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