

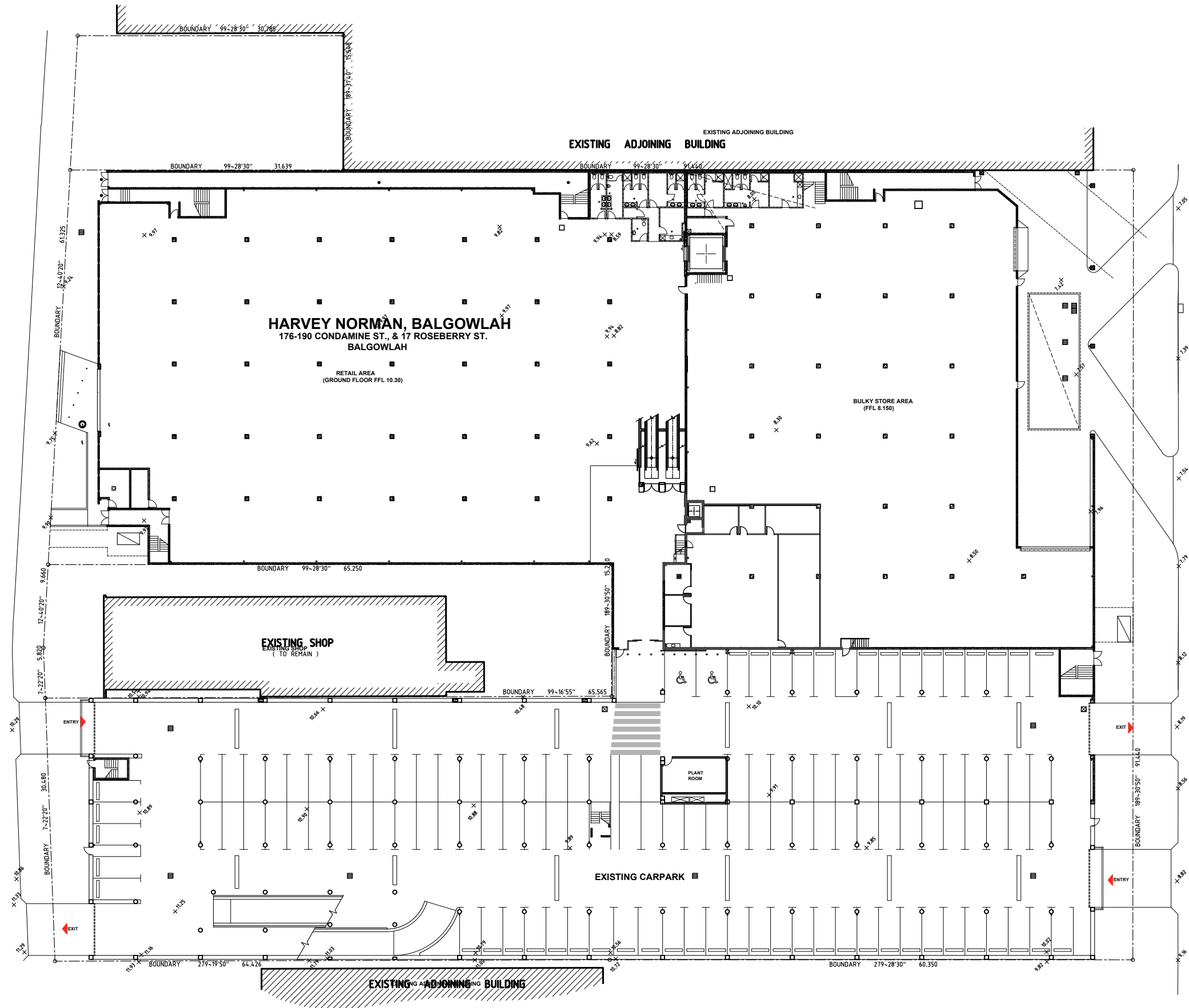
HARVEY NORMAN 176-180 & 184-190 CONDAMINE STREET BALGOWLAH



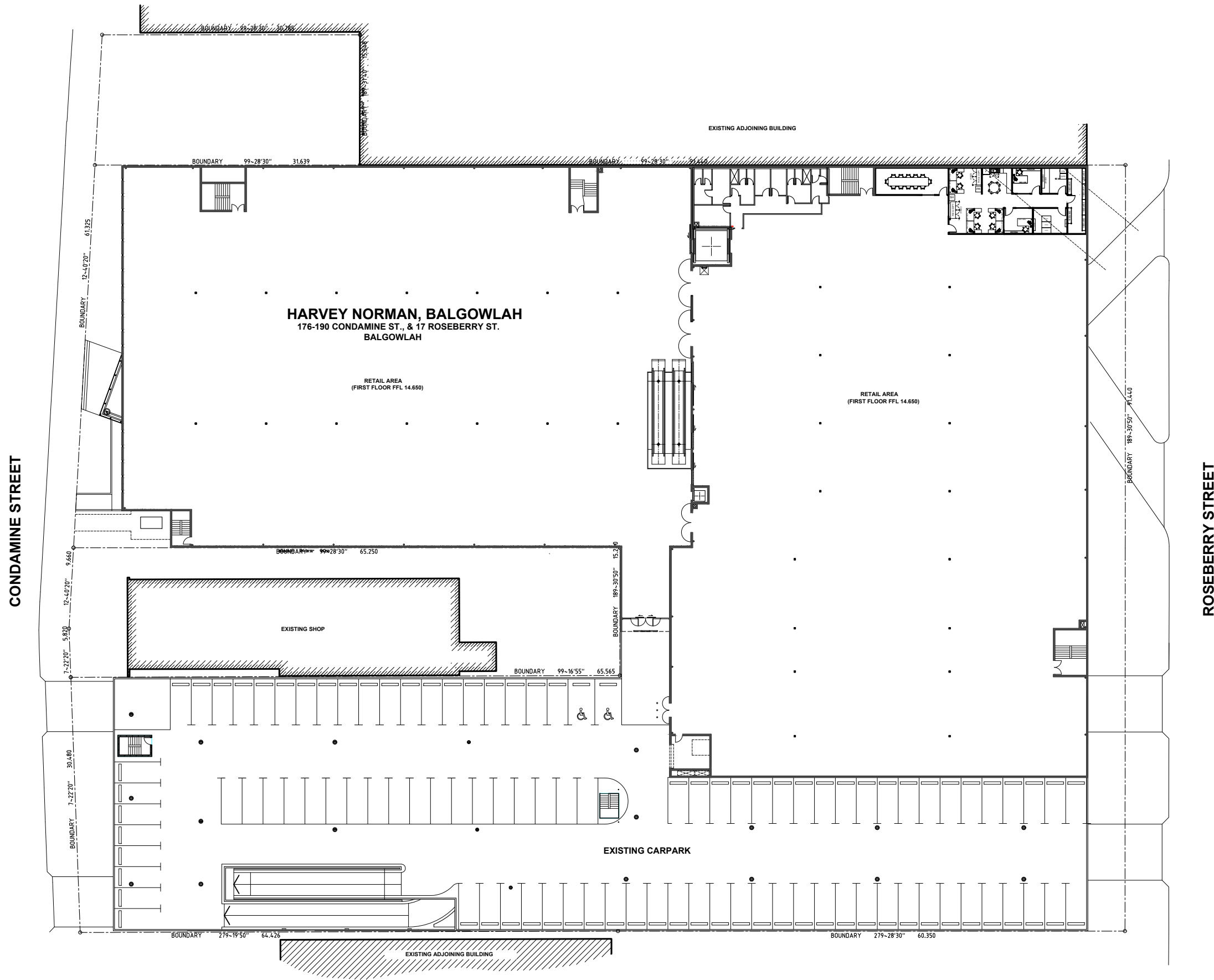
DA00	COVER SHEET
DA00A	EXISTING PLAN - GROUND FLOOR
DA00B	EXISTING PLAN - LEVEL 1 FLOOR
DA00C	DEMOLITION PLAN - GROUND FLOOR
DA00D	DEMOLITION PLAN - LEVEL 1 FLOOR
DA01	OVERALL SITE PLAN - GROUND
DA02	OVERALL SITE PLAN - LEVEL 1
DA03	PROPOSED GROUND FLOOR RETAIL SPACE - PLAN
DA04	PROPOSED EXISTING MEZZANINE FLOOR DEMOLITION PLAN
DA05	PROPOSED GROUND FLOOR RETAIL SPACE - SECTIONS
DA06	PROPOSED GROUND FLOOR LOBBY EXTENSION - PLAN
DA07	PROPOSED GROUND FLOOR LOBBY EXTENSION - ELEVATIONS & SECTIONS
DA08	PROPOSED GROUND FLOOR LOBBY EXTENSION - RCP
DA09	PROPOSED GROUND AMENITIES UPGRADE
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DA12	PROPOSED OPENINGS ON GROUND ESCALATOR ENCLOSURE
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DA14	PROPOSED LEVEL 1 ENTRY LOBBY - ELEVATIONS
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DA16	PROPOSED LEVEL 1 OPENINGS - ELEVATIONS & SECTIONS
DA17	PROPOSED NEW BALUSTRADE ON LEVEL 1 ESCALATOR VOID_01
DA18	PROPOSED NEW BALUSTRADE ON LEVEL 1 ESCALATOR VOID_02
DA19	PROPOSED LEVEL 1 AMENITIES UPGRADE

CONDAMINE STREET

ROSEBERRY STREET



1 EXISTING PLAN - GROUND FLOOR
SCALE 1:500 @ A3

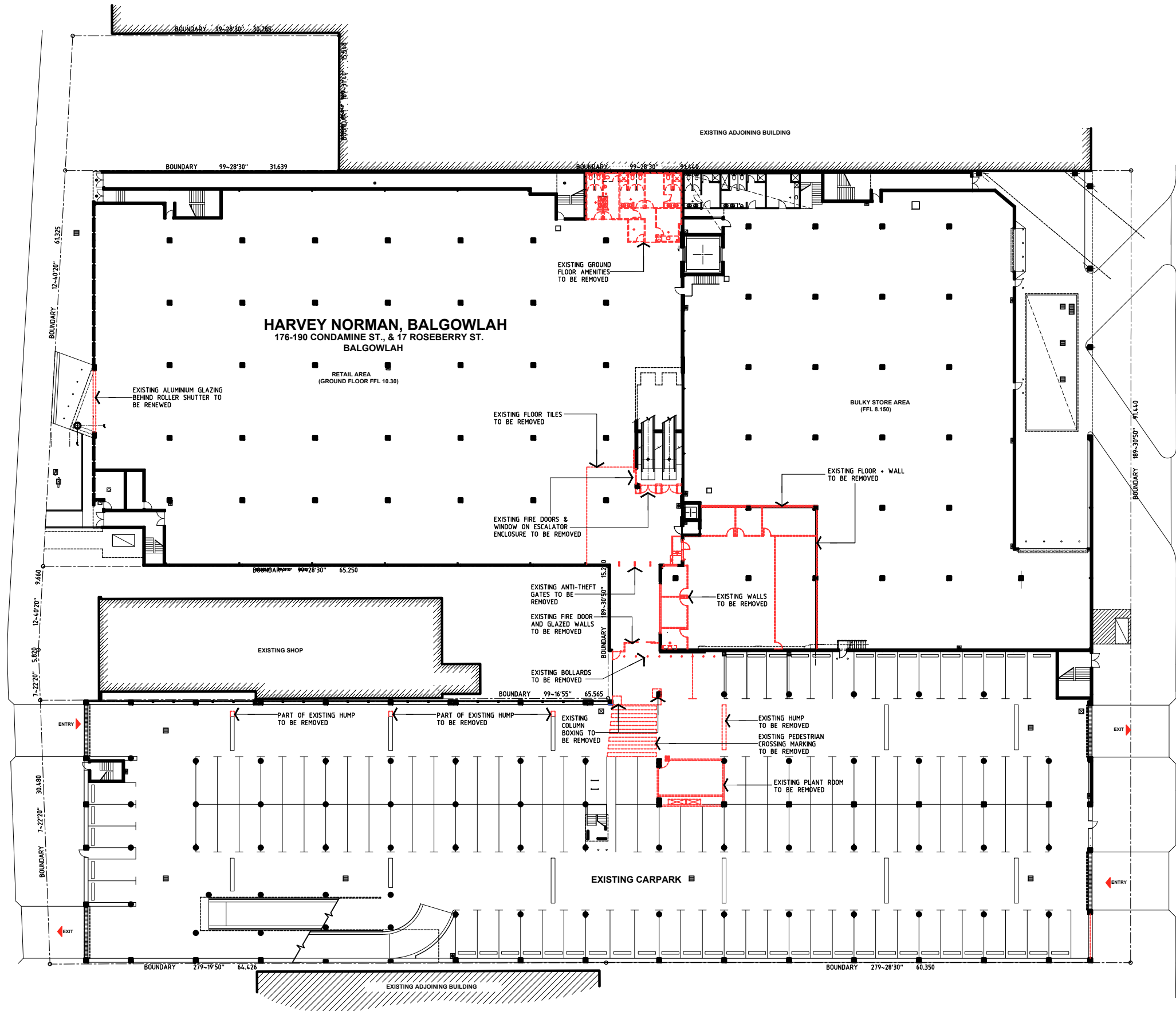


1 EXISTING PLAN - LEVEL 1
SCALE 1:500 @ A3

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL

CONDAMINE STREET

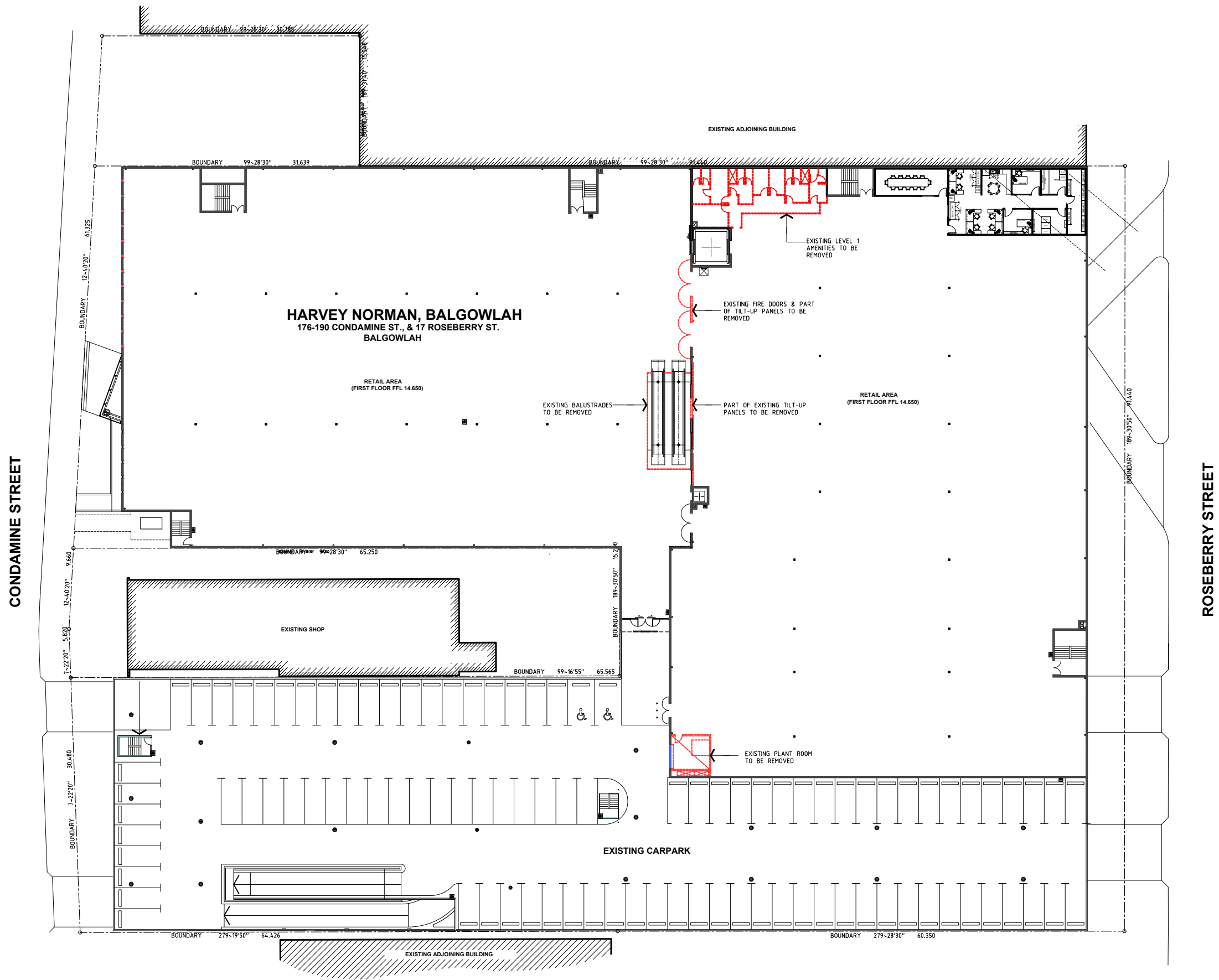
ROSEBERRY STREET



1 DEMOLITION PLAN - GROUND FLOOR
SCALE 1:500 @ A3

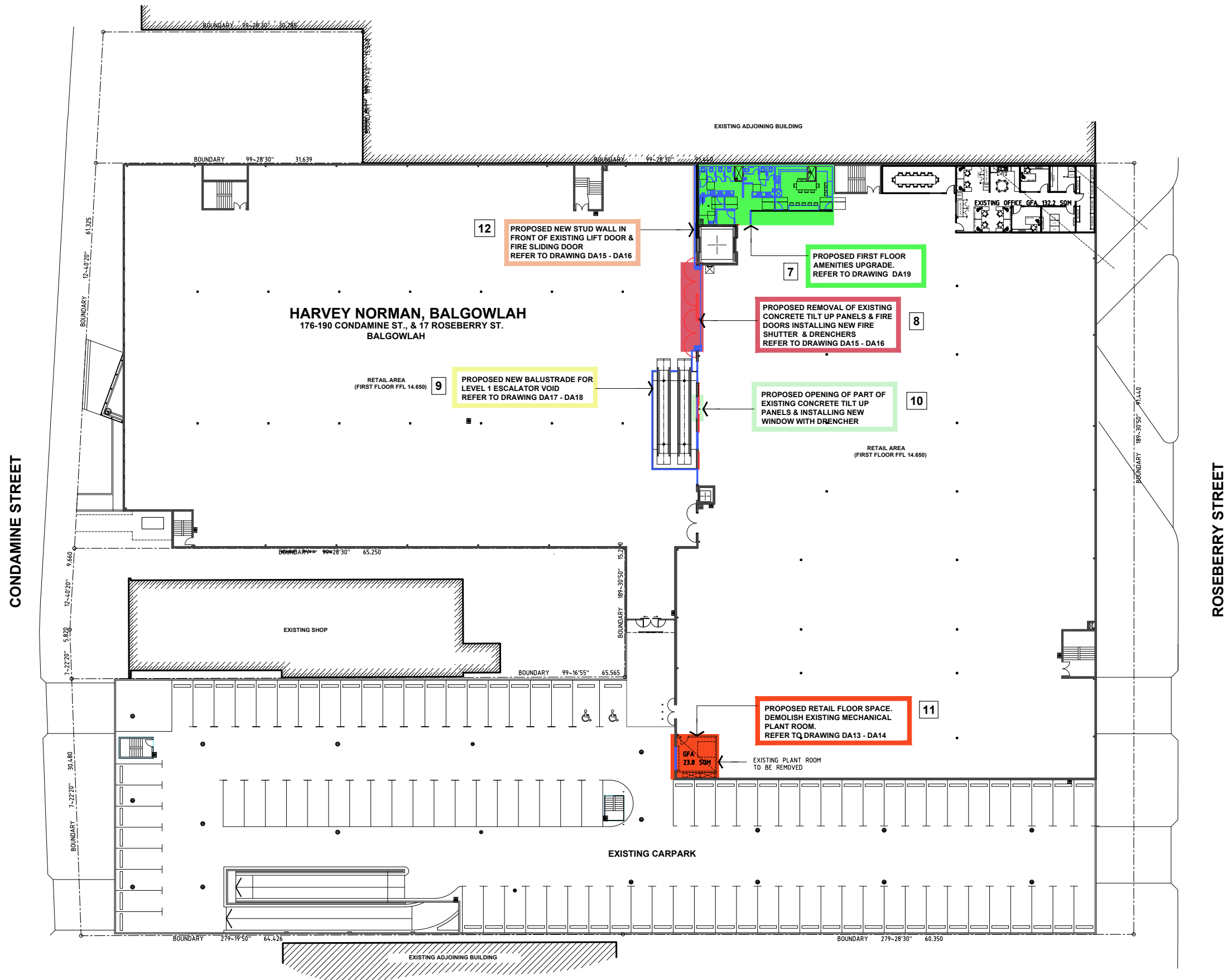


WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



1 DEMOLITION PLAN - LEVEL 1
SCALE 1:500 @ A3

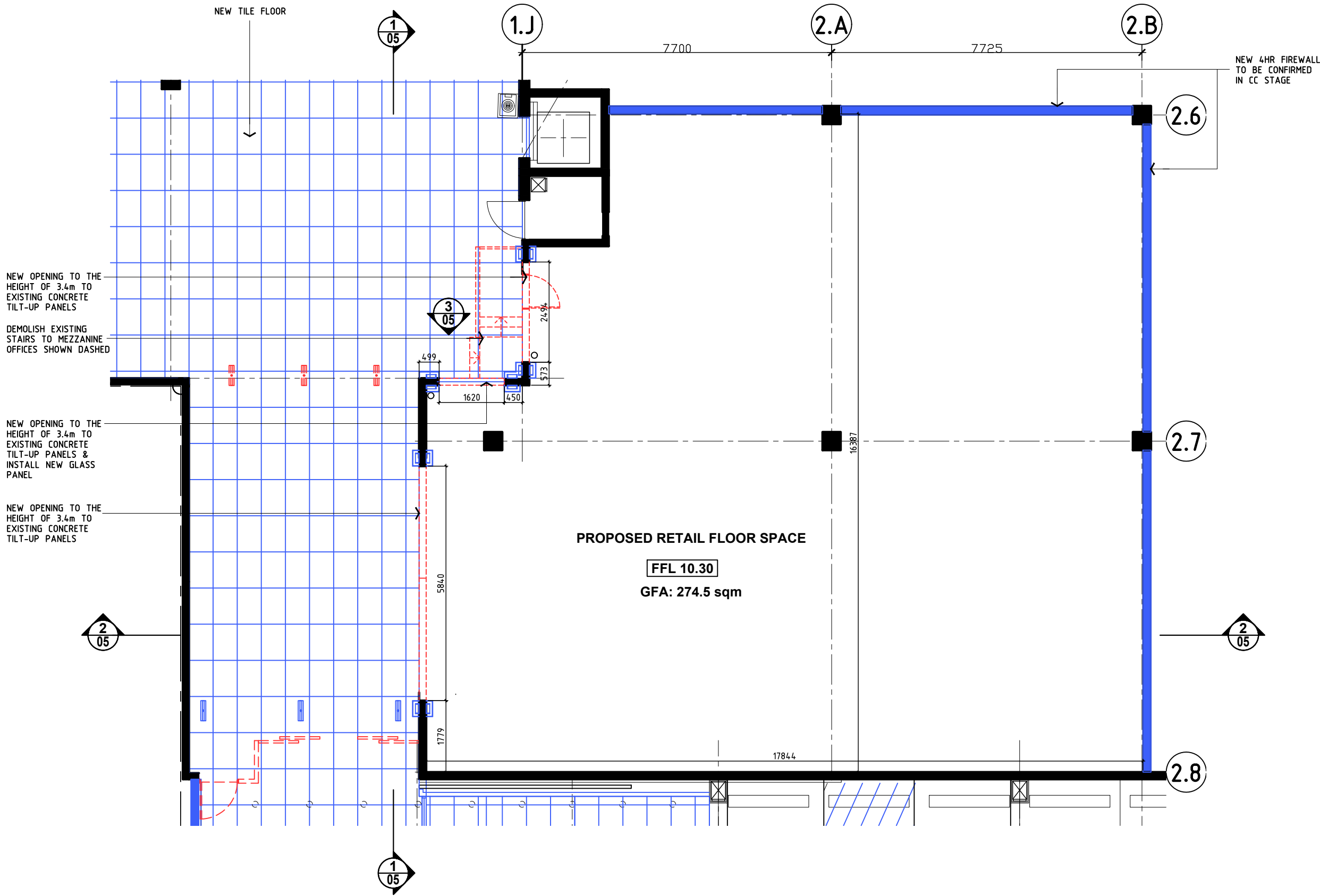
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



1 OVERALL SITE - LEVEL 1
SCALE 1:500 @ A3

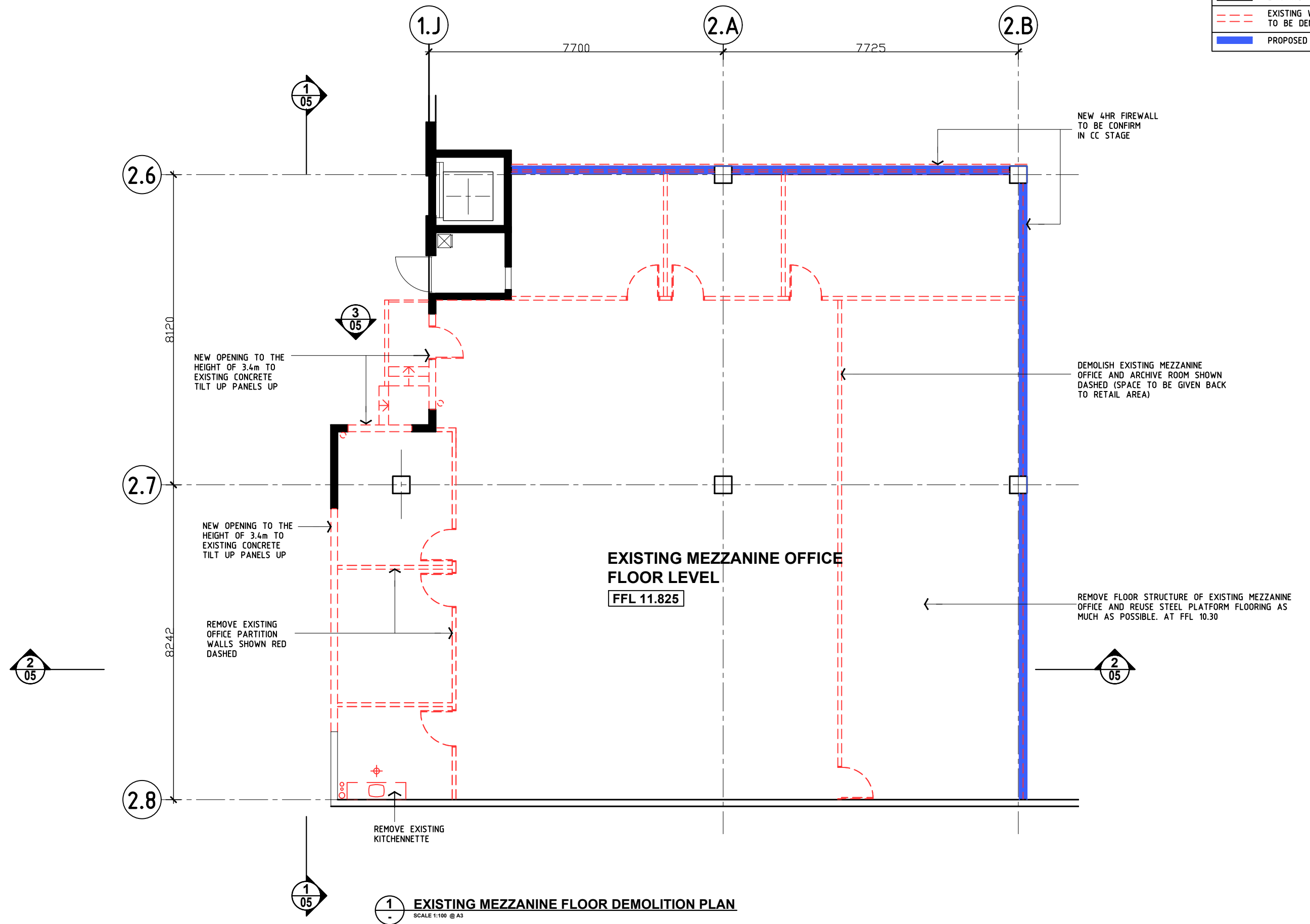


WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL

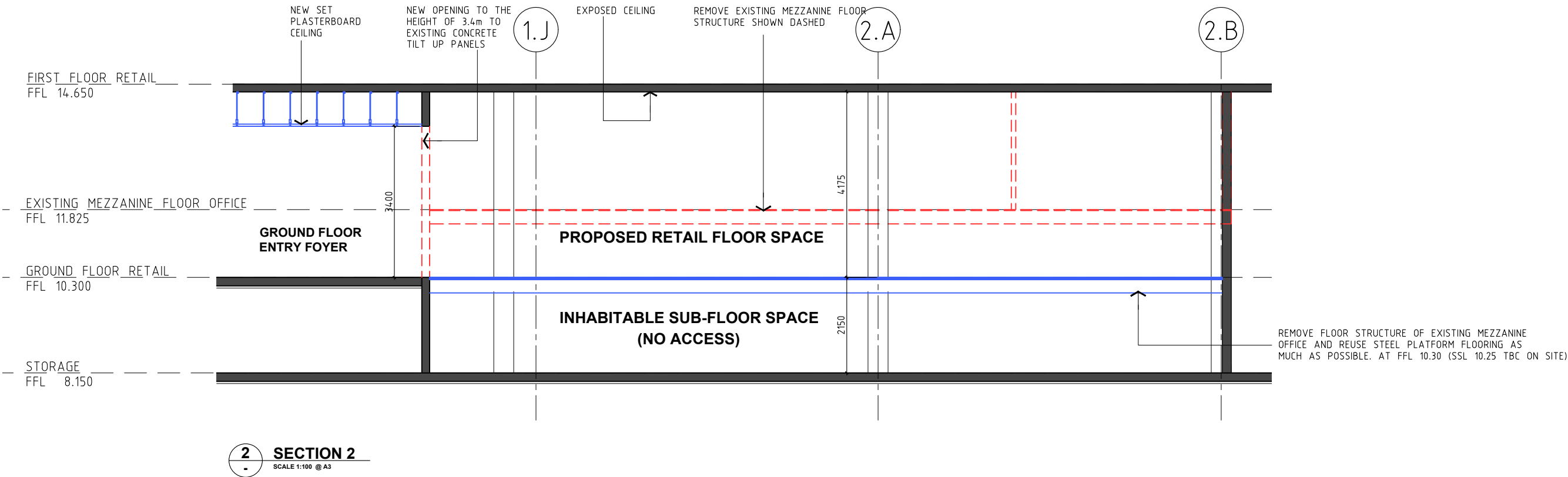
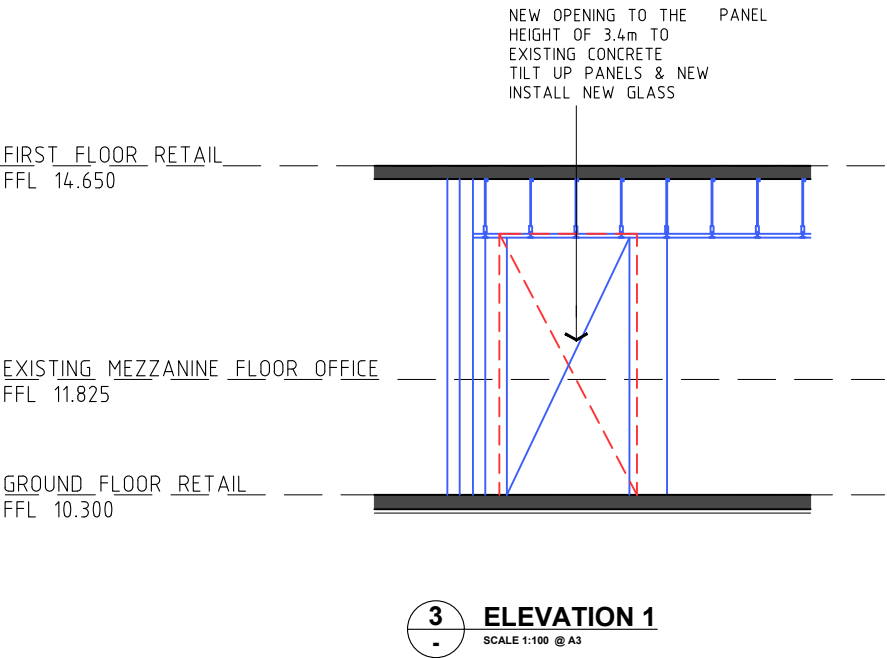
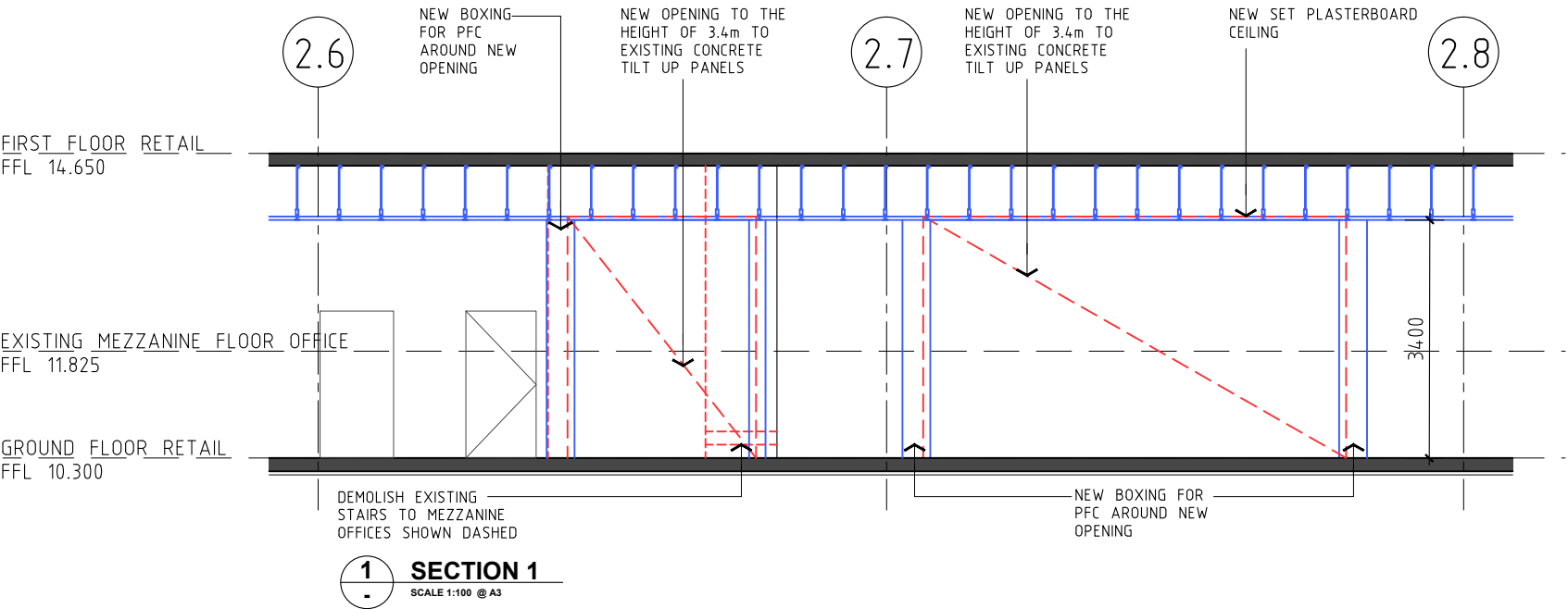


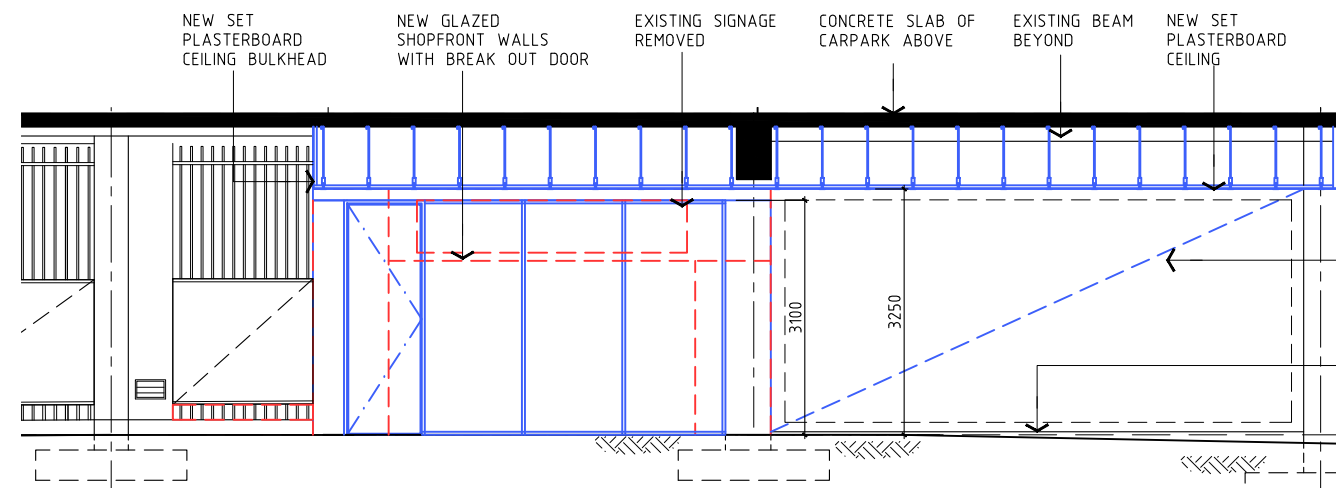
1 PROPOSED GROUND RETAIL SPACE - PLAN
SCALE 1:100 @ A3

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



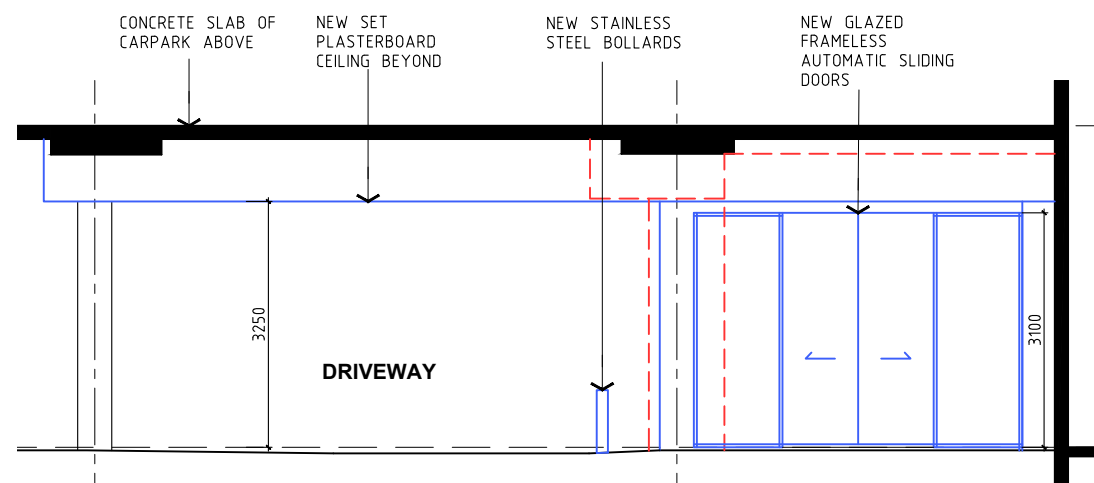
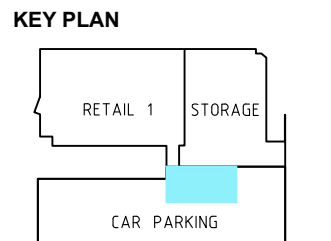
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



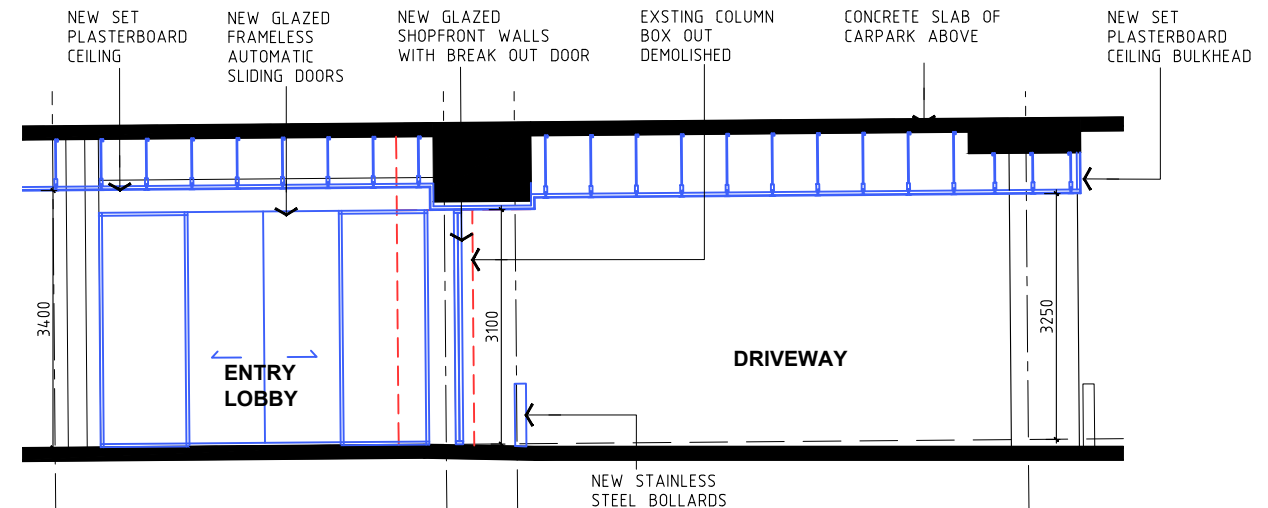


1 ELEVATION 1 (AS VIEWED FROM CARPARK)
SCALE 1:100 @ A3

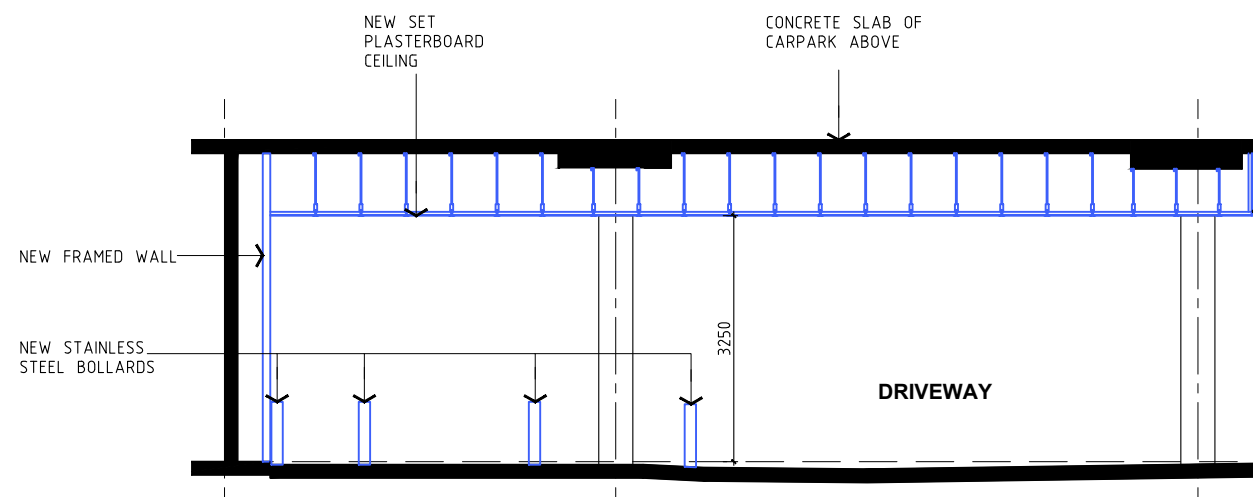
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



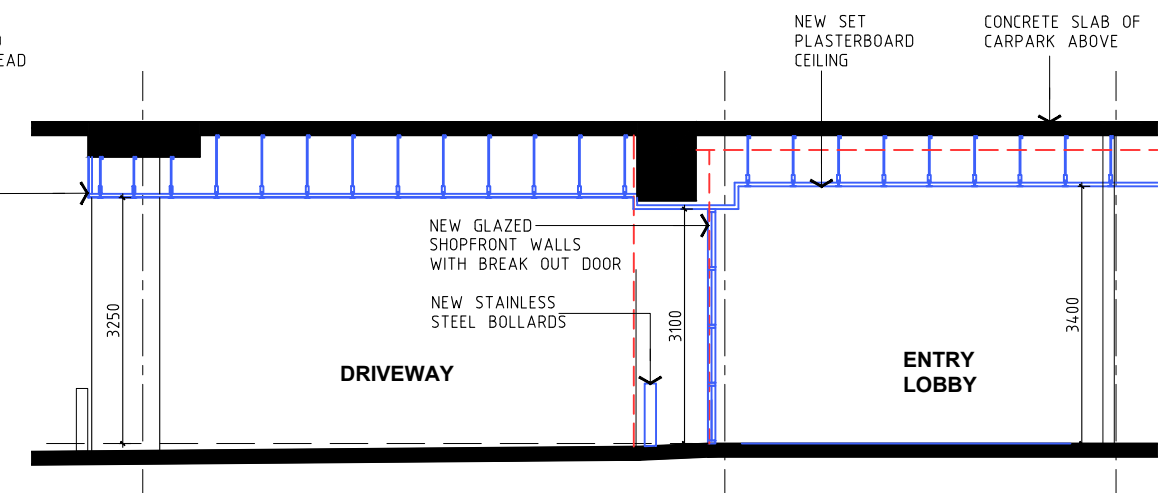
2 ELEVATION 2
SCALE 1:100 @ A3



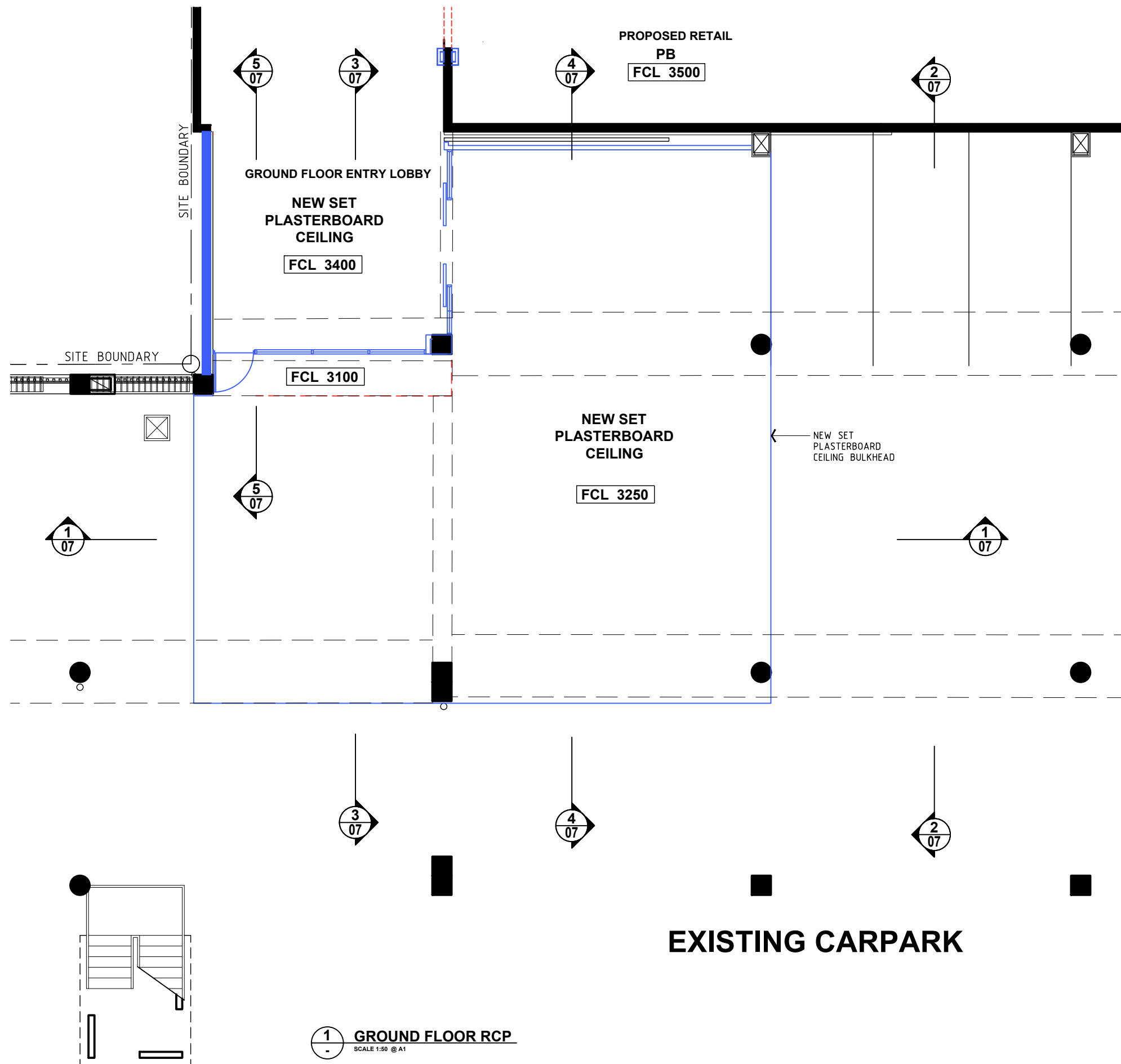
3 SECTION 3
SCALE 1:100 @ A3



4 SECTION 4
SCALE 1:100 @ A3

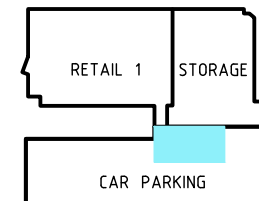


5 SECTION 5
SCALE 1:100 @ A3



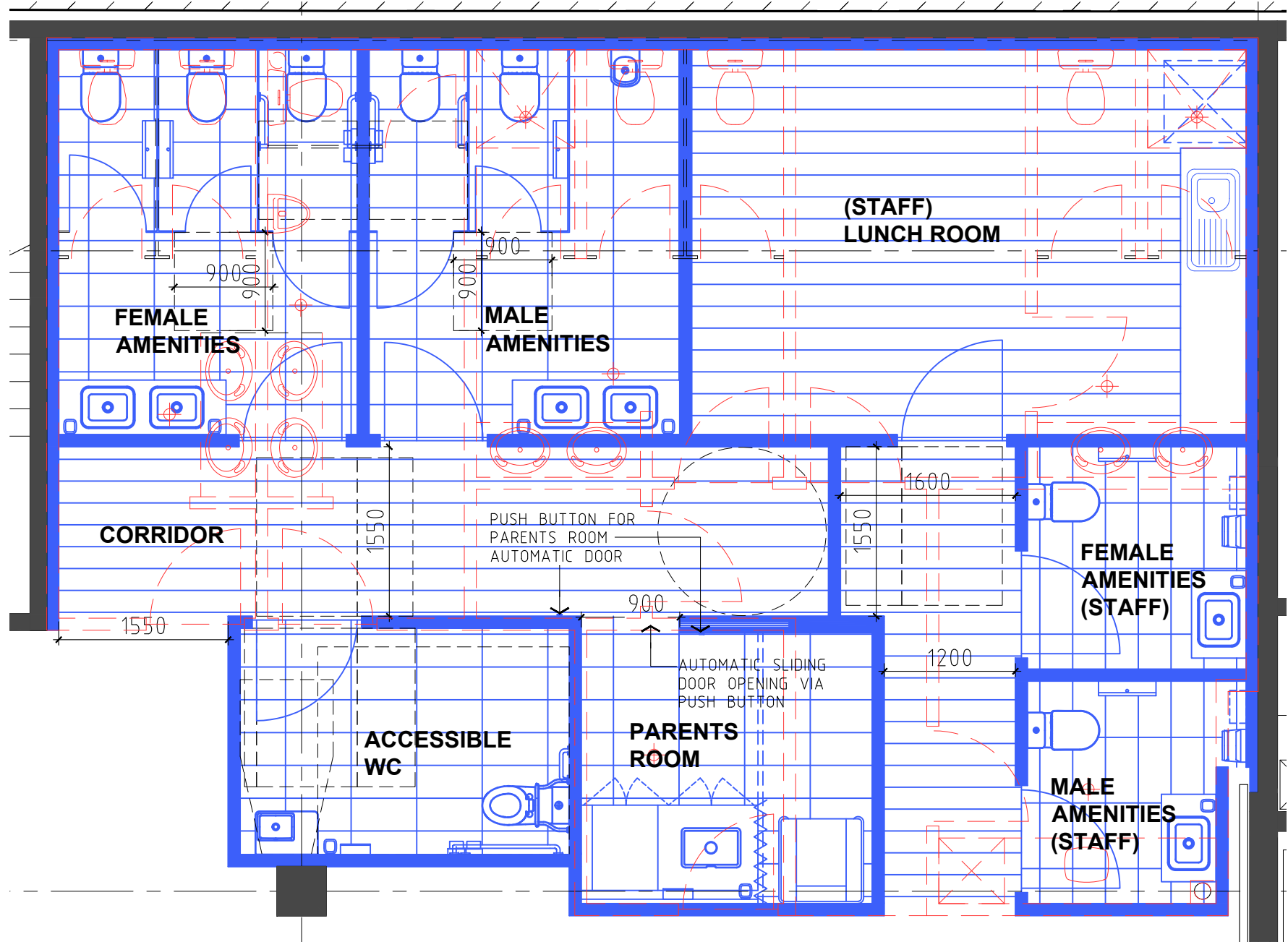
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL

KEY PLAN

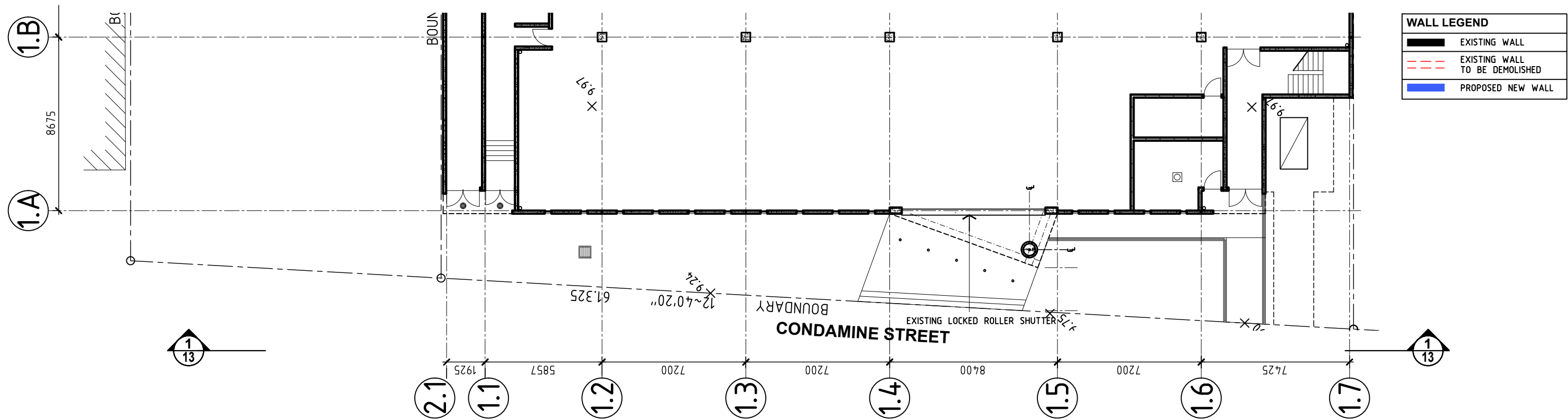


1 GROUND FLOOR RCP
SCALE 1:50 @ A1

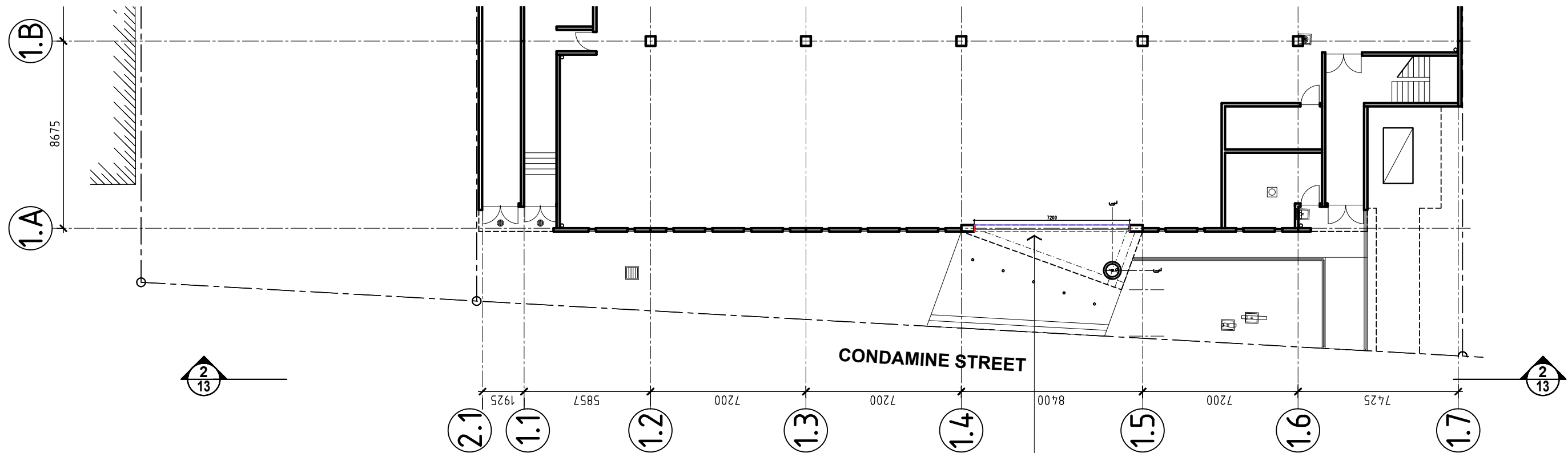
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



1 GROUND AMENITIES UPGRADE - PLAN
 SCALE 1:50 @ A3



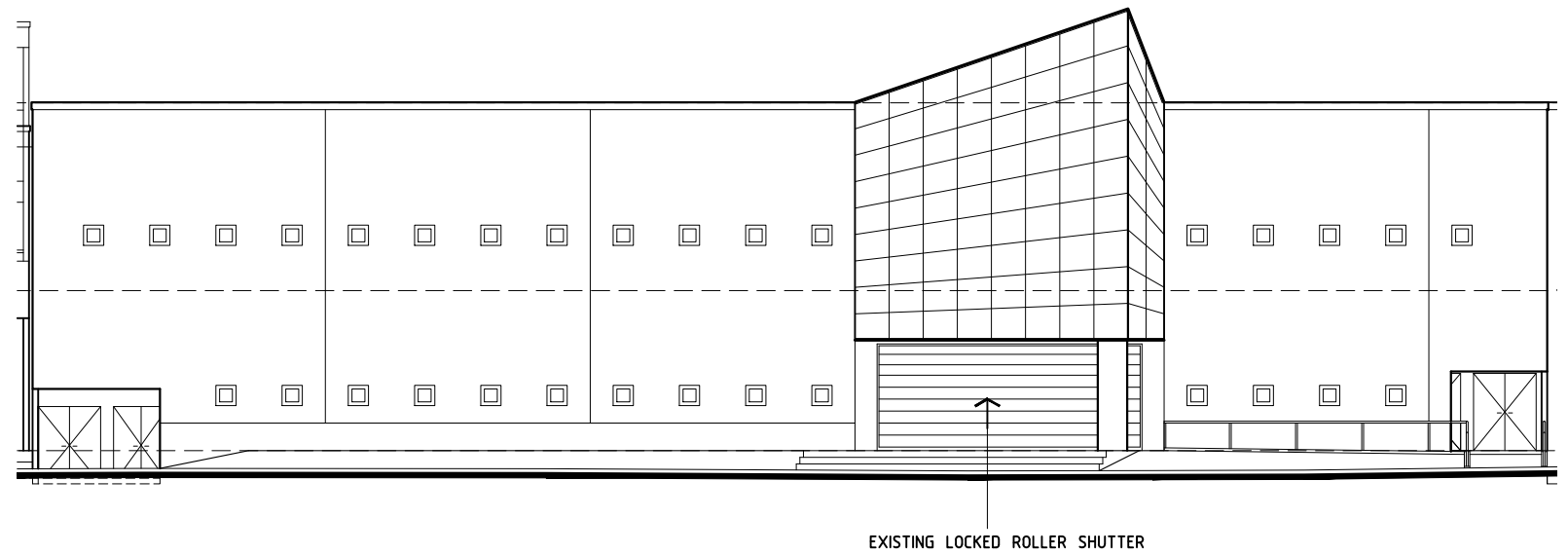
1 EXISTING GROUND FLOOR PLAN - CONDAMINE ST. STORE ENTRY
SCALE 1:200 @ A3



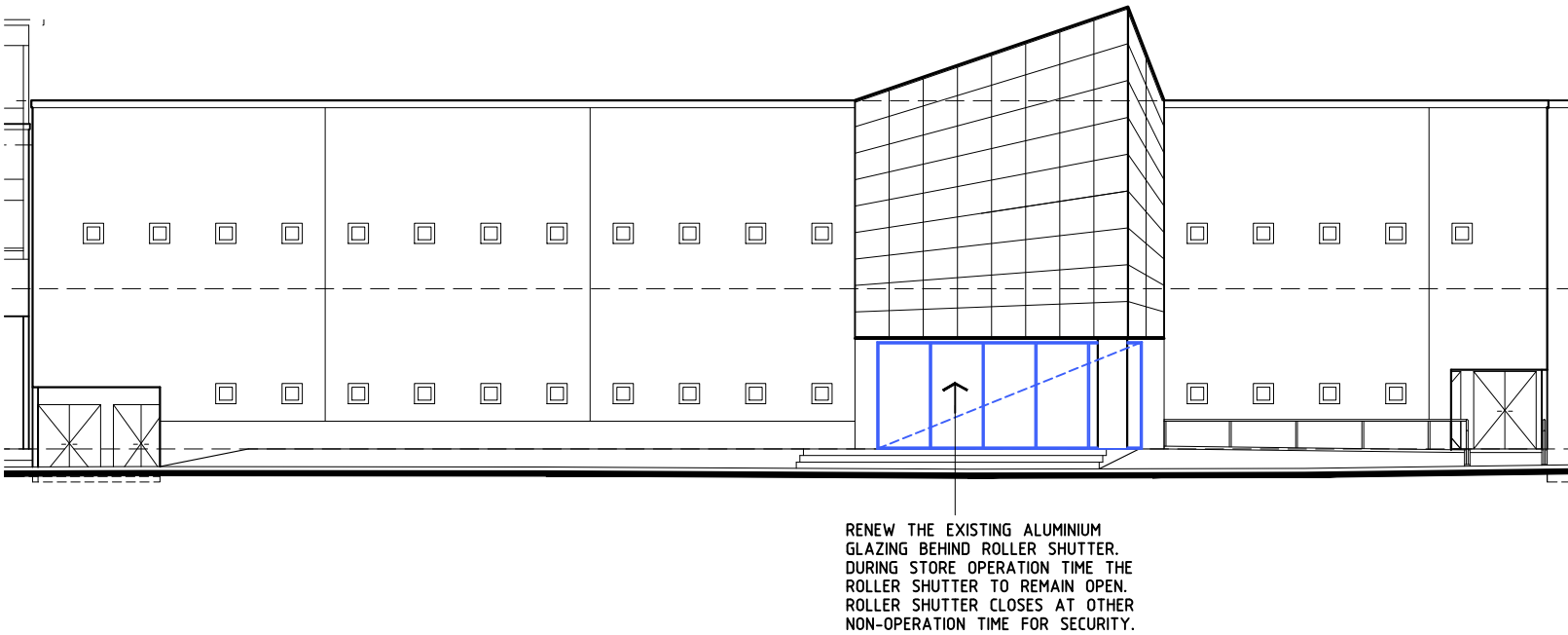
2 PROPOSED GROUND FLOOR PLAN - CONDAMINE ST. STORE ENTRY
SCALE 1:200 @ A3

RENEW THE EXISTING ALUMINIUM GLAZING BEHIND ROLLER SHUTTER. DURING STORE OPERATION TIME THE ROLLER SHUTTER TO REMAIN OPEN. ROLLER SHUTTER CLOSING AT OTHER NON-OPERATION TIME FOR SECURITY.

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL

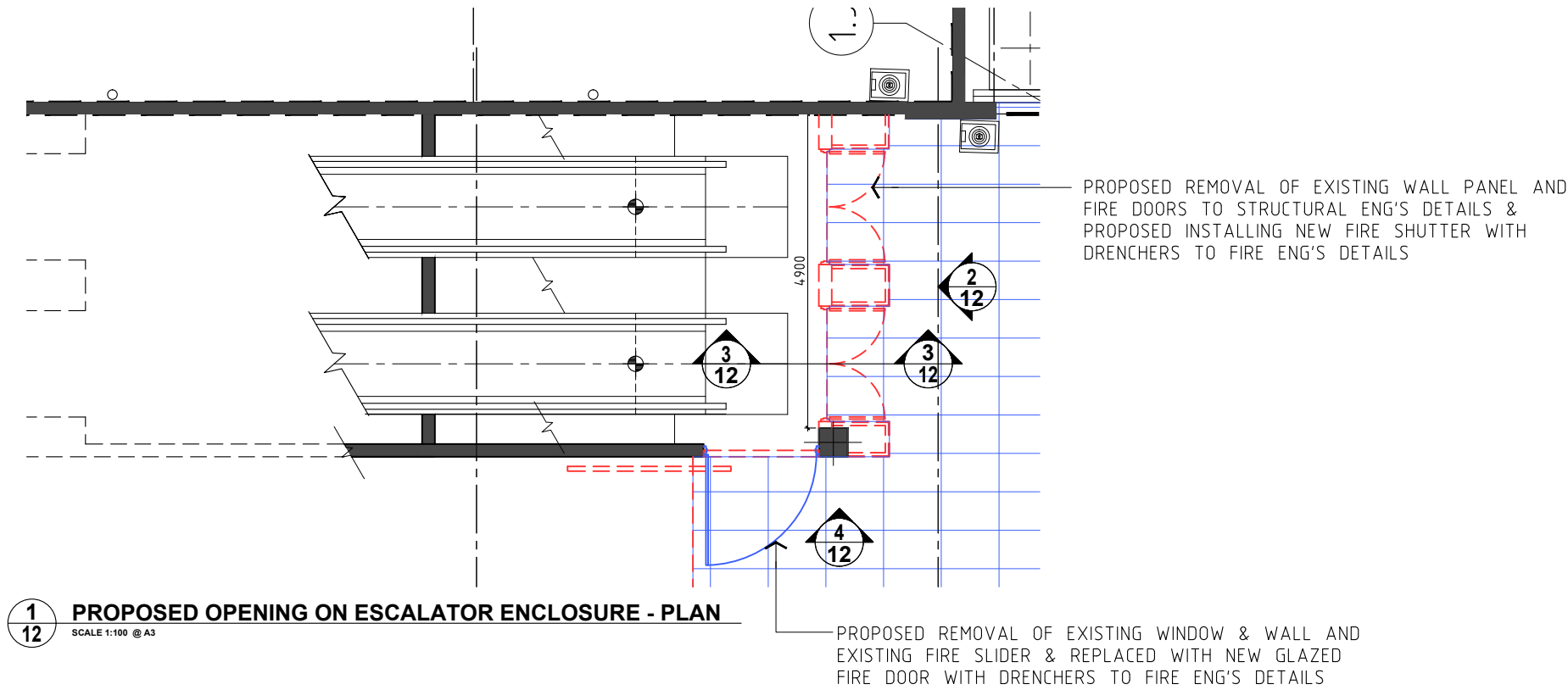


1 **EXISTING CONDAMINE STREET ELEVATION (NON-OPERATIONAL)**
SCALE 1:200 @ A3

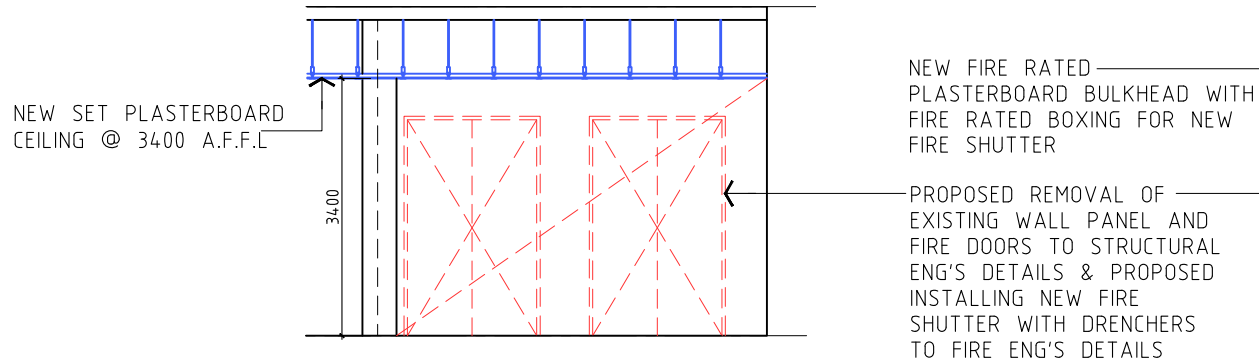


2 **PROPOSED CONDAMINE STREET ELEVATION (OPERATIONAL)**
SCALE 1:200 @ A3

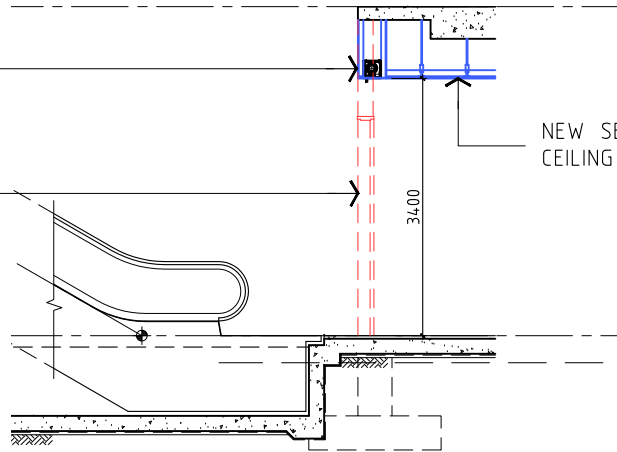
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



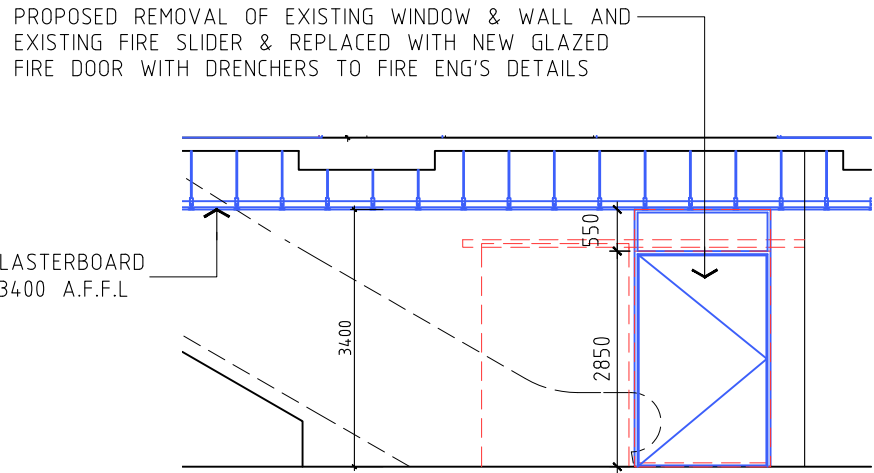
1
12 PROPOSED OPENING ON ESCALATOR ENCLOSURE - PLAN
SCALE 1:100 @ A3



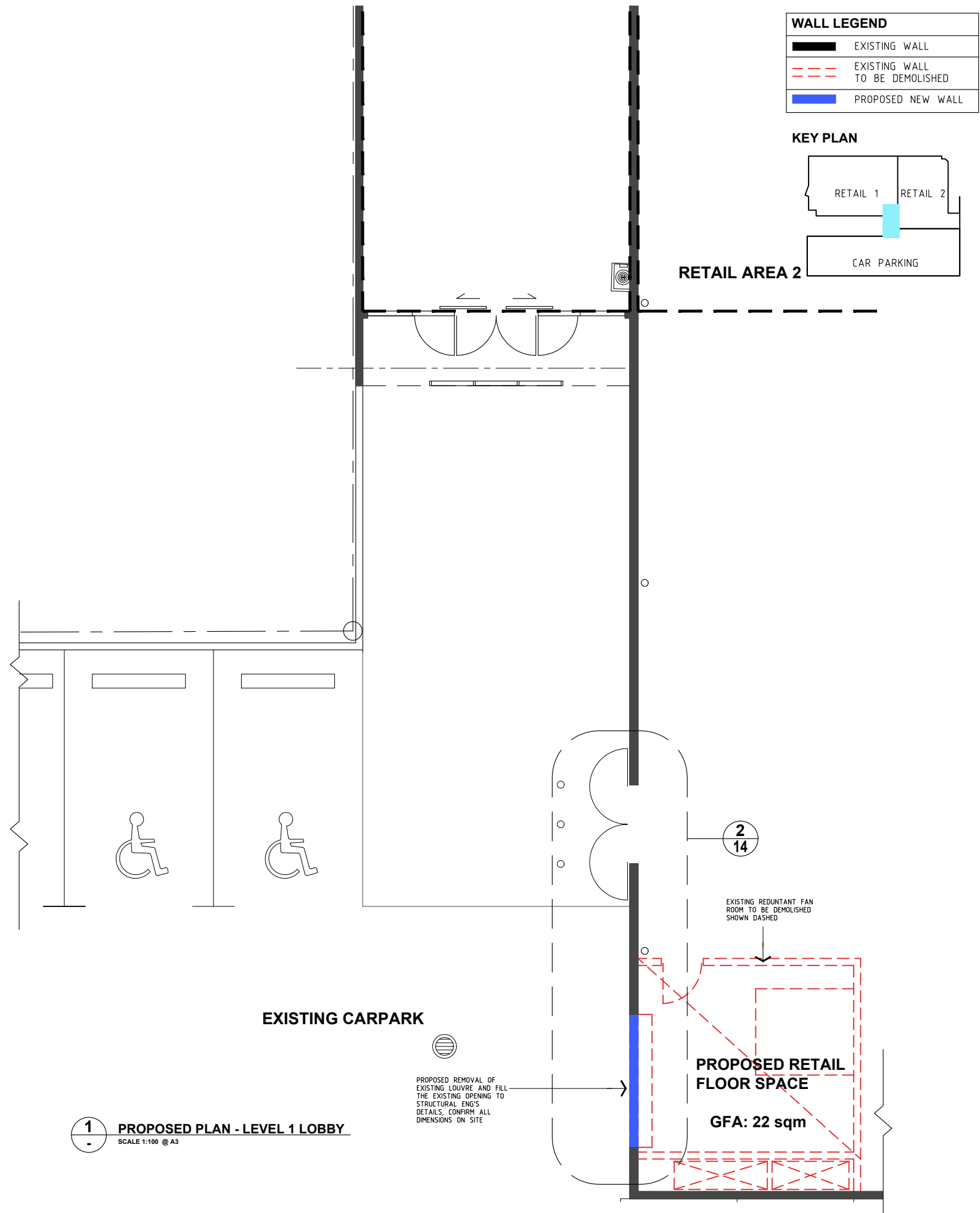
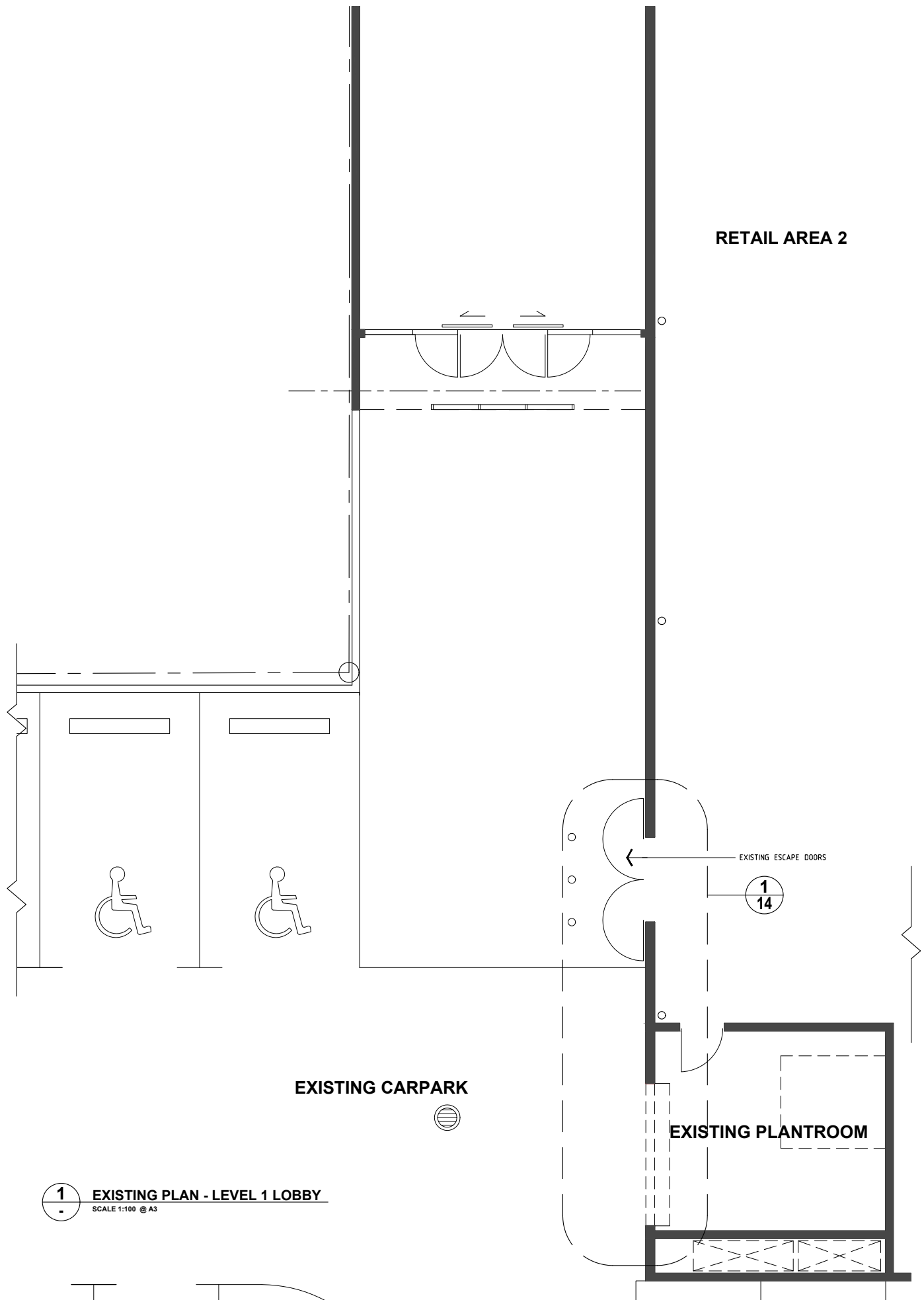
2
12 PROPOSED OPENING ON ESCALATOR ENCLOSURE - ELEVATION 1
SCALE 1:100 @ A3



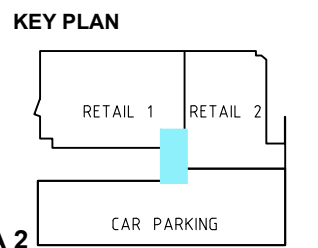
3
12 PROPOSED OPENING ON ESCALATOR ENCLOSURE - SECTION
SCALE 1:100 @ A3



4
12 PROPOSED OPENING ON ESCALATOR ENCLOSURE - ELEVATION 2
SCALE 1:100 @ A3

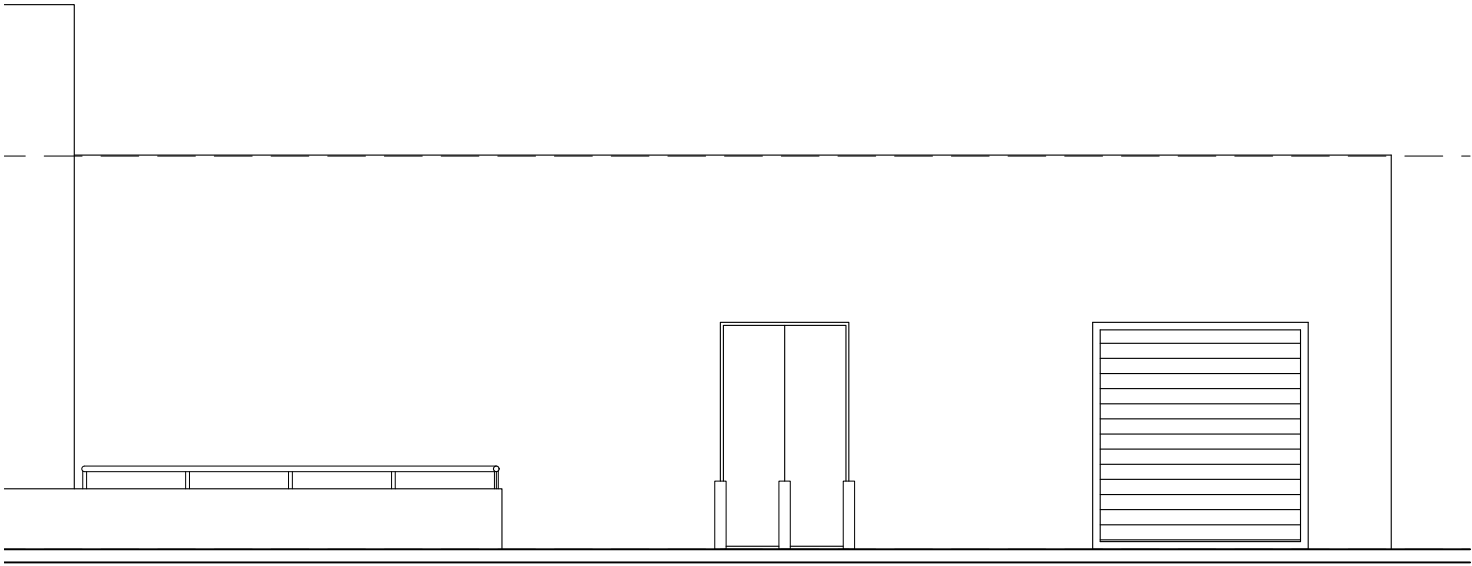
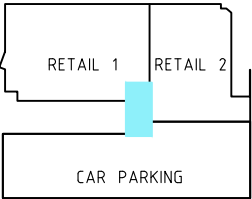


WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL

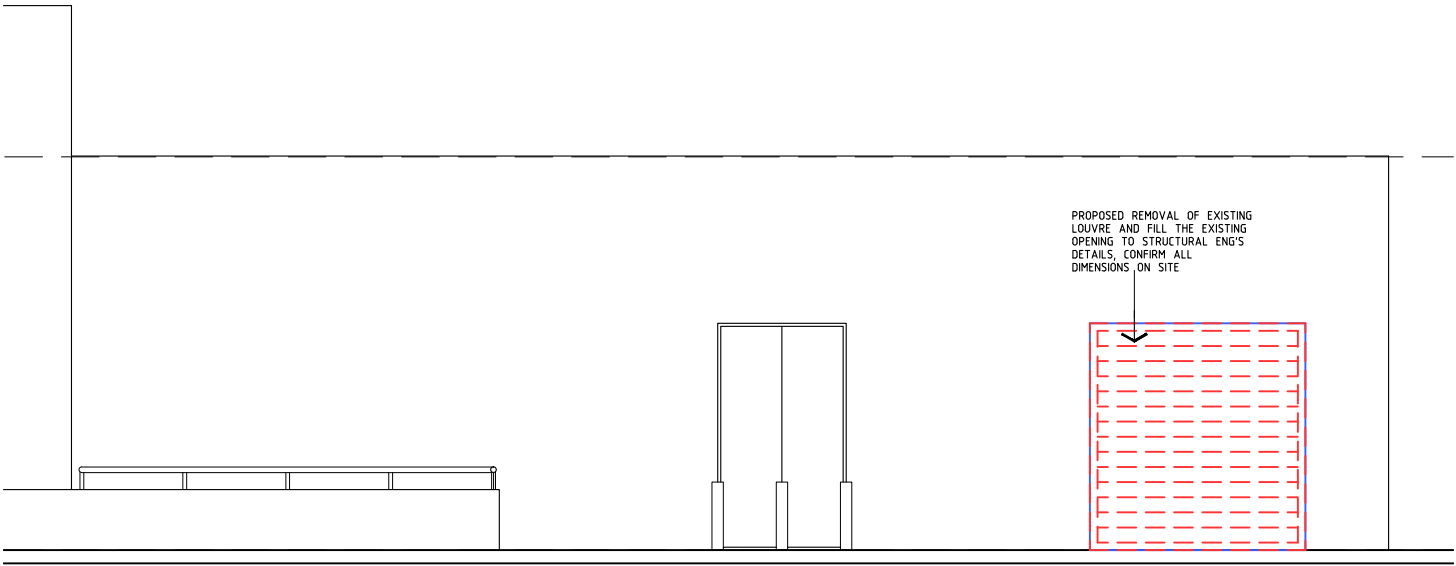


WALL LEGEND	
<div></div>	EXISTING WALL
<div></div>	EXISTING WALL TO BE DEMOLISHED
<div></div>	PROPOSED NEW WALL

KEY PLAN

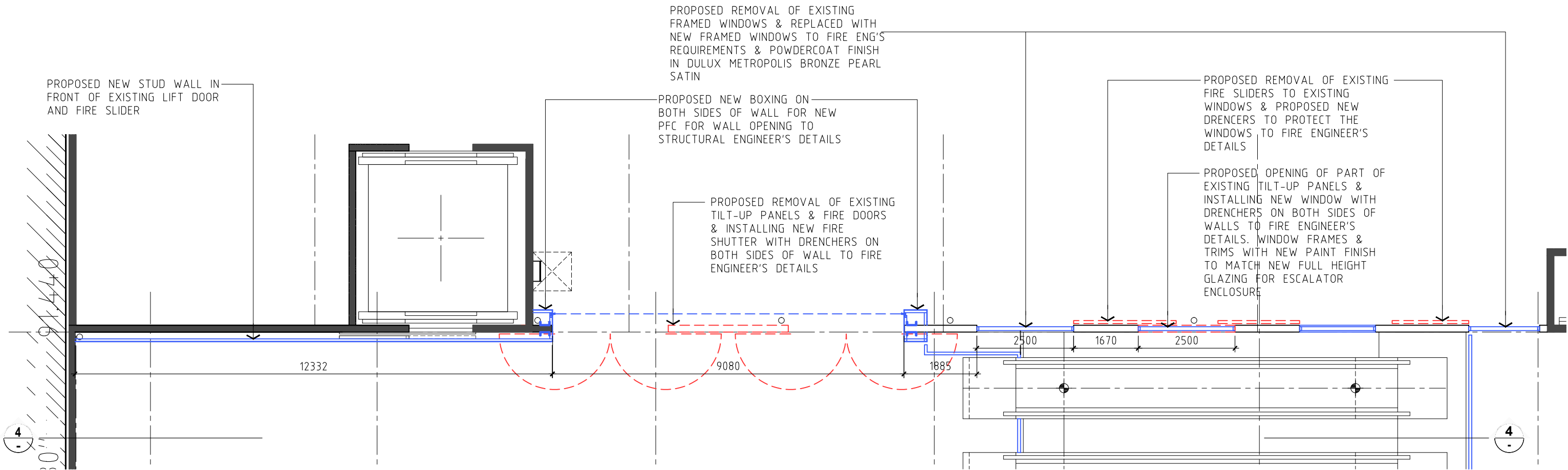


1 WEST ELEVATION - EXISTING
SCALE 1:100 @ A3

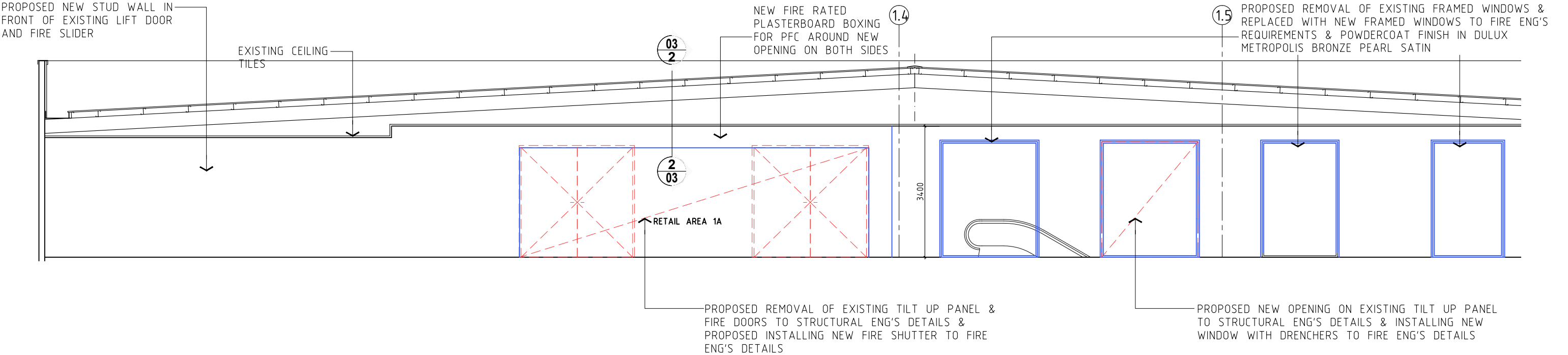


2 WEST ELEVATION
SCALE 1:100 @ A3

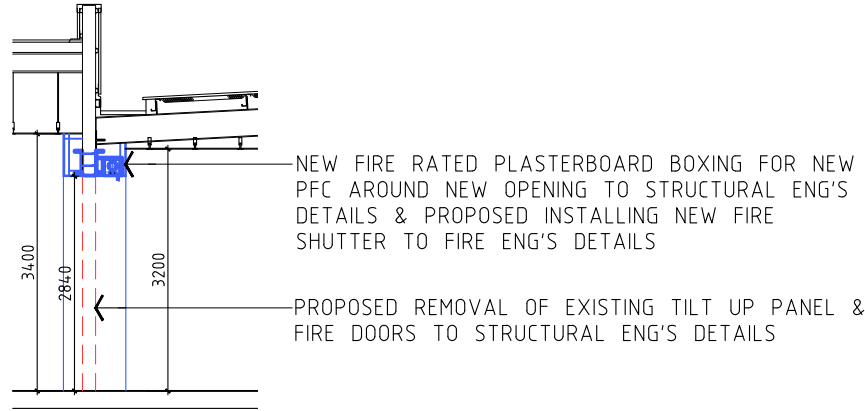
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



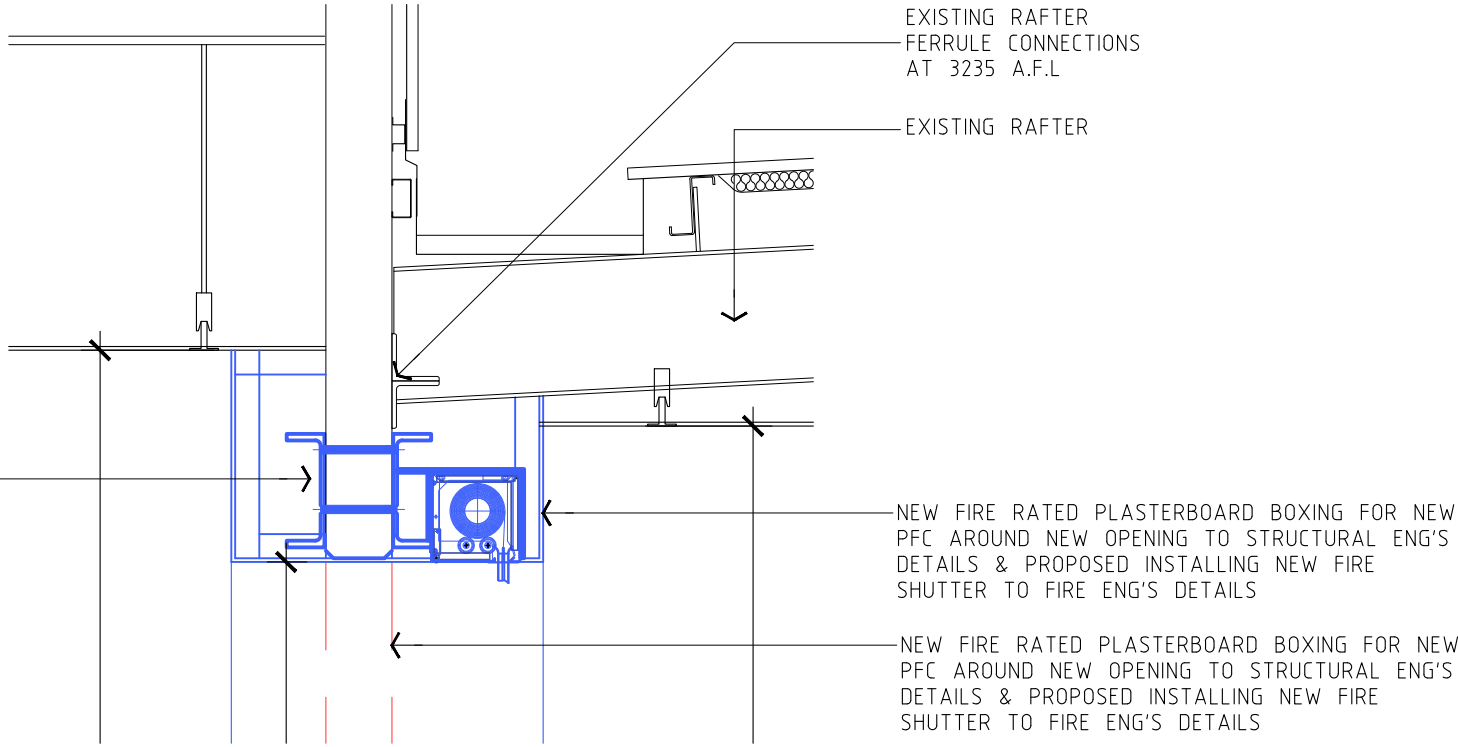
1 PROPOSED LEVEL 1 OPENINGS ON EXISTING WALL - PLAN
SCALE 1:500 @ A3



1 PROPOSED LEVEL 1 OPENINGS ON EXISTING WALL - FRONT ELEVATION
SCALE 1:500 @ A3

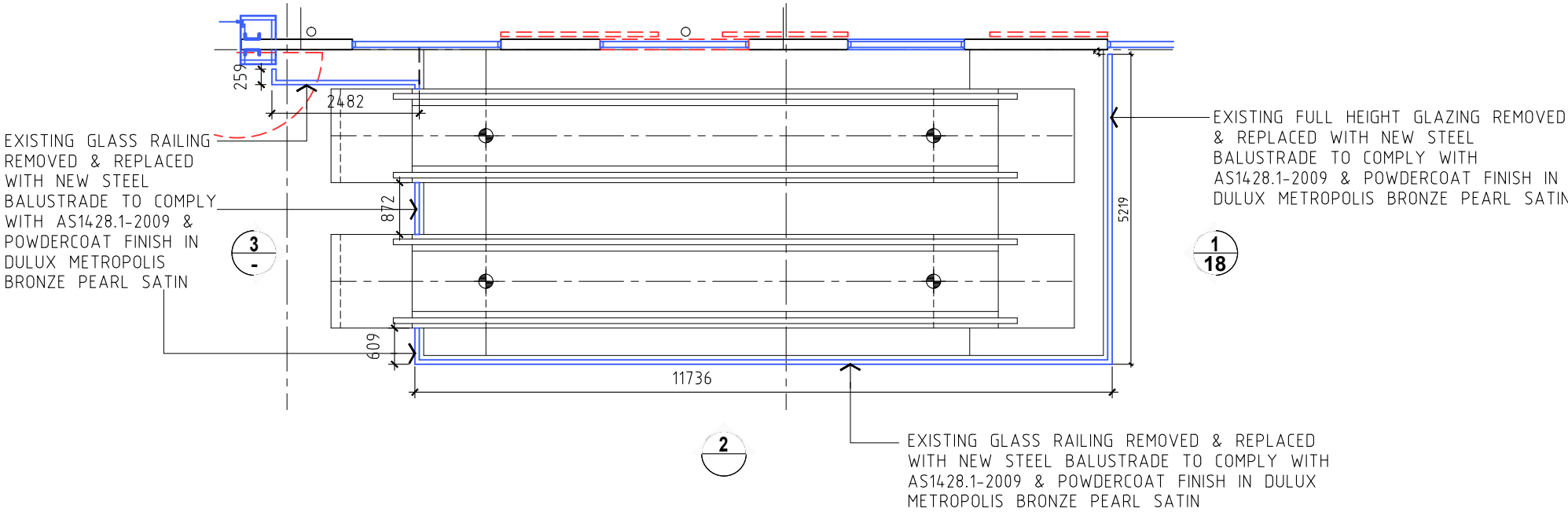


2 PROPOSED LEVEL 1 OPENINGS ON EXISTING WALL - SECTION 1
SCALE 1:500 @ A3

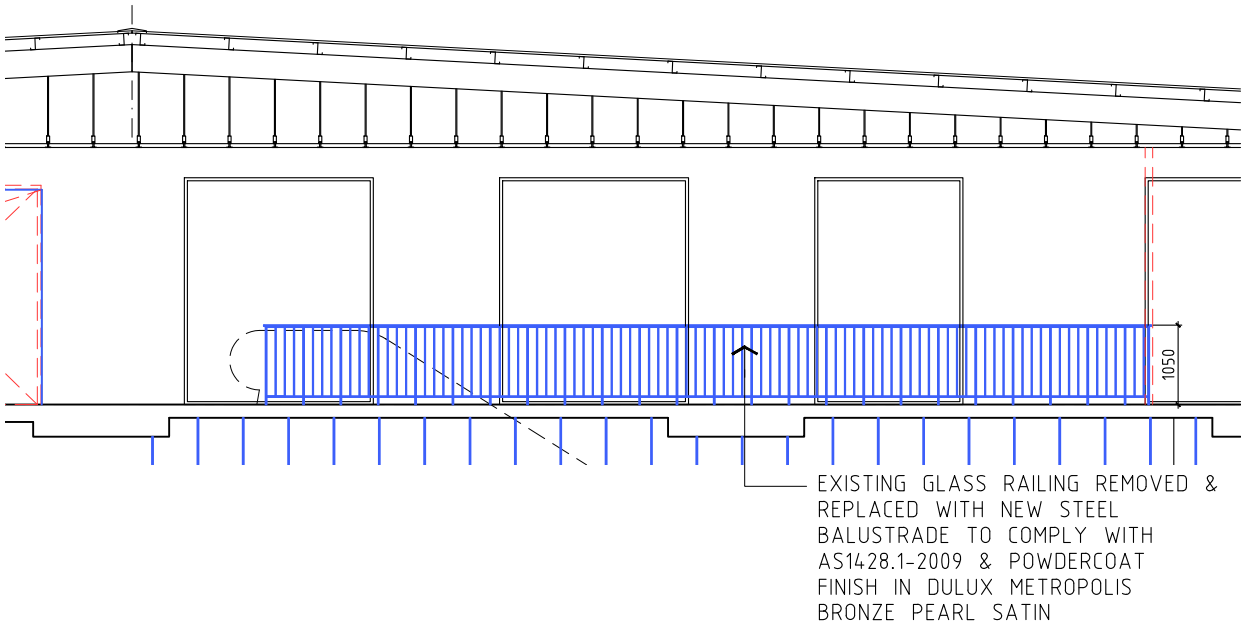


3 PROPOSED LEVEL 1 OPENINGS ON EXISTING WALL - SECTION DETAILS
SCALE 1:500 @ A3

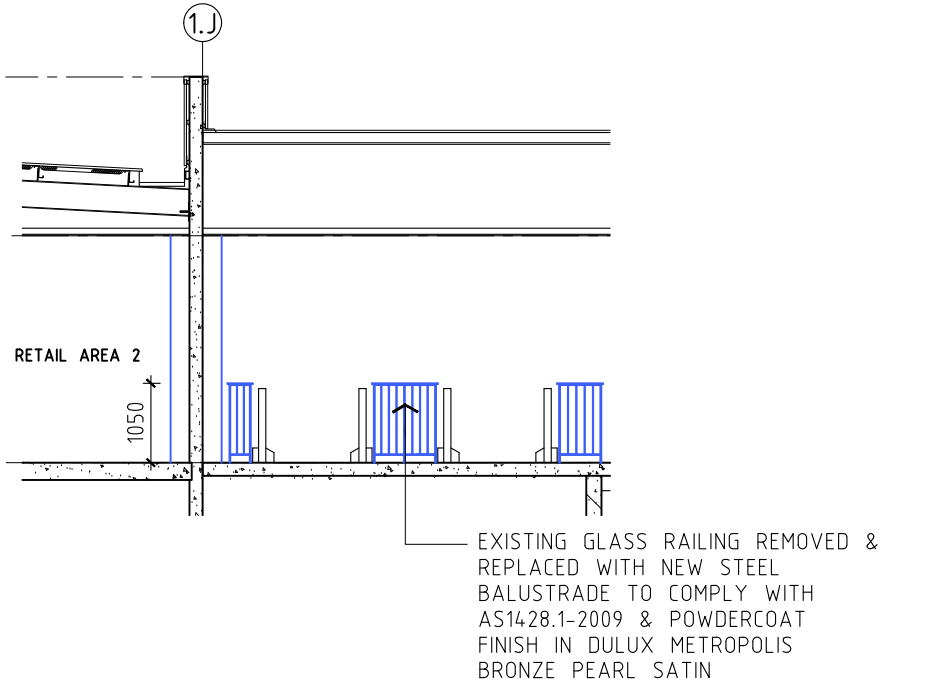
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL






1 PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - PLAN
SCALE 1:100 @ A3

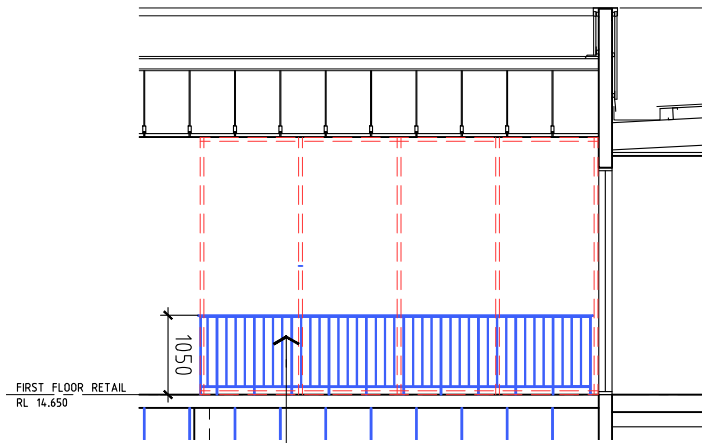


2 PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - ELEVATION 1
SCALE 1:100 @ A3



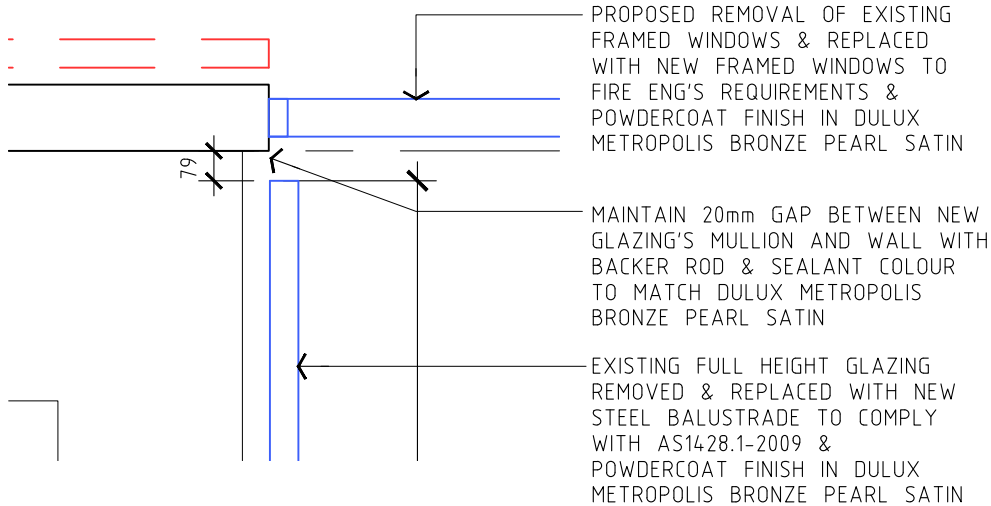
3 PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - ELEVATION 2
SCALE 1:100 @ A3

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



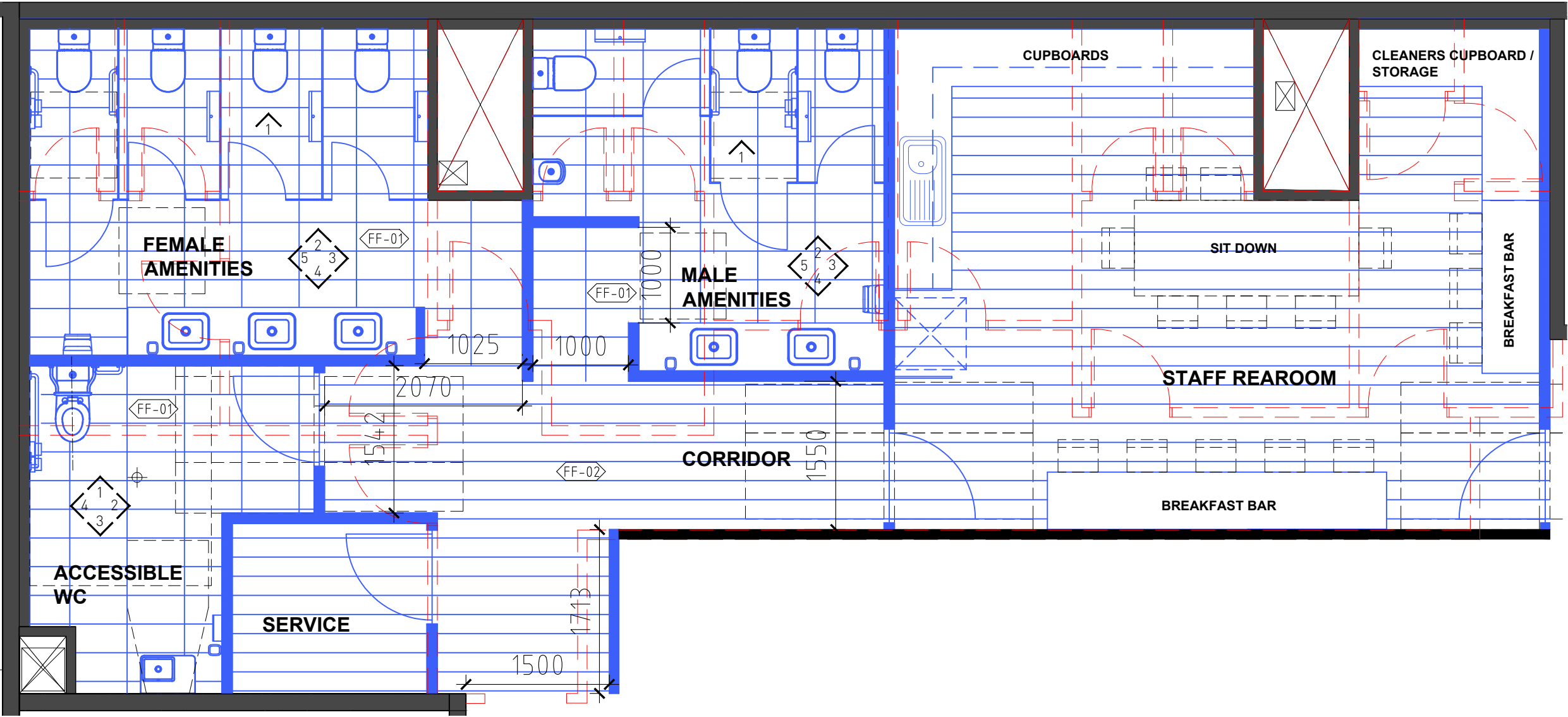
EXISTING FULL HEIGHT GLAZING REMOVED & REPLACED WITH NEW STEEL BALUSTRADE TO COMPLY WITH AS1428.1-2009 & POWDERCOAT FINISH IN DULUX METROPOLIS BRONZE PEARL SATIN

1 PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - ELEVATION 3
SCALE 1:100 @ A3



2 PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - JUNCTION DETAIL 1
SCALE 1:20 @ A3

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



1 LEVEL 1 AMENITIES UPGRADE
SCALE 1:50 @ A3