

RESIDENTIAL DEVELOPMENT

8 Forest Road | Warriewood NSW 2102

SECTION 4.56(2) APPLICATION



ARCHITECTS

UNIT SCHEDULE													
Apartment No:	No of Bedrooms	Area (m2)	Adaptable	Cross Ventilation	09.00	10.00	11.00	12.00	13.00	14.00	15.00	Total Solar Access	
TH 01	4 BED	241.5	NO	YES	1	1	1	1	1	1	1	6 HRS	
TH 02	4 BED	182.8	NO	YES	1	1	0	0	0	1	1	2 HRS	
TH 03	4 BED	184.0	NO	YES	1	1	0.5	0	0	1	1	2.5 HRS	
TH 04	4 BED	183.8	NO	YES	1	1	0	0	0	1	1	2 HRS	
TH 05	4 BED	183.3	NO	YES	1	1	0	0	0	1	1	2 HRS	
TH 06	4 BED	182.6	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS	
TH 07	4 BED	183.7	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS	
TH 08	4 BED	183.3	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS	
TH 09	4 BED	183.6	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS	
TH 10	4 BED	182.2	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS	
TH 11	4 BED	183.5	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS	
TH 12	4 BED	183.7	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS	
TH 13	4 BED	183.9	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS	
TH 14	4 BED	212.4	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS	
UNIT 01	3 BED	121.2	NO	YES	0	0	0	0	0	0.5	1	0.5 HRS	
UNIT 02	3 BED	121.2	NO	YES	0	1	1	1	1	1	1	5 HRS	
UNIT 03	3 BED	127.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 04	1 BED	76.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 05 ADAPT	2 BED	103.0	YES	YES	1	1	1	0	0	0	0	2 HRS	
UNIT 06	3 BED	128.7	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 07	3 BED	121.2	NO	YES	0	0	0	0	0	0.5	1	0.5 HRS	
UNIT 08	3 BED	121.2	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 09	3 BED	127.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 10	3 BED	132.4	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 11 ADAPT	2 BED	103.0	YES	YES	1	1	1	0	0	0	0	2 HRS	
UNIT 12 ADAPT	3 BED	128.7	YES	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 13	4 BED	137.0	NO	YES	0	0	0	0.5	1	1	1	2.5 HRS	
UNIT 14	3 BED	121.2	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 15	3 BED	127.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 16	3 BED	132.1	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 17 ADAPT	2 BED	103.0	YES	YES	1	1	1	0	0	0	0	2 HRS	
UNIT 18 ADAPT	3 BED	128.7	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 19	3 BED	121.4	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 20 ADAPT	3 BED	128.8	YES	YES	1	1	1	1	0	0	0	3 HRS	
UNIT 21 ADAPT	2 BED	91.4	YES	YES	1	1	1	1	1	1	0	5 HRS	
UNIT 22	3 BED	122.1	NO	YES	0.5	0	0	0	0	0	0	0.5 HRS	
UNIT 23	3 BED	128.3	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 24	3 BED	131.0	NO	YES	0	0	0	0	0.5	1	0	0.5 HRS	
UNIT 25	3 BED	120.9	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 26 ADAPT	3 BED	128.8	YES	YES	1	1	1	1	0	0	0	3 HRS	
UNIT 27 ADAPT	2 BED	91.2	YES	YES	1	1	1	1	1	1	0	5 HRS	
UNIT 28	3 BED	122.1	YES	YES	1	1	1	1	1	1	0	5 HRS	
UNIT 29	3 BED	128.2	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 30	3 BED	130.8	NO	YES	0	0	0	0.5	1	1	0.5	2 HRS	
UNIT 31	3 BED	120.9	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 32	3 BED	128.7	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 33 ADAPT	2 BED	91.4	YES	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 34	3 BED	122.1	NO	YES	0.5	0	1	1	1	0	0	2.5 HRS	
UNIT 35	3 BED	128.2	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 36	3 BED	130.9	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 37 ADAPT	3 BED	132.7	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 38	3 BED	134.9	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 39	3 BED	133.6	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 40	3 BED	132.6	NO	YES	0	0	0	0	0	1	1	2 HRS	
UNIT 41 ADAPT	3 BED	132.7	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 42	3 BED	134.9	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 43	3 BED	143.5	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 44	3 BED	132.6	NO	YES	0	0	0	0	0	1	1	2 HRS	
UNIT 45 ADAPT	3 BED	132.7	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 46	3 BED	134.9	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 47	3 BED	143.1	NO	YES	0	0.5	1	1	0.5	0	0	2 HRS	
UNIT 48	3 BED	131.2	NO	YES	0	0.5	1	1	0	1	1	2.5 HRS	
UNIT 49	3 BED	121.7	NO	YES	0.5	0	0	0	0	0	0	0.5 HRS	
UNIT 50	2 BED	87.3	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 51	3 BED	120.9	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 52	3 BED	121.8	NO	YES	1	1	1	1	1	1	1	6 HRS	

UNIT SCHEDULE													
Apartment No:	No of Bedrooms	Area (m2)	Adaptable	Cross Ventilation	09.00	10.00	11.00	12.00	13.00	14.00	15.00	Total Solar Access	
UNIT 53 ADAPT	3 BED	128.6	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 54	3 BED	121.4	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 55	3 BED	121.7	NO	YES	0.5	0	0	0	0	0	0	0.5 HRS	
UNIT 56	2 BED	87.4	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 57	3 BED	120.8	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 58	3 BED	121.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 59 ADAPT	3 BED	128.6	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 60	3 BED	121.4	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 61	3 BED	121.6	NO	YES	1	1	1	0.5	0	0	0	2.5 HRS	
UNIT 62	2 BED	87.4	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 63	3 BED	120.8	NO	YES	0	0	1	1	0.5	1	1	2.5 HRS	
UNIT 64	3 BED	121.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 65 ADAPT	3 BED	128.6	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 66	3 BED	121.4	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	

COURT APPROVED BUILDING CALCULATIONS

BUILDING A

- 18 APARTMENTS (01-18)
- 3 STOREY
- MAX. HEIGHT 10.5 M
- 4 x 1 BEDROOM
- 5 x 2 BEDROOM
- 8 x 3 BEDROOM
- 1 x 4 BEDROOM

BUILDING B

- 18 APARTMENTS (19-36)
- 3 STOREY
- MAX. HEIGHT 10.5 M
- 1 x 1 BEDROOM
- 2 x 2 BEDROOM
- 15 x 3 BEDROOM

BUILDING C

- 12 APARTMENTS (37-48)
- 3 STOREY
- MAX. HEIGHT 10.5 M
- 12 x 3 BEDROOM

BUILDING D

- 18 APARTMENTS (49-66)
- 3 STOREY
- MAX. HEIGHT 10.5 M
- 3 x 1 BEDROOM
- 1 x 2 BEDROOM
- 14 x 3 BEDROOM

TOWNHOUSES 1-14

- 14 TOWNHOUSES (1-14)
- 3 STOREY
- MAX. HEIGHT 10.5 M
- 14 x 3 BEDROOM

- 66 UNITS
- 14 TOWNHOUSES
- 1 DWELLING HOUSE
- 79% SOLAR ACCESS COMPLIANCE (63 UNITS)
- 78% NATURAL VENTILATION COMPLIANCE (62 UNITS)

81 TOTAL DWELLING UNITS

SCHEDULE OF AREAS

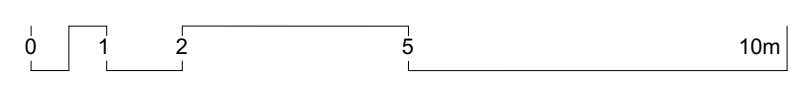
ADDRESS	8 Forest Road Warriewood NSW 2102 Australia
LOT AND DP	LOT 1 DP 5055
SITE AREA	5.678 Ha
R2 SITE AREA	2.823 Ha
R3 SITE AREA	2.855 Ha

LANDSCAPE AREA (R3 AREA) (53.7% OF R3 SITE AREA)	15,331.0 m ²
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PROPOSED - RESIDENTIAL :	66 x UNITS 14 x Town Houses
	1 x 1 BEDROOM 9 x 2 BEDROOM 55 x 3 BEDROOM 1 x 4 BEDROOM
	TOTAL BEDROOMS: 188 BEDROOMS

CAR PARKING :	RESIDENTIAL: 167 VISITORS: 27
	TOTAL SPACES: 194

TOTAL BEDROOMS CALCULATION:	DA APPROVED: 175 PROPOSED: 188
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Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	21/01/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB				
02	8/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB				
03	11/02/2022	ISSUE FOR S4.56	JB				
04	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	GL				

GENERAL NOTES:
1. ALL DIMENSIONS AND SIZES ARE IN MILLIMETRES. DO NOT SCALE DRAWINGS. PREFERENCES OF DIMENSIONED MEASUREMENT TO BE TAKEN OVER SCALE MEASUREMENTS.
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Structural Engineer: #Structural Engineer
Mechanical Services: #Mechanical Engineer
Electrical Services: #Electrical Engineer
Hydraulic Services: #Hydraulic Engineer
Fire Services: #Fire Engineer
BCA and Access Consultant: BCA Logic
Principal Certifying Authority: #Principal Certifying Authority
Landscape Architect: Site Design Studios
Acoustic Engineer: #Acoustic Engineer

ISSUE FOR S4.56
AMENDMENTS
Project: RESIDENTIAL DEVELOPMENT
Client: EQ CONSTRUCTIONS
Address: 8 Forest Road Warriewood NSW 2102 Australia

Drawing Title: Preliminary Title Page

Revision: 04
Drawing No: A000

Project No: Pn_0800
Checked: PD
Scale@A1: 1:100, 1:1, 1:2
Date: 2/08/2022



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NSW Nominated Architect Pavlo Doroch 9170

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S4.56 Changes

Structural Engineer: #Structural Engineer Hydraulic Services: #Hydraulic Engineer Principal Certifying Authority: #Principal Certifying Authority
 Mechanical Services: #Mechanical Engineer Fire Services: #Fire Engineer Landscape Architect: Site Design Studios
 Electrical Services: #Electrical Engineer BCA and Access Consultant: BCA Logic Acoustic Engineer: #Acoustic Engineer

Rev	Date	Amendment	By
01	1/12/2021	ISSUE FOR S4.56(2) FOR COORDINATION	GL
02	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	GL
03	17/01/2022	ISSUE FOR S4.56 - FOR COORDINATION	GL
04	21/01/2022	ISSUE FOR S4.56	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
 8 Forest Road Warriewood NSW 2102 Australia

Client:
 EQ CONSTRUCTIONS

Status:
ISSUE FOR S4.56

Drawing Title: **Preliminary Site Plan**

Project No: Pn_0800 A001 Drawing No: 06 Revision: 06

Date: 11/02/2022 Checked: PD Drawn: GL Scale@A1: 1:500



1 Site Plan
 Scale @ A1 = 1:500

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S4.56 Changes
 DA Approved Building Line
 DA Approved Balcony Line

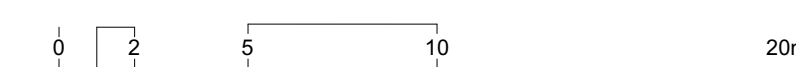


Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project: RESIDENTIAL DEVELOPMENT

Address: 8 Forest Road Warriewood NSW 2102 Australia

Client: EQ CONSTRUCTIONS



Status: ISSUE FOR S4.56

Drawing Title: Floor Plans
Basement 1 - East

Project No: Pn_0800 A099.1
 Drawing No: A099.1
 Revision: 05

Date: 11/02/2022
 Checked: PD
 Drawn: JB, GL
 Scale@A1: 1:200

ADS
 ARCHITECTS

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 NSW Nominated Architect Pavlo Doroch 9170

01 Basement 1
Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A099.2

FOR CONTINUATION SEE SHEET A099.1

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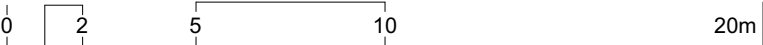
- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



Status:
ISSUE FOR S4.56

Drawing Title: Floor Plans
Basement 1 - West

Project No: Pn_0800
Drawing No: A099.2
Revision: 05

Date: 11/02/2022
Checked: PD
Drawn: JB, GL
Scale@A1: 1:200

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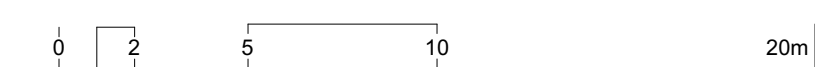
— S4.56 Changes
- - - DA Approved Building Line
- - - DA Approved Balcony Line

Rev	Date	Amendment	By
01	1/12/2021	ISSUE FOR S4.56(2) FOR COORDINATION	GL
02	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	GL
03	21/01/2022	ISSUE FOR S4.56	GL

Project:
 RESIDENTIAL DEVELOPMENT

Address:
 8 Forest Road Warriewood NSW 2102 Australia

Client:
 EQ CONSTRUCTIONS



Status:
 ISSUE FOR S4.56

Drawing Title: Floor Plans
 Ground Floor Plan - East

Project No: Pn_0800
 Drawing No: A100.1
 Revision: 05

Date: 11/02/2022
 Checked: PD
 Drawn: GL
 Scale@A1: 1:200



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01
 Ground Floor
 Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A100.2

FOR CONTINUATION SEE SHEET A100.1

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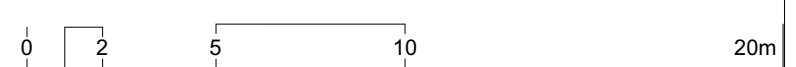
- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

Rev	Date	Amendment	By
01	1/12/2021	ISSUE FOR S4.56(2) FOR COORDINATION	GL
02	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	GL
03	21/01/2022	ISSUE FOR S4.56	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



Status:
ISSUE FOR S4.56

Drawing Title: Floor Plans
Ground Floor Plan - West

Project No: Pn_0800
Drawing No: A100.2
Revision: 05

Date: 11/02/2022
Checked: PD
Drawn: GL
Scale@A1: 1:200

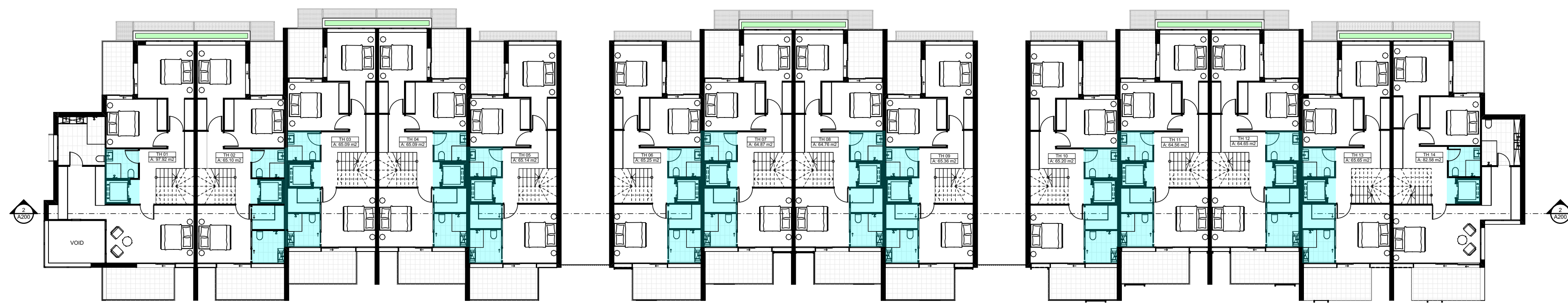


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NSW Nominated Architect Pavlo Doroch 9170



01 Ground Floor
Scale @ A1 = 1:200

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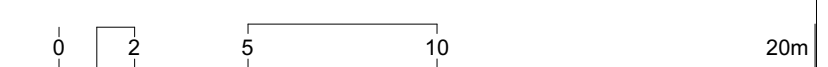
- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
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Status:
ISSUE FOR S4.56

Drawing Title: Floor Plans
Level 1 - East

Project No: Pn_0800
Drawing No: A101.1
Revision: 04

Date: 11/02/2022
Checked: PD
Drawn: JB, GL
Scale@A1: 1:200

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01 Level 1
Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A101.2

FOR CONTINUATION SEE SHEET A101.1

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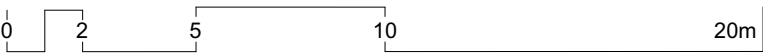
- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

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Status:
ISSUE FOR S4.56

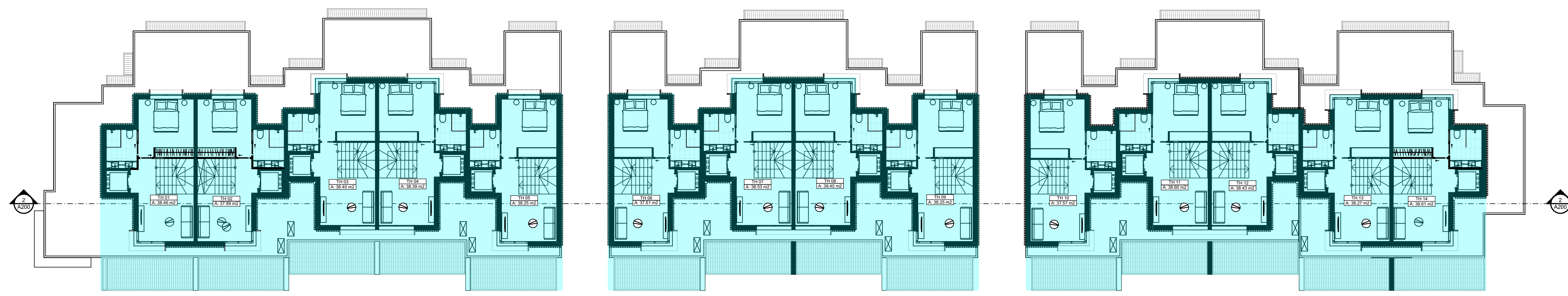
Drawing Title: Floor Plans
Level 1 - West

Project No: Drawing No: Revision:
Pn_0800 A101.2 04

Date: Checked: Drawn: Scale@A1:
11/02/2022 PD JB, GL 1:200

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- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line



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01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
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Address:
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Client:
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0 2 5 10 20m

Status:
ISSUE FOR S4.56

Drawing Title: Floor Plans
Level 2 - East

Project No: Pn_0800
Drawing No: A102.1
Revision: 04

Date: 11/02/2022
Checked: PD
Drawn: JB, GL
Scale@A1: 1:200



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01 Level 2
Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A102.2

FOR CONTINUATION SEE SHEET A102.1

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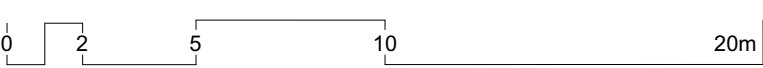
- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
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Project:
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Address:
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Status:
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Drawing Title: Floor Plans
Level 2 - West

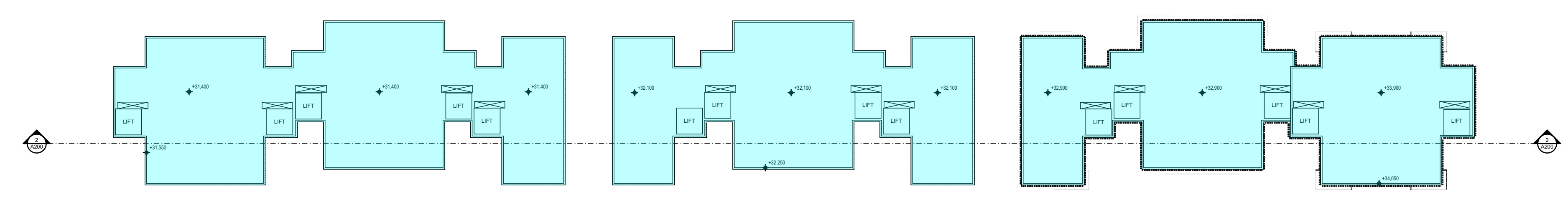
Project No: Pn_0800
Drawing No: A102.2
Revision: 04

Date: 11/02/2022
Checked: PD
Drawn: JB, GL
Scale@A1: 1:200

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- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

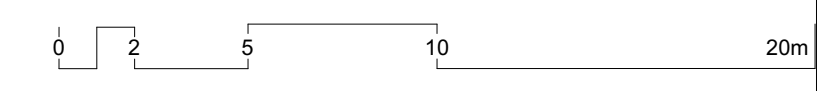


Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
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Address:
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Status:
ISSUE FOR S4.56

Drawing Title: Floor Plans
Roof Level - East

Project No: Pn_0800
Drawing No: A103.1
Revision: 03

Date: 11/02/2022
Checked: PD
Drawn: JB, GL
Scale@A1: 1:200

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01 Roof
Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A103.2

FOR CONTINUATION SEE SHEET A103.1

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- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

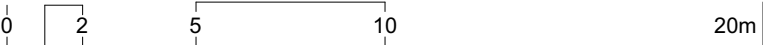


Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
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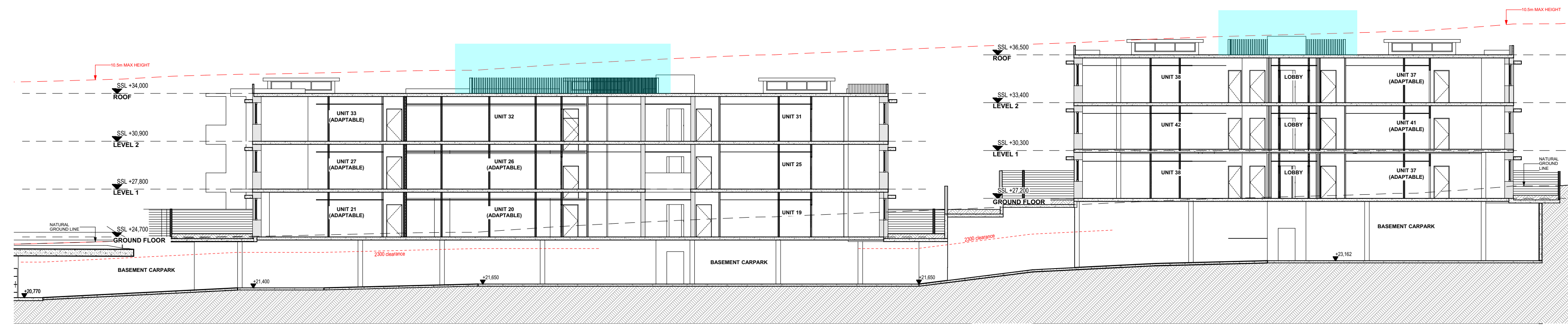
Status:
ISSUE FOR S4.56

Drawing Title: **Floor Plans
 Roof Level - West**

Project No: Drawing No: Revision:
Pn_0800 A103.2 03

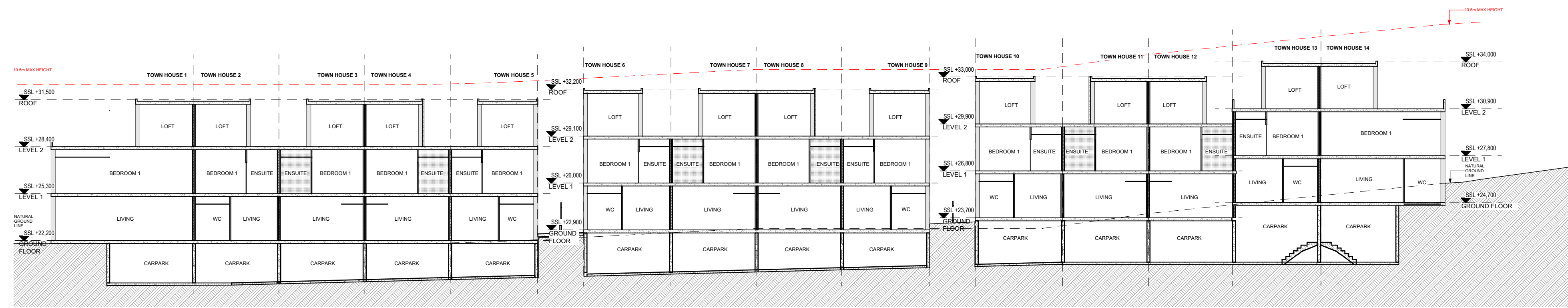
Date: Checked: Drawn: Scale@A1:
 11/02/2022 PD JB, GL 1:200

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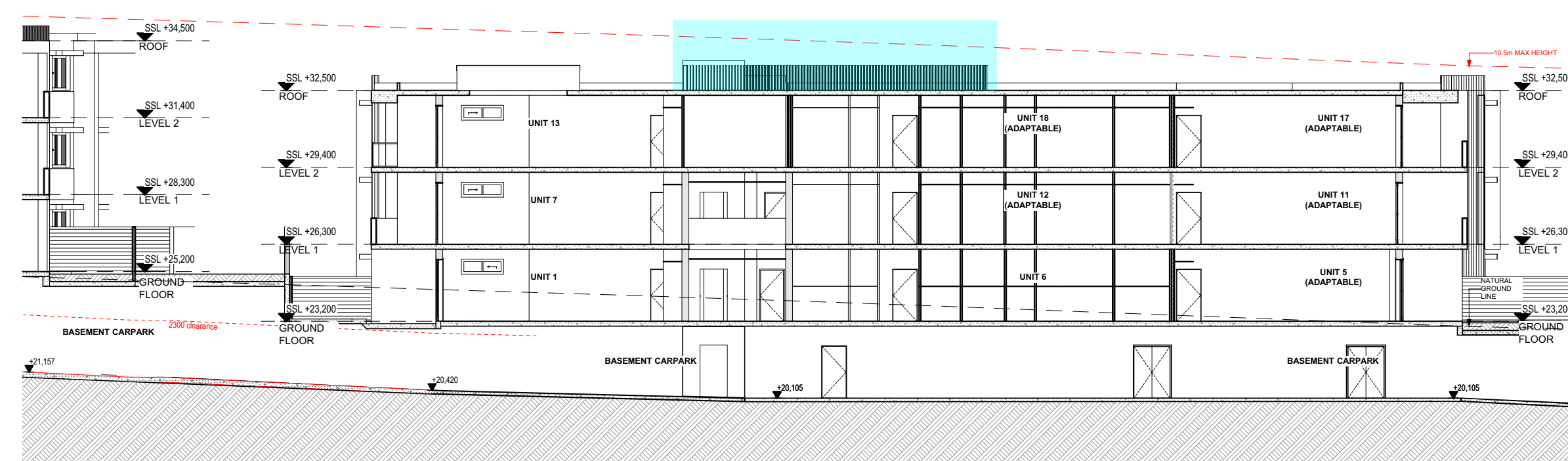


S4.56 Changes

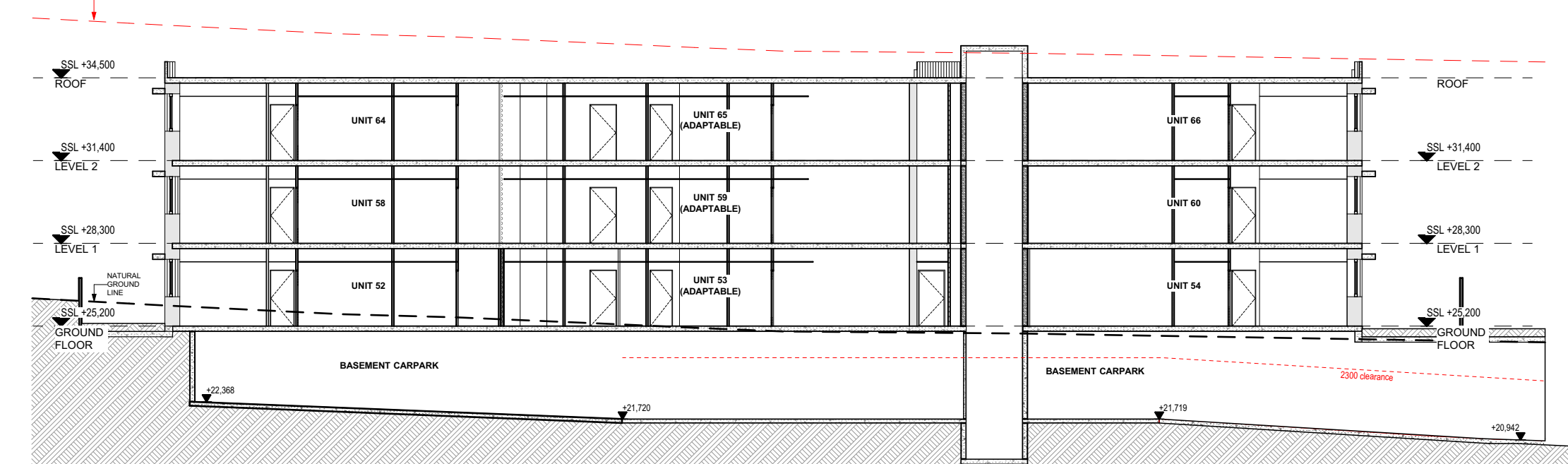
1 Building B & C ramp
Scale @ A1 = 1:200



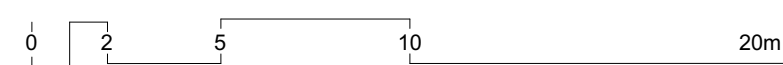
2 Townhouse Section
Scale @ A1 = 1:200



3 Building A Ramp Section
Scale @ A1 = 1:200



4 Building D Ramp Section
Scale @ A1 = 1:200



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	RK				
02	21/01/2022	ISSUE FOR S4.56	RK				

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#Structural Engineer
- Mechanical Services:
#Mechanical Engineer
- Electrical Services:
#Electrical Engineer
- Hydraulic Services:
#Hydraulic Engineer
- Fire Services:
#Fire Engineer
- BCA and Access Consultant:
BCA Logic
- Principal Certifying Authority:
#Principal Certifying Authority
- Landscape Architect:
Site Design Studios
- Acoustic Engineer:
#Acoustic Engineer

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
Client: EQ CONSTRUCTIONS
Address:
8 Forest Road Warriewood NSW 2102 Australia

Project No: Pn_0800
Checked: PD
Scale@A1: 1:200
Date: 11/02/2022

Drawing Title:
Sections
Sections

Revision:
04

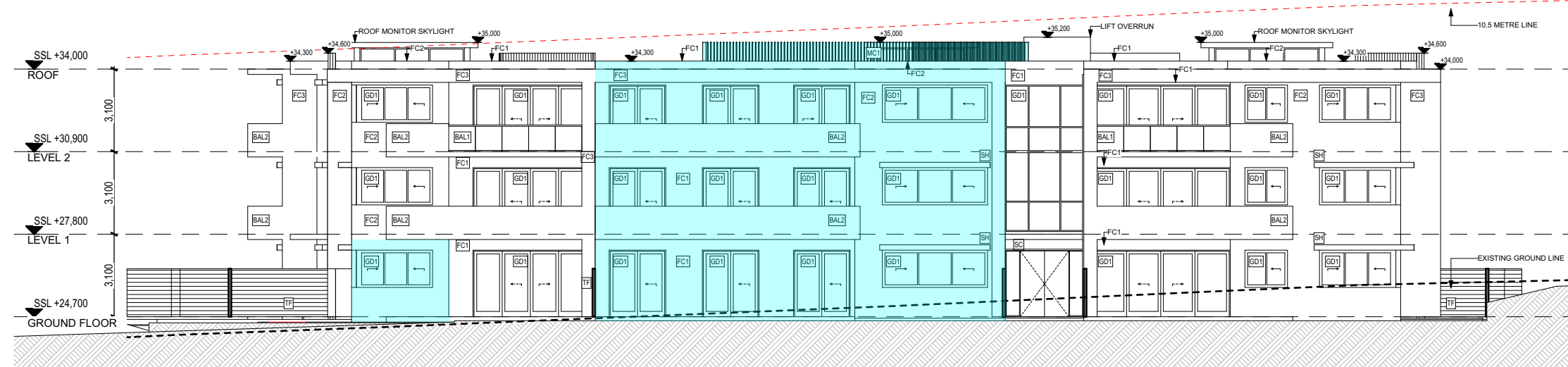
Drawing No:
A200



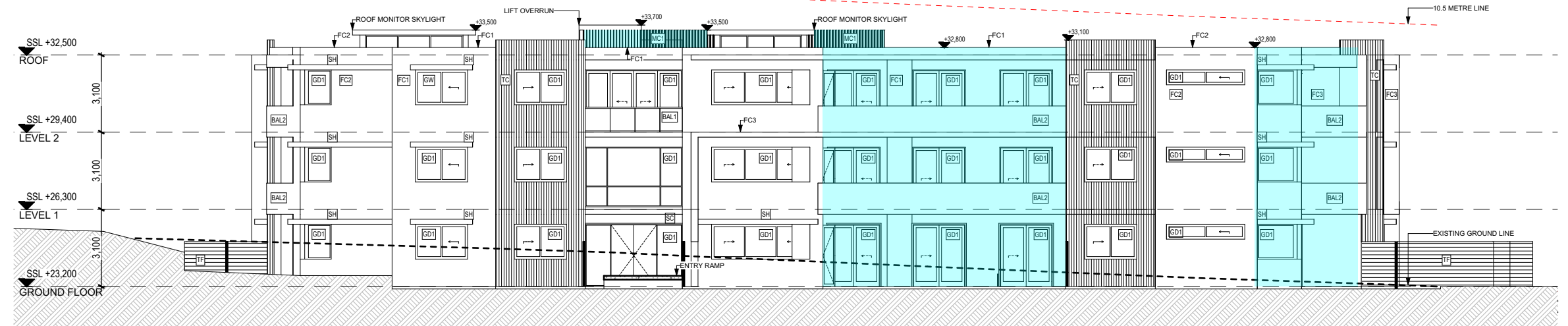
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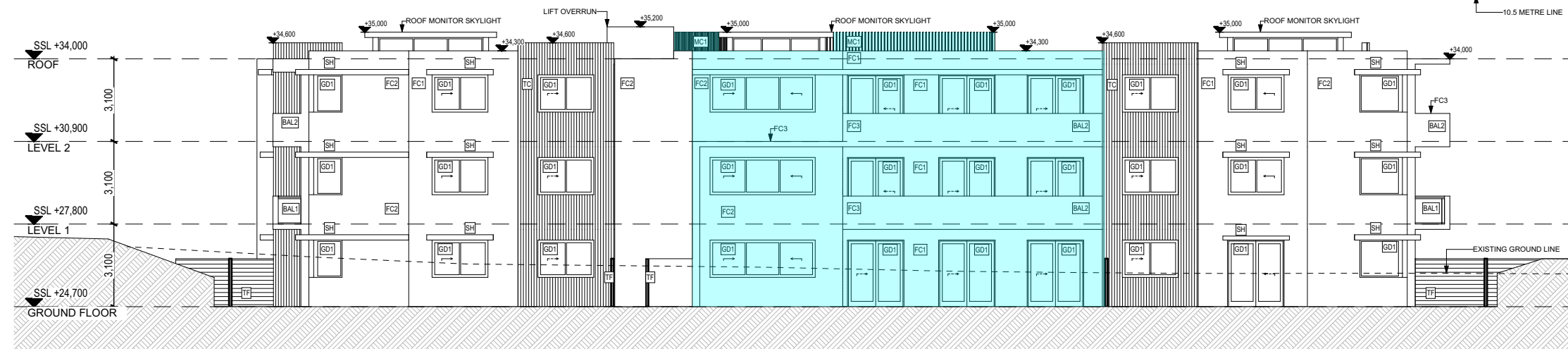
1 North Elevation - Building A
Scale @ A1 = 1:200



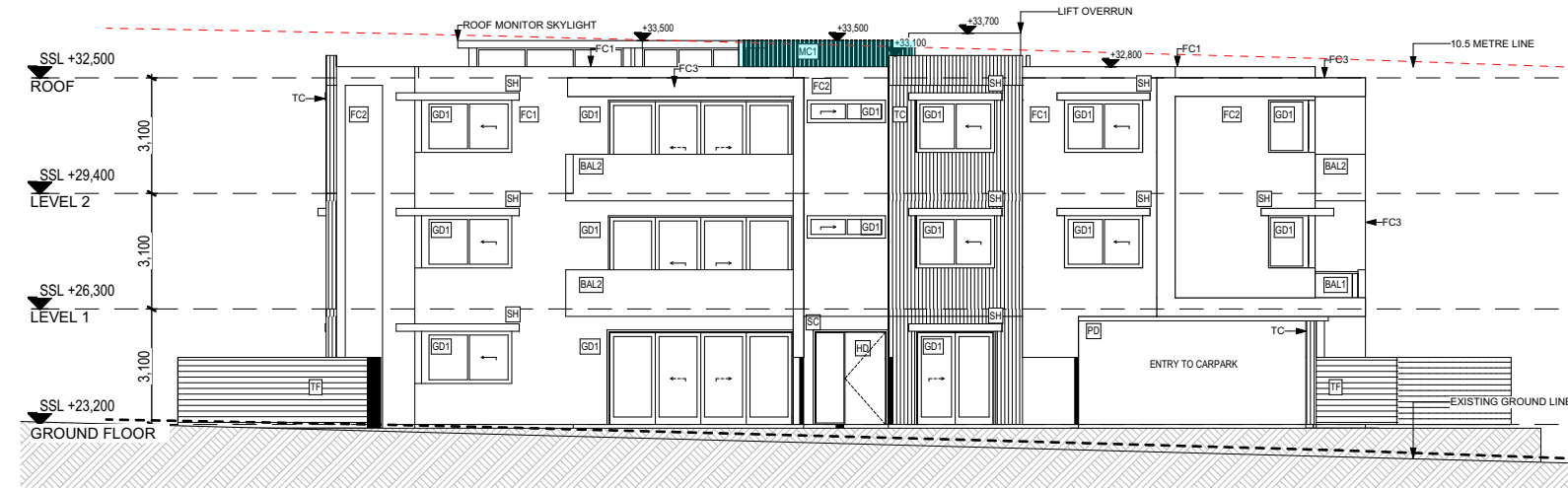
5 North Elevation - Building B
Scale @ A1 = 1:200



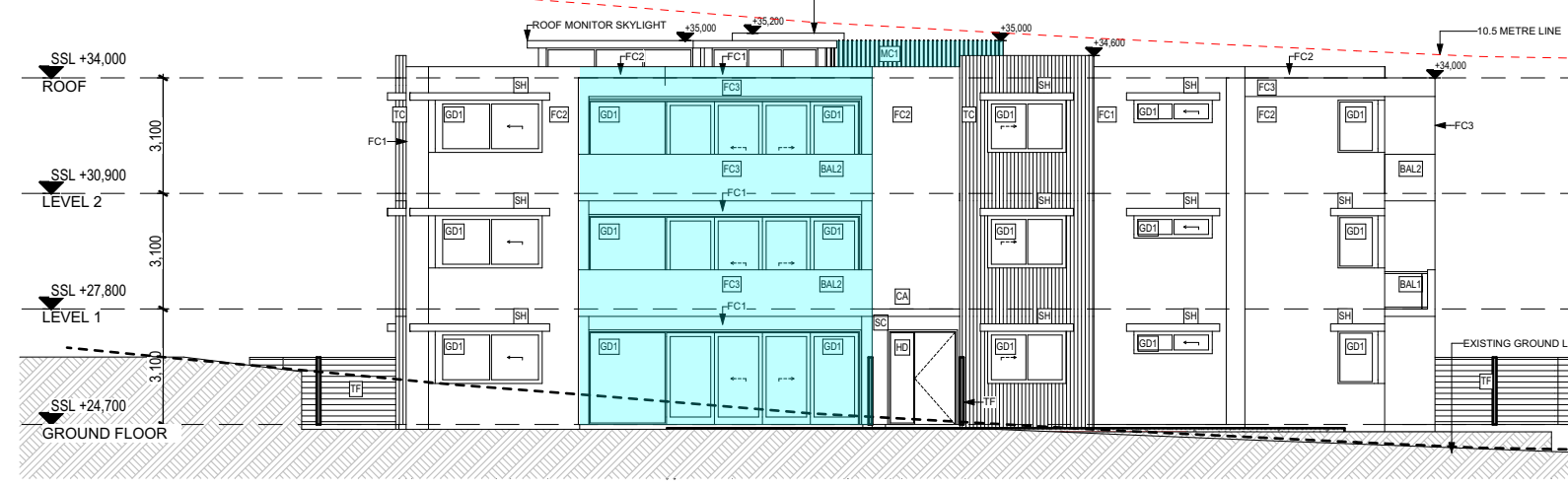
2 South Elevation - Building A
Scale @ A1 = 1:200



6 South Elevation - Building B
Scale @ A1 = 1:200



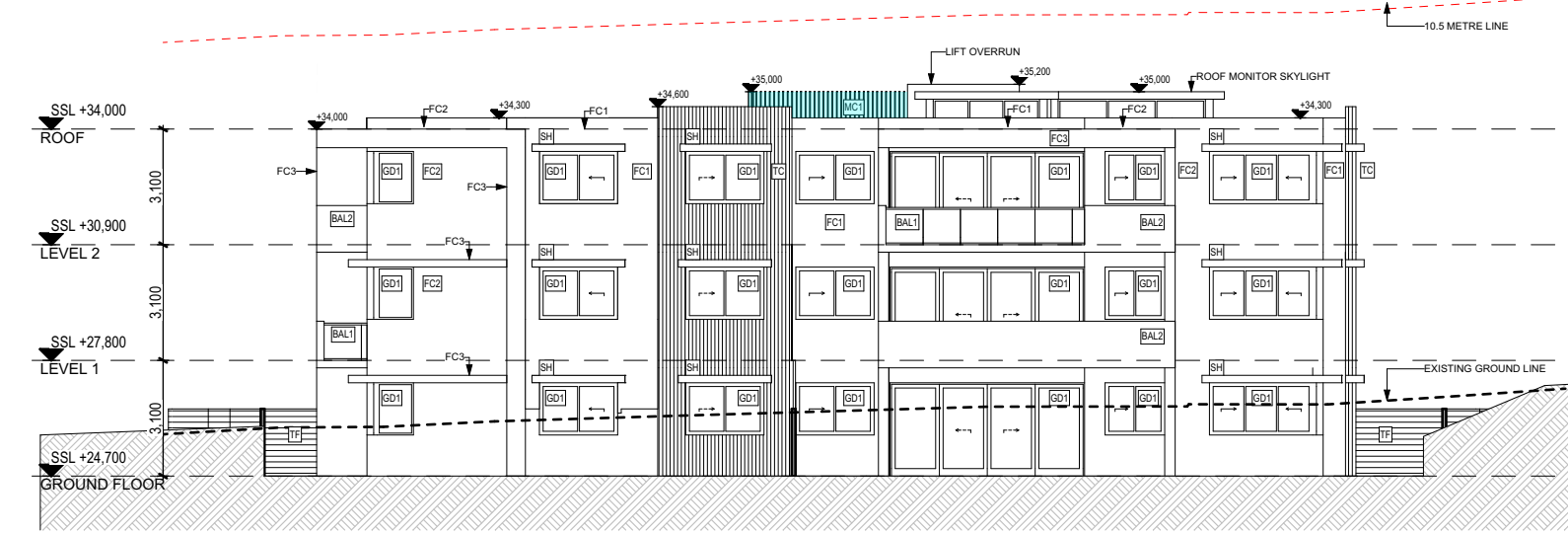
3 East Elevation - Building A
Scale @ A1 = 1:200



7 East Elevation - Building B
Scale @ A1 = 1:200



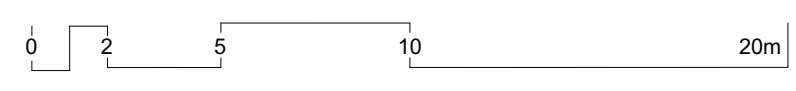
4 West Elevation - Building A
Scale @ A1 = 1:200



8 West Elevation - Building B
Scale @ A1 = 1:200

- LEGEND**
- AL1 ALUMINIUM AWING - DULUX MONUMENT POWER COAT
 - BAL1 BALUSTRADE GLASS - FOR APARTMENTS
 - BAL2 BALUSTRADE GLASS - FOR TOWNHOUSES
 - BAL3 BALUSTRADE GLASS - FOR TOWNHOUSES
 - CA CONCRETE FINISH
 - CA CANOPY
 - FC1 FIBRECEMENT CLADDING - DULUX COOLING
 - FC2 FIBRECEMENT CLADDING - DULUX TINKER
 - FC3 FIBRECEMENT CLADDING - DULUX WHITE
 - GD1 GLAZING DOOR / WINDOW
 - HD HINGED DOOR
 - L01 HORIZONTAL LOUVRES-TIMBER LOOK
 - M1 ALUMINIUM LOUVER WHITE
 - MC2 METAL CLADDING (ALUMINIUM SLATS/ BATTENS - TIMBER LOOK)
 - PF1 RENDER AND PAINT (DULUX WHITE CHINA)
 - SC SANDSTONE CLADDING
 - SH SUNSHADING
 - SH2 SUNSHADING - TIMBER LOOK
 - TC ALUMINIUM CLADDING - TIMBER LOOK
 - TF FENCE (ALUMINIUM SLATS - TIMBER LOOK)

S4.56 Changes



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	RK				
02	21/01/2022	ISSUE FOR S4.56	RK				

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#Structural Engineer

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#Mechanical Engineer

Electrical Services:
#Electrical Engineer

Hydraulic Services:
#Hydraulic Engineer

Fire Services:
#Fire Engineer

BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
#Principal Certifying Authority

Landscape Architect:
Site Design Studios

Acoustic Engineer:
#Acoustic Engineer

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
Client: EQ CONSTRUCTIONS

Address:
8 Forest Road Warriewood NSW 2102 Australia

Drawing Title:
Elevations
Building A and B

Project No: Pn_0800
Checked: PD
Drawn: RK
Scale@A1: 1:200
Date: 11/02/2022



Revision: 04
Drawing No: A300

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ABN: 90 616 216 196
NSW Nominated Architect Pavlo Doroch 9170

- LEGEND**
- AL1 ALUMINIUM AWING - DULUX MONUMENT POWER COAT
 - BAL1 BALUSTRADE GLASS - FOR APARTMENTS
 - BAL2 BALUSTRADE GLASS - FOR TOWNHOUSES
 - CA CANOPY
 - FC1 FIBRECEMENT CLADDING - DULUX COOLING
 - FC2 FIBRECEMENT CLADDING - DULUX TINKER
 - FC3 FIBRECEMENT CLADDING - DULUX WHITE
 - GD1 GLAZING DOOR / WINDOW
 - HD HINGED DOOR
 - L01 HORIZONTAL LOUVRES-TIMBER LOOK
 - MC1 ALUMINIUM LOUVER WHITE
 - MC2 METAL CLADDING (ALUMINIUM SLATS/ BATTENS - TIMBER LOOK)
 - PF1 RENDER AND PAINT (DULUX WHITE CHINA)
 - SC SANDSTONE CLADDING
 - SH SUNSHADING - TIMBER LOOK
 - SH2 SUNSHADING - TIMBER LOOK
 - TC ALUMINIUM CLADDING - TIMBER LOOK
 - TF FENCE (ALUMINIUM SLATS - TIMBER LOOK)

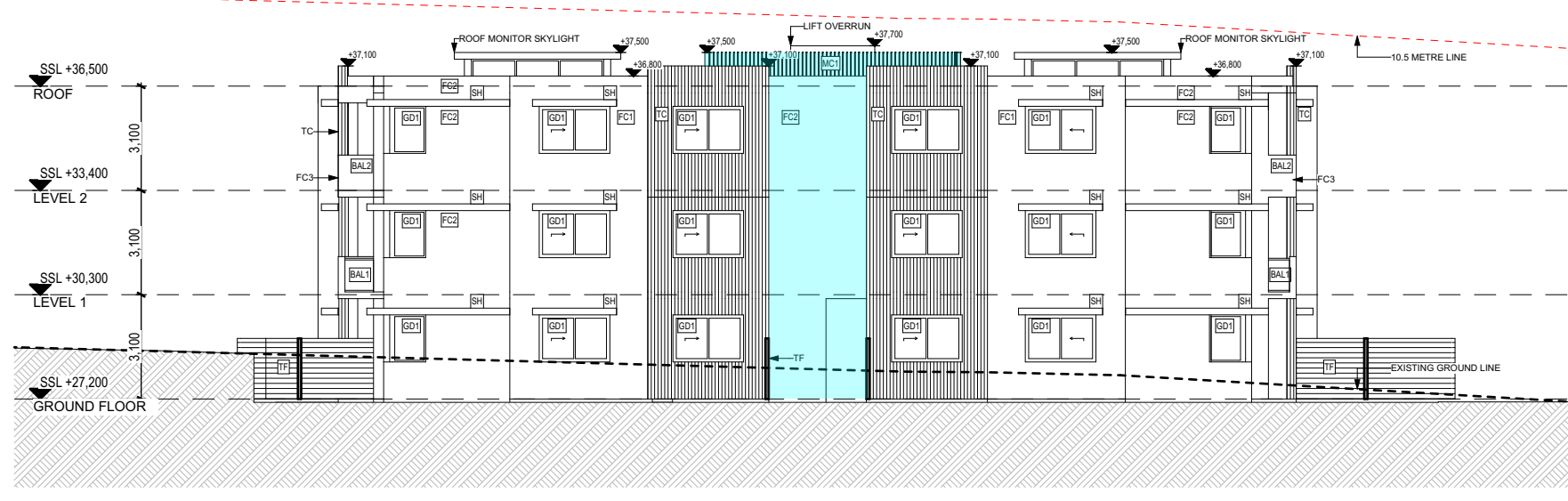
S4.56 Changes



1 North Elevation - Building C
Scale @ A1 = 1:200



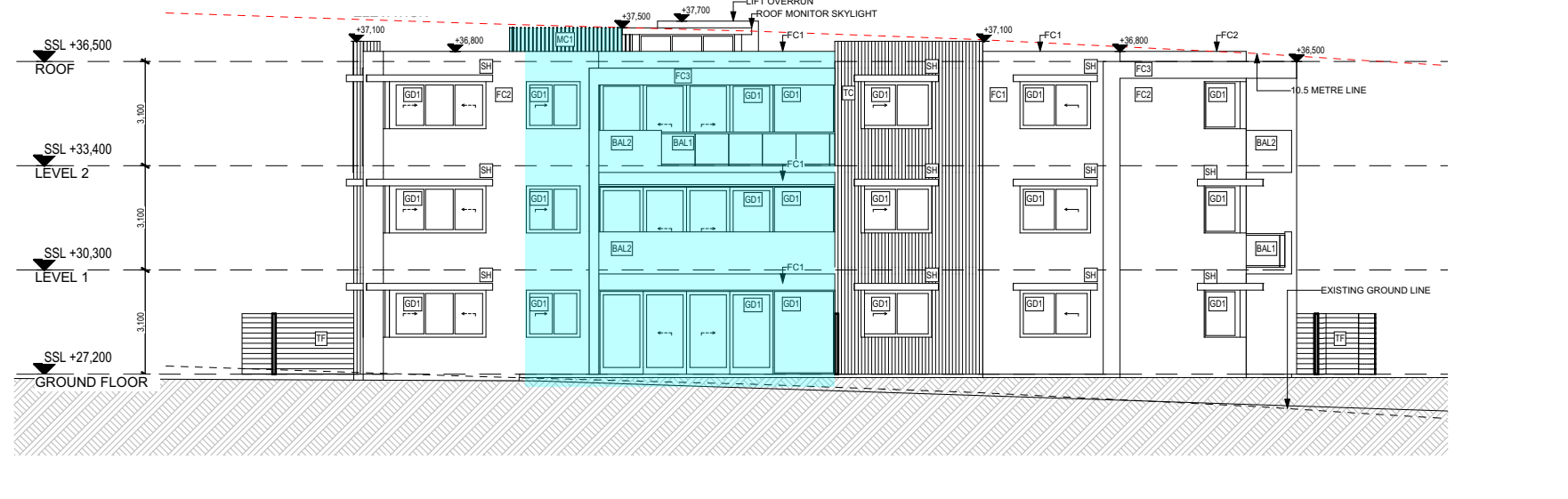
5 North Elevation - Building D
Scale @ A1 = 1:200



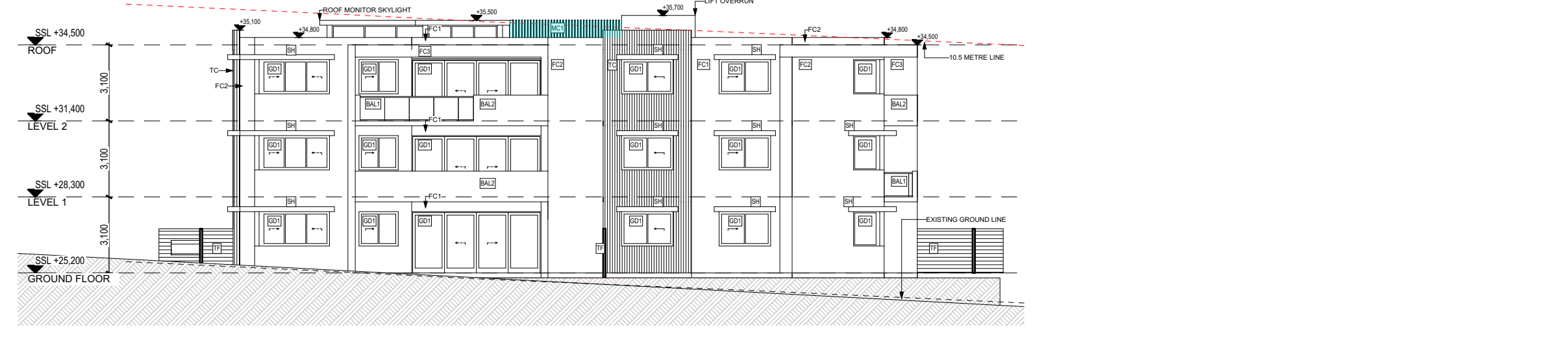
2 South Elevation - Building C
Scale @ A1 = 1:200



6 South Elevation - Building D
Scale @ A1 = 1:200



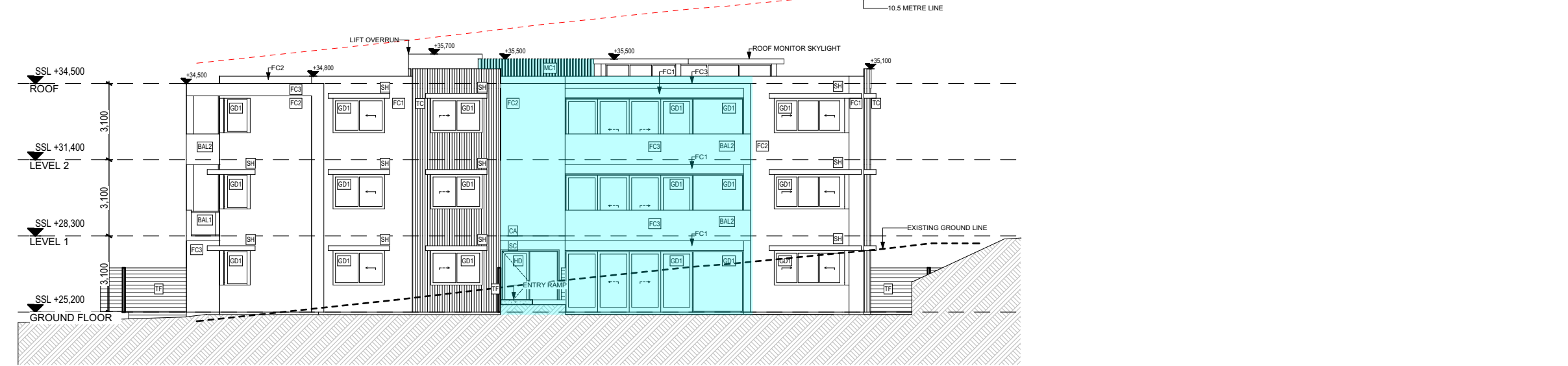
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Scale @ A1 = 1:200



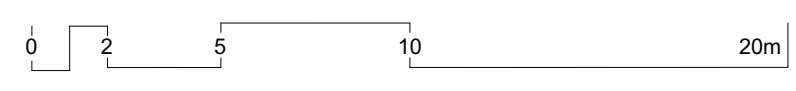
7 East Elevation - Building D
Scale @ A1 = 1:200



4 West Elevation - Building C
Scale @ A1 = 1:200



8 West Elevation - Building D
Scale @ A1 = 1:200



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	RK				
02	21/01/2022	ISSUE FOR S4.56	RK				

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 Mechanical Services: #Mechanical Engineer
 Electrical Services: #Electrical Engineer
 Hydraulic Services: #Hydraulic Engineer
 Fire Services: #Fire Engineer
 BCA and Access Consultant: BCA Logic
 Principal Certifying Authority: #Principal Certifying Authority
 Landscape Architect: Site Design Studios
 Acoustic Engineer: #Acoustic Engineer

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
 Client: EQ CONSTRUCTIONS
 Address: 8 Forest Road Warriewood NSW 2102 Australia

Drawing Title: Elevations Building C and D

Project No: Pn_0800
 Checked: PD
 Scale@A1: 1:200
 Date: 11/02/2022



Revision: 04
 Drawing No: A301

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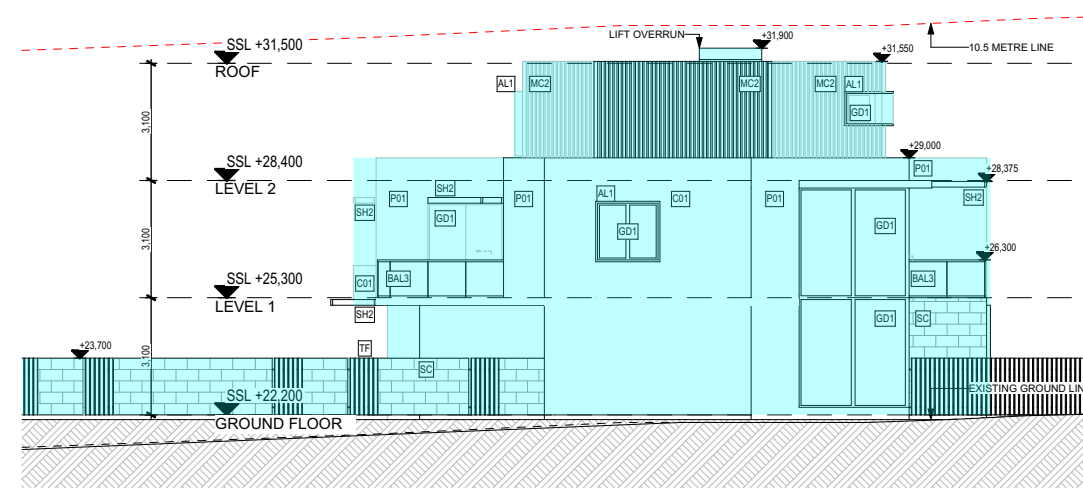
S4.56 Changes



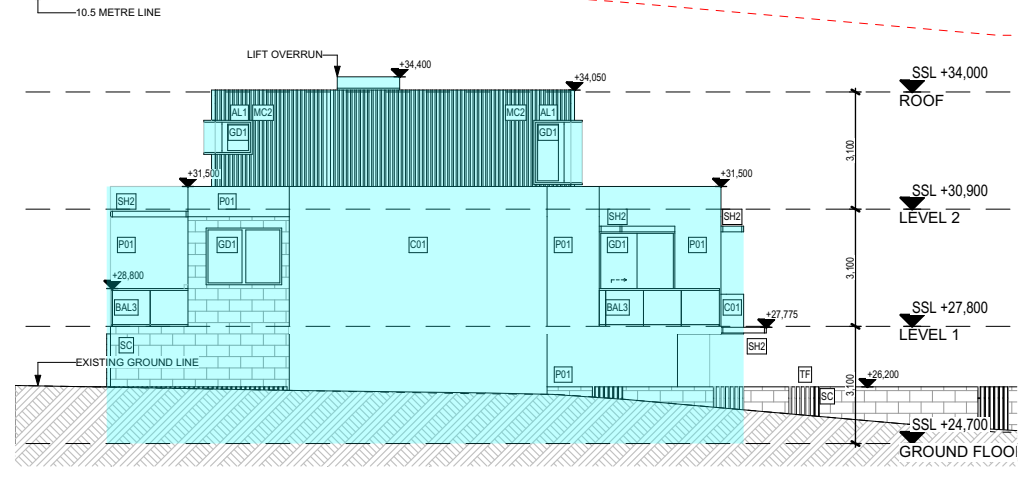
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West Elevation - Townhouses
Scale @ A1 = 1:200



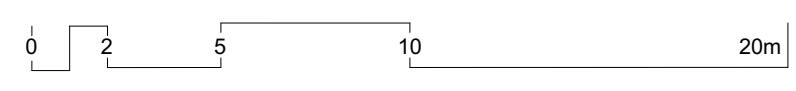
2
-
East Elevation - Townhouses
Scale @ A1 = 1:200



3
-
North Elevation - Townhouses
Scale @ A1 = 1:200



4
-
South Elevation - Townhouses
Scale @ A1 = 1:200



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	RK				
02	21/01/2022	ISSUE FOR S4.56	RK				

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BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
#Principal Certifying Authority

Landscape Architect:
Site Design Studios

Acoustic Engineer:
#Acoustic Engineer

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
Client: EQ CONSTRUCTIONS

Address:
8 Forest Road Warriewood NSW 2102 Australia

Drawing Title: Elevations Townhouses

Revision: 04

Drawing No: A302

Project No: Pn_0800

Checked: PD
Drawn: RK
Scale@A1: 1:200
Date: 11/02/2022

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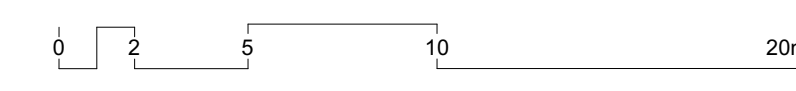
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■ S4.56 Changes
- - - DA Approved Unit Layout

Rev	Date	Amendment	By
01	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	GL

Project: RESIDENTIAL DEVELOPMENT
 Address: 8 Forest Road Warriewood NSW 2102 Australia

Client: EQ CONSTRUCTIONS



Status: ISSUE FOR S4.56 AMENDMENTS
 Drawing Title: PLAN COMPARISON Ground Floor Plan - East

Project No: Pn_0800 A105.1
 Drawing No: A105.1
 Revision: 01
 Date: 2/08/2022
 Checked: PD
 Drawn: GL
 Scale@A1: 1:200

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01
 Ground Floor
 Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A105.2

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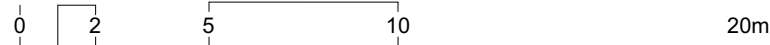
- S4.56 Changes
- - - DA Approved Unit Layout

Rev	Date	Amendment	By
01	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



Status:
ISSUE FOR S4.56 AMENDMENTS
Drawing Title: **PLAN COMPARISON Ground Floor Plan - West**

Project No: Drawing No: Revision:
Pn_0800 A105.2 01

Date: Checked: Drawn: Scale@A1:
2/08/2022 PD GL 1:200

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S4.56 Changes

DA Approved Unit Layout

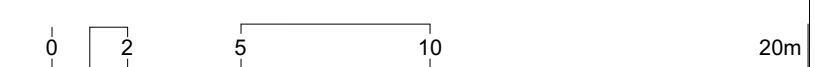


Rev	Date	Amendment	By
01	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



Status:
ISSUE FOR S4.56
AMENDMENTS

Drawing Title:
PLAN COMPARISON
Level 1 - East

Project No: Pn_0800
Drawing No: A106.1
Revision: 01

Date: 2/08/2022
Checked: PD
Drawn: JB, GL
Scale@A1: 1:200



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01 Level 1
Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A106.2

FOR CONTINUATION SEE SHEET A106.1

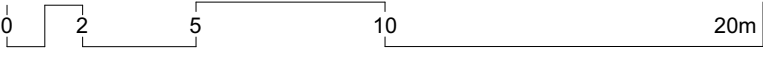
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S4.56 Changes
 DA Approved Unit Layout

Rev	Date	Amendment	By
01	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	JB, GL

Project: RESIDENTIAL DEVELOPMENT
 Address: 8 Forest Road Warriewood NSW 2102 Australia
 Client: EQ CONSTRUCTIONS

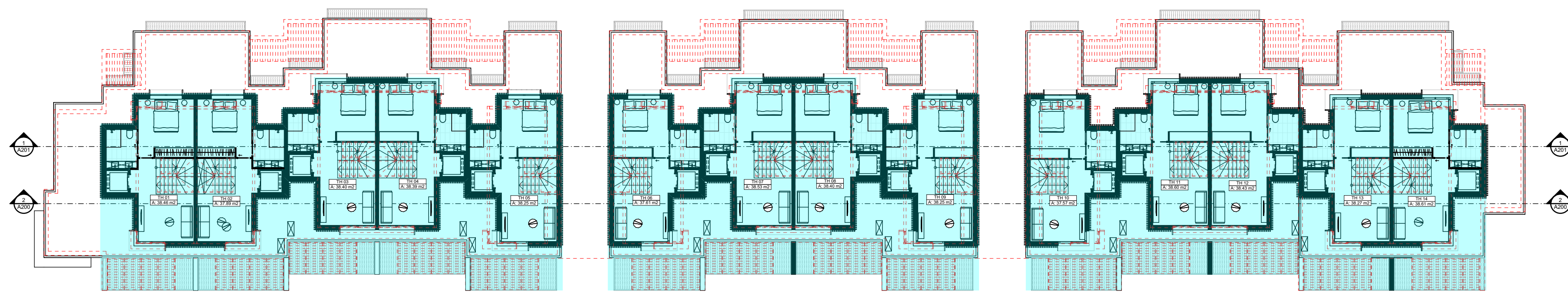


Status: ISSUE FOR S4.56 AMENDMENTS
 Drawing Title: PLAN COMPARISON Level 1 - West

Project No: Pn_0800 Drawing No: A106.2 Revision: 01
 Date: 2/08/2022 Checked: PD Drawn: JB, GL Scale@A1: 1:200

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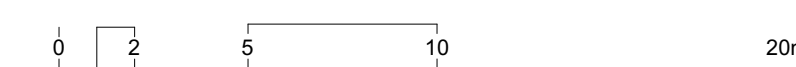


Rev	Date	Amendment	By
01	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



Status:
ISSUE FOR S4.56
AMENDMENTS
Drawing Title: PLAN COMPARISON
Level 2 - East

Project No: Pn_0800 Drawing No: A107.1 Revision: 01

Date: 2/08/2022 Checked: PD Drawn: JB, GL Scale@A1: 1:200

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01 Level 2
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FOR CONTINUATION SEE SHEET A107.2



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S4.56 Changes

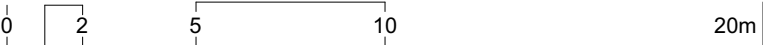
DA Approved Unit Layout

Rev	Date	Amendment	By
01	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	JB, GL

Project: RESIDENTIAL DEVELOPMENT

Address: 8 Forest Road Warriewood NSW 2102 Australia

Client: EQ CONSTRUCTIONS



Status: ISSUE FOR S4.56 AMENDMENTS

Drawing Title: PLAN COMPARISON Level 2 - West

Project No: Pn_0800
 Drawing No: A107.2
 Revision: 01

Date: 2/08/2022
 Checked: PD
 Drawn: JB, GL
 Scale@A1: 1:200

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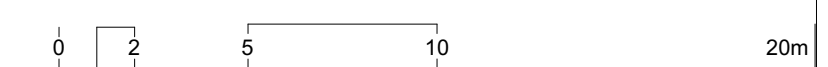
S4.56 Changes

Rev	Date	Amendment	By
01	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
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Client:
EQ CONSTRUCTIONS

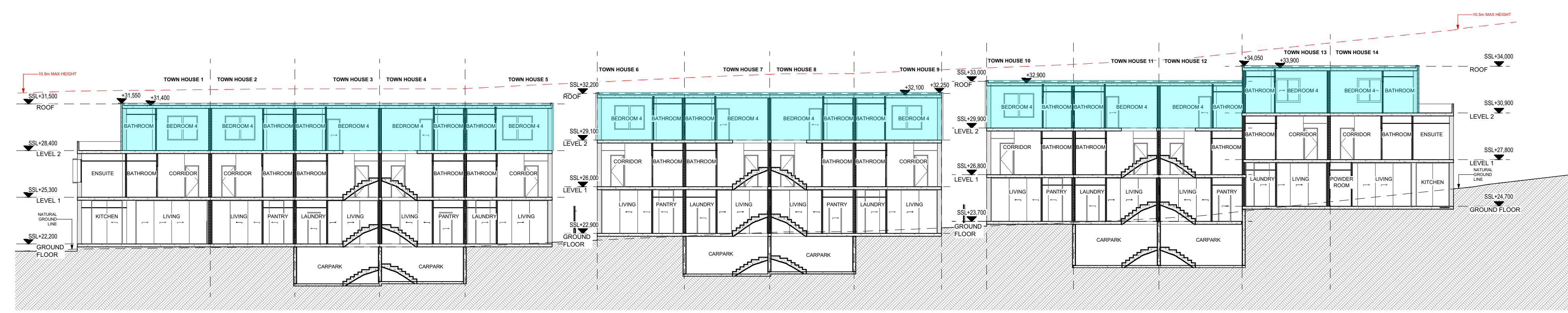


Status:
ISSUE FOR S4.56 AMENDMENTS

Drawing Title:
Sections
Sections 02

Project No: Pn_0800
Drawing No: A201
Revision: 01

Date: 10/08/2022
Checked: PD
Drawn: GL
Scale@A1: 1:200



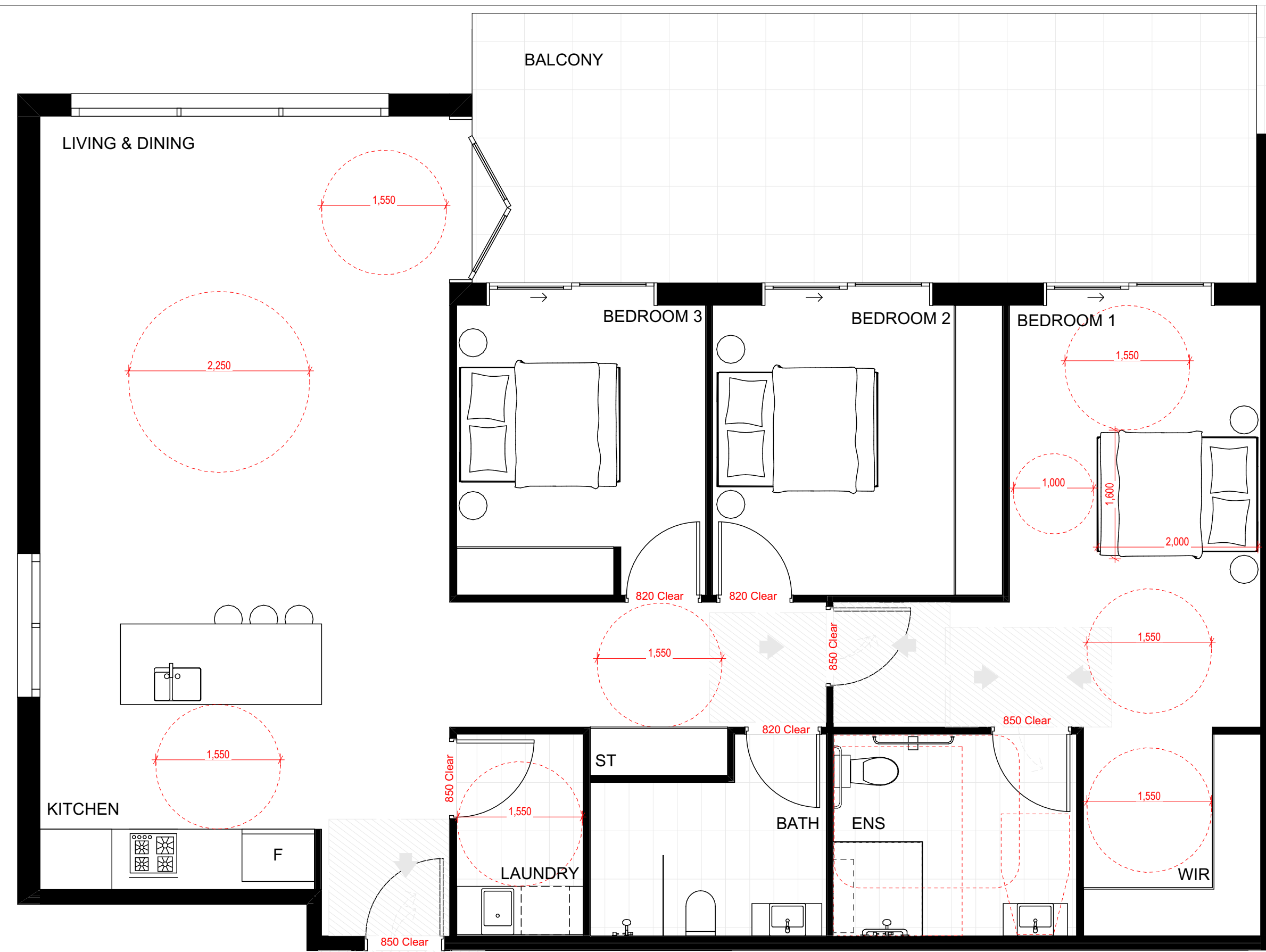
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Townhouse Section 02
Scale @ A1 = 1:200

ADS
ARCHITECTS

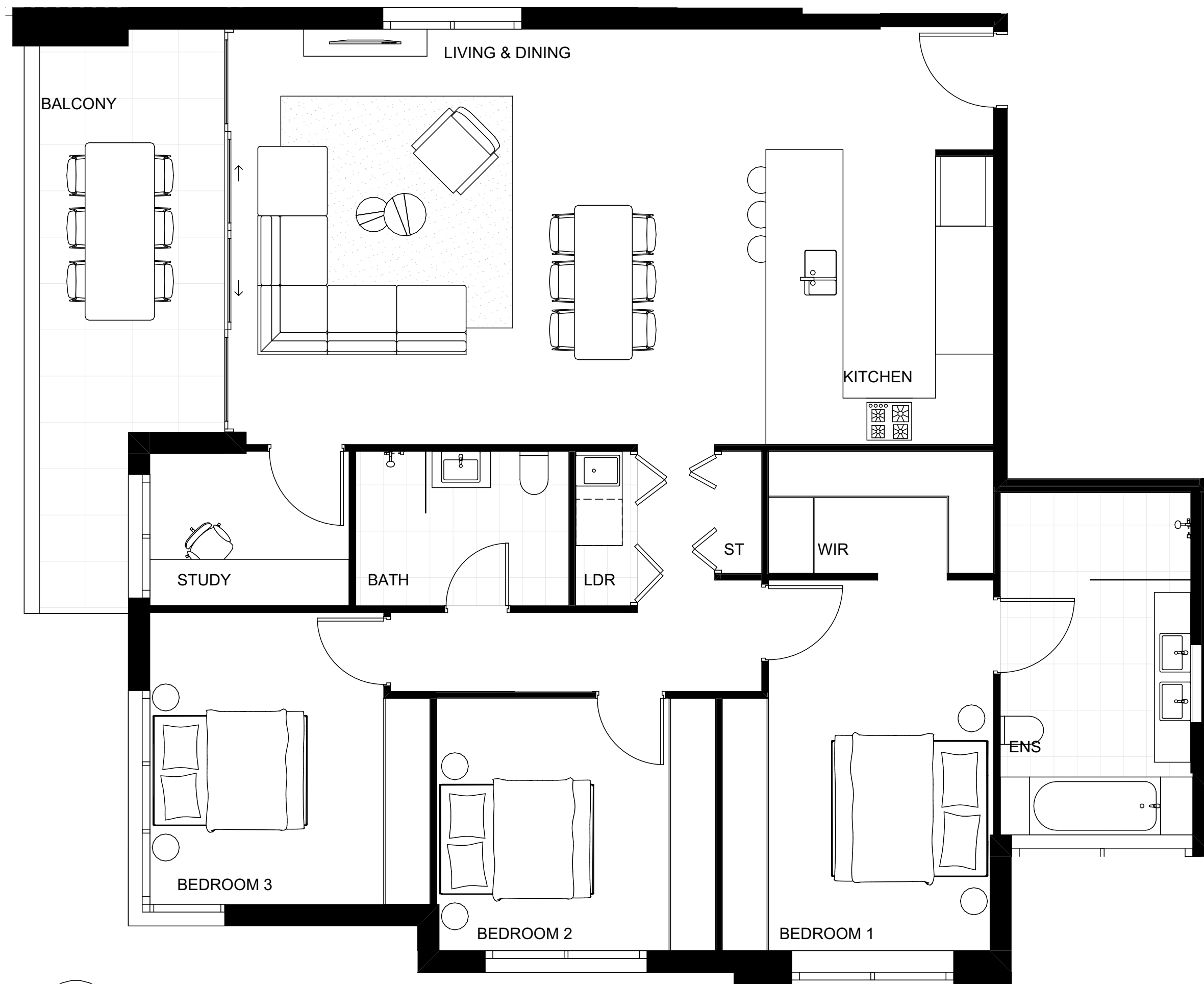
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NSW Nominated Architect Pavlo Doroch 9170



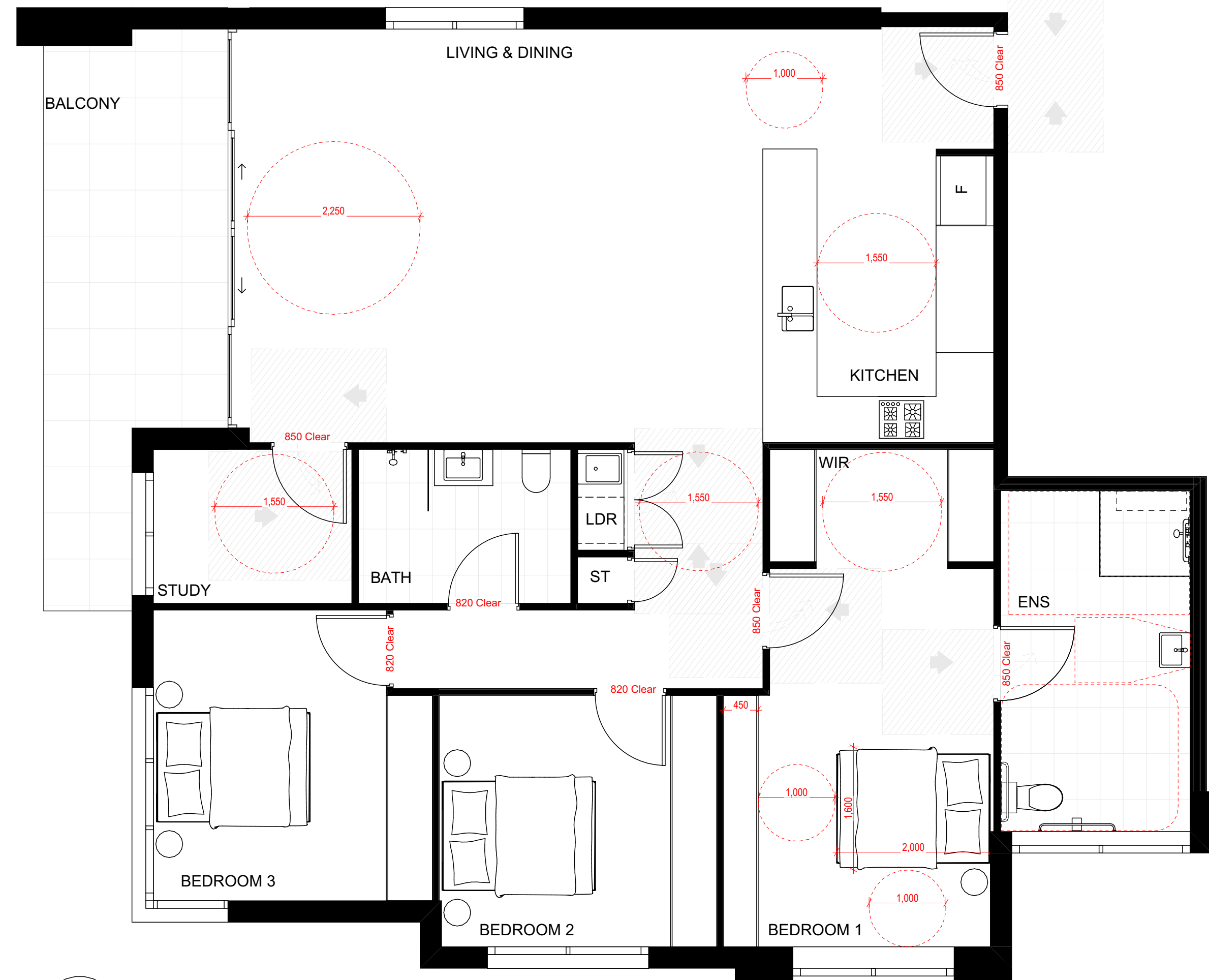
1
-
PRE ADAPTATION - TYPE 1
Scale @ A1 = 1:50



2
-
POST ADAPTATION - TYPE 1
Scale @ A1 = 1:50



3
-
PRE ADAPTATION - TYPE 2
Scale @ A1 = 1:50



4
-
POST ADAPTATION - TYPE 2
Scale @ A1 = 1:50

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ADAPTABLE UNIT LEGEND

BUILDING	TYPE	FLOOR	UNIT NUMBER	NOTES
A	4	GROUND	05	As Per Drawing A503
A	4	FIRST	11	As Per Drawing A503
A	1	FIRST	12	As Per Drawing A501
A	4	SECOND	17	As Per Drawing A503
A	1	SECOND	18	As Per Drawing A501
B	1	GROUND	20	As Per Drawing A501
B	3	GROUND	21	As Per Drawing A502
B	1	FIRST	26	As Per Drawing A501
B	3	FIRST	27	As Per Drawing A502
B	3	SECOND	33	As Per Drawing A502
C	2	GROUND	37	As Per Drawing A501
C	2	FIRST	41	As Per Drawing A501
C	2	SECOND	45	As Per Drawing A501
D	1	GROUND	53	Similar to Drawing A501
D	1	FIRST	59	Mirror & Similar to Drawing A501
D	1	SECOND	65	Similar to Drawing A501

Rev	Date	Amendment	By
01	20/1/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
02	21/01/2022	ISSUE FOR S4.56	JB.GL
03	06/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
04	11/02/2022	ISSUE FOR S4.56	JB.GL
05	28/07/2022	ISSUE FOR S4.56	JB.GL
06	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
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Client:
EQ CONSTRUCTIONS



ISSUE FOR S4.56
AMENDMENTS
Drawing Title: Adaptable Units
Adaptable Units - Type 1&2

Project No: Pn_0800 A501
Drawing No: 06
Revision:

Date: 30/06/2020
Checked: PD
Drawn: GL
Scale@A1: 1:50



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ADAPTABLE UNIT LEGEND

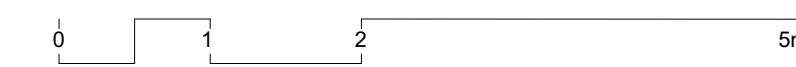
BUILDING	TYPE	FLOOR	UNIT NUMBER	NOTES
A	4	GROUND	05	As Per Drawing A503
A	4	FIRST	11	As Per Drawing A503
A	1	FIRST	12	As Per Drawing A501
A	4	SECOND	17	As Per Drawing A503
A	1	SECOND	18	As Per Drawing A501
B	1	GROUND	20	As Per Drawing A501
B	3	GROUND	21	As Per Drawing A502
B	1	FIRST	26	As Per Drawing A501
B	3	FIRST	27	As Per Drawing A502
B	3	SECOND	33	As Per Drawing A502
C	2	GROUND	37	As Per Drawing A501
C	2	FIRST	41	As Per Drawing A501
C	2	SECOND	45	As Per Drawing A501
D	1	GROUND	53	Similar to Drawing A501
D	1	FIRST	59	Mirror & Similar to Drawing A501
D	1	SECOND	65	Similar to Drawing A501

Rev	Date	Amendment	By
01	20/11/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
02	21/01/2022	ISSUE FOR S4.56	JB.GL
03	06/09/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
04	11/02/2022	ISSUE FOR S4.56	JB.GL
05	28/07/2022	ISSUE FOR S4.56	GL
06	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	GL

Project:
RESIDENTIAL DEVELOPMENT

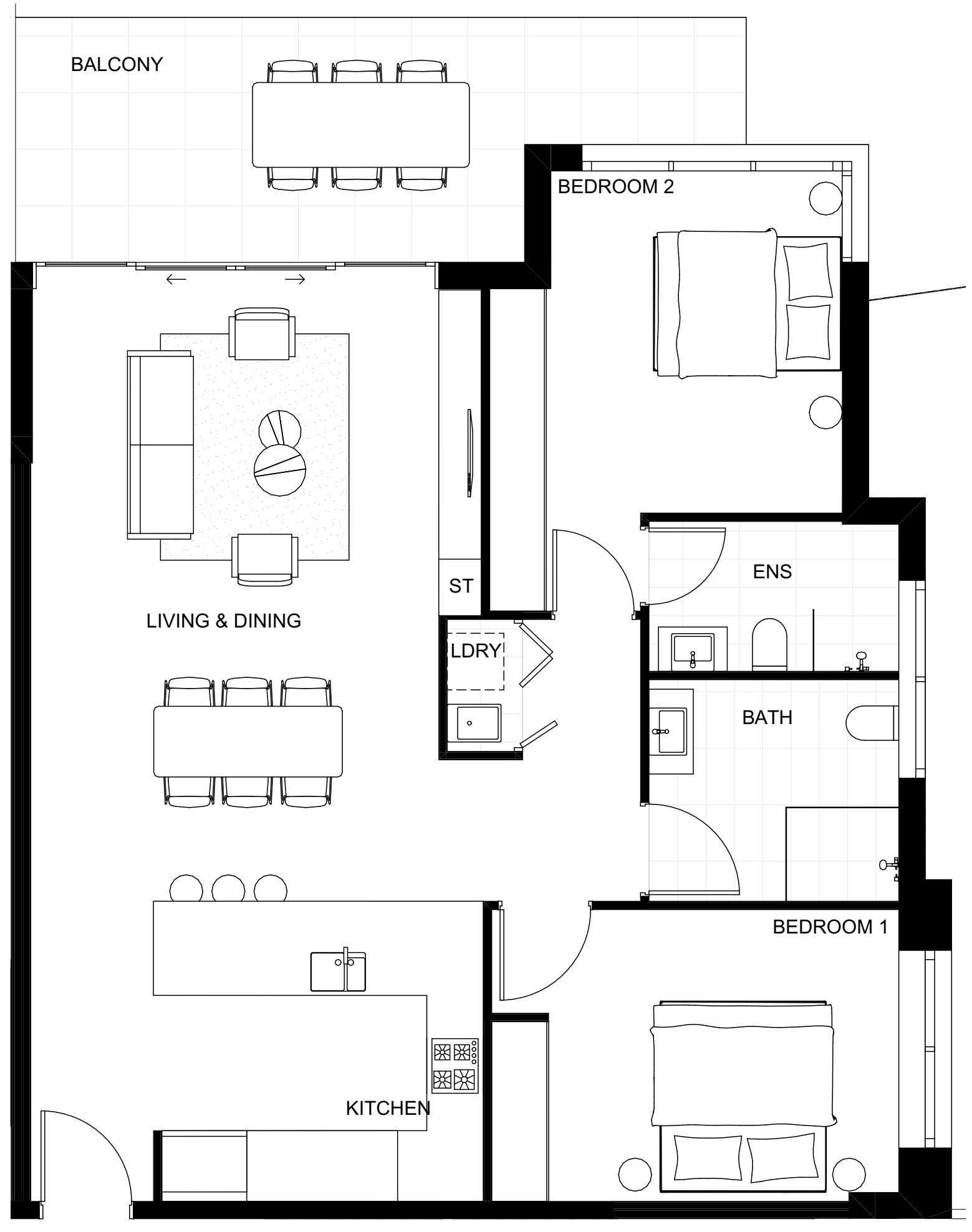
Address:
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Client:
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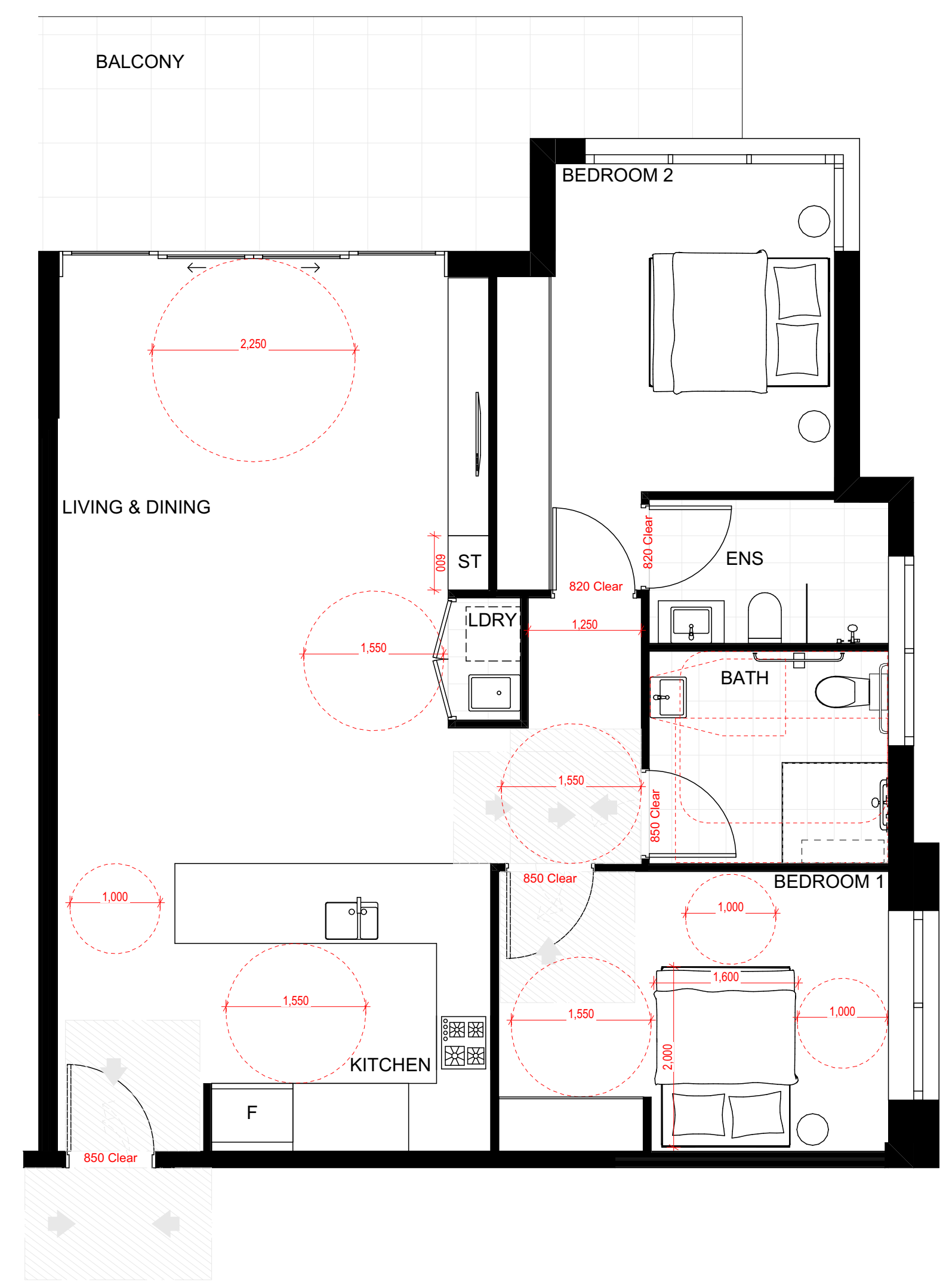


ISSUE FOR S4.56
AMENDMENTS
Drawing Title: Adaptable Units
Adaptable Units - Type 3
Project No: Drawing No: Revision:
Pn_0800 A502 06
Date: Checked: Drawn: Scale@A1:
30/06/2020 PD GL 1:50

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NSW Nominated Architect Pavlo Doroch 9170



1 - PRE ADAPTATION - TYPE 3
Scale @ A1 = 1:50



2 - POST ADAPTATION - TYPE 3
Scale @ A1 = 1:50

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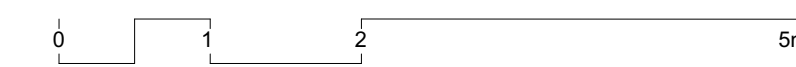
BUILDING	TYPE	FLOOR	UNIT NUMBER	NOTES
A	4	GROUND	05	As Per Drawing A503
A	4	FIRST	11	As Per Drawing A503
A	1	FIRST	12	As Per Drawing A501
A	4	SECOND	17	As Per Drawing A503
A	1	SECOND	18	As Per Drawing A501
B	1	GROUND	20	As Per Drawing A501
B	3	GROUND	21	As Per Drawing A502
B	1	FIRST	26	As Per Drawing A501
B	3	FIRST	27	As Per Drawing A502
B	3	SECOND	33	As Per Drawing A502
C	2	GROUND	37	As Per Drawing A501
C	2	FIRST	41	As Per Drawing A501
C	2	SECOND	45	As Per Drawing A501
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D	1	FIRST	59	Mirror & Similar to Drawing A501
D	1	SECOND	65	

Rev	Date	Amendment	By
01	20/1/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
02	21/01/2022	ISSUE FOR S4.56	JB.GL
03	06/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
04	11/02/2022	ISSUE FOR S4.56	JB.GL
05	28/07/2022	ISSUE FOR S4.56	GL
06	20/8/2022	ISSUE FOR S4.56 AMENDMENTS	GL

Project:
 RESIDENTIAL DEVELOPMENT

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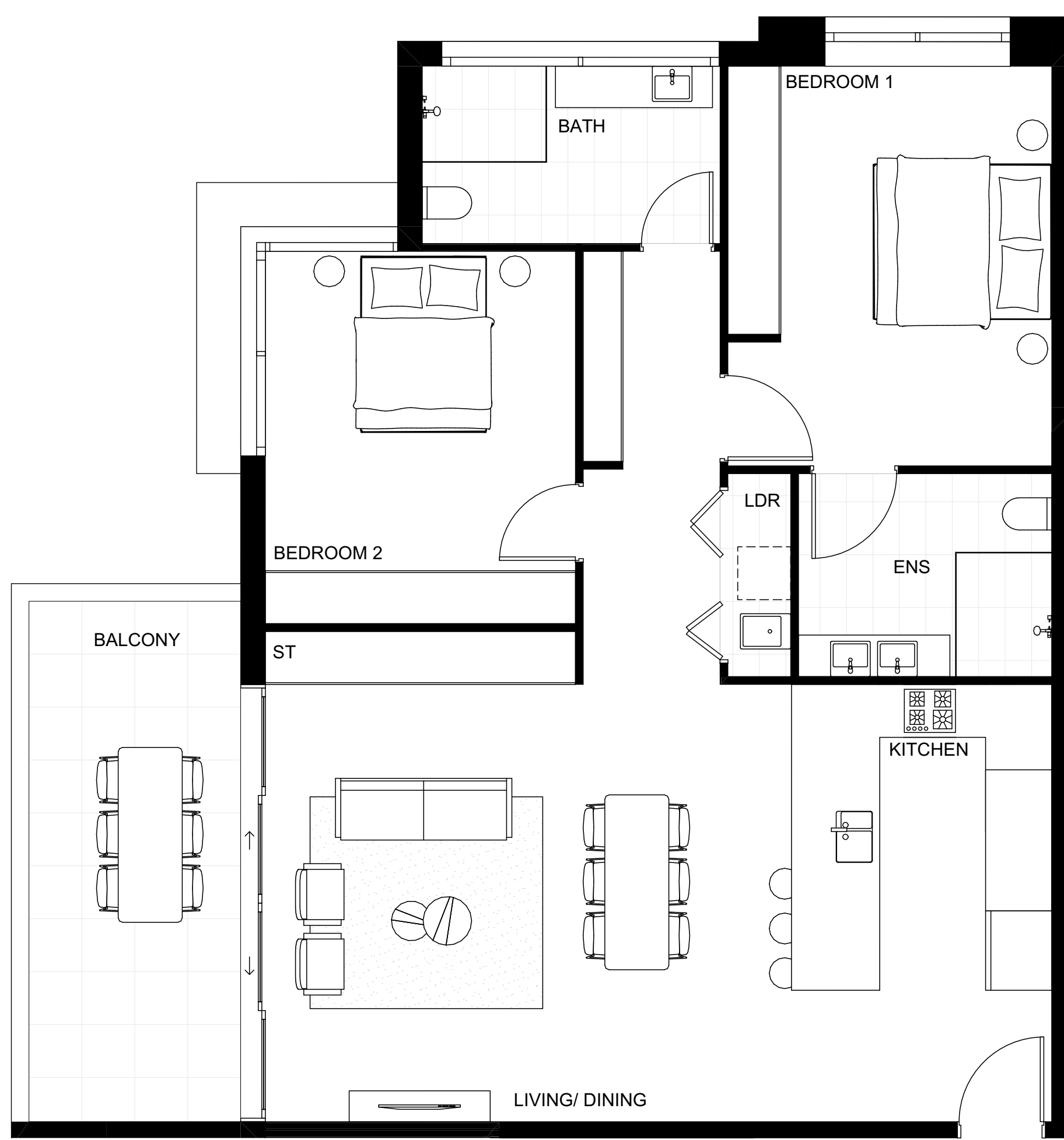
Client:
 EQ CONSTRUCTIONS



ISSUE FOR S4.56
 AMENDMENTS
 Drawing Title: Adaptable Units
 Adaptable Units - Type 4
 Project No: Pn_0800 A503
 Drawing No: 06
 Date: 30/06/2020
 Checked: PD
 Drawn: GL
 Scale@A1: 1:50



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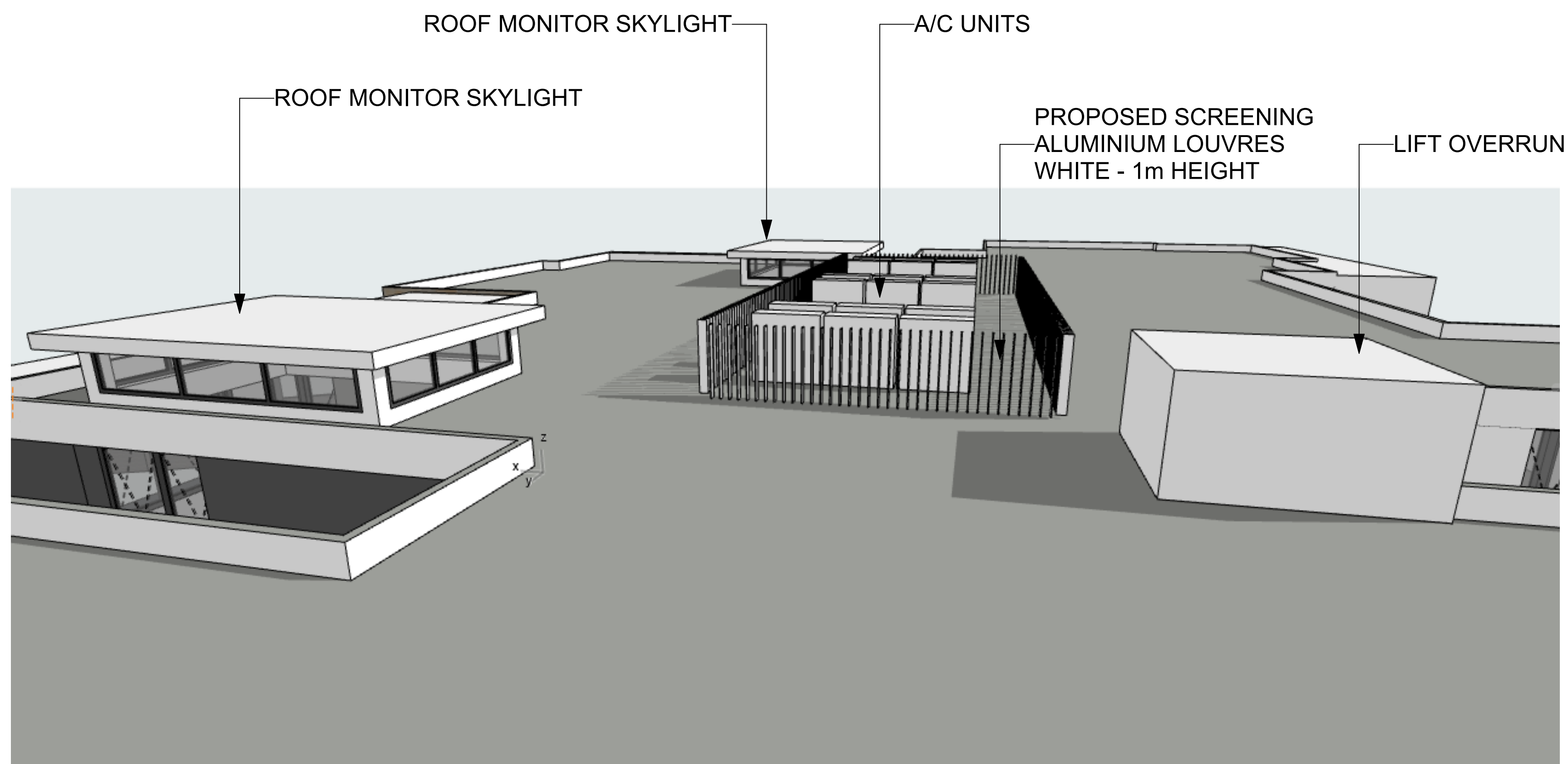


1
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 PRE ADAPTATION - TYPE 4
 Scale @ A1 = 1:50



2
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 POST ADAPTATION - TYPE 4
 Scale @ A1 = 1:50

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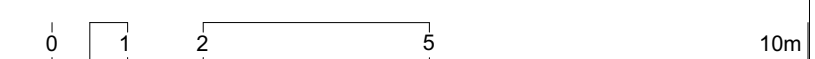
BUILDING D - SCREENING PROPOSAL OF AIR CONDITIONING UNITS

Rev	Date	Amendment	By
01	2/08/2022	ISSUE FOR S4.56 AMENDMENTS	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
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Client:
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Status:
ISSUE FOR S4.56
AMENDMENTS
Drawing Title: 3D
A/C Units - Building D

Project No: Pn_0800
Drawing No: A903
Revision: 01

Date: 10/08/2022
Checked: PD
Drawn: GL
Scale: A1:

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FF&E Schedule

8 Forest Rd Warriewood NSW 2102

Project Pn_8000

Revision 1

Prepared by Architecture Design Studio

11 Egerton Street, Silverwater NSW 2128



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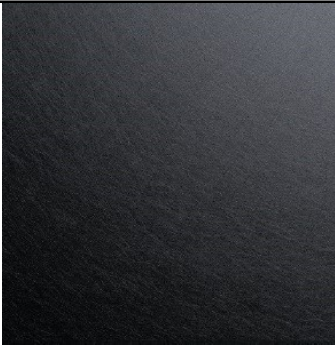

FF&E Schedule



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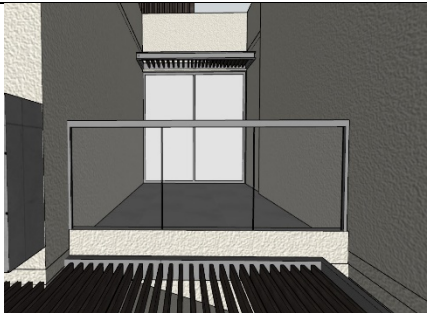
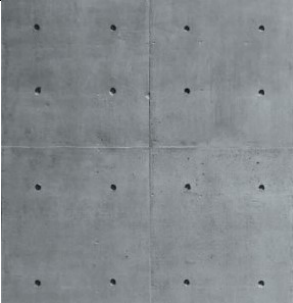
1. This schedule is to be read in conjunction with the Architectural Drawings and other schedules and specifications, relevant standards and regulations.

Legend	Description	Colour	Image
AL1	Aluminium Awing	Dulux Monument Power Coat	
BAL 1	Balustrade Glass - Apartments		

FF&E Schedule




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Legend	Description	Colour	Image
BAL 2	Balustrade Solid Wall - Apartments	FC3 - White	
BAL 3	Balustrade Glass - Townhouses		
C01	Concrete Finish	Concrete Precast	

FF&E Schedule



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Legend	Description	Colour	Image
FC1	Fibre Cement Cladding	Dulux – Oolong	
FC2	Fibre Cement Cladding	Dulux - Tinker	
FC3	Fibre Cement Cladding	Dulux - White	

Project: 8 Forest Rd Warriewood 2102
Client: EQ Construction
Project No.: Ph_08000
Date: 09.02.2022

FF&E Schedule





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Legend	Description	Colour	Image
GD1	Glazing Door/ Window	Glass	 A photograph of a modern glazing door or window system. It features a white frame and large glass panels. The view through the glass shows an interior space with a kitchen and a view of a green lawn and trees.
L01	Horizontal Louvres	Timber Look	 A photograph of a vertical door or window with horizontal louvres. The louvres are made of a material with a timber-like grain and are set within a white frame. The door is partially open, showing the interior mechanism.

FF&E Schedule





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Legend	Description	Colour	Image
MC1	Aluminium Louvres	White	
MC2	Metal Cladding	Aluminium Slats/Battens – Timber Look	

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Legend	Description	Colour	Image
P01	Render And Paint	Dulux White China	
SC	Sandstone Cladding	Sandstone	

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Legend	Description	Colour	Image
SH	Sun shading	P01 – White Render	 A photograph showing a white, cantilevered sun shading structure over a window, demonstrating the 'White Render' finish.
SH2	Sun shading	Timber Look	 A photograph of a sun shading structure with a horizontal timber grain finish, installed over a building facade.
TC	Aluminium Cladding	Timber Look	 A close-up photograph of vertical aluminium cladding with a natural timber grain texture.

Project: 8 Forest Rd Warriewood 2102
Client: EQ Construction
Project No.: Pn_08000
Date: 09.02.2022

FF&E Schedule



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Legend	Description	Colour	Image
TF	Fence	Aluminium Slats – Timber Look	