

Site Area

1532 sqm

Hard Surface Area

	HS exist	584 sqm
	HS new	628 sqm

Landscaped Area

	LA min 60%	919 sqm
	LA exist	943.8 sqm
	LA new	914.6 sqm
	Impervious LA 6%	91 sqm

TOTAL LA 1005.6 sqm

Notes
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Footings and slabs to comply with current AS 2870 and accordance with accompanying structural engineering drawings.
Light and ventilation to comply with part F4 of the Building Code of Australia.
All wall framing to comply with current AS 1684 light timber framing code and relevant supplements.

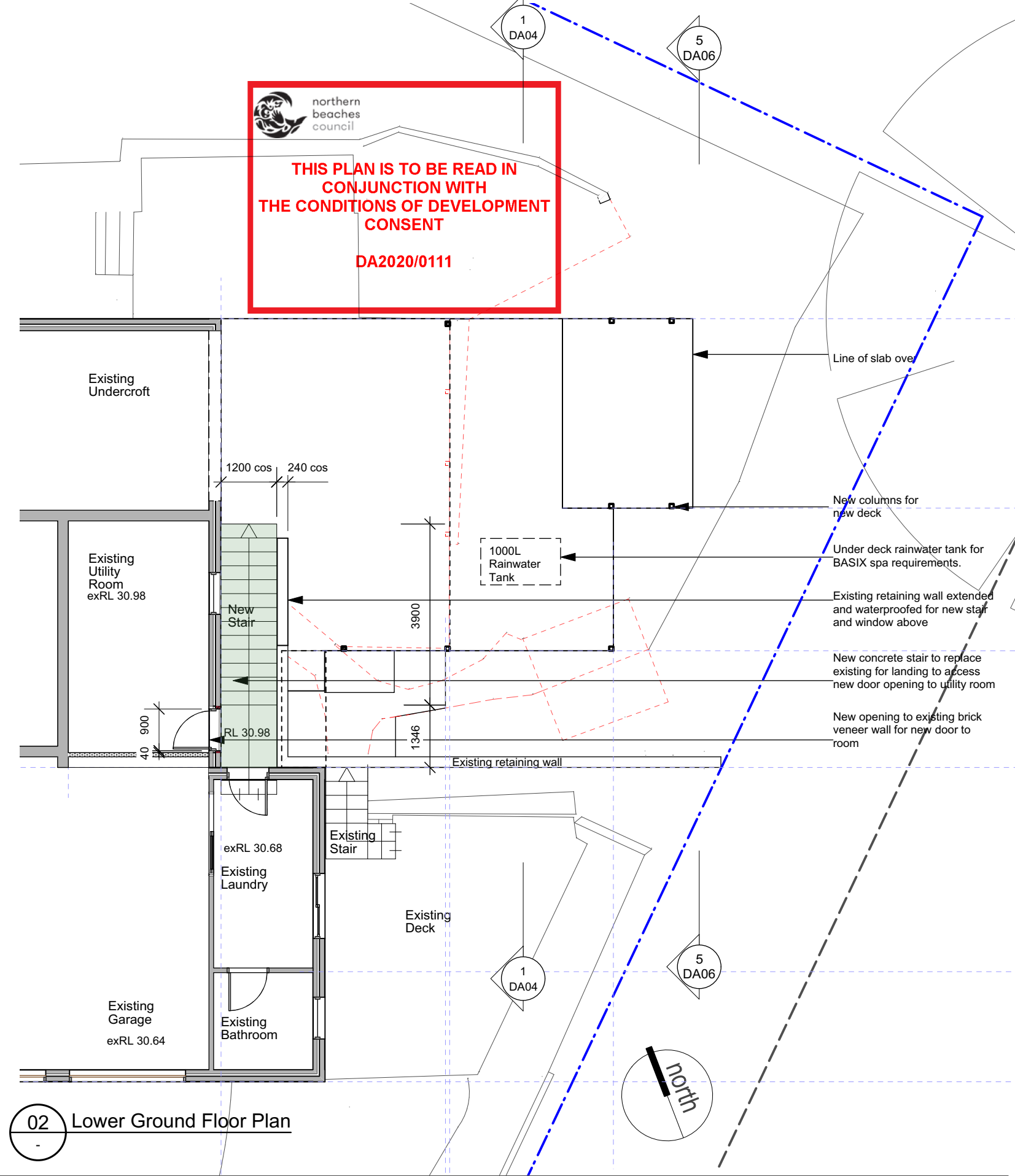
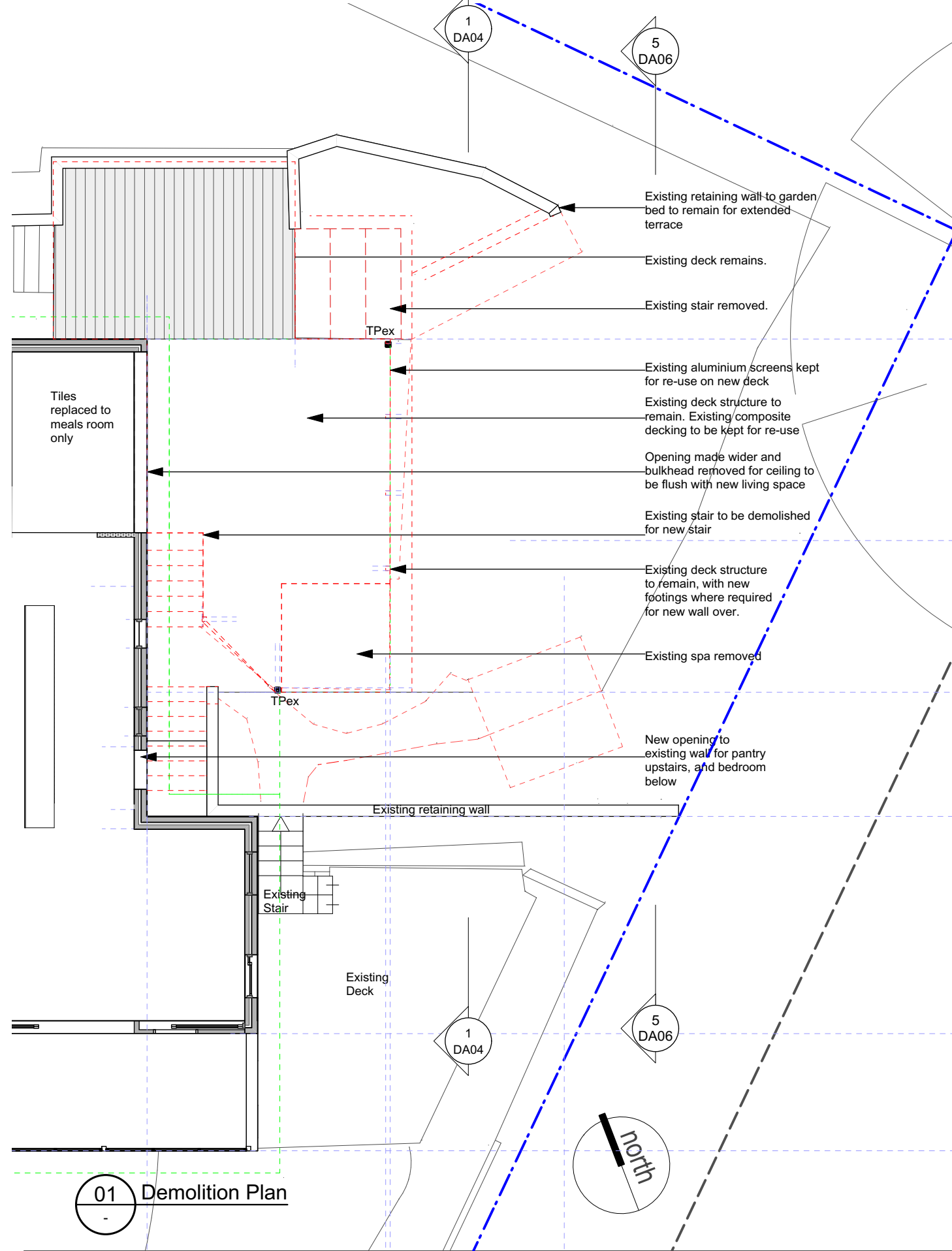
Provide insulation to all wall cavities in external walls to BASIX requirements.
Smoke alarms to be installed in accordance with Australian building code and local fire regulations.
All positions of GPO's and switches to be confirmed on site prior to installation.
All positions of light fittings to be confirmed on site prior to installation.
Provide all windows, doors, glazing, shading devices, fixtures and fittings to comply with BASIX requirements.
New spa to comply with AS 2610.2-2007 private spas.

Materials	
New Timber framed post/floor structure	
New Concrete/Paving	
New Glazing	
New Brickwork/blockwork	
New Metal roofing / Metalwork	

Site and Roof Plan		DA01
Drawing:		
Development Application 10/02/20		
No.	Issue	Date

Project:
Alterations and Additions for Mr and Mrs Willmott
Address:
5 Waterview Street
Mona Vale NSW

Stage:
Development Application
Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3
hd
hooghuis design
hooghuisdesign@optusnet.com.au 0408 413 714 a b n 5 3 6 3 0 5 0 2 7 8 3



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New spa to comply with AS 2610.2-2007 private spas.

Materials

New Timber framed post/floor structure

New Concrete/Paving

New Glazing

New Brickwork/blockwork

New Metal roofing / Metalwork

Lower Ground Floor Plan

DA02

Drawing:

Development Application

10/02/20

No.

Issue

Date

Project:

Alterations and Additions for Mr and Mrs Willmott

Address:

5 Waterview Street

Mona Vale NSW

Stage:

Development Application

Date : 10/02/20

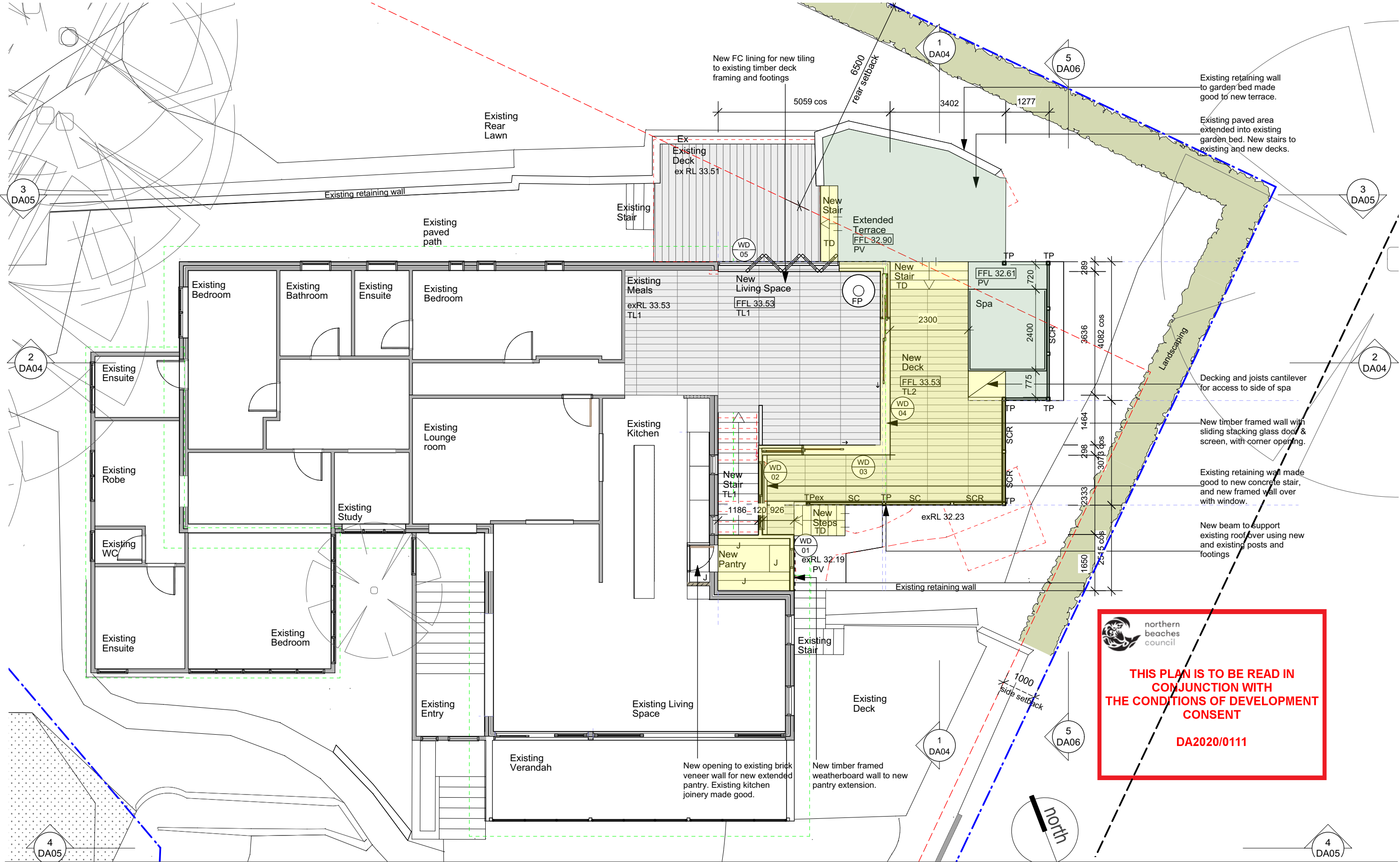
Drawn: BH

Scale: 1:100 UNO. A3

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Materials

New Timber framed post/floor structure

New Concrete/Paving

New Glazing

New Brickwork/blockwork

New Metal roofing / Metalwork

Ground Floor Plan

Drawing: _____

Development Application 10/02/20

No.	Issue	Date
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DA03

Project:

Alterations and Additions for Mr and Mrs Willmott

Address:

5 Waterview Street

Mona Vale NSW

Stage:

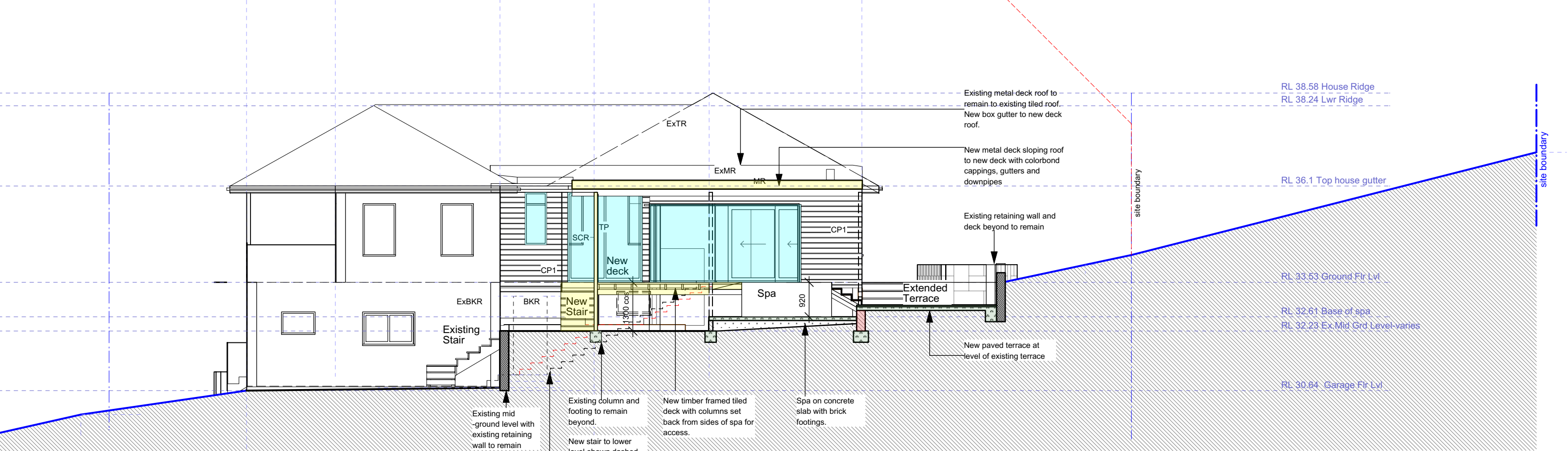
Development Application

Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3

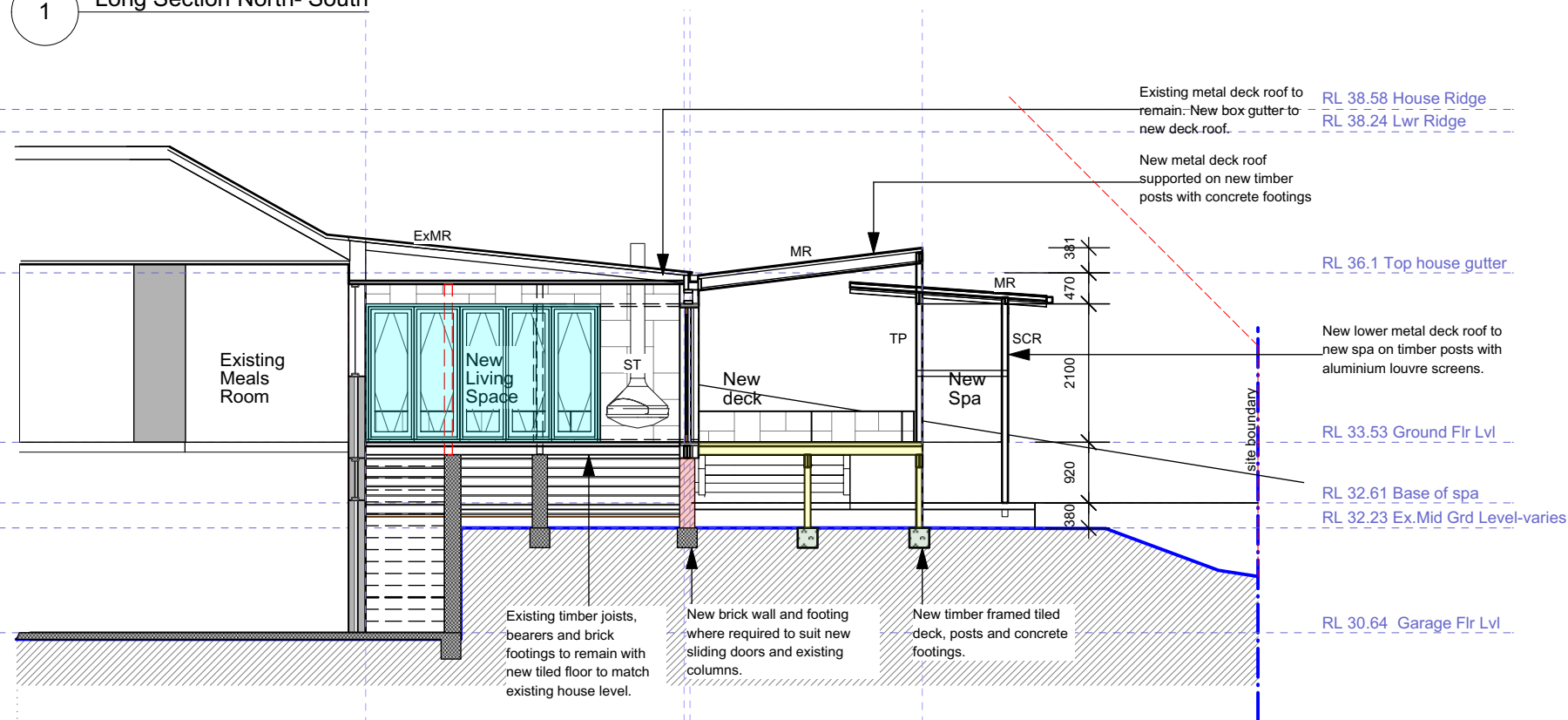
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1 Long Section North- South



2 Cross Section- East West

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0111

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-  New Glazing
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-  New Metal roofing / Metalwork

Sections

Drawing:

No.	Issue	Date
	Development Application	10/02/20

DA04

Project:

**Alterations and Additions for
Mr and Mrs Willmott**

Address:

**5 Waterview Street
Mona Vale NSW**

Stage:

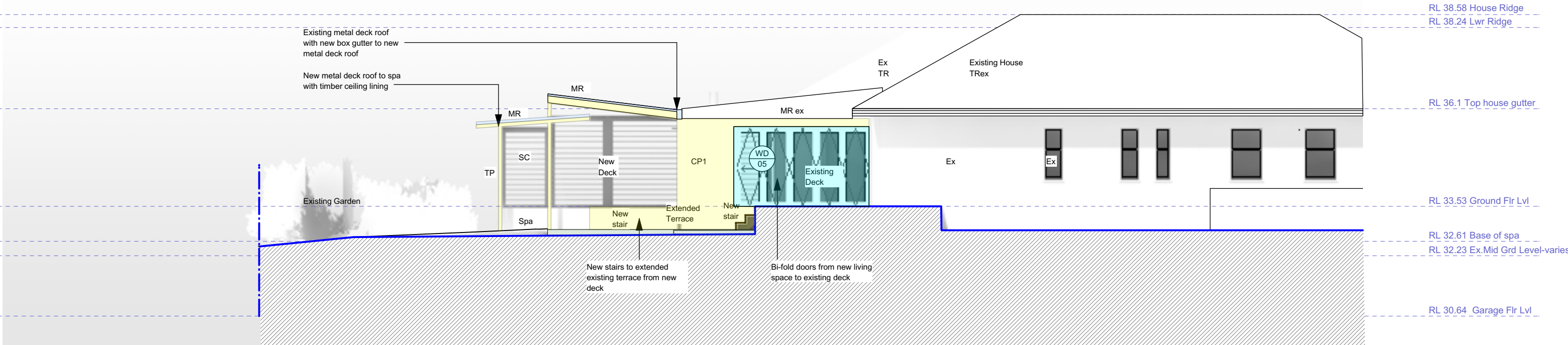
Development Application

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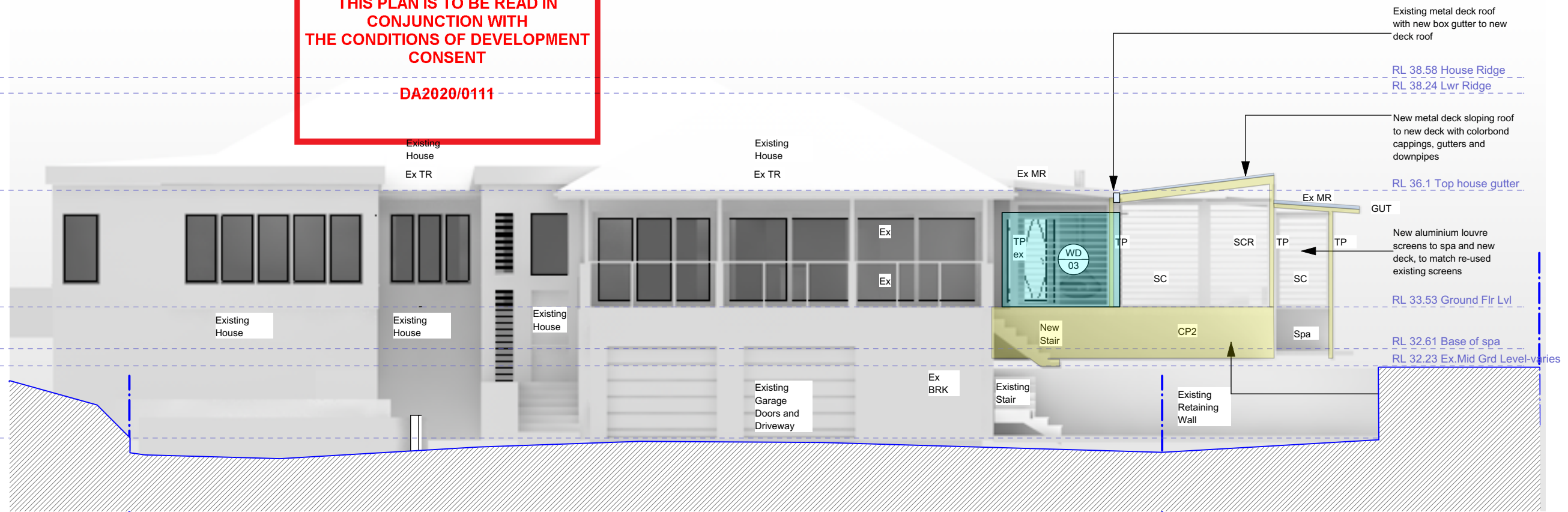


3 Northern Elevation



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0111



4 Southern Elevation

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Materials

	New Timber framed post/floor structure
	New Concrete/Paving
	New Glazing
	New Brickwork/blockwork
	New Metal roofing / Metalwork

Elevations- North and South

Drawing:

DA05

	Development Application	10/02/20
No.	Issue	Date

Project:

Alterations and Additions for Mr and Mrs Willmott

Address:

**5 Waterview Street
Mona Vale NSW**

Stage:

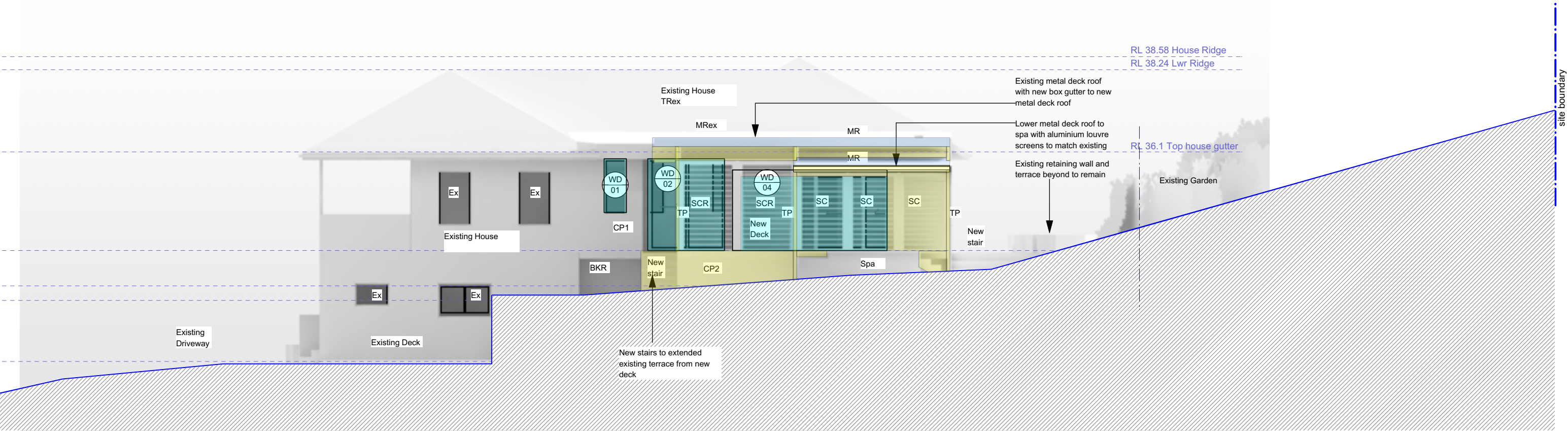
Development Application

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5 Eastern Elevation

 northern beaches council

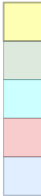
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DA2020/0111

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Materials

- New Timber framed post/floor structure
- New Concrete/Paving
- New Glazing
- New Brickwork/blockwork
- New Metal roofing / Metalwork

Elevations- East

DA06

Drawing:		
Development Application		
No.	Issue	Date
		10/02/20

Project:

Alterations and Additions for Mr and Mrs Willmott

Address:

**5 Waterview Street
Mona Vale NSW**

Stage:

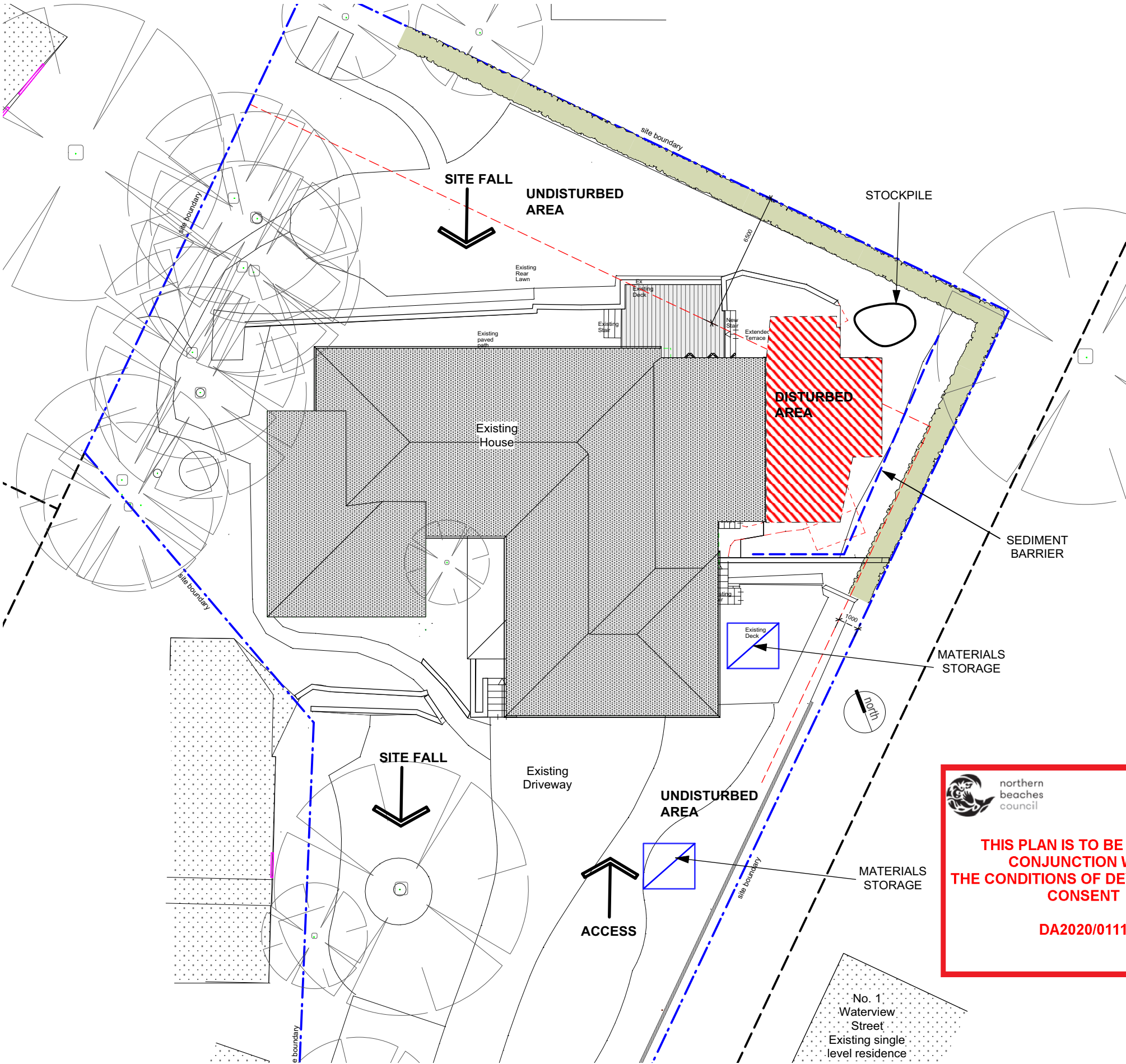
Development Application

Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3

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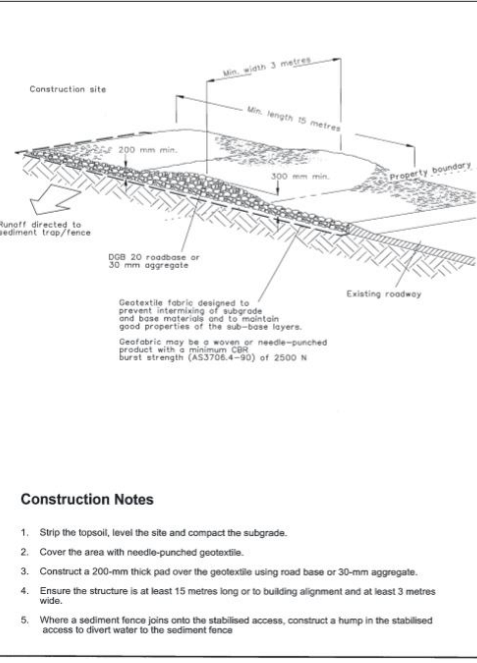
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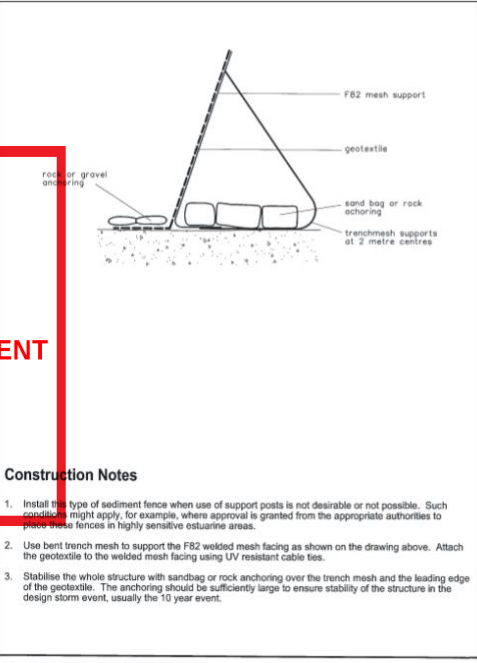


SEEDING CONTROL

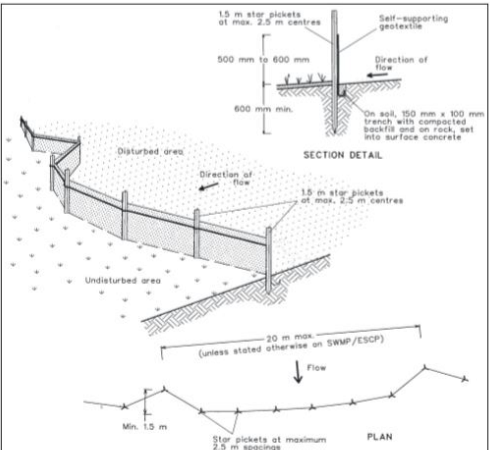
1. Install sediment control structures in locations indicated on plans and otherwise required to control sediment during all excavations and whilst areas of the site are exposed to erosion.
2. Control structures to be detailed or as otherwise required by certifying authority. Sediment fences, and other control structures as shown on this drawing or their equivalent.
3. Review control measures and maintain structures daily by the site manager.
4. If additional measures are required for erosion control or by council requirements refer to 'Urban erosion and sediment control' guidelines prepared by the Department of Conservation and Land Management.
5. No vehicle crossing or stockpiling of materials on vegetation buffers.
6. All Sediment structures to be cleaned on reaching 50% storage capacity.
7. All existing vegetation will be retained outside the construction site.
8. Clean sediments from footpaths, driveways and roads daily.
9. Cover or wet down to prevent dust spread.
10. Topsoil will be respread and all disturbed areas will be stabilised as soon as practicable after the completion of the works.
11. Approved bins for building waste, concrete and mortar slurries, paints washings and litter will be provided wholly within the site and arrangements made for regular collection and disposal.



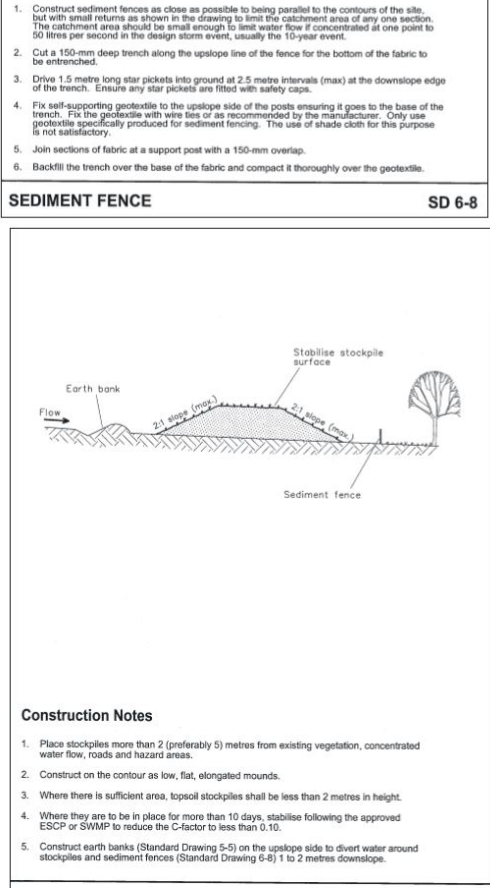
STABILISED SITE ACCESS SD 6-14



ALTERNATIVE SEDIMENT FENCE SD 6-9



SEDIMENT FENCE SD 6-8



STOCKPILES SD 4-1

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Erosion and Sediment Control Plan

Drawing:

DA07

No.	Issue	Date
	Development Application	10/02/20

Project:

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Address:

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Mona Vale NSW**

Stage:

Development Application

Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3

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