

DEVELOPMENT APPLICATION

44 KOOLOORA AVENUE, FRESHWATER NSW
 PREPARED ON BEHALF OF:
 JOSH LARGE

DRAWING LIST	SCALE
P1: C01 - COVER PAGE	NTS
P2: C02 - SURVEY	1:200 @A3
P3: C03 - EXISTING FLOOR PLAN	1:200 @A3
DOCUMENTATION - ARCHITECTURAL DRAWINGS	
P4: A01 - PROPOSED FLOOR PLAN	1:100 @A3
P5: A02 - CARPORT & FRONT ELEVATION	1:100 @A3
P6: A03 - WEST ELEVATION	1:100 @A3
P7: A04 - EAST ELEVATION	1:100 @A3



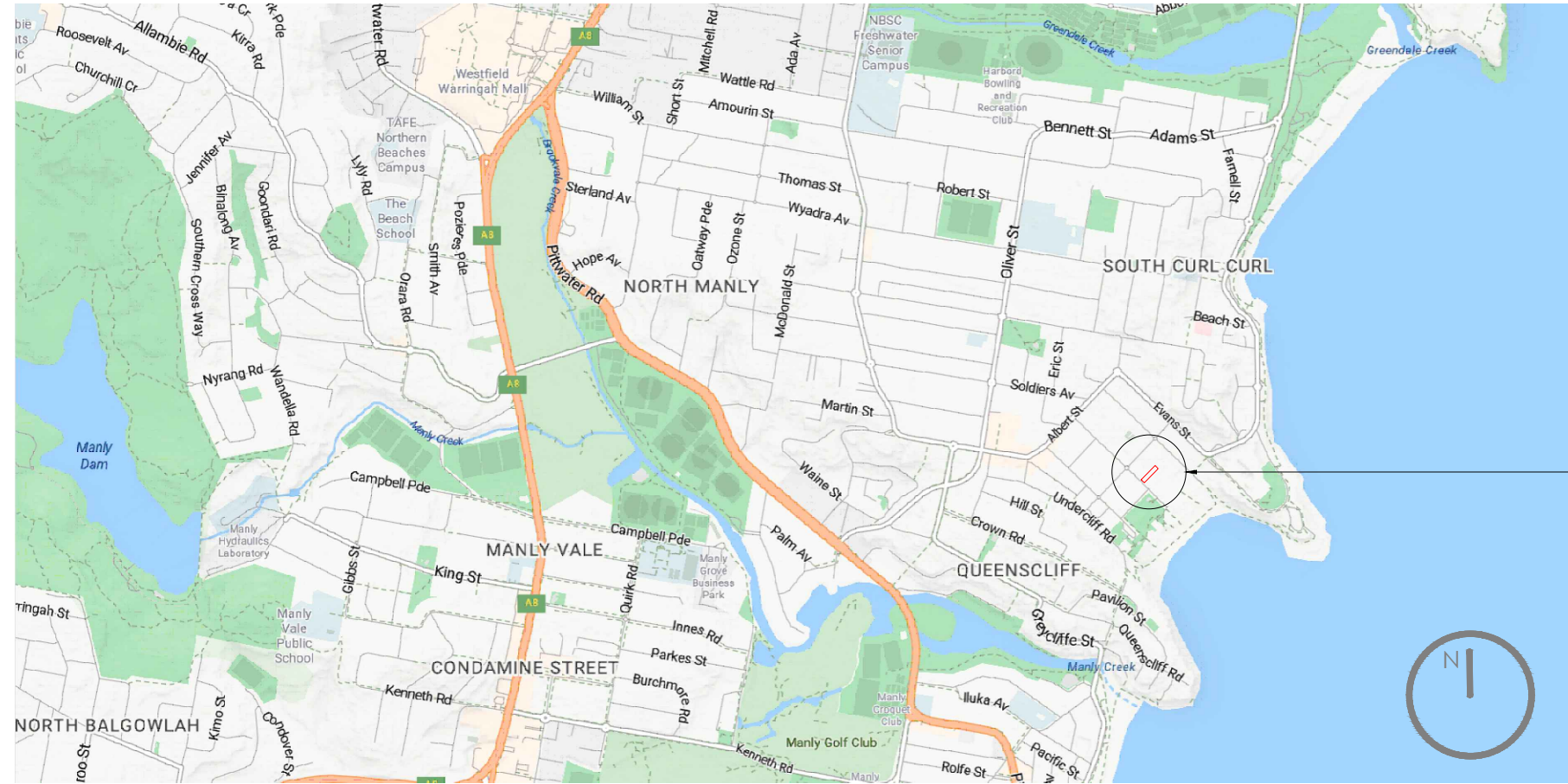
STREET VIEW (FOR REFERENCE ONLY)



CARPORT VIEW (FOR REFERENCE ONLY)

GENERAL NOTES

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATION, CONSULTANT DRAWINGS & DOCUMENTATION AND THE REQUIREMENTS OF THE RELEVANT AUTHORITIES.
2. DO NOT OBTAIN DIMENSIONS BY SCALING. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION COMMENCEMENT.
3. IN THE EVENT OF A DISCREPANCY, ERROR OR OMISSION, INCONSISTENCY, AMBIGUITY OR OTHER FAULT, THE DESIGNER IS TO BE IMMEDIATELY NOTIFIED AND CLARIFICATION SOUGHT.
4. ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT NCC, BCA & REQUIREMENTS OF THE RELEVANT BUILDING AUTHORITIES.
5. COMPLY WITH THE REQUIREMENTS OF THE NATSPEC BUILDING SPECIFICATION AS A MINIMUM.



44 KOOLOORA AVENUE, FRESHWATER



LOCATION PLAN (NTS)

emma macindoe
 interior design
 0413069379 emmamacdesigns@gmail.com

EXTERNAL FENCING AND CARPORT

CLIENT JOSH LARGE

TITLE COVER PAGE

ADDRESS 44 KOOLOORA AVENUE, FRESHWATER NSW

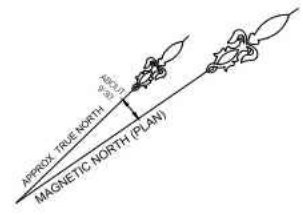
GENERAL NOTES
 All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes and with manufacturers' instructions. This drawing is copyright and may not be used without consent. Do not scale off drawing. Verify all dimensions on site prior to construction. To be read in conjunction with all other consultants' drawings. The designer to be immediately notified of any discrepancies.

DEVELOPMENT APPLICATION

DRAWING C01

ISSUE 1.2
 DATE 03/10/2024

SCALE 1:200 @ A3
 1:100 @ A1
 DRAWN BY F.G.R.



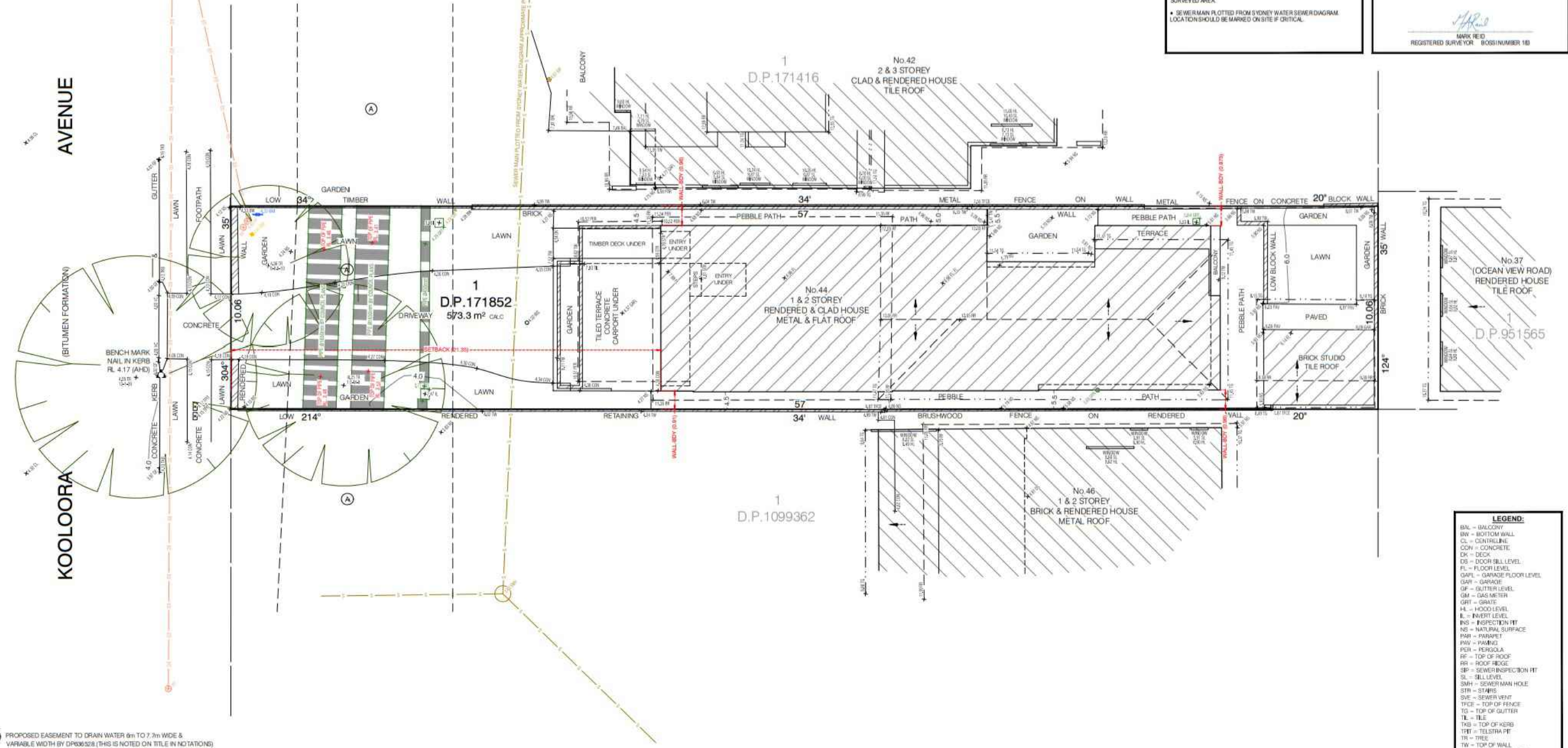
NOTES:

- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED ON THE BUILDING SETOUT
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT
- TREE SIZES ARE ESTIMATES ONLY
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF J.LARGE
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY
- EXCEPT WHERE SHOWN BY DIMENSIONAL LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. BEFORE YOU DIG AUSTRALIA (www.beforeyoudig.au) SHOULD BE USED AND A FULL UTILITY INVESTIGATION INCLUDING A UTILITY LOCATION SURVEY SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL

NOTES:

- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
- CONTOUR INTERVAL - 0.5meters - SPOT LEVELS SHOULD BE ADOPTED
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE)
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN REFERENCE TO SCALE READINGS
- COPYRIGHT © CMS SURVEYORS 2024
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1969
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY
- THIS NOTICE MUST NOT BE ERASED

MARK REID
REGISTERED SURVEYOR BOSSNUMBER 183



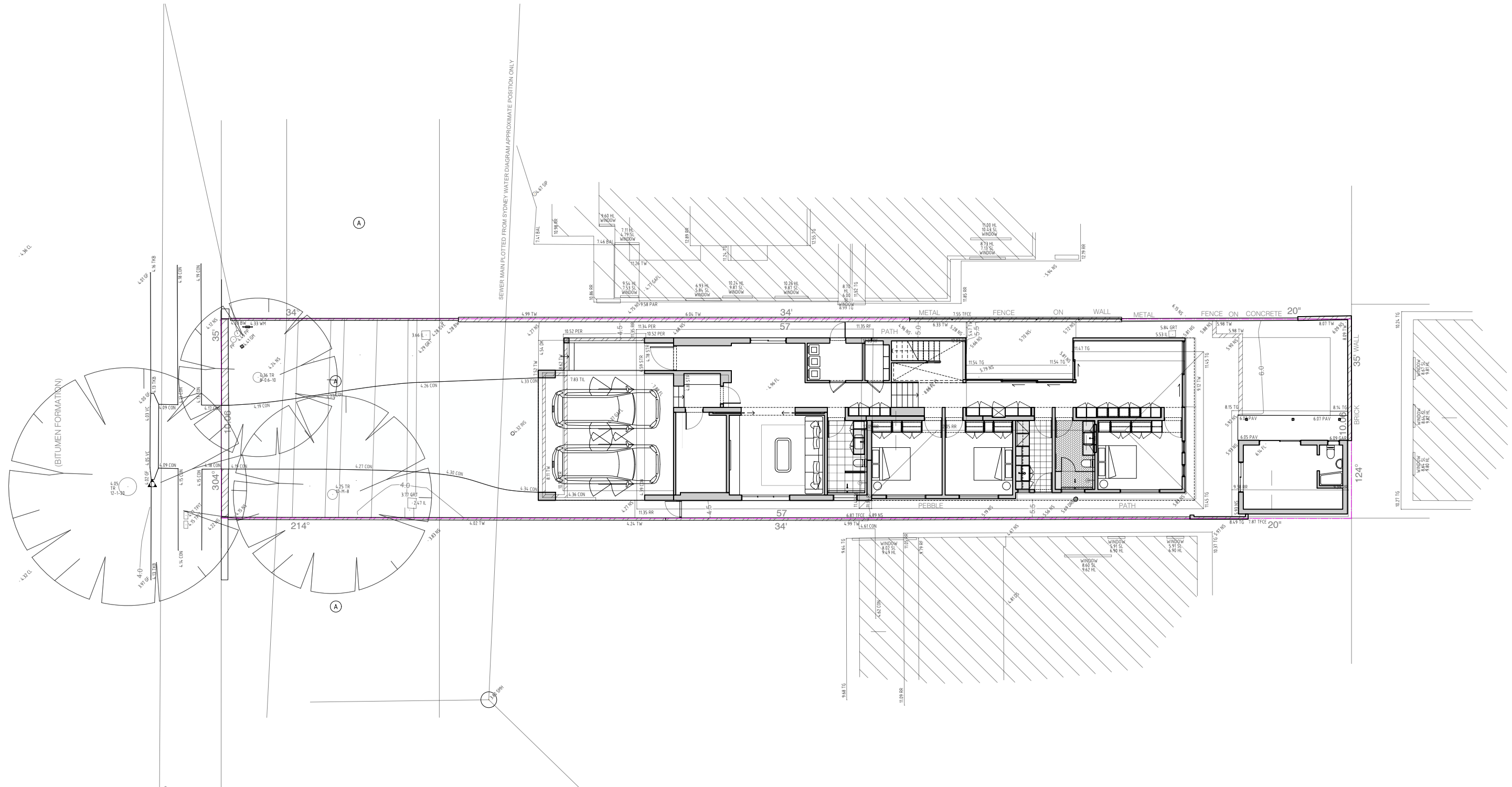
(A) PROPOSED EASEMENT TO DRAIN WATER 6m TO 7.7m WIDE & VARIABLE WIDTH BY DP936328 (THIS IS NOTED ON TITLE IN NOTATIONS)

TITLE INDICATES THAT LOT 1 IN D.P.171852 IS SUBJECT TO:
 - RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
 - AT663522 POSITIVE COVENANT (NOT INVESTIGATED)
 - AT663523 RESTRICTIONS ON THE USE OF LAND

LEGEND:

- BLK - BALCONY
- BW - BOTTOM WALL
- CL - CENTRELINE
- CON - CONCRETE
- DK - DECK
- DS - DOOR SILL LEVEL
- FL - FLOOR LEVEL
- GAR - GARAGE FLOOR LEVEL
- GAR - GARAGE
- GF - GUTTER LEVEL
- GM - GAS METER
- GRT - GRATE
- HL - HOOD LEVEL
- IL - INSET LEVEL
- INS - INSPECTION PIT
- NS - NATURAL SURFACE
- PAR - PARAPET
- PAN - PANING
- PER - PERGOLA
- RF - TOP OF ROOF
- RR - ROOF RIDGE
- SIP - SEWER INSPECTION PIT
- SL - SILL LEVEL
- SM - SEWER MAIN HOLE
- STR - STAIRS
- SVE - SEWER VENT
- TFE - TOP OF FENCE
- TG - TOP OF GUTTER
- TL - TILE
- TND - TOP OF NDS
- TTF - TELLSTRA PIT
- TR - TREE
- TW - TOP OF WALL
- VC - VEHICLE CROSSING
- WM - WATER METER
- EO - ELECTRICITY OVERHEAD
- UG - SEWER UNDERGROUND
- TR - TREE
- SPREAD-DIAMETER-HEIGHT
- M - MULTIPLE TRUNKS

HORIZONTAL DATUM: CO-ORDINATE SYSTEM: ASSUMED MARKS ADOPTED: N/A VERTICAL DATUM: DATUM: AUSTRALIAN HEIGHT DATUM (AHD) B.M. ADOPTED: SIM 772 R.L. 4.254 (ORDER L2) SOURCE: S.C.I.M.S. (7/02/2019)			CLIENT: J.LARGE	BOUNDARY IDENTIFICATION AND DETAIL & LEVEL SURVEY OVER LOT 1 IN DP171852 No.44 KOOLOORA AVENUE FRESHWATER, NSW, 2096	CMS SURVEYORS PTY LTD ACN 096 240 201 PO Box 463 Dee Why, NSW, 2099 2/95A South Creek Road, Dee Why, NSW, 2099 (02) 9971 4802 info@cmsurveyors.com.au www.cmsurveyors.com.au	SURVEYED HH	DRAWN GP	CHECKED HH	APPROVED MR
			LGA: NORTHERN BEACHES			SURVEY INSTRUCTION 18354E	SCALE 1:100@A1	DATE OF SURVEY 1/08/2024	DRAWING NAME 18354Edetail



GROUND FLOOR PLAN



emma macindoe
 interior design
 0413069379 emmacdesigns@gmail.com

EXTERNAL FENCING AND CARPORT
 CLIENT JOSH LARGE

TITLE EXISTING GROUND FLOOR PLAN
 ADDRESS 44 KOOLOORA AVENUE, FRESHWATER NSW

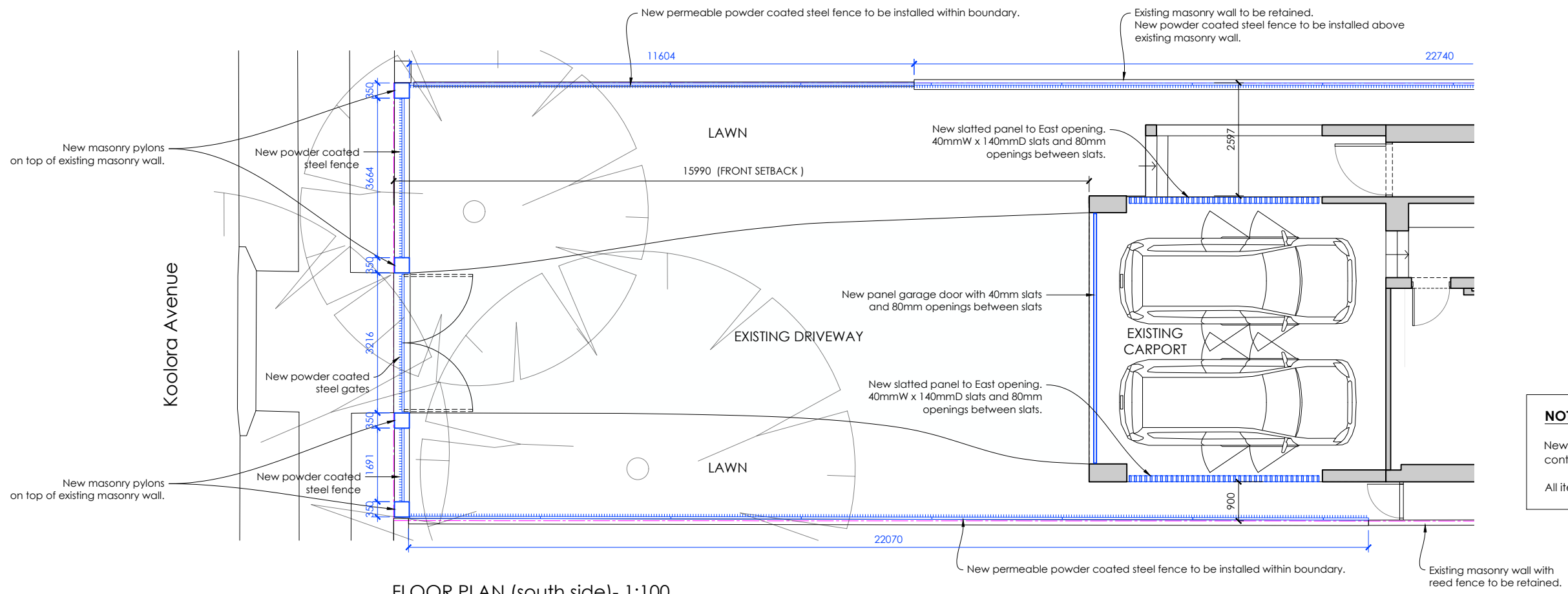
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DEVELOPMENT APPLICATION

DRAWING
C03

ISSUE 1.2
 DATE 03/10/2024

SCALE 1:200 @ A3
 1:100 @ A1
 DRAWN BY F.G.R.

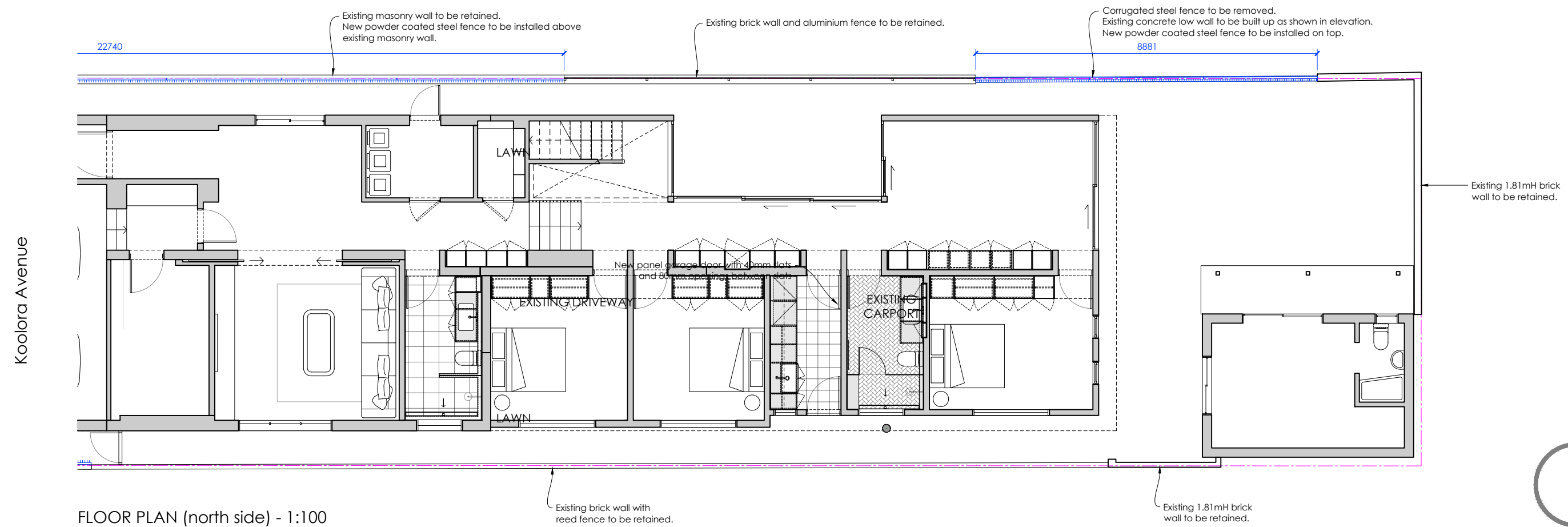


FLOOR PLAN (south side)- 1:100

NOTES

New slatted walls to carport must comply with flood control regulations to allow flood water through.

All items in **BLUE** indicate new fencing or screens.



FLOOR PLAN (north side) - 1:100



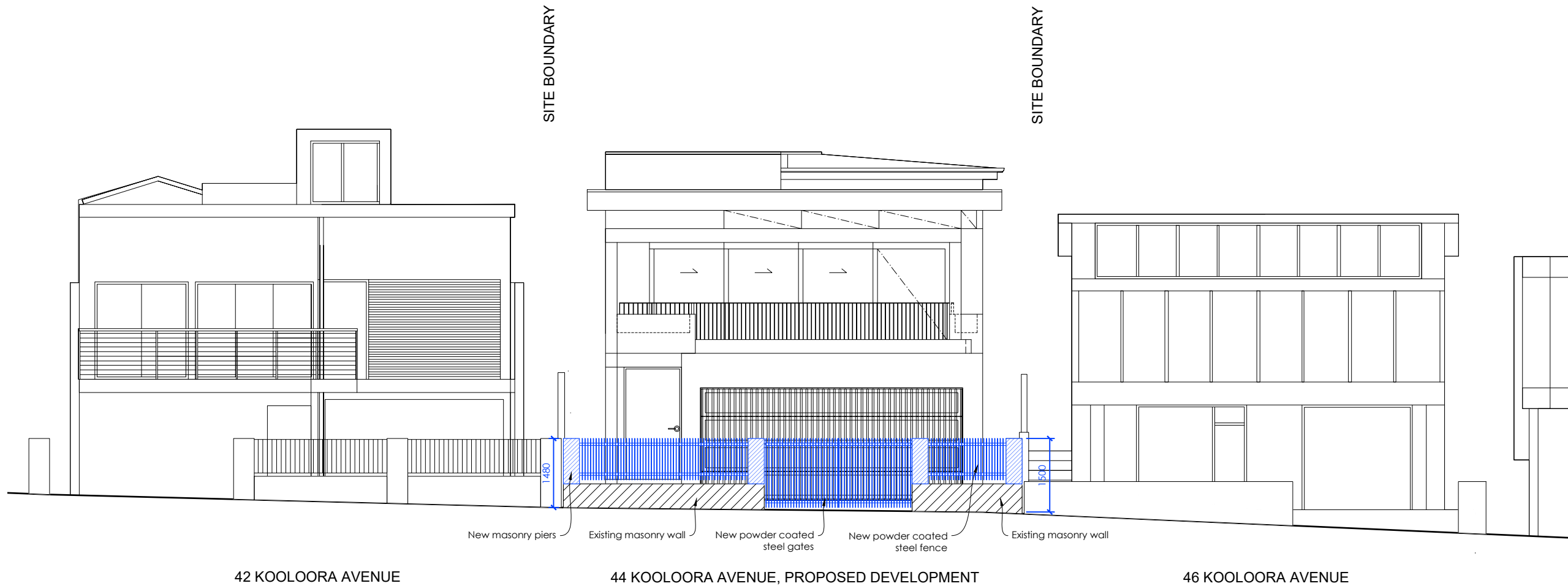
emma macindoe
interior design
0413069379 emmamacdsgns@gmail.com

EXTERNAL FENCING AND CARPORT	TITLE PROPOSED FLOOR PLAN
CLIENT JOSH LARGE	ADDRESS 44 KOOLOORA AVENUE, FRESHWATER NSW

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DEVELOPMENT APPLICATION

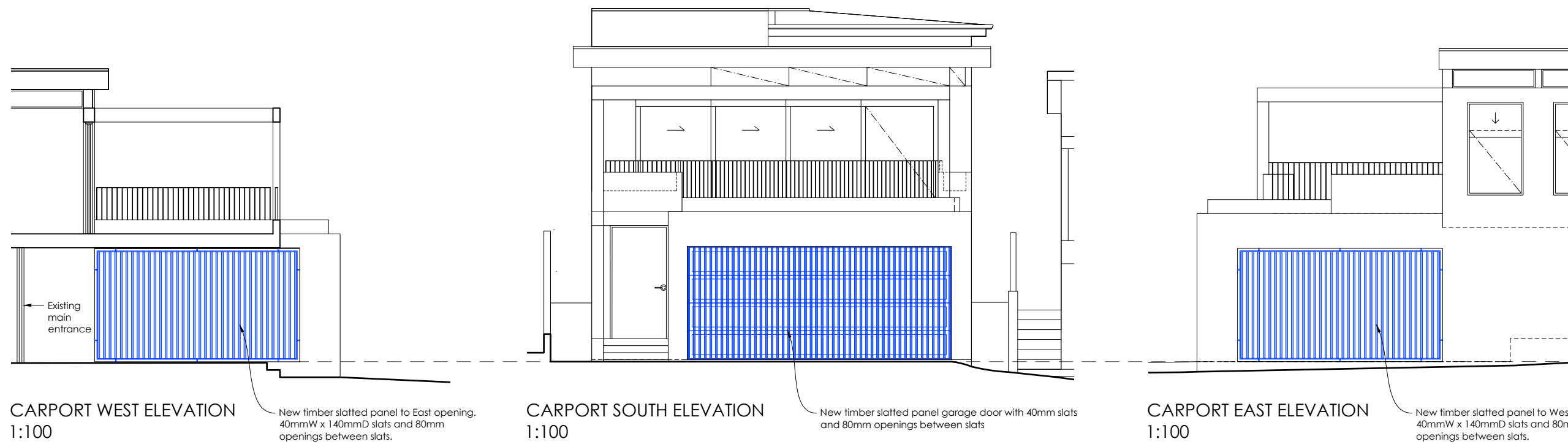
DRAWING A01	ISSUE 1.2	SCALE 1:200 @ A3 1:100 @ A1
	DATE 03/10/2024	DRAWN BY F.G.R.



NOTES

New slatted walls to carport must comply with flood control regulations to allow flood water through.

All items in **BLUE** indicate new fencing or screens to existing house.



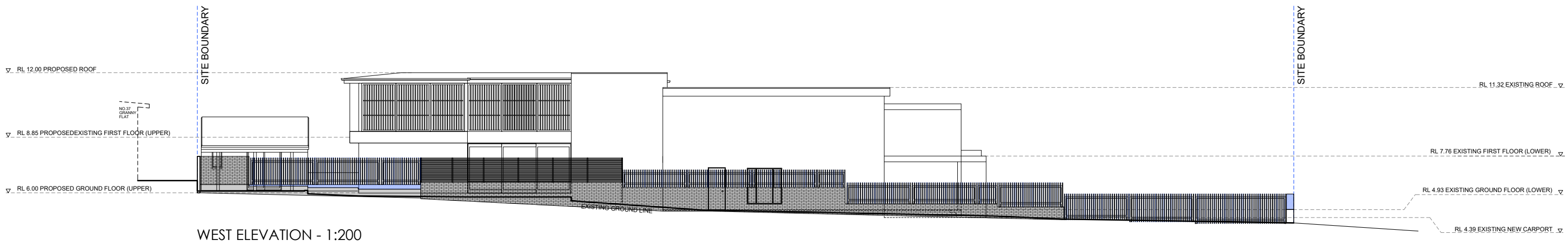
emma macindoe
interior design
0413069379 emmacdesigns@gmail.com

EXTERNAL FENCING AND CARPORT	TITLE CARPORT & FRONT ELEVATION
CLIENT JOSH LARGE	ADDRESS 44 KOOLOORA AVENUE, FRESHWATER NSW

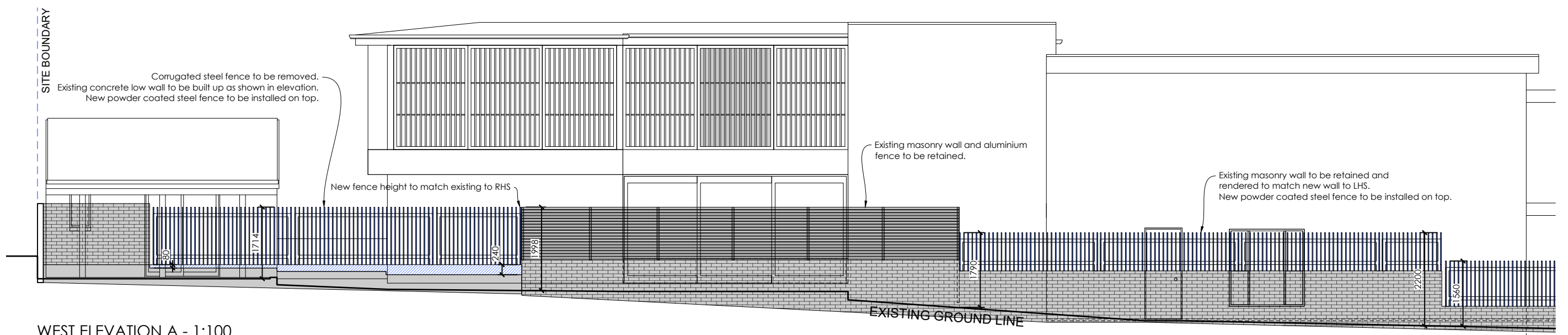
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DEVELOPMENT
APPLICATION

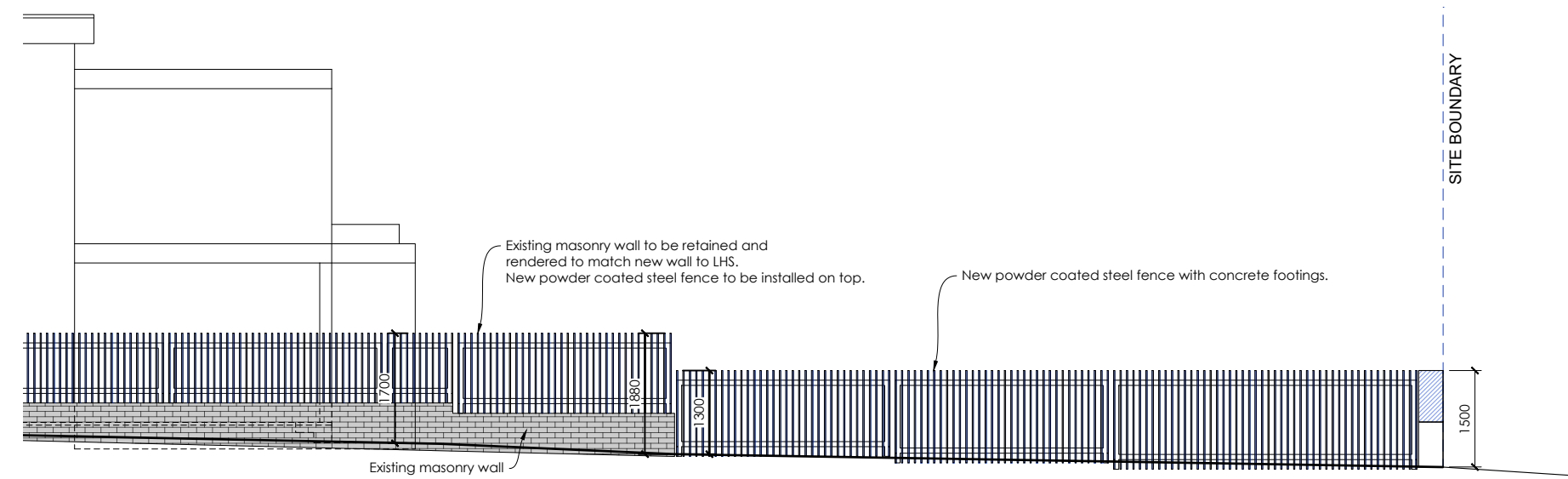
DRAWING A02	ISSUE 1.2	SCALE 1:200 @ A3 1:100 @ A1
	DATE 03/10/2024	DRAWN BY F.G.R.



WEST ELEVATION - 1:200



WEST ELEVATION A - 1:100



WEST ELEVATION B - 1:100

LEGEND

	NEW PROPOSED WALL AND/OR FENCE
	EXISTING WALL AND/OR FENCE TO RETAIN (MAKE GOOD WHERE REQUIRED)

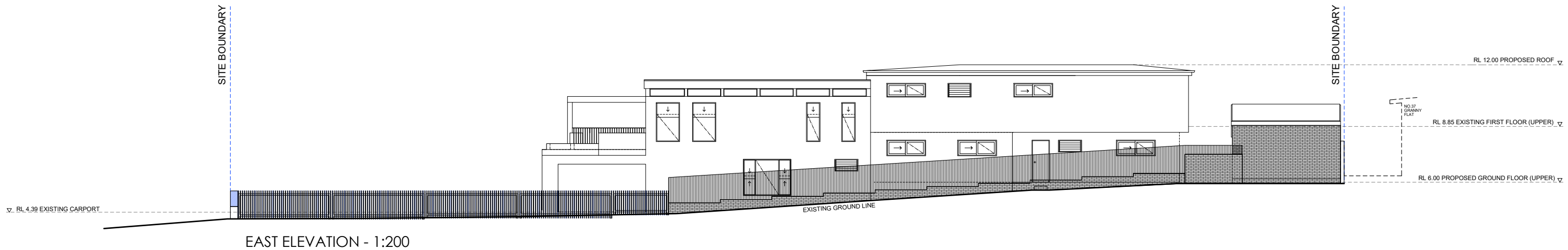
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0413069379 emmamacdsgns@gmail.com

EXTERNAL FENCING AND CARPORT	TITLE WEST ELEVATION
CLIENT JOSH LARGE	ADDRESS 44 KOOLOORA AVENUE, FRESHWATER NSW

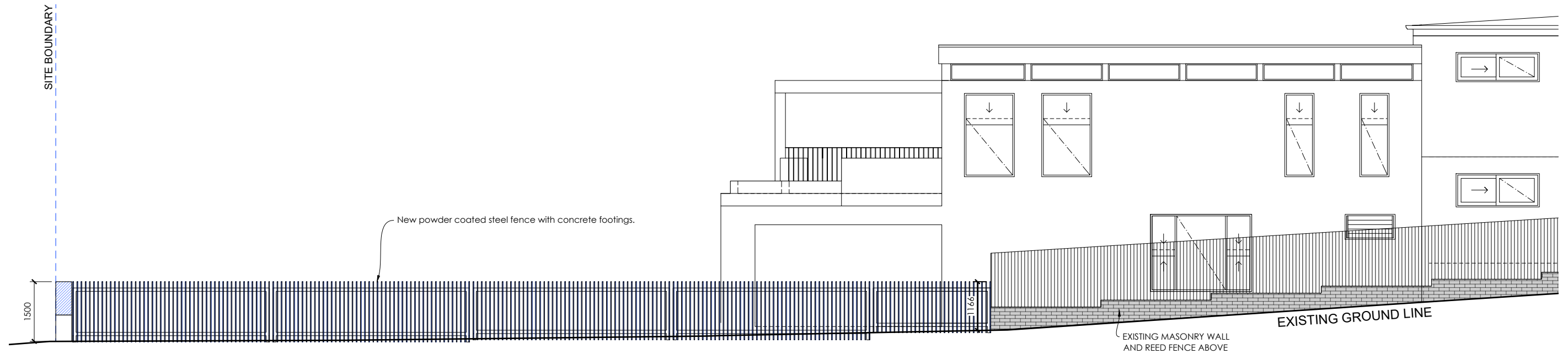
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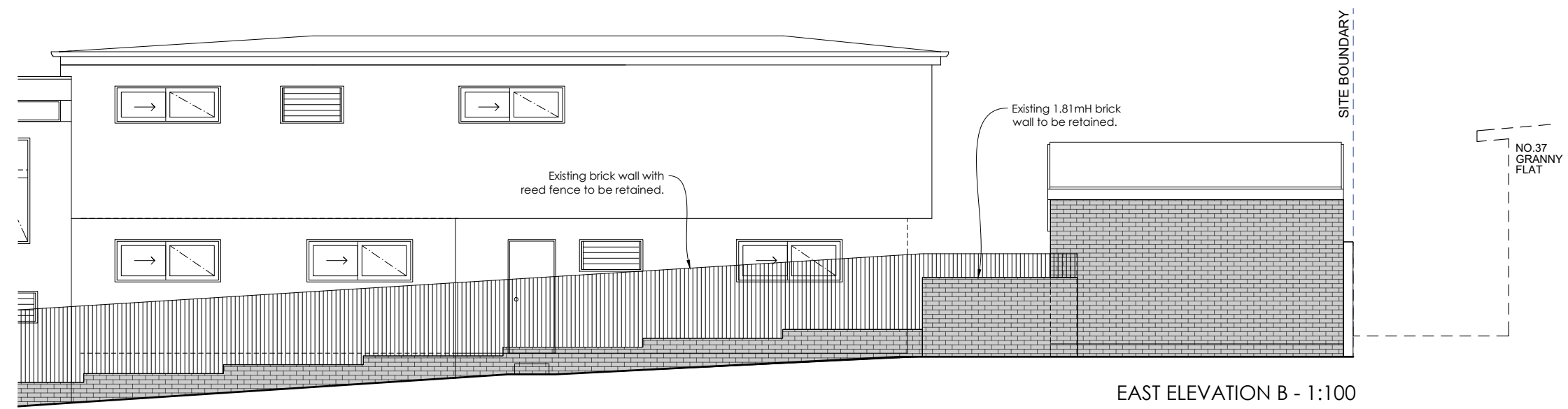
DRAWING A03	ISSUE 1.2	SCALE 1:200 @ A3 1:100 @ A1
	DATE 03/10/2024	DRAWN BY F.G.R.



EAST ELEVATION - 1:200



EAST ELEVATION A - 1:100



EAST ELEVATION B - 1:100

