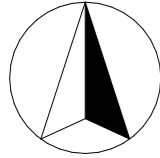




DEVELOPMENT APPLICATION

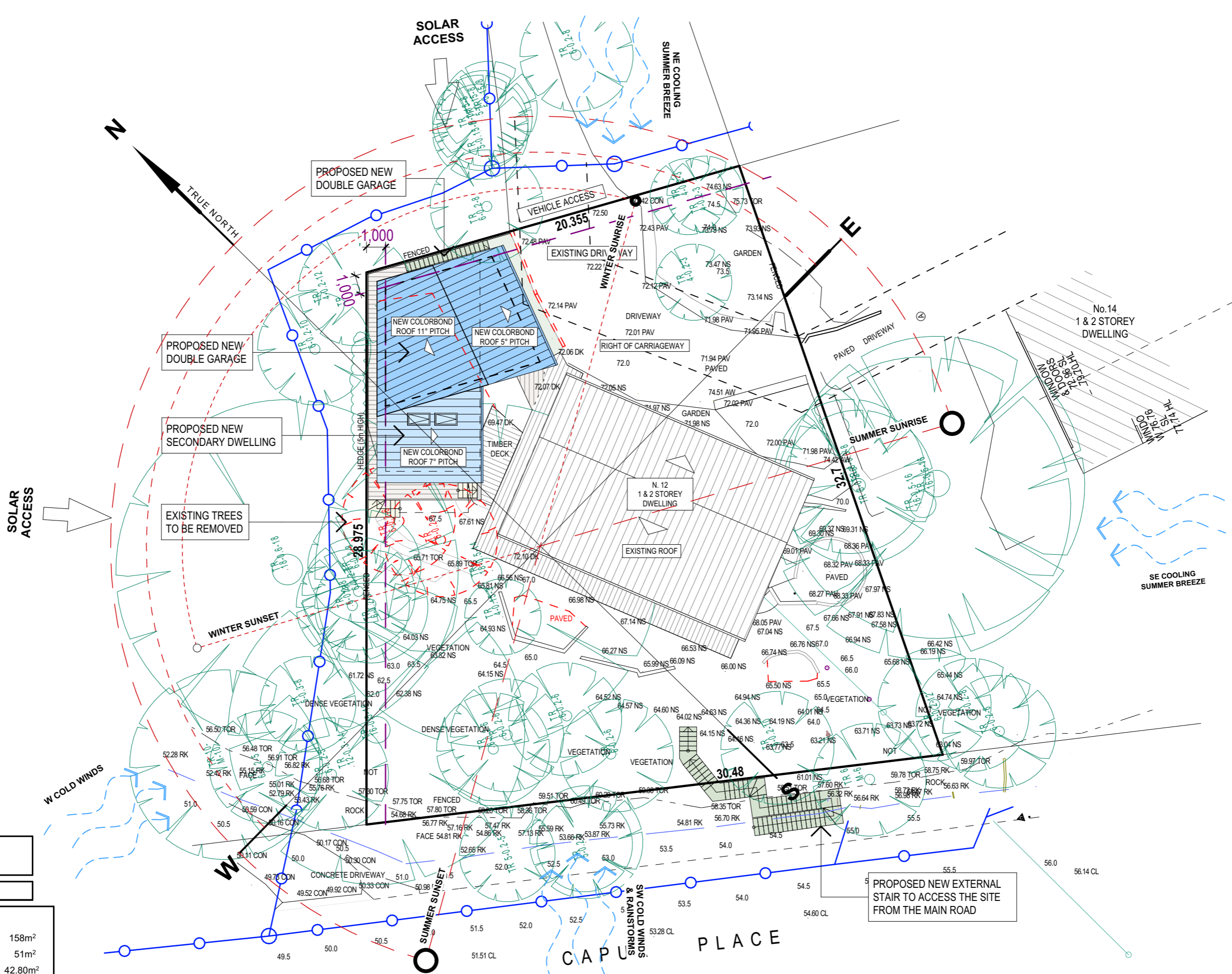
12 CAPUA PLACE - AVALON



PAGE	DRAWING TITLE
DA.00	COVER PAGE
DA.01	SITE ANALYSIS PLAN
DA.02	GARAGE FLOOR PLAN
DA.03	SECONDARY DWELLING FLOOR PLAN
DA.04	EAST AND SOUTH ELEVATIONS
DA.05	WEST AND NORTH ELEVATIONS
DA.06	SECTION / SPECIFICATIONS
DA.07	SECTIONS BB; G1, G2 & G3
DA.08	LANDSCAPED AREA CALCULATION PLAN
DA.09	ROOF & STORMWATER CONCEPT PLAN
DA.10	EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN
DA.11	SHADOW DIAGRAM JUNE 21 9:00 am
DA.12	SHADOW DIAGRAM JUNE 21 12 noon
DA.13	SHADOW DIAGRAM JUNE 21 3:00 pm



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SITE ANALYSIS PLAN

LOT	2
DP	528345
SITE AREA = 770.60 m²	
AREA CALCULATIONS	
APPROX. EXISTING GROSS FLOOR AREA	158m ²
PROPOSED NEW SECONDARY DWELLING	51m ²
PROPOSED NEW DOUBLE GARAGE	42.80m ²

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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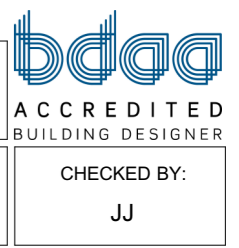
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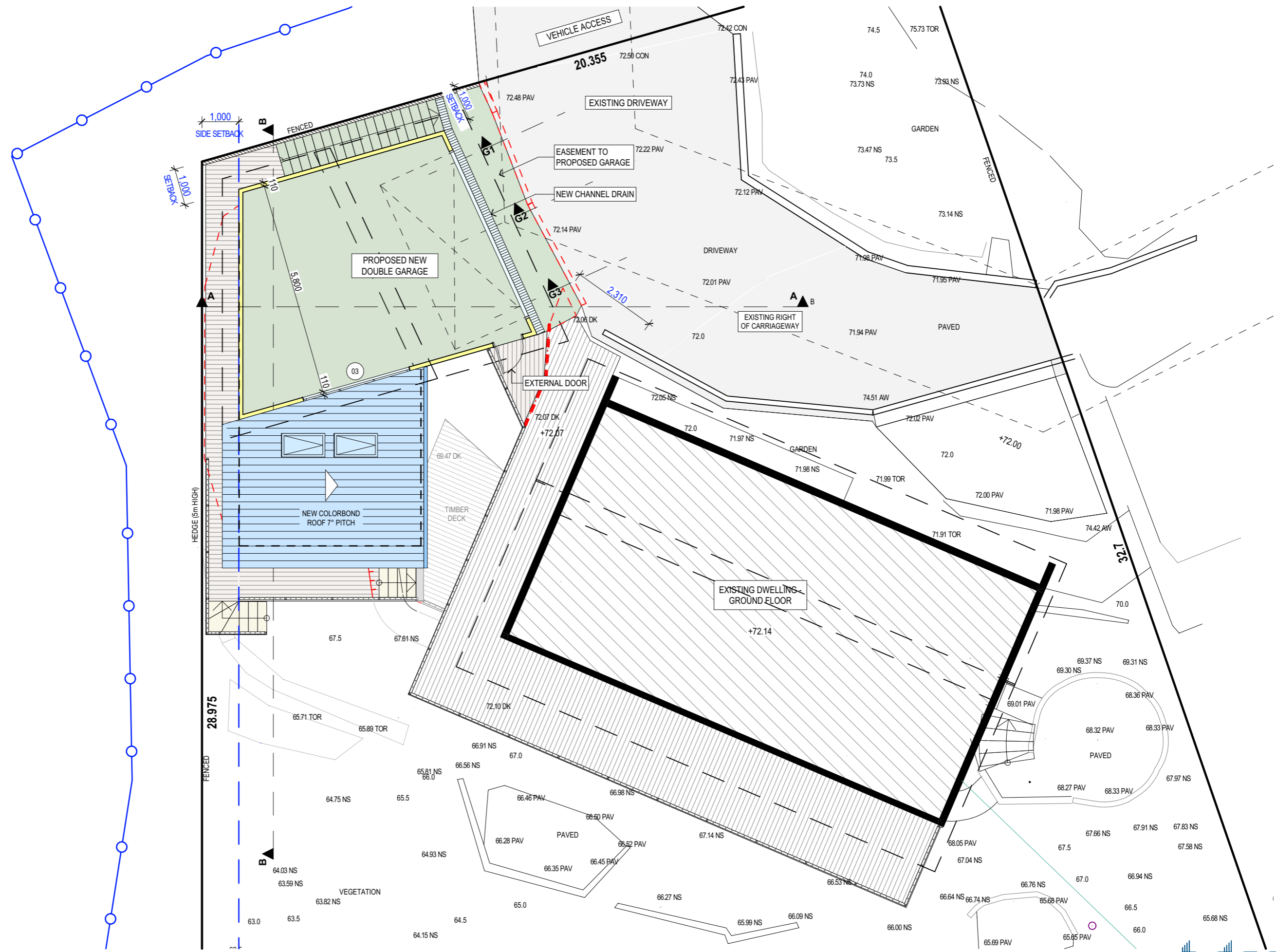
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CLIENT:
 Bernhard & Barbara
DRAWING TITLE:
 SITE ANALYSIS PLAN

JOB No:
 1267/24

DRAWN BY:
 LB
DATE:
 JULY/24

SCALE:
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DA.01





GARAGE FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	42.80

TRUE NORTH:

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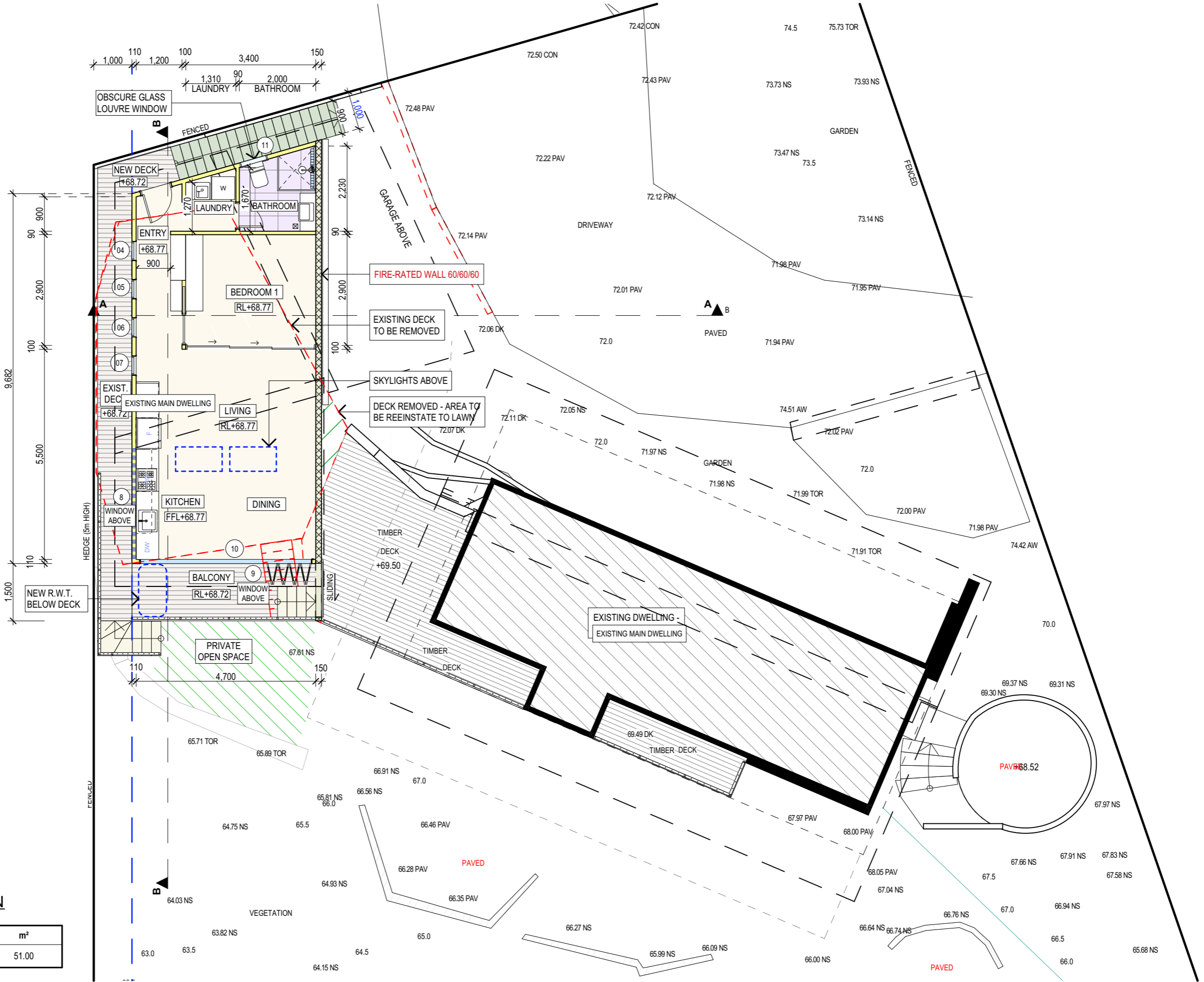
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GARAGE FLOOR PLAN

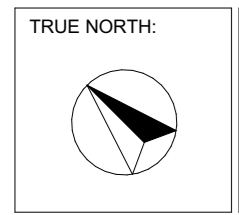
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GRANNY FLAT FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - SECONDARY DWELLING	51.00



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
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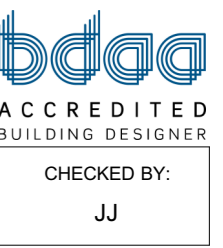
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 DRAWING TITLE:
 SECONDARY DWELLING FLOOR PLAN

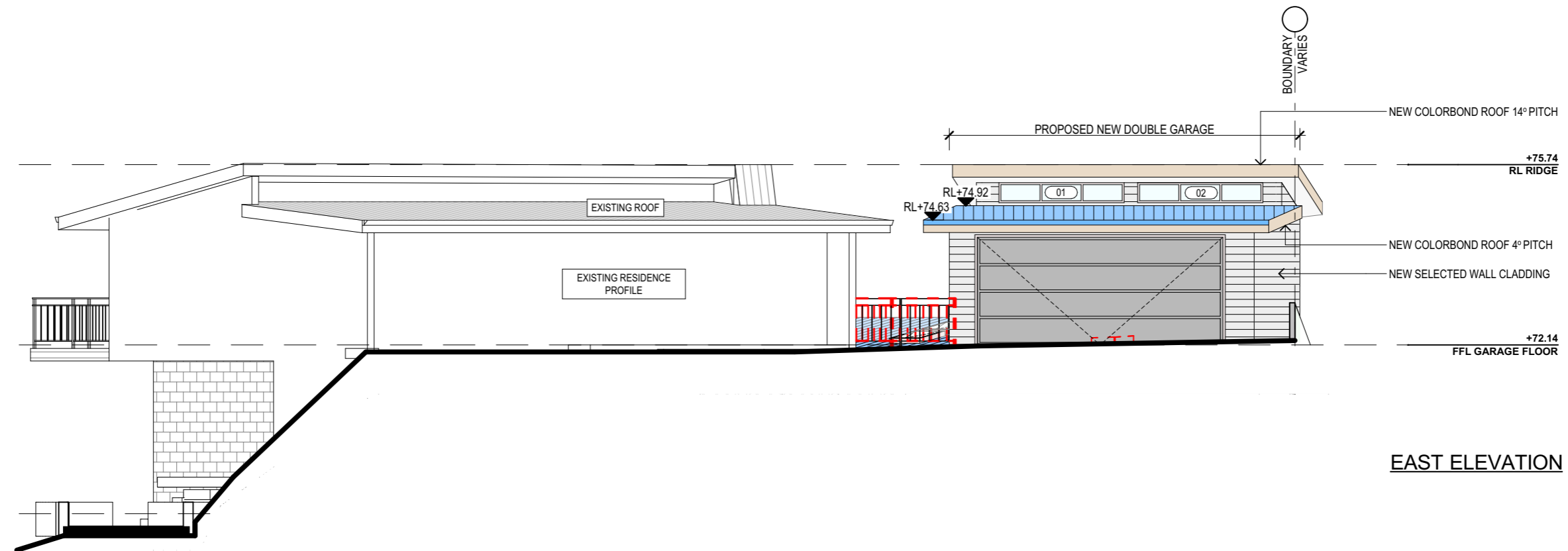
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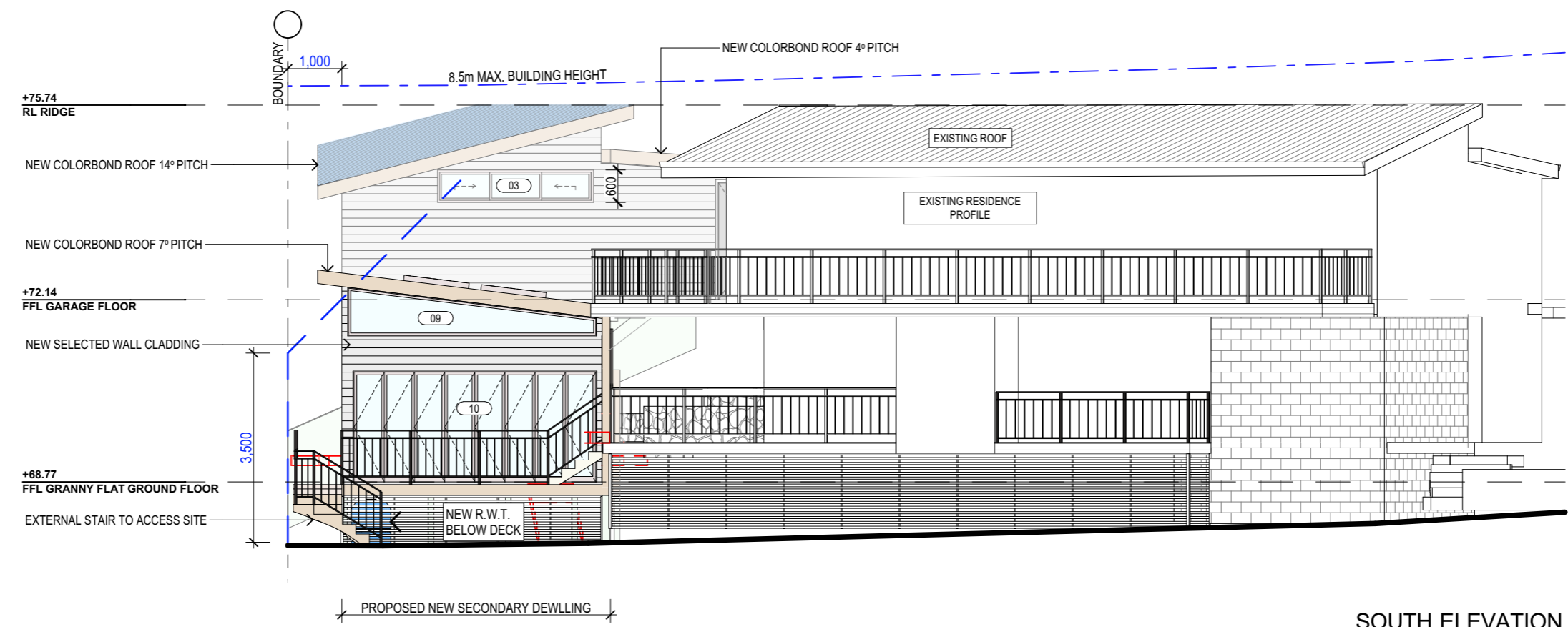
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EAST ELEVATION



SOUTH ELEVATION

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
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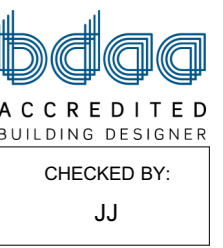
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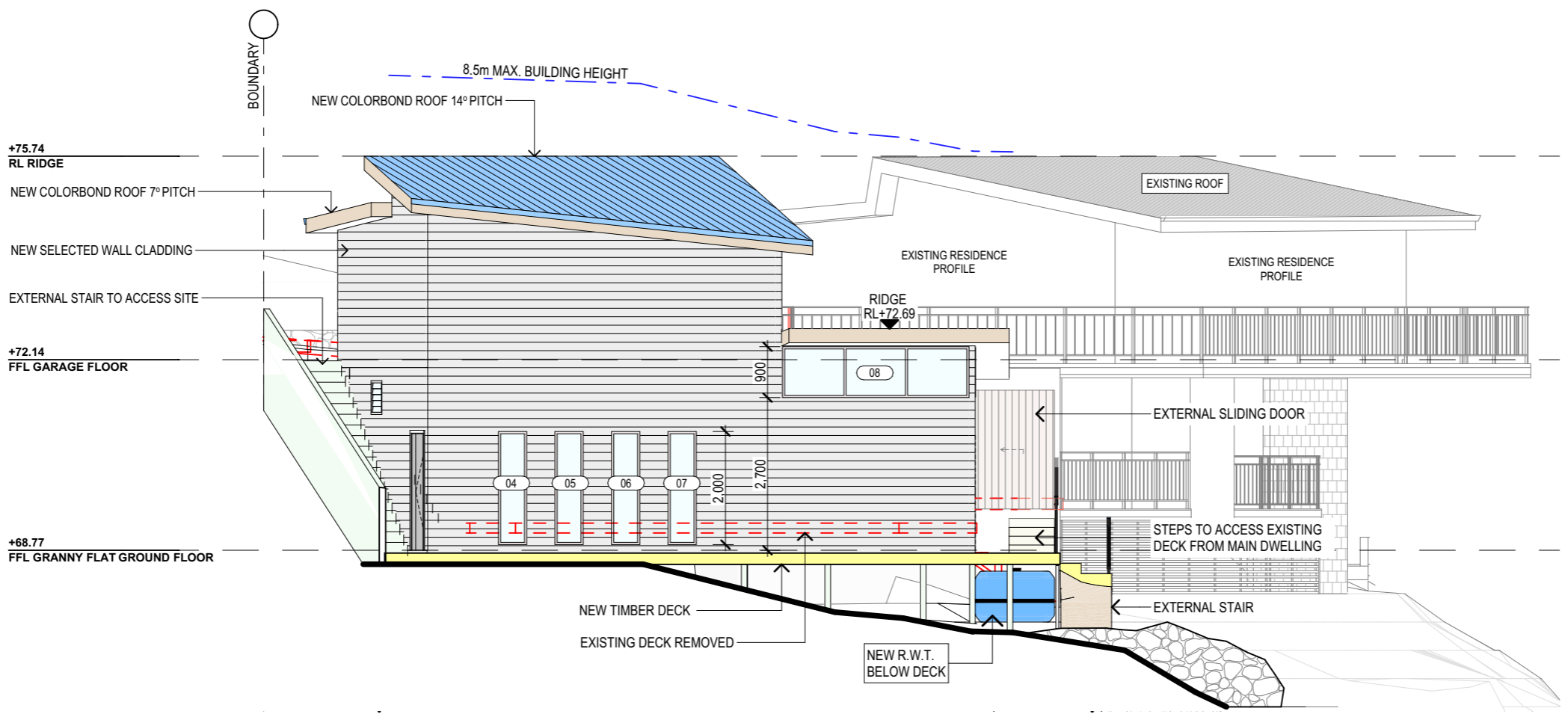
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 EAST AND SOUTH ELEVATIONS

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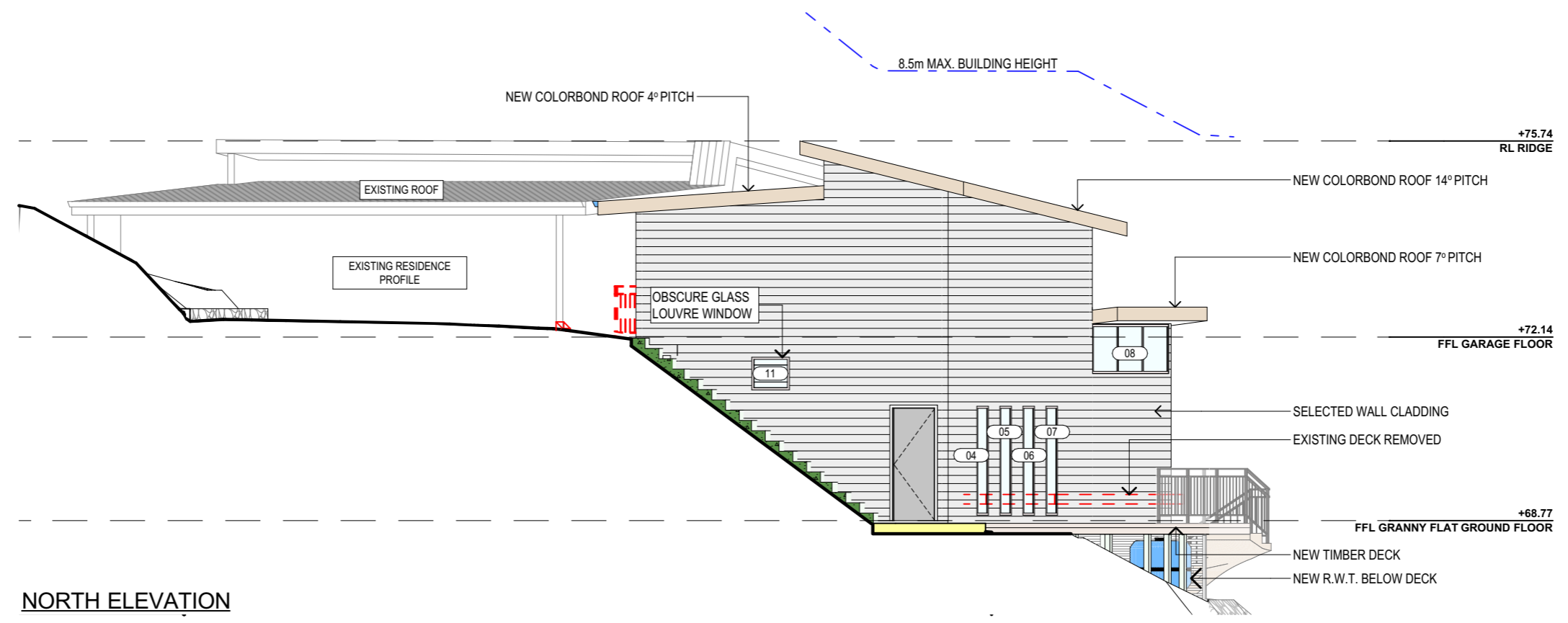
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DA.04





WEST ELEVATION



NORTH ELEVATION

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
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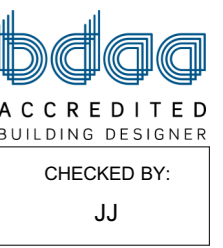
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SPECIFICATION NOTES

INTERNAL LINING

- PROVIDE PLASTERBOARD LINING.
- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

EXTERNAL WALLS:

- BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.
- ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 - ABCB HOUSING PROVISIONS PART 7, AS1684 AND ALL RELEVANT CODEMARK CERTIFICATES.
- ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 H1D7 & AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

CONDENSATION MANAGEMENT:

- CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 - HOUSING PROVISIONS PART 10.8.

FLOOR:

- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.
- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

WET AREAS:

- ALL WATERPROOFING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- WATERPROOF INSTALLATION NCC (2022): HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4654 WATERPROOF MEMBRANES FOR EXTERNAL USE.

BEARERS AND JOISTS:

- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:

- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

PROFILED STEEL ROOF:

- COLORBOND ROOF CLADDING
- METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 7, AS 1562.

ROOF TILES OR SHINGLES:

- NCC 2022 - ABCB HOUSING PROVISIONS PART 7.3.

CONCRETE:

- SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 4.2.10.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

BRICK AND BLOCKWORK:

- MASONRY STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5 & AS 3700 MASONRY STRUCTURES.

FOOTINGS:

- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS H1D4
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.
- RESIDENTIAL SLABS, FOOTINGS AND CONCRETE STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3 & 4, AS 2870 RESIDENTIAL SLABS AND FOOTING & AS 3600 CONCRETE STRUCTURES.

CARPENTRY:

- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.
- TERMITE MANAGEMENT INSTALLATION OF PERIMETER & COLLARS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3.4 & AS 3660.1 TERMITE MANAGEMENT - NEW BUILDING WORK.

TIMBER FRAMING:

- ALL EXTERNAL TIMBER FRAMED WALLS TO BE WRAPPED IN A BREATHABLE VAPOUR PERMEABLE MEMBRANE IN ACCORDANCE WITH NCC VOL.2 PART H1D6, INSTALLED WITH AS/NZS 4200.1 & AS/NZS 4200.2.
- TIMBER FRAMING INSTALLATION TO NCC 2022 - VOL.2 PART HAD6(4), AS 1684.4 RESIDENTIAL TIMBER FRAMED CONSTRUCTION & AS/NZS 1170 STRUCTURAL DESIGN ACTIONS.
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC 2022 - ABCB HOUSING PRIVIONS PART 6.2
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

STEEL FRAMING:

- ALL STEEL FRAMING TO NCC 2022 - VOL.2 PARTH1D6(3), AS 4100 STEEL STRUCTURES, AS/ NZS 4600 COLD-FORMED STEEL STRUCTURES & NASH STANDARD.

TERMITE CONTROL:

- TO BE IN ACCORDANCE WITH TO AS3660.1
- SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISION PART 3.4

FLASHING AND CAPPINGS:

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.
- DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 - VOL.2 PART H2 & AS/NZS 2904 DAMP-PROOF COURSES AND FLASHINGS.

CONCRETE BLOCKS OR BRICKS:

- TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.

LIGHTING:

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

DOORS & WINDOWS:

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- ALL WINDOWS ARE TO BE RESTRICTED IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 11.3.7 & PART 11.3.8 PROTECTION OF OPENABLE WINDOWS WHERE SURFACE BELOW IS MORE THAN 2M.
- PROVIDE LIFT-OFF HINGES WHERE THE TOILET PAN IS WITHIN 1.2 METRES OF THE HINGED SIDE OF THE DOOR IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 10.4.

STAIRS, HANDRAILS AND BALUSTRADES:

- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER THAN 125mm.
- ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208

SLIP RESISTANCE:

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.
- ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 11, AS 4586 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET.

STORMWATER:

EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES

- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.
- IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

GLAZING:

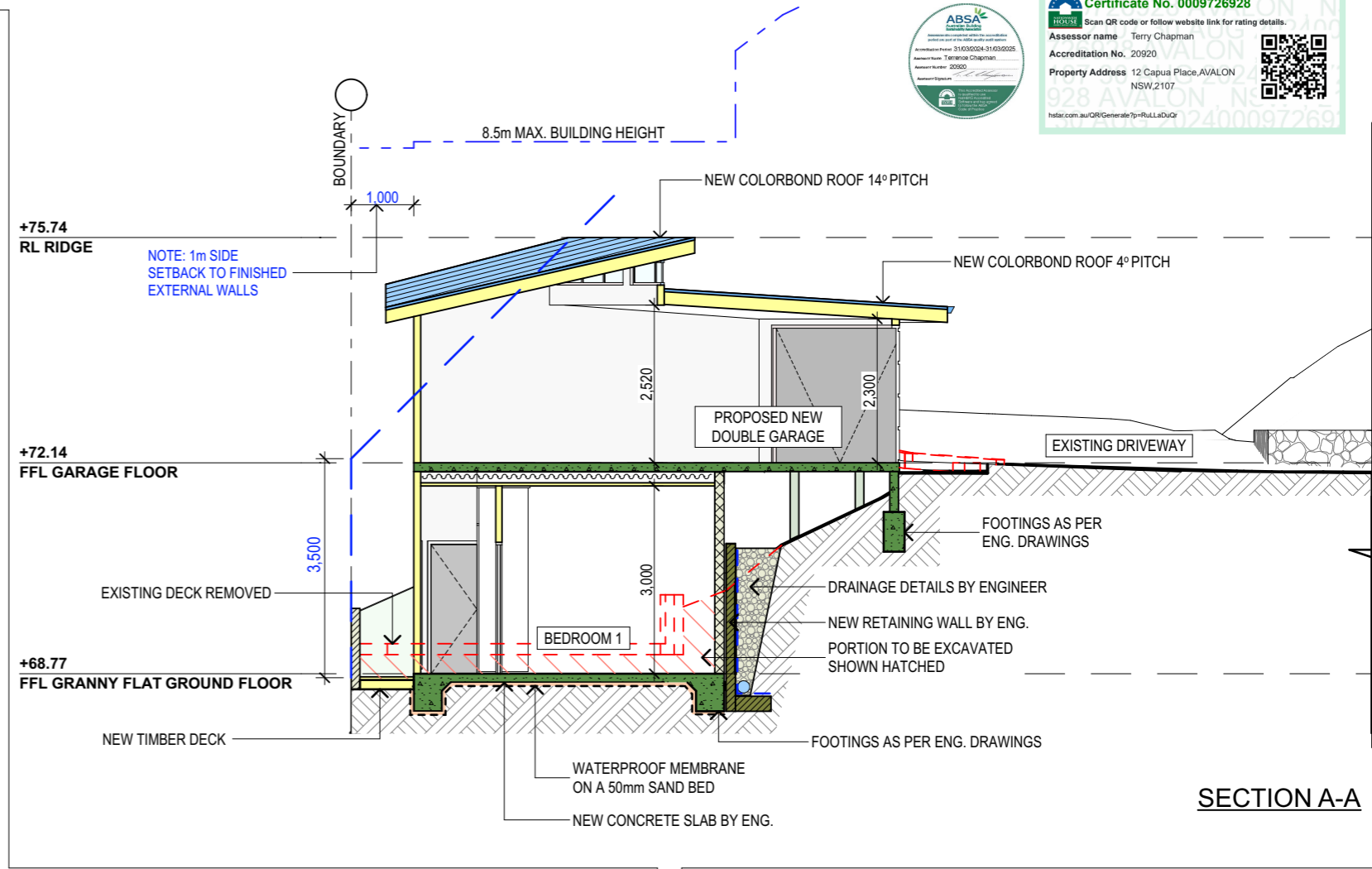
- NCC VOL2 PART H1D8, ABCB HOUSING PROVISIONS PART 8.3
- ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 - ABCB HOUSING PROVISIONS PART 8, AS 1288 & AS/NZS 2208.
- GLASS BALUSTRADE INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS.
- SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 8, AS 1288 & AS/NZS 2208.
- GLASS BALUSTRADE INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS.

WATERPROOFING FOR EXTERNAL TILED BALCONIES:

- WATERPROOFING TO COMPLY WITH AS4654
- ALL WATERPROOFING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

WASTE MANAGEMENT:

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.



FIRE SAFETY, SMOKE DETECTORS/ALARMS:

- PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 - ABCB HOUSING PROVISIONS PART 9.5, NSW 9.5.1 & AS 3786.
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
- FIRE SEPARATING WALL, A WALL WITHIN 900MM OF BOUNDARY INSTALLATION CERTIFICATE (FRL60/60/60) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 - ABCB HOUSING PROVISIONS PART 9 & PART 10.7, AS 1530 ALL PARTS.
- BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING - NCC 2022 - VOL. 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3959 CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019.

SEDIMENT CONTROL:

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM..

SWIMMING POOLS & SAFETY:

- POOL PLUMBING/CIRCULATION TO COMPLY WITH NCC 2022 PART NSW H7D2, AS 1926.3 SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS
- ALL POOL FENCING TO BE INSTALLED TO: NCC 2022 NSW H7D2, AS 1926.1 - 2012 - SAFETY BARRIERS FOR SWIMMING POOLS, AS 1926.2 - 2007 - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS, AS 1170 STRUCTURAL DESIGN ACTIONS AND IF GLASS POOL FENCING TO ADDITIONALLY COMPLY WITH AS 1288 - 2021 GLASS IN BUILDINGS, AS/NZS 2208 - SAFETY GLASS, - AS 2783 USE OF REINFORCED CONCRETE FOR SMALL SWIMMING POOLS

MISCELLANEOUS ITEMS:

- ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 10.4.
- GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 12.4, AS/NZS 5601 GAS INSTALLATIONS.

NOTE:

- ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.**

BASIX REQUIREMENT:

Secondary Dwelling		Basix Requirements Summary		CES CHAPMAN	
12 Capua Place Avalon		Prepared by Chapman Environmental Services www.chapmanenv.com.au 1300 004 914			
Water Target	40	Water Score	48		
Energy Target	68	Energy Score	68		
Max H & C Loads are (MJ/m²)	30	Actual H & C Loads are (MJ/m²)	29.9	Star Rating	7
Basix Commitments					
Landscaping	Total area of garden & lawn (m²)	50	Area of indigenous/low water use plants (m²)	0	
Fixtures	Shower heads	4 star (> 4.5 but <= 6 L/min)	Toilets	4 star	All taps 5 star
Alternative Water	Minimum Rainwater tank size (L)	2000	Collect run off from roof area of at least (m²)	54	
	Toilet connection	Yes	Landscape connection	Yes	Pool top up n/a Spa top up n/a
Energy	Hot water system	Gas instantaneous	Rating	6 star	
	Bathroom ventilation	Individual fan, open to facade		Manual switch on/off	
	Kitchen ventilation	Individual fan, ducted to facade or roof		Manual switch on/off	
	Laundry ventilation	Individual fan, open to facade		Manual switch on/off	
	Cooling - living areas	Ceiling fans		n/a	
	Cooling - bedrooms	No active cooling system		n/a	
	Heating - living areas	No active heating system		n/a	
	Heating - bedrooms	No active heating system		n/a	
	Alternate Energy	Photovoltaic system able to generate at least	N/A	peak kilowatts of electricity	
	Gas cooktop & electric oven	Outdoor clothesline required		No indoor clothesline required	
Thermal Performance Assessment Based on the Following Requirements					
Floor Types	Concrete slab on ground	with	R2.3 under slab insulation		
	Suspended concrete slab	with	R2.3 under slab insulation		
Floor Coverings	Tiles	Bathroom	Timber	n/a	
	Carpet	n/a	Concrete	Garage/Living Areas and Bedroom	
External Walls	Timber framed Fibro clad on battens with air gap	with	Sarking and R2.7 bulk insulation	Colour	Dark
	Garage - Timber framed Fibro clad	with	Sarking only	Colour	Dark
	Concrete Block	with	No insulation required		
Internal Walls	Plasterboard	with	R2.7 bulk insulation	Bath internal walls only	
Ceiling (floor over)	Concrete above plasterboard	with	R3.1 under slab insulation		
Ceilings (roof over)	Timber above plasterboard	with	R6.0 bulk insulation		
	Garage - Timber above plasterboard	with	No insulation required		
Roof	Metal	with	R1.3 roof blanket	Colour	Medium
	Garage - Metal	with	Sarking only	Colour	Medium
Windows and Doors	AF single glazed clear	to all windows and glazed doors unless noted otherwise	Louvers	BRZ-006-009-001 U-Value 4.88 or less SHGC 0.46 +/- 5%	
	AF double glazed clear	to all Fixed Windows	Sliding Windows	BRD-044-001-001 U-Value 6.61 or less SHGC 0.68 +/- 5%	
	AF TB double glazed clear	To the Bi-Fold Door	Fixed Glass	AWS-090-029-001 U-Value 1.91 or less SHGC 0.52 +/- 5%	
	AF TB double glazed clear	To the Bi-Fold Door	Bi-Fold Doors	AWS-062-310-001 U-Value 2.37 or less SHGC 0.36 +/- 5%	
	AF - Aluminium Framed	TF - Thermally Broken Aluminium Framed	TF = Timber Framed		
If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent					
Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed					
All insulations specified must be installed in accordance with Part 2.2.2.1 of the BCA					
If there is a discrepancy between this document and the Natethers Certificate, then the Natethers Certificate shall take precedence					
Notes	Ceiling Fan (1400mm) required in the Living Dining Area				

This document to be read in conjunction with the Basix Certificate and Natethers Universal Certificate

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REV:	DATE:	DESCRIPTION:
A	22.07.24	PRELIM. DRAWINGS UPDATED

PROPOSED ALTERATIONS AND ADDITIONS
12 Capua Place - Avalon NSW 2101
CLIENT:
Bernhard & Barbara

DRAWING TITLE:
SECTION / SPECIFICATIONS

JOB No:
1267/24

DRAWN BY:
LB

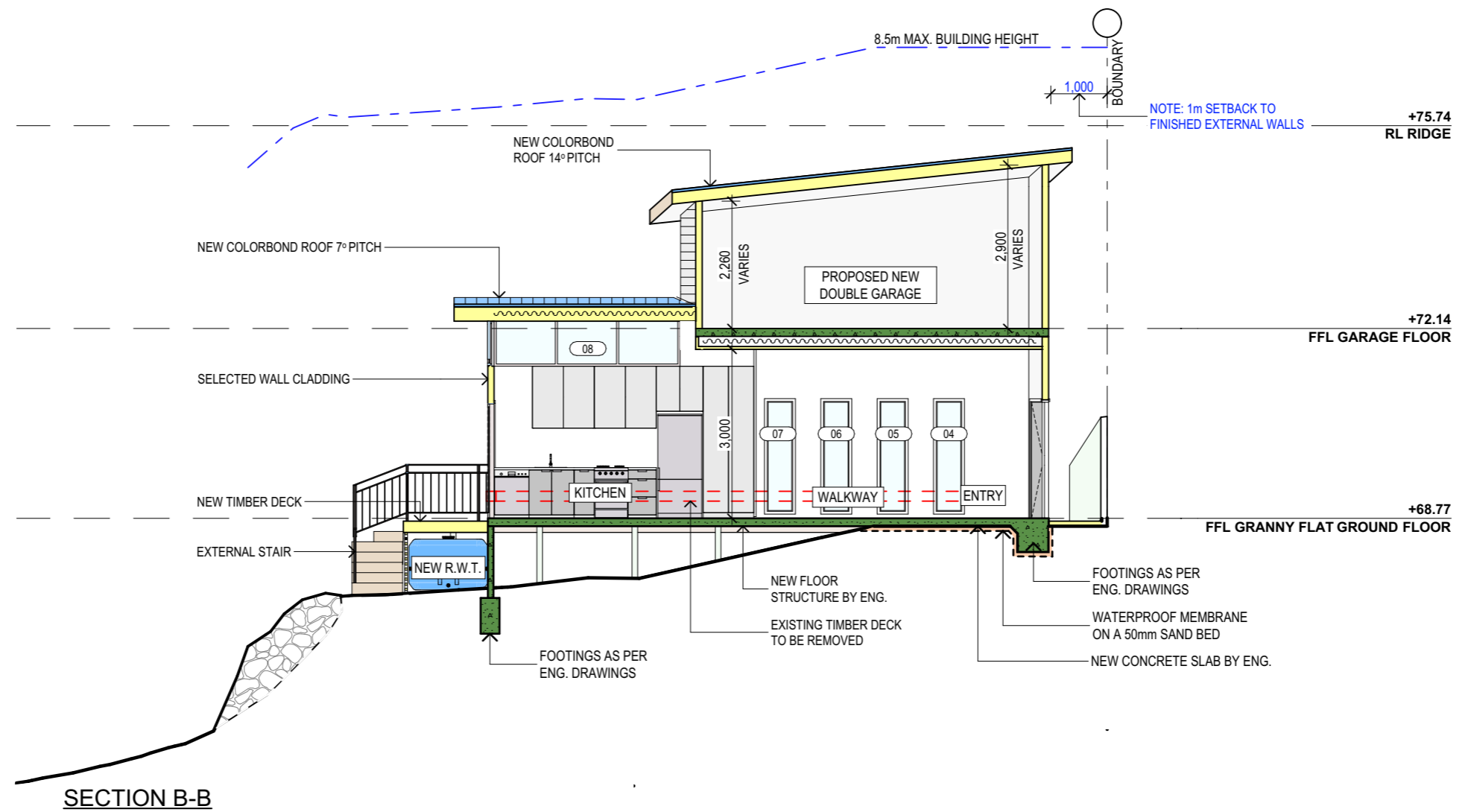
DATE:
JULY/24

SCALE:
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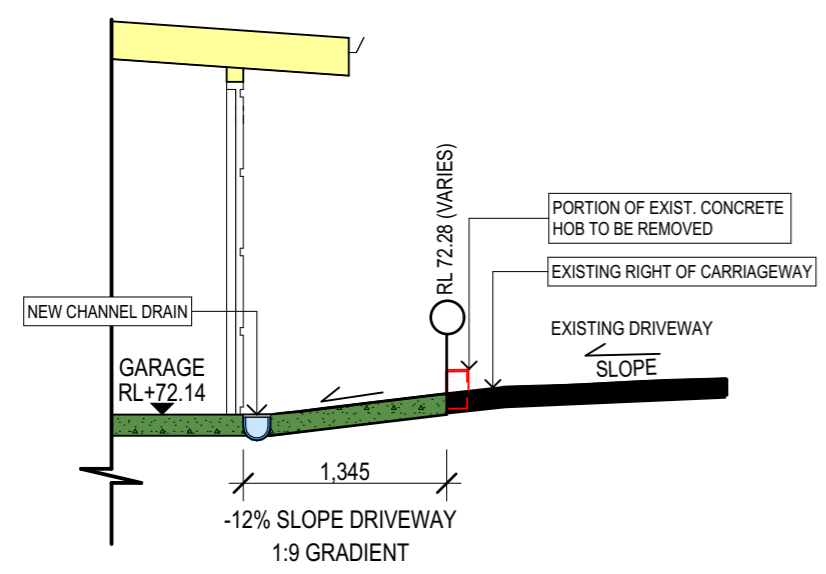
DRAWING No:
DA.06

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BUILDING DESIGNER

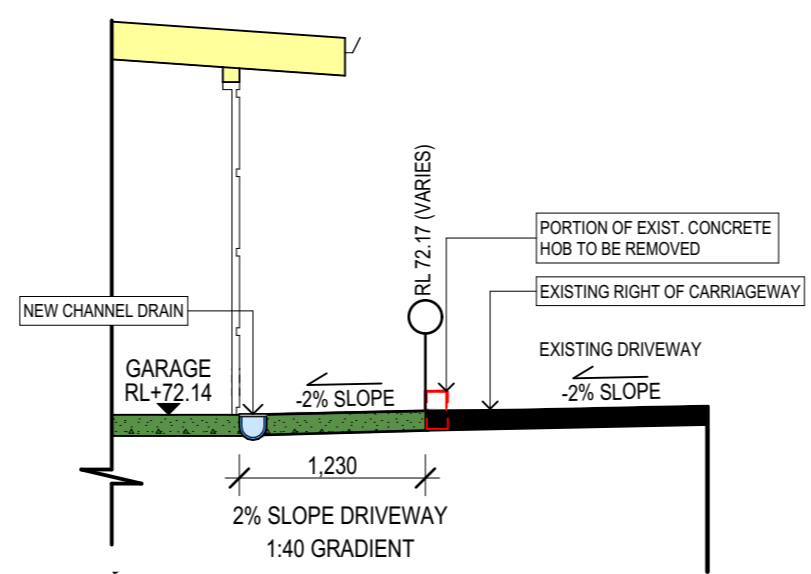
CHECKED BY:
JJ



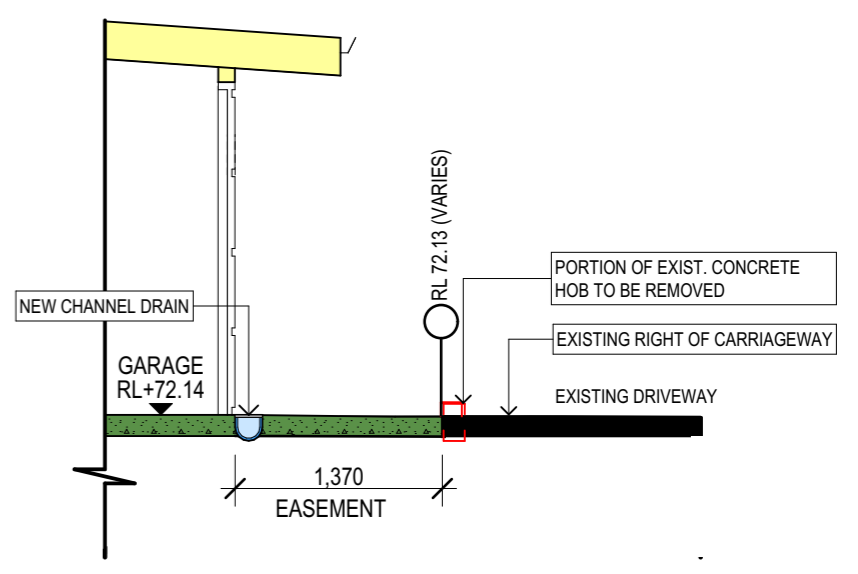
SECTION B-B



GARAGE ACCESS G1



GARAGE ACCESS G2



GARAGE ACCESS G3

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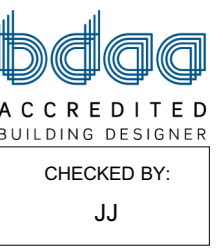
REV:	DATE:	DESCRIPTION:
A	22.07.24	PRELIM. DRAWINGS UPDATED

PROPOSED ALTERATIONS AND ADDITIONS
 12 Capua Place - Avalon NSW 2101
CLIENT:
 Bernhard & Barbara
DRAWING TITLE:
 SECTIONS BB; G1, G2 & G3

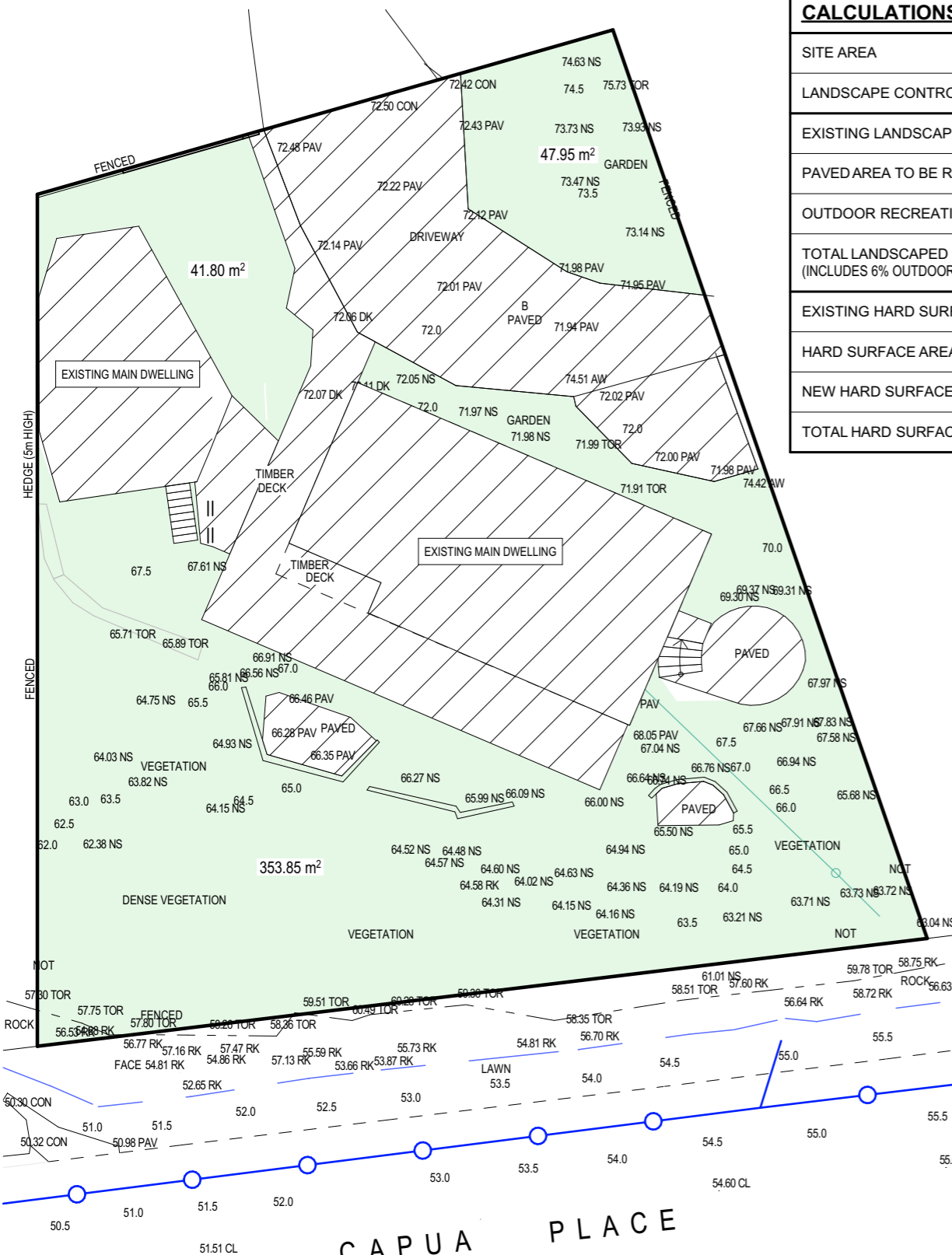
JOB No:
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 LB
DATE:
 JULY/24

SCALE:
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DRAWING No:
DA.07



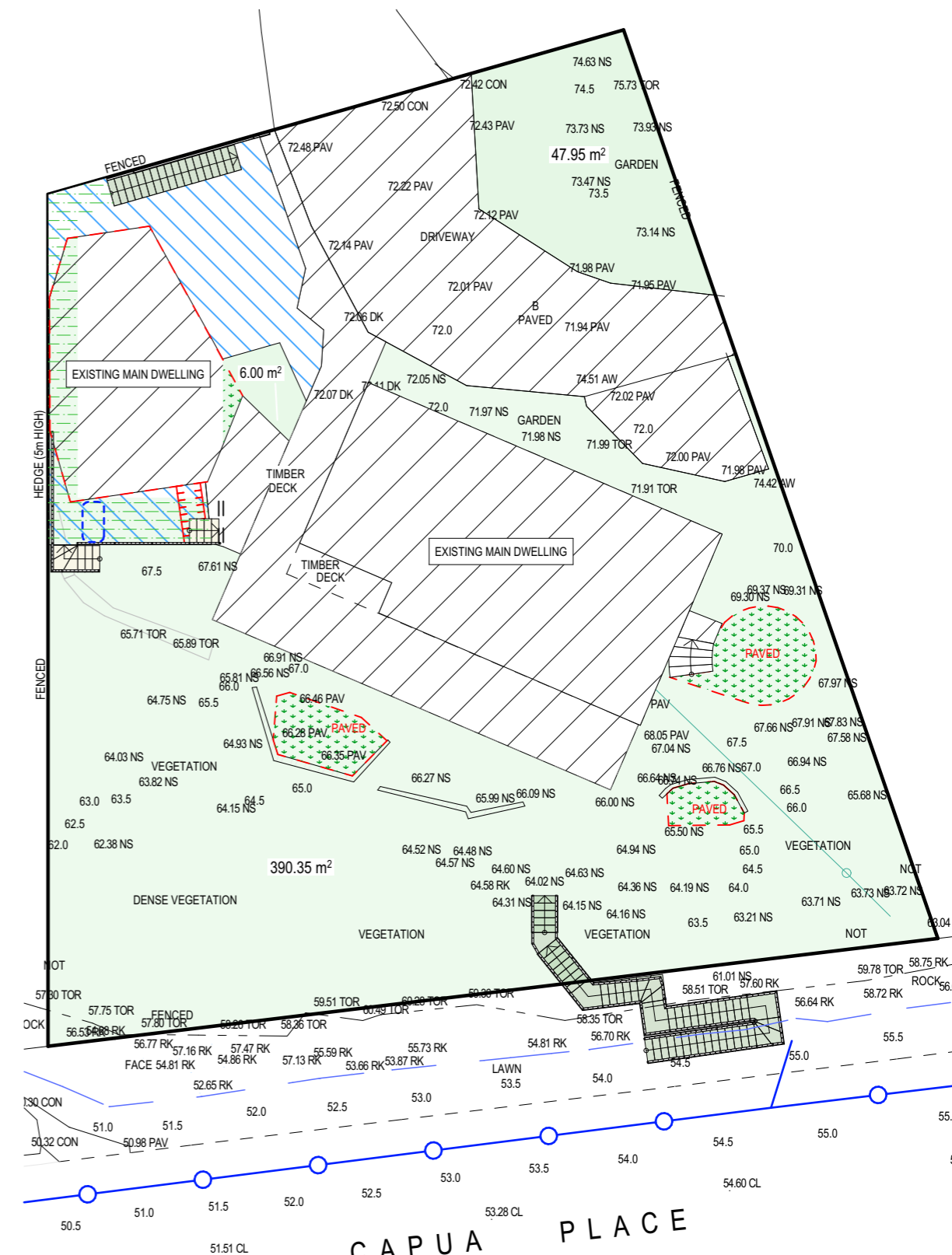
CHECKED BY:
 JJ



CALCULATIONS			
SITE AREA			770.60m²
LANDSCAPE CONTROL		60%	462.36m²
EXISTING LANDSCAPED AREA		57.56%	443.60m²
PAVED AREA TO BE REEINSTATE TO LAWN			21.3m²
OUTDOOR RECREATIONAL AREA			20m²
TOTAL LANDSCAPED AREA (INCLUDES 6% OUTDOOR RECREATION AREA)		57.65%	444.3m²
EXISTING HARD SURFACE AREA			327m²
HARD SURFACE AREA TO BE RETAINED			300.40m²
NEW HARD SURFACE AREA			43m²
TOTAL HARD SURFACE AREA		44.56%	343.40m²

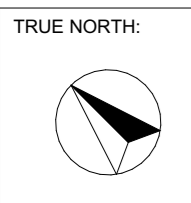
Certificate No. 0009726928
 Scan QR code or follow website link for rating details.
 Assessor name: Terry Chapman
 Accreditation No. 20920
 Property Address: 12 Capua Place, AVALON NSW, 2107
 Website: <http://www.audr.com.au/QR/Generate?r=RUuLdUqR>

ABSA
 Australian Building Standards Association
 Accredited Assessor
 Assessor Name: Terry Chapman
 Assessor Number: 20920
 Assessor Category: Landscape Architect



EXISTING LANDSCAPE CALCULATION AREA

PROPOSED LANDSCAPE CALCULATION AREA



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A	22.07.24	PRELIM. DRAWINGS UPDATED

PROPOSED ALTERATIONS AND ADDITIONS
 12 Capua Place - Avalon NSW 2101
CLIENT:
 Bernhard & Barbara
DRAWING TITLE:
 LANDSCAPED AREA CALCULATION PLAN

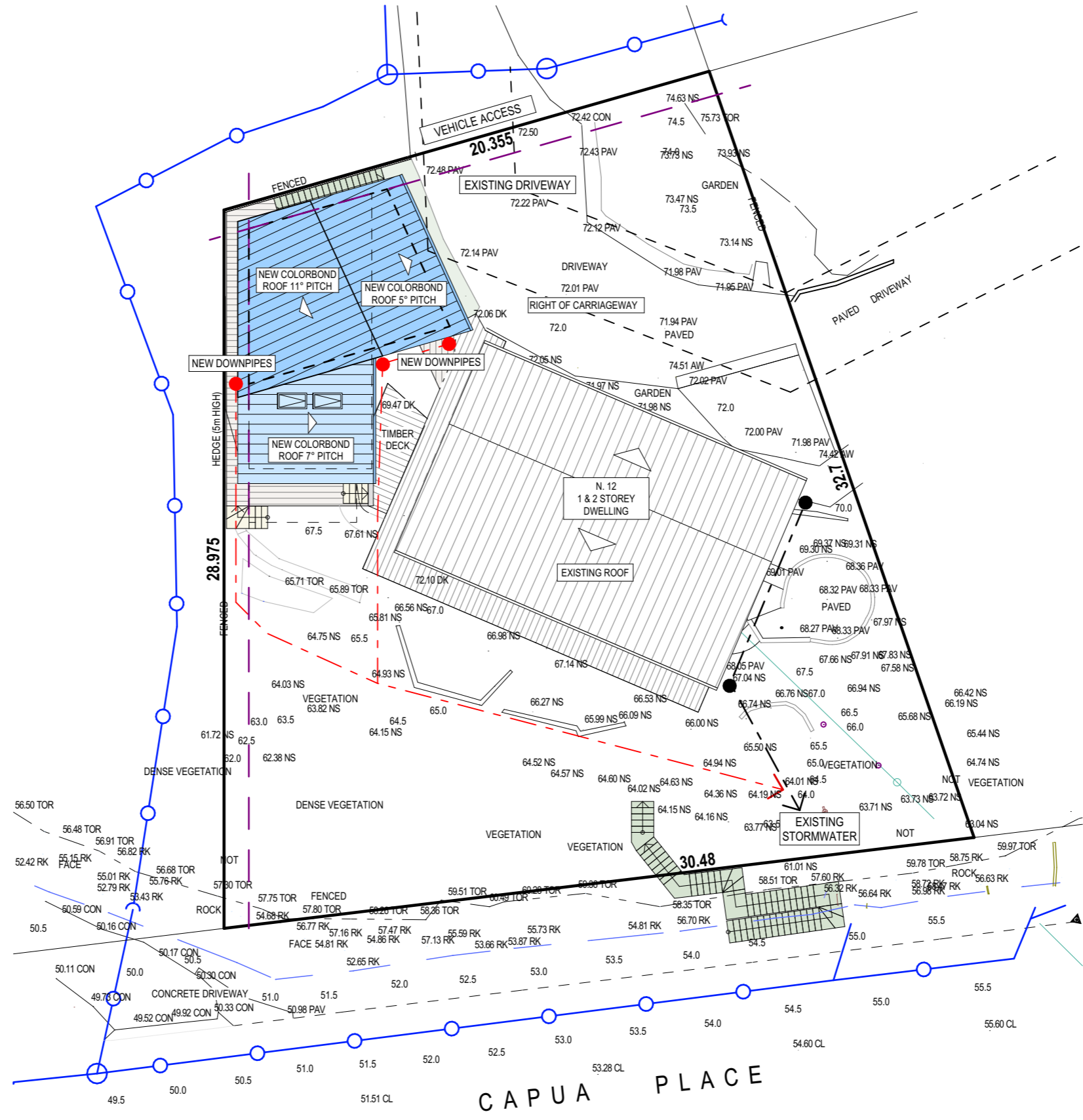
JOB No:
 1267/24

DRAWN BY:
 LB
DATE:
 JULY/24

SCALE:
 1:1, 1:200 @ A3
DRAWING No:
 DA.08



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 JJ



STORMWATER CONCEPT PLAN

STORMWATER CONCEPT LEGEND

- EXISTING DOWNPIPES
- NEW DOWNPIPES
- EXISTING STORWATER LINE
- NEW STORMWATER LINE

TRUE NORTH:

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REV:	DATE:	DESCRIPTION:
A	22.07.24	PRELIM. DRAWINGS UPDATED

PROPOSED ALTERATIONS AND ADDITIONS
 12 Capua Place - Avalon NSW 2101
CLIENT:
 Bernhard & Barbara
DRAWING TITLE:
 ROOF & STORMWATER CONCEPT PLAN

JOB No:
 1267/24

DRAWN BY:
 LB
DATE:
 JULY/24

SCALE:
 1:200 @ A3
DRAWING No:
DA.09

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NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

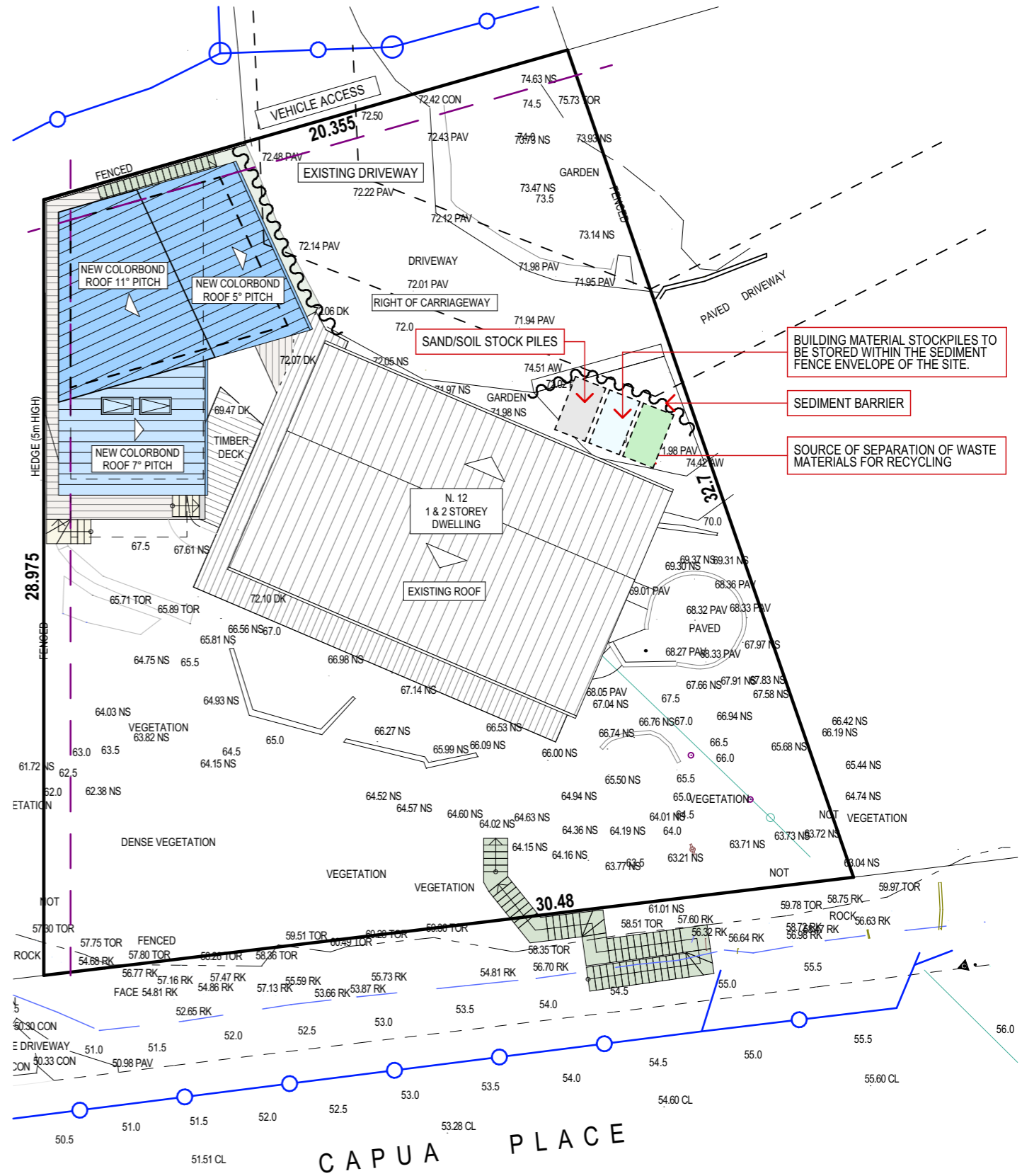
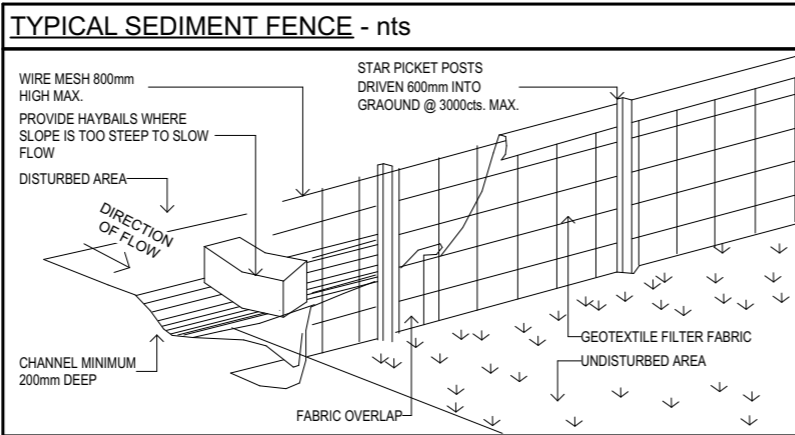
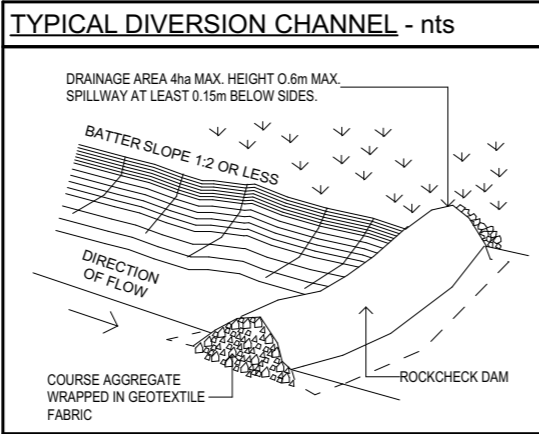
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.



EROSION AND SEDIMENT CONTROL

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REV:	DATE:	DESCRIPTION:
A	22.07.24	PRELIM. DRAWINGS UPDATED

PROPOSED ALTERATIONS AND ADDITIONS
 12 Capua Place - Avalon NSW 2101
 CLIENT:
 Bernhard & Barbara

DRAWING TITLE:
 EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT
 PLAN

JOB No:
 1267/24

DRAWN BY:
 LB

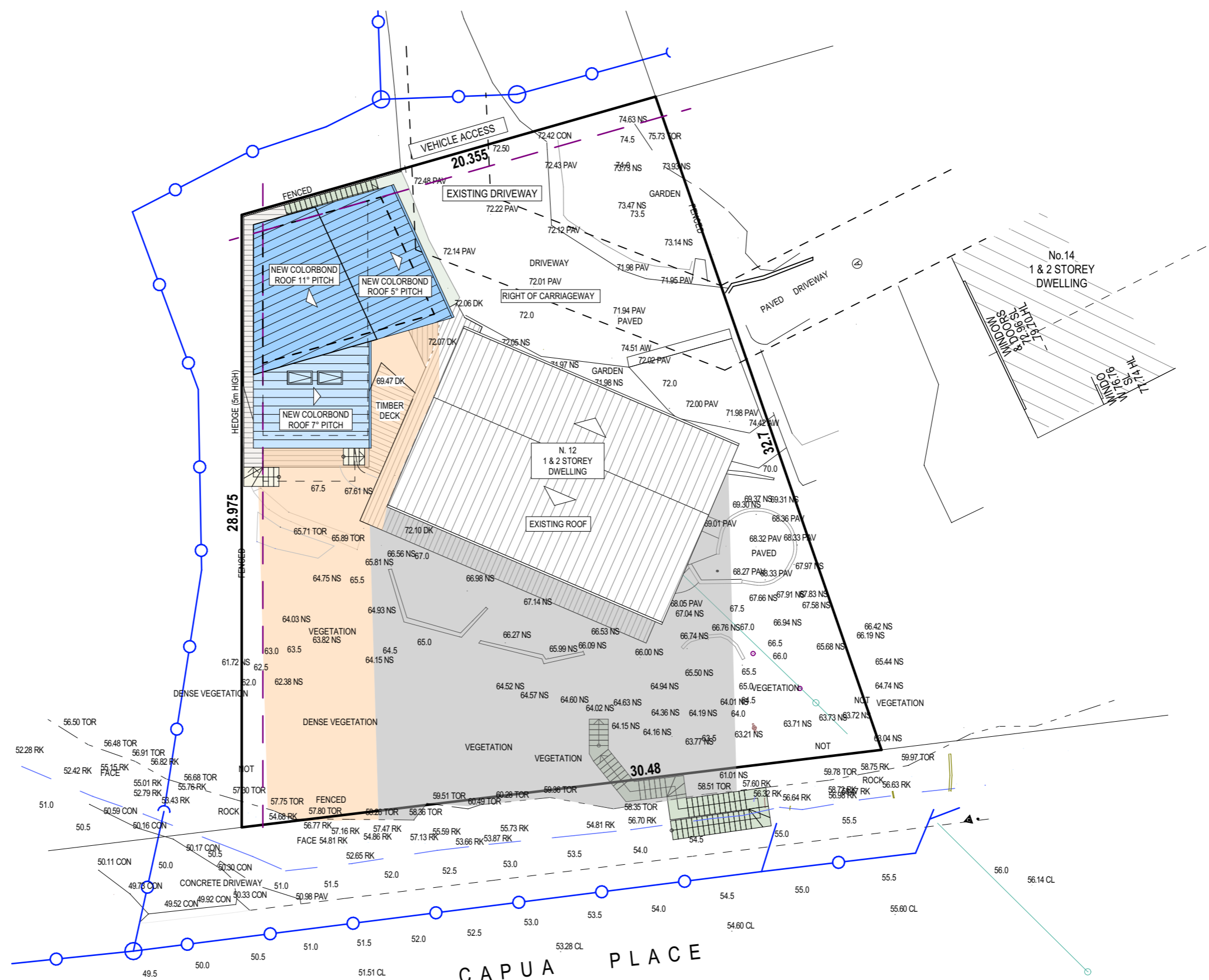
DATE:
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DRAWING No:
DA.10

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SHADOW DIAGRAM JUNE 21 9:00 am

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS	
NEW SHADOWS	

TRUE NORTH:

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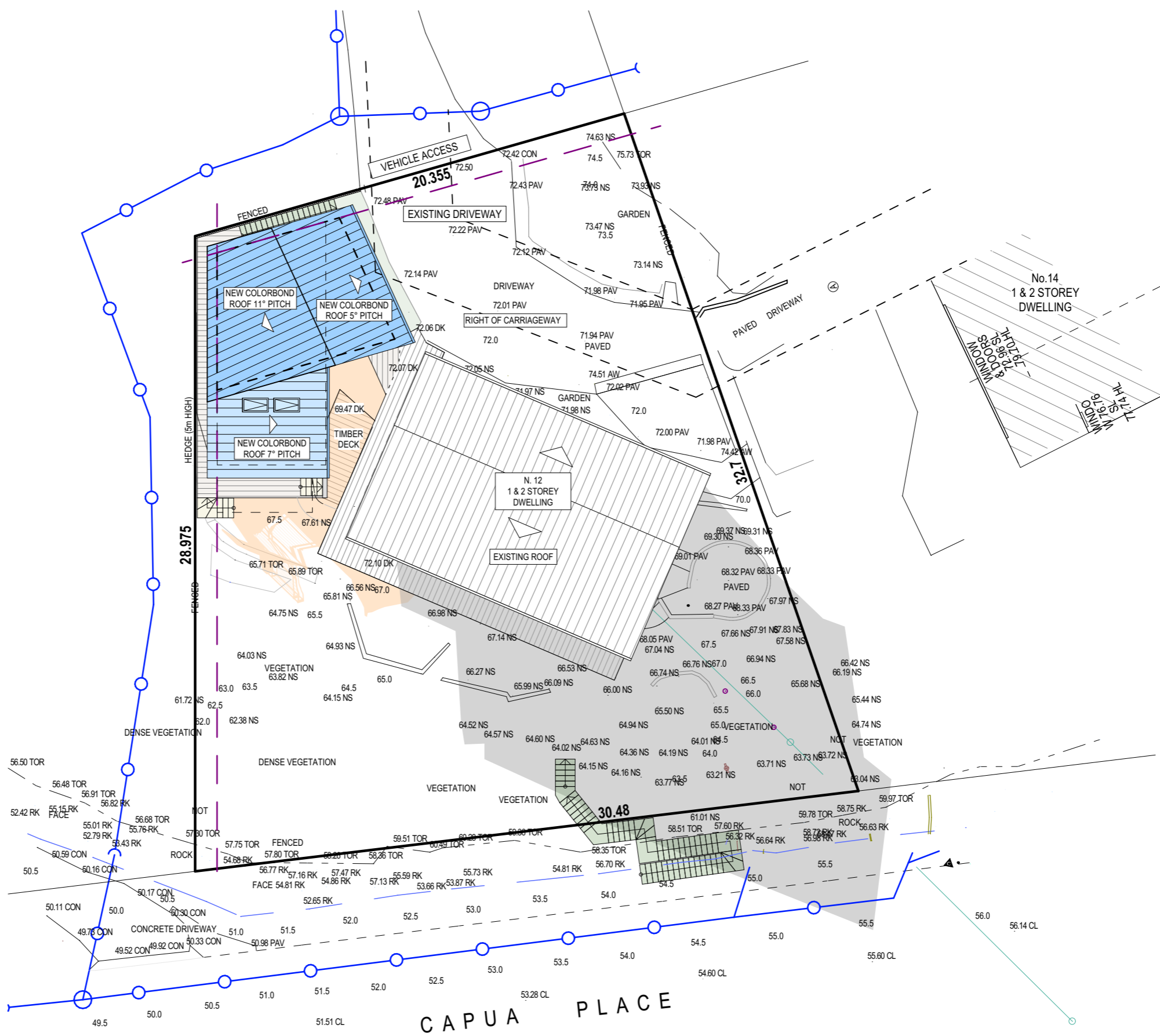
PROPOSED ALTERATIONS AND ADDITIONS
 12 Capua Place - Avalon NSW 2101
 CLIENT:
 Bernhard & Barbara
 DRAWING TITLE:
 SHADOW DIAGRAM JUNE 21 9:00 am

JOB No:
 1267/24

DRAWN BY:
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 DATE:
 JULY/24

SCALE:
 1:200 @ A3
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SHADOW DIAGRAM JUNE 21 12 noon

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

NOTES (E & OE)

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PROPOSED ALTERATIONS AND ADDITIONS
 12 Capua Place - Avalon NSW 2101
 CLIENT:
 Bernhard & Barbara

DRAWING TITLE:
 SHADOW DIAGRAM JUNE 21 12 noon

JOB No:
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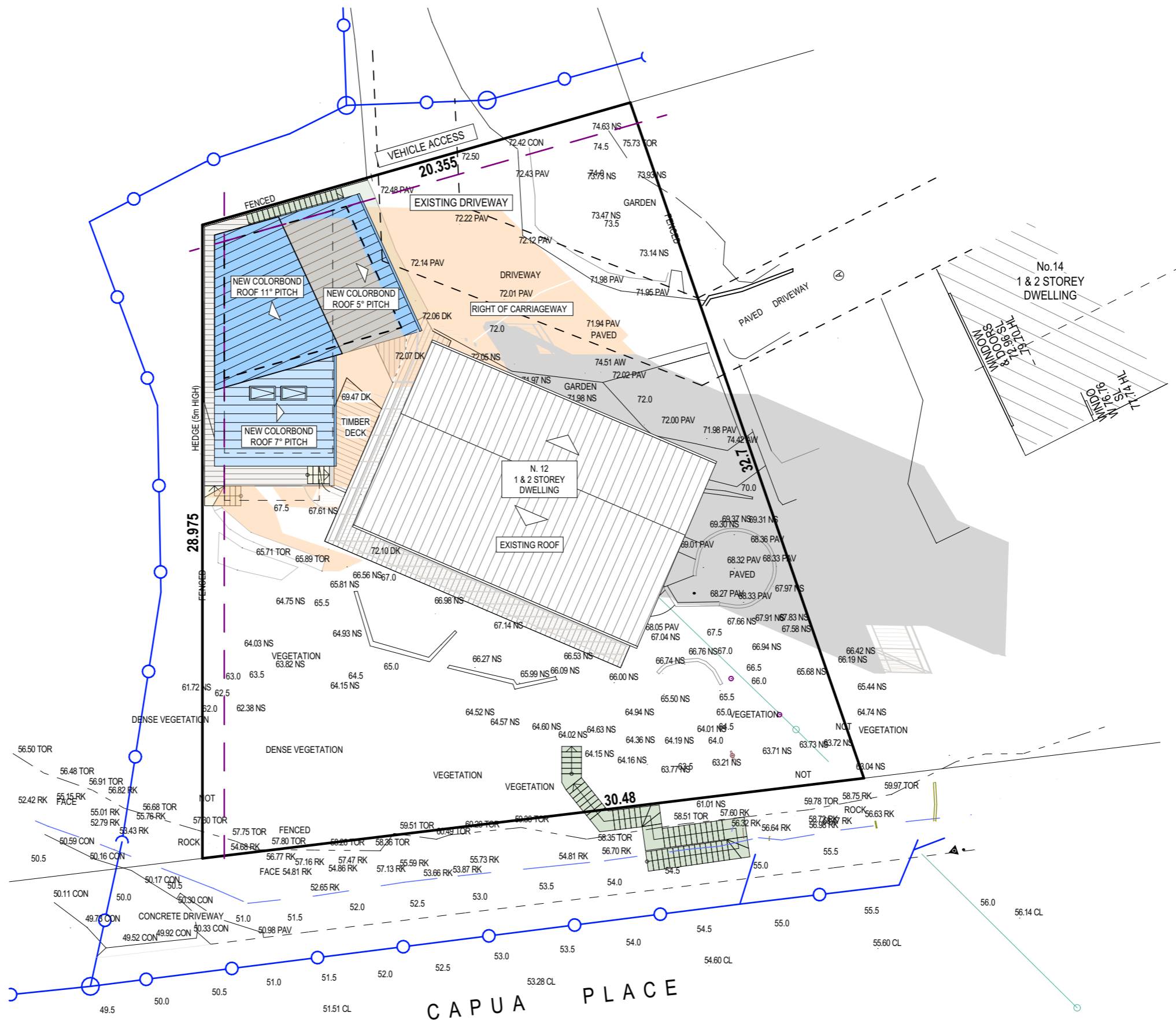
DATE:
 JULY/24

SCALE:
 1:200 @ A3

DRAWING No:
DA.12

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SHADOW DIAGRAM JUNE 21 3:00 pm

21 JUNE SHADOW DIAGRAM LEGEND	
EXISTING SHADOWS	
NEW SHADOWS	

TRUE NORTH:

NOTES (E & OE)

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PROPOSED ALTERATIONS AND ADDITIONS
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 SHADOW DIAGRAM JUNE 21 3:00 pm

JOB No:
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 JULY/24

SCALE:
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