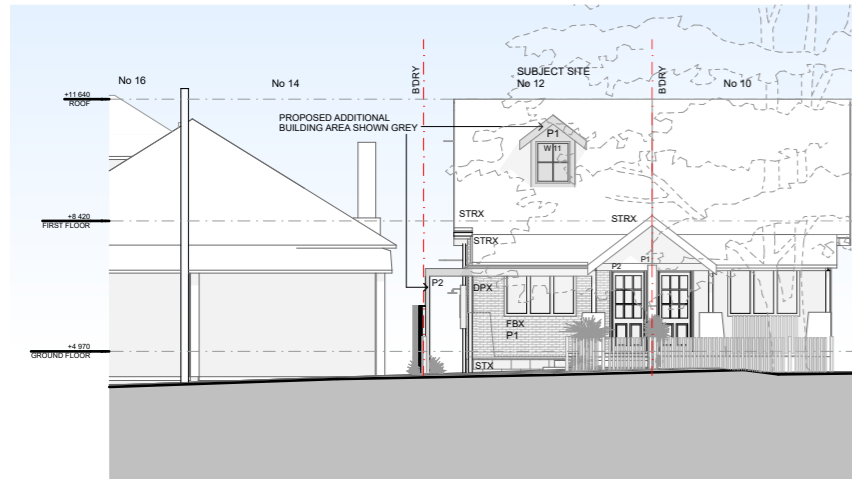


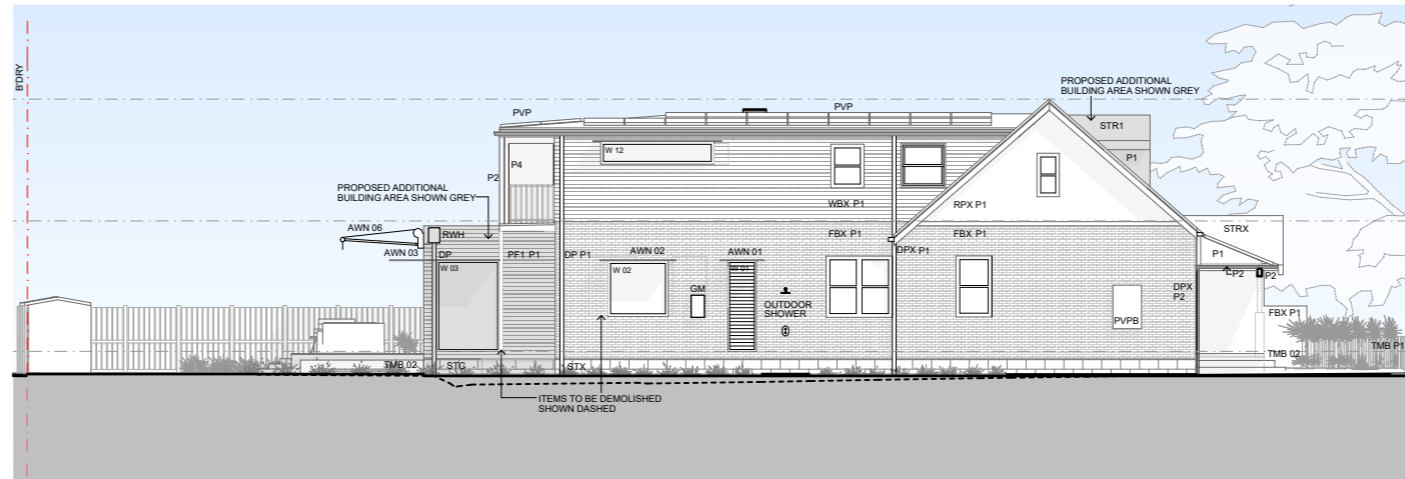
EXISTING WALL NEW WALL  
 REMOVE EXISTING

# DEVELOPMENT APPLICATION

ADDITIONAL BUILDING AREA



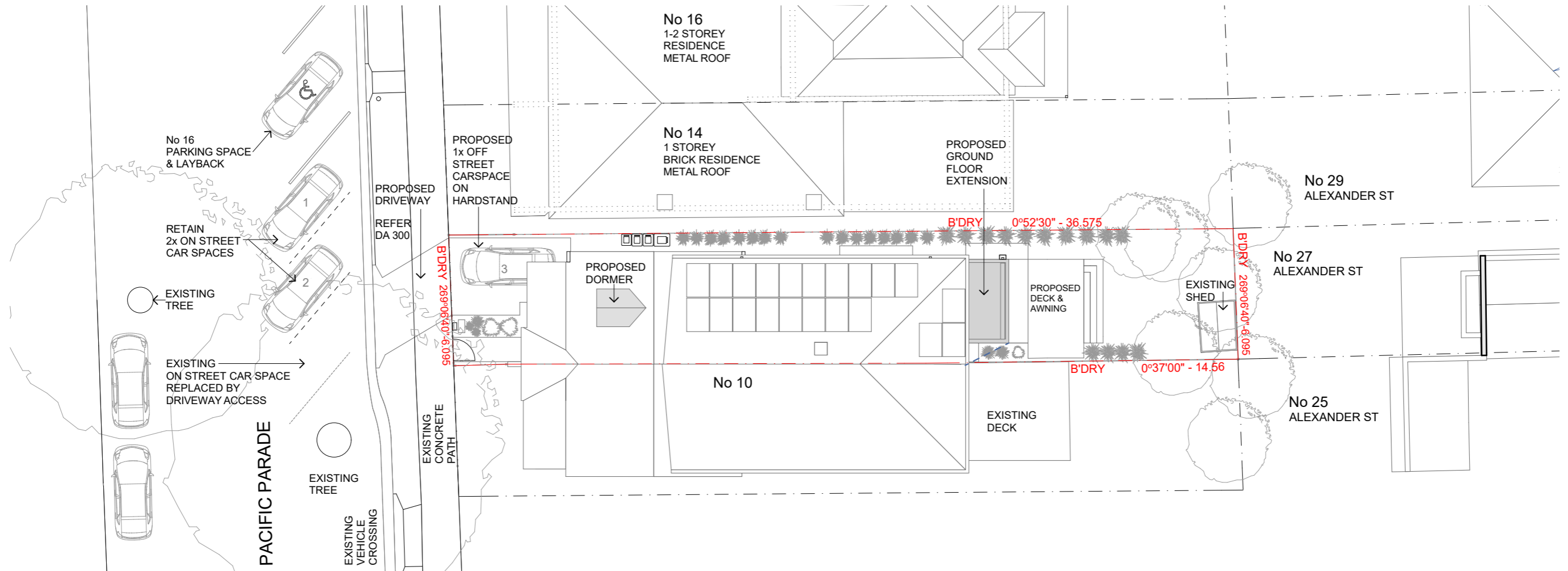
02 SOUTH ELEVATION  
1:200



03 WEST ELEVATION  
1:200



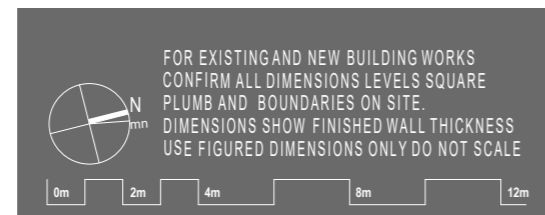
04 NORTH ELEVATION  
1:200



01 SITE PLAN  
1:200

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
Issue	Amendment	Date



PROPOSED ALTERATIONS & ADDITIONS  
 TO EXISTING SEMI DETACHED DWELLING  
 @ 12 PACIFIC PARADE MANLY 2095  
 LOT 37A DP 438218  
 FOR JOHN BURRIDGE & KAREN CALCAGNO

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 office@costellograhamdesign.com.au  
 ph (02) 9977 1981  
 Robert Costello Nominated Architect  
 NSW Architect Registration 6610 ©  
 ARCHITECTS

Title	NOTIFICATION PLAN
Scale @ A3	1:200
Project Ref No	PPMBC 23110
Drawing No	DA000
Revision	A

# DEVELOPMENT APPLICATION

## AREA CALCULATIONS

<b>01 SITE AREA</b>	
SITE	223.20
<b>02 GROSS FLOOR AREA EXISTING</b>	
GFA FFX	72.47
GFA GD	63.41
<b>03 GROSS FLOOR AREA PROPOSED</b>	
GFA FF	64.29
GFA GD	87.87
<b>04 TOTAL OPEN SPACE EXISTING</b>	
TOS FRONT GD	33.40
TOS REAR GD	79.21
<b>05 T.O.S. ABOVE GROUND EXISTING</b>	
TOS ABOVE GD	0.00
<b>06 TOTAL OPEN SPACE PROPOSED</b>	
TOS REAR GD PROPOSED	59.73
<b>07 T.O.S. ABOVE GROUND PROPOSED</b>	
TOS ABOVE GD	0.00
<b>08 PRIVATE OPEN SPACE EXISTING</b>	
POS EXISTING	79.46
<b>09 PRIVATE OPEN SPACE PROPOSED</b>	
POS PROPOSED	53.15
<b>10 LANDSCAPE OPEN SPACE EXISTING</b>	
LOS FRONT EXISTING	14.43
LOS REAR EXISTING	55.83
<b>11 LANDSCAPE OPEN SPACE PROPOSED</b>	
LOS FRONT PROPOSED	3.26
LOS REAR PROPOSED	36.26
<b>12 PERVIOUS AREA EXISTING</b>	
PERVIOUS FRONT EXISTING	14.83
PERVIOUS REAR EXISTING	55.83
<b>13 PERVIOUS AREA PROPOSED</b>	
PERVIOUS FRONT PROPOSED	3.26
PERVIOUS REAR PROPOSED	42.33

## DEVELOPMENT SUMMARY

EXISTING SITE AREA - 12 PACIFIC PARADE, MANLY = 223.2 m<sup>2</sup>  
(SURVEY CALCULATION)

LAND ZONING R1 GENERAL RESIDENTIAL  
MINIMUM LOT SIZE MAP LSZ\_003 = ZONE C = 250 m<sup>2</sup>  
UNDERSIZED ALLOTMENT

PERMISSIBLE FLOOR SPACE RATIO : ZONE F 0.60 :1

GROUND FLOOR EXISTING GROSS FLOOR AREA (GFA) = 72.47 m<sup>2</sup>  
FIRST FLOOR EXISTING GROSS FLOOR AREA (GFA) = 63.41 m<sup>2</sup>  
TOTAL EXISTING GROSS FLOOR AREA = 135.88 m<sup>2</sup>

EXISTING FSR = 135.88 / 223.3 = 0.60.9:1

GROUND FLOOR PROPOSED GROSS FLOOR AREA (GFA) = 87.87 m<sup>2</sup>  
FIRST FLOOR PROPOSED GROSS FLOOR AREA (GFA) = 64.29 m<sup>2</sup>  
TOTAL PROPOSED GROSS FLOOR AREA = 152.16m<sup>2</sup>

PROPOSED FSR FLOOR SPACE RATIO = 152.16 / 223.2 = 68.2:1  
= NON COMPLIANT

REQUIRED TOS TOTAL OPEN SPACE OS3 +3m MIN WIDTH  
= 223.2 x 55% = 122.76m<sup>2</sup>  
EXISTING TOS TOTAL OPEN SPACE GD = 33.40 + 79.21 = 112.61 m<sup>2</sup>  
PROPOSED TOS TOTAL OPEN SPACE GD = 59.73 m<sup>2</sup>

MAX TOS TOTAL OPEN SPACE ABOVE GROUND  
= MAX 25% OF REQ'D TOTAL OPEN SPACE  
PROPOSED TOTAL OPEN SPACE ABOVE GROUND = 0m<sup>2</sup>  
TOTAL PROPOSED TOS = 59.73m<sup>2</sup> = NON COMPLIANT

REQUIRED POS PRIVATE OPEN SPACE +3m MIN WIDTH = 18m<sup>2</sup>  
EXISTING POS PRIVATE OPEN SPACE +3m MIN WIDTH = 79.46m<sup>2</sup>  
PROPOSED POS PRIVATE OPEN SPACE +3m MIN WIDTH = 53.15m<sup>2</sup>

REQUIRED LANDSCAPE OPEN SPACE AREA OS3 +0.5m MIN WIDTH  
= 122.76 x 35% = 42.97m<sup>2</sup>  
EXISTING LOS AREA = 14.43 + 55.83 = 70.26m<sup>2</sup>  
PROPOSED LOS AREA = 3.26 + 36.26 = 39.52m<sup>2</sup>  
= NON COMPLIANT

EXISTING PERVIOUS AREA = 14.83 + 55.83 = 70.66m<sup>2</sup>  
EXISTING IMPERVIOUS AREA = 223.2 - 70.66 = 152.54m<sup>2</sup>  
EXISTING IMPERVIOUS AREA % OF SITE AREA = 152.54/223.2 = 68.3%

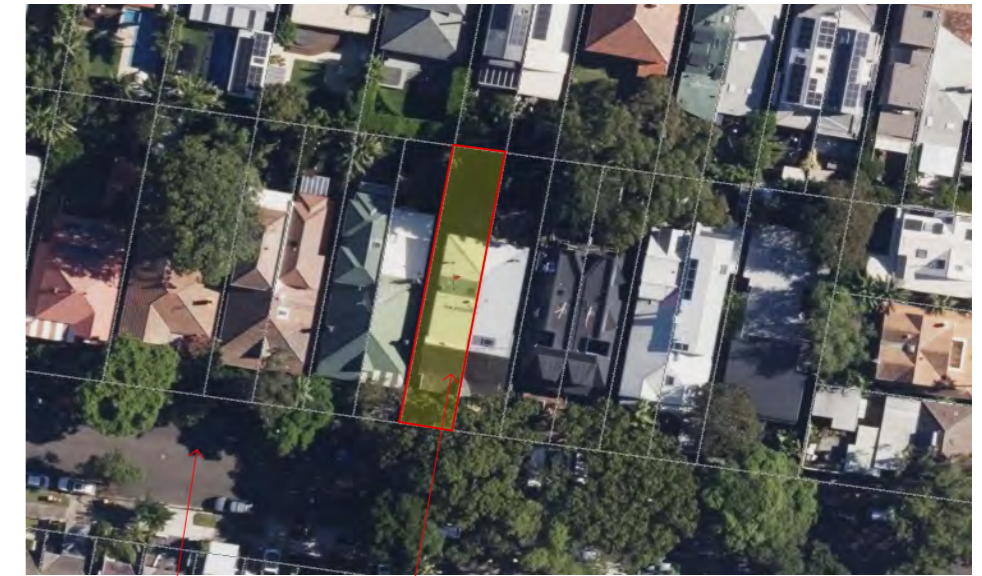
PROPOSED PERVIOUS AREA = 3.26 + 42.33 = 45.59m<sup>2</sup>  
PROPOSED IMPERVIOUS AREA = 223.2 - 45.59 = 177.61m<sup>2</sup>

IMPERVIOUS AREA INCREASE = 25.07m<sup>2</sup>  
IMPERVIOUS AREA % OF SITE AREA = 177.61/223.2 = 79.6%

NORTHERN BEACHES COUNCIL OSD CHECKLIST\_APPENDIX 16  
REGION 3 ZONE 1 PART 4.3.2.2 - DEVELOPMENT PROPOSAL FOR ALTERATIONS & ADDITIONS TO EXISTING DWELLINGS

POST DEVELOPMENT IMPERVIOUS AREA INCREASE IS MORE THAN 50m<sup>2</sup> - NO  
POST DEVELOPMENT IMPERVIOUS AREA EXCEEDS 60% SITE AREA - YES

ON SITE STORMWATER DETENTION NOT REQUIRED AS SITE IS IN A FLOOD ZONE.  
REFER TO CIVIL ENG'S DOCUMENTS.



PACIFIC PARADE

SUBJECT SITE  
12 PACIFIC PDE  
MANLY

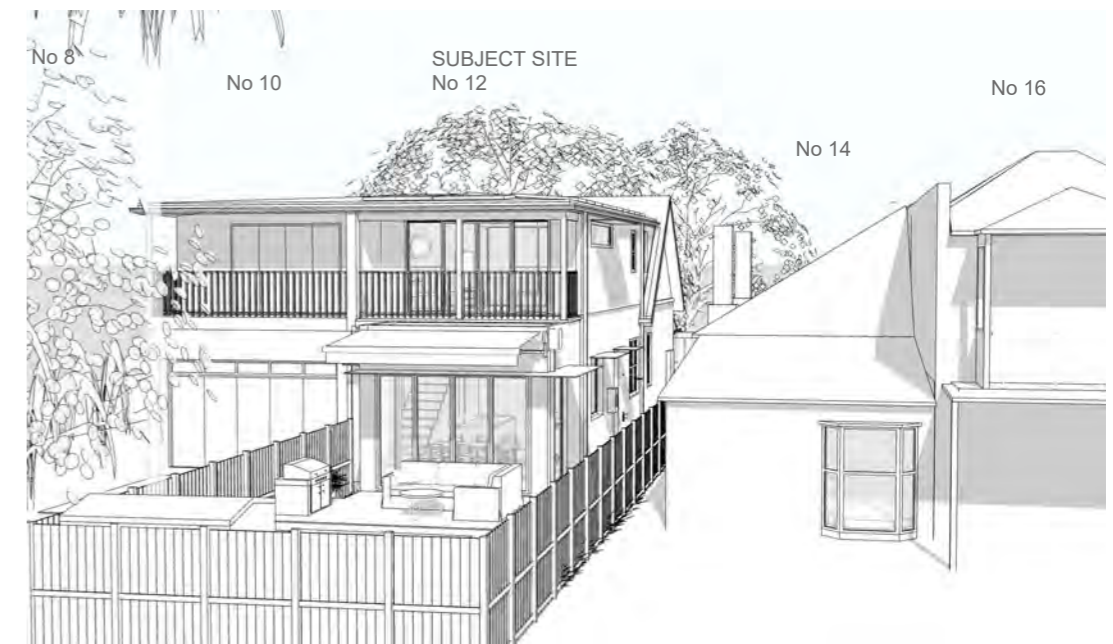
LOCATION PLAN

## ARCHITECTURAL DOCUMENT LIST

DA000	NOTIFICATION PLAN
DA001	COVER SHEET
DA002	SITE PLAN
DA003	FLOOR PLANS EXISTING
DA004	ELEVATIONS EXISTING
DA005	SECTIONS EXISTING
DA006	SITE ANALYSIS PLAN
DA100	GROUND FLOOR PLAN
DA101	FIRST FLOOR PLAN
DA102	ROOF PLAN
DA200	ELEVATIONS 01
DA201	ELEVATIONS 02
DA202	COLOURS + FINISHES
DA250	SECTIONS 01
DA300	VEHICLE TURNING DIAGRAM
DA900	SHADOW DIAGRAMS 01
DA901	SHADOW DIAGRAMS 02
DA902	SHADOW DIAGRAMS 03



PROPOSED - STREET VIEW



PROPOSED - REAR GARDEN VIEW

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P6	ISSUE FOR APPROVAL	281124
P5	ISSUE FOR COORDINATION	011024
P4	ISSUE FOR COORDINATION	240924
Issue	Amendment	Date

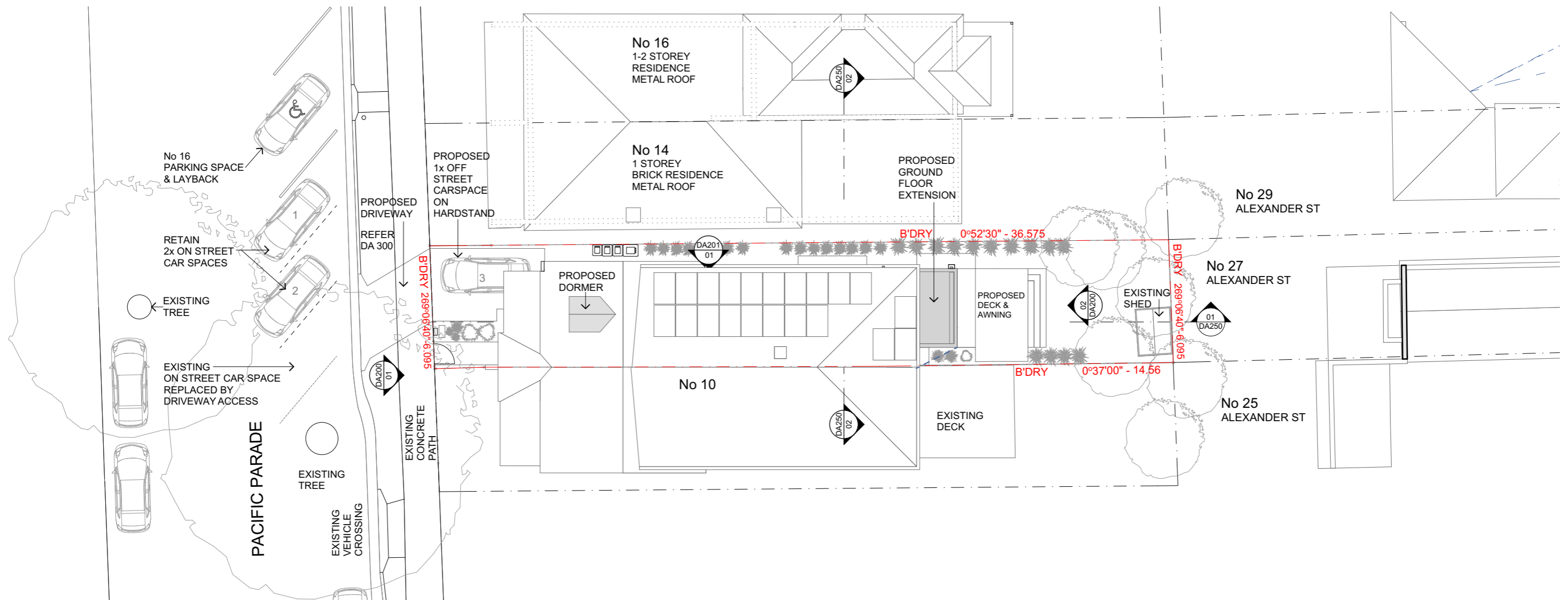
FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
PLUMB AND BOUNDARIES ON SITE.  
DIMENSIONS SHOW FINISHED WALL THICKNESS  
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ARCHITECTS



Title COVER SHEET  
Scale @ A3  
Project Ref No PPMB 23110  
Drawing No DA001 A  
Revision



01 **SITE PLAN**  
 1:200

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P6	ISSUE FOR APPROVAL	281124
P5	ISSUE FOR COORDINATION	011024
P4	ISSUE FOR COORDINATION	240924
Issue	Amendment	Date

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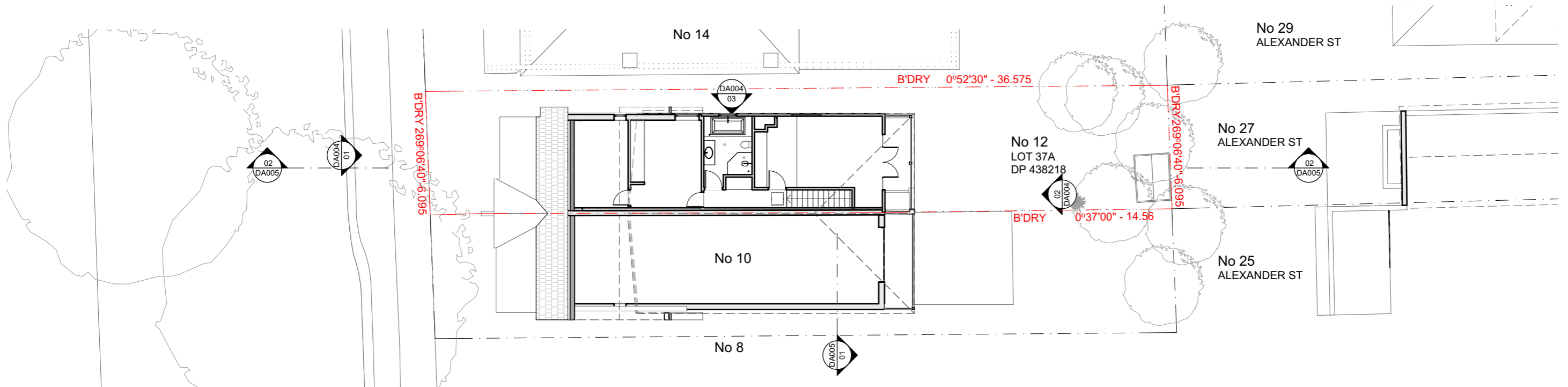
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 Robert Costello Nominated Architect  
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 ARCHITECTS

Title	<b>SITE PLAN</b>
Scale @ A3	1:200
Project Ref No	PPMBC 23110
Drawing No	<b>DA002</b>
Revision	<b>A</b>

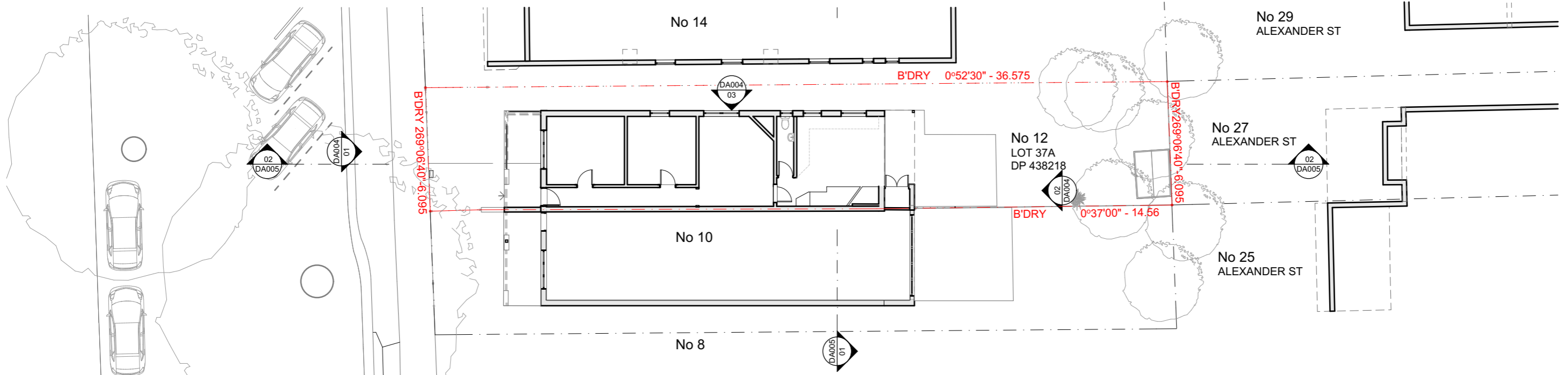
EXISTING WALL  
 NEW WALL  
 REMOVE EXISTING

# DEVELOPMENT APPLICATION

ADDITIONAL BUILDING AREA



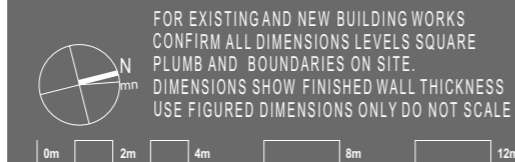
02 FIRST FLOOR PLAN EXISTING  
1:200



02 GROUND FLOOR EXISTING  
1:200

DEVELOPMENT APPLICATION

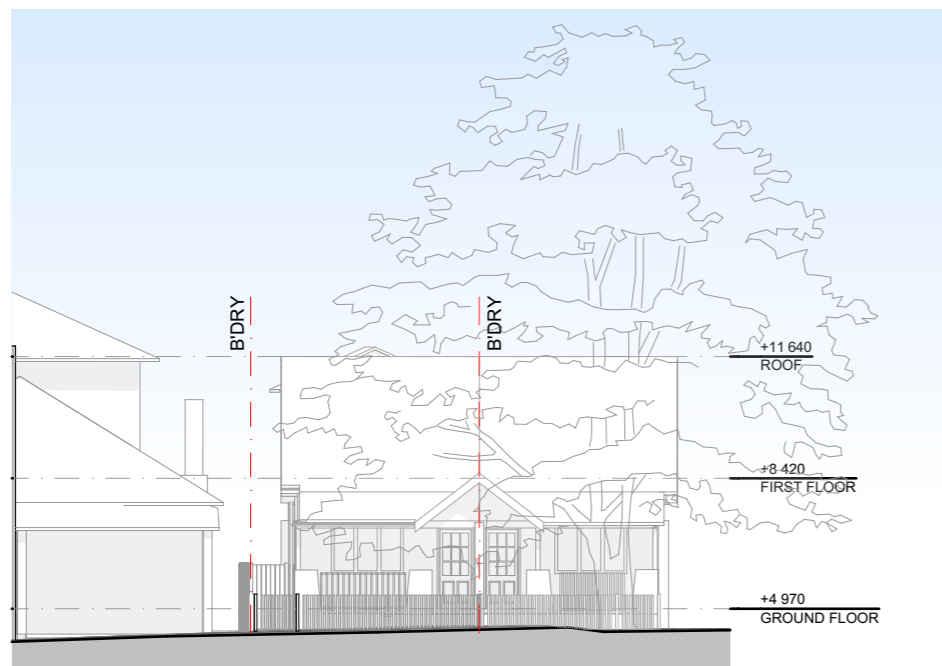
A	DA SUBMISSION	171224
P4	ISSUE FOR APPROVAL	281124
P3	ISSUE FOR COORDINATION	011024
P2	ISSUE FOR COORDINATION	240924
Issue	Amendment	Date



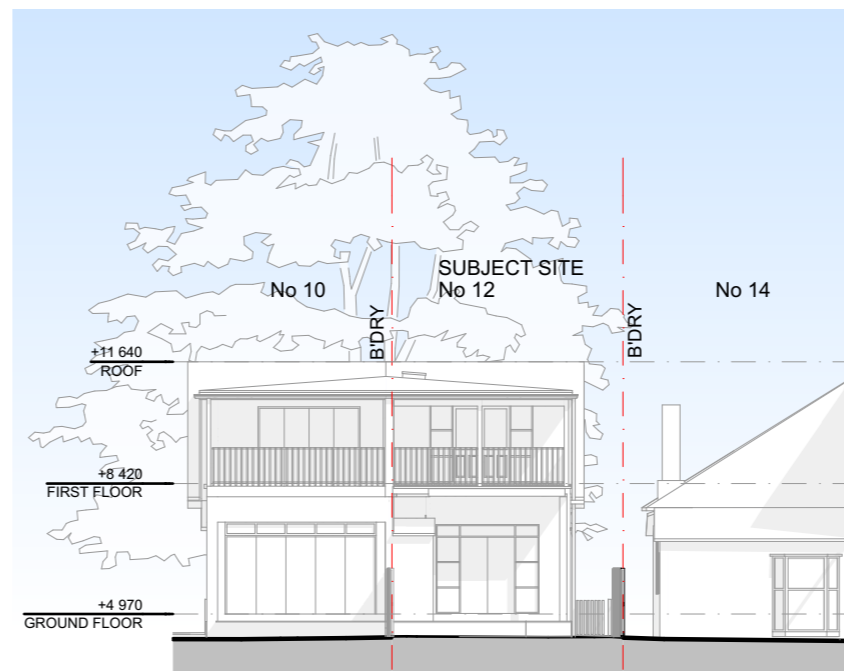
PROPOSED ALTERATIONS & ADDITIONS  
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 ARCHITECTS

Title	FLOOR PLANS EXISTING
Scale @ A3	1:200
Project Ref No	PPMBC 23110
Drawing No	DA003 A
Revision	



01 SOUTH ELEVATION EXISTING - STREET  
1:200



02 NORTH ELEVATION EXISTING - REAR  
1:200



03 WEST ELEVATION EXISTING  
1:200



WEST ELEVATION - PACIFIC PARADE



NORTH ELEVATION  
LOOKING EAST

NORTH ELEVATION  
LOOKING WEST



EAST ELEVATION - VIEWED FROM BACKYARD



BACKYARD - VIEWED FROM FIRST FLOOR BALCONY

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P4	ISSUE FOR APPROVAL	281124
P3	ISSUE FOR COORDINATION	011024
P2	ISSUE FOR COORDINATION	240924
Issue	Amendment	Date

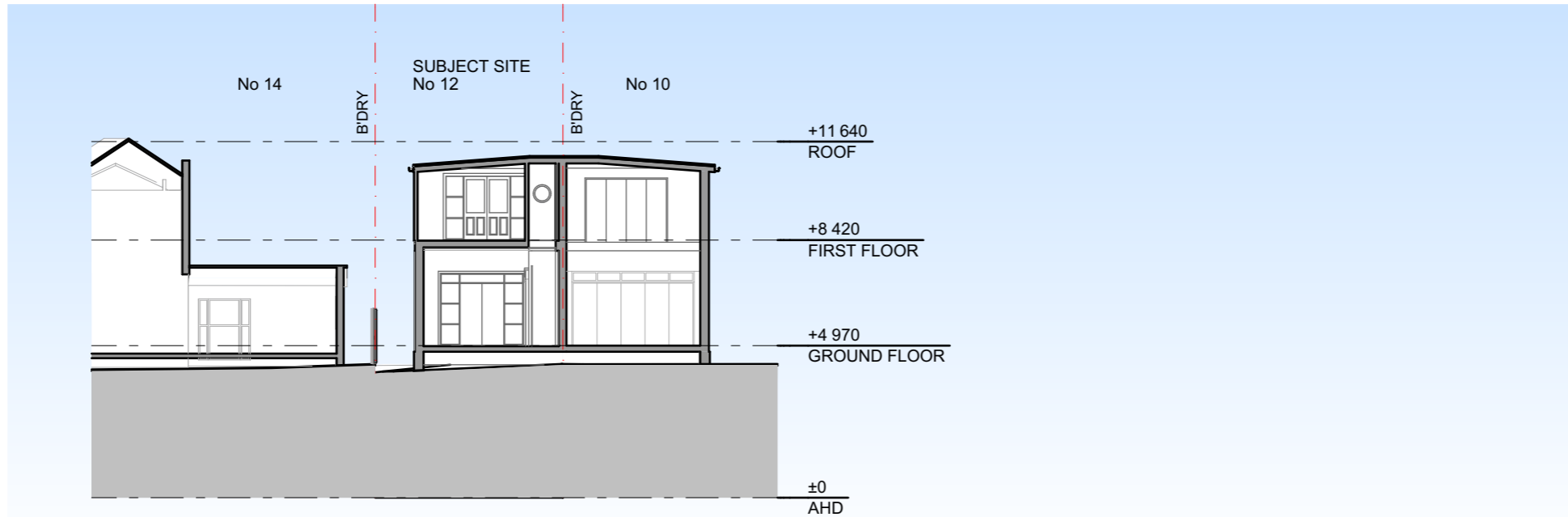
FOR EXISTING AND NEW BUILDING WORKS  
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ARCHITECTS



Title ELEVATIONS EXISTING  
Scale @ A3 1:200  
Project Ref No PPMB 23110  
Drawing No DA004 A  
Revision



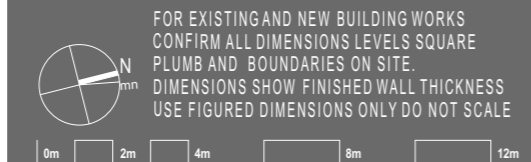
01 SECTION E01 EXISTING  
1:200



02 SECTION N01 EXISTING  
1:200

DEVELOPMENT APPLICATION

Issue	Amendment	Date
A	DA SUBMISSION	171224
P4	ISSUE FOR APPROVAL	281124
P3	ISSUE FOR COORDINATION	011024
P2	ISSUE FOR COORDINATION	240924



PROPOSED ALTERATIONS & ADDITIONS  
TO EXISTING SEMI DETACHED DWELLING  
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ARCHITECTS



Title SECTIONS EXISTING  
Scale @ A3 1:200  
Project Ref No PPMBC 23110  
Drawing No DA005 A  
Revision

EXISTING WALL NEW WALL REMOVE EXISTING

# DEVELOPMENT APPLICATION

ADDITIONAL BUILDING AREA

VARYING PATTERN OF EXISTING REAR BOUNDARY SETBACKS RANGING FROM 12.6m MAX TO 5.2m MIN WITH NO CONSISTANT PRECEDENT FOR ALIGNING SETBACKS. PROPOSED GROUND FLOOR EXTENSION SHOWN IN BLUE TO BE ALIGNED WITH EXISTING NEIGHBOUR NO 14 WITH 10.4M REAR BOUNDARY SETBACK. THE PROPOSED REAR SETBACK IS NOT INCONSISTENT WITH THE PATTERN OF ADJACENT REAR SETBACKS.

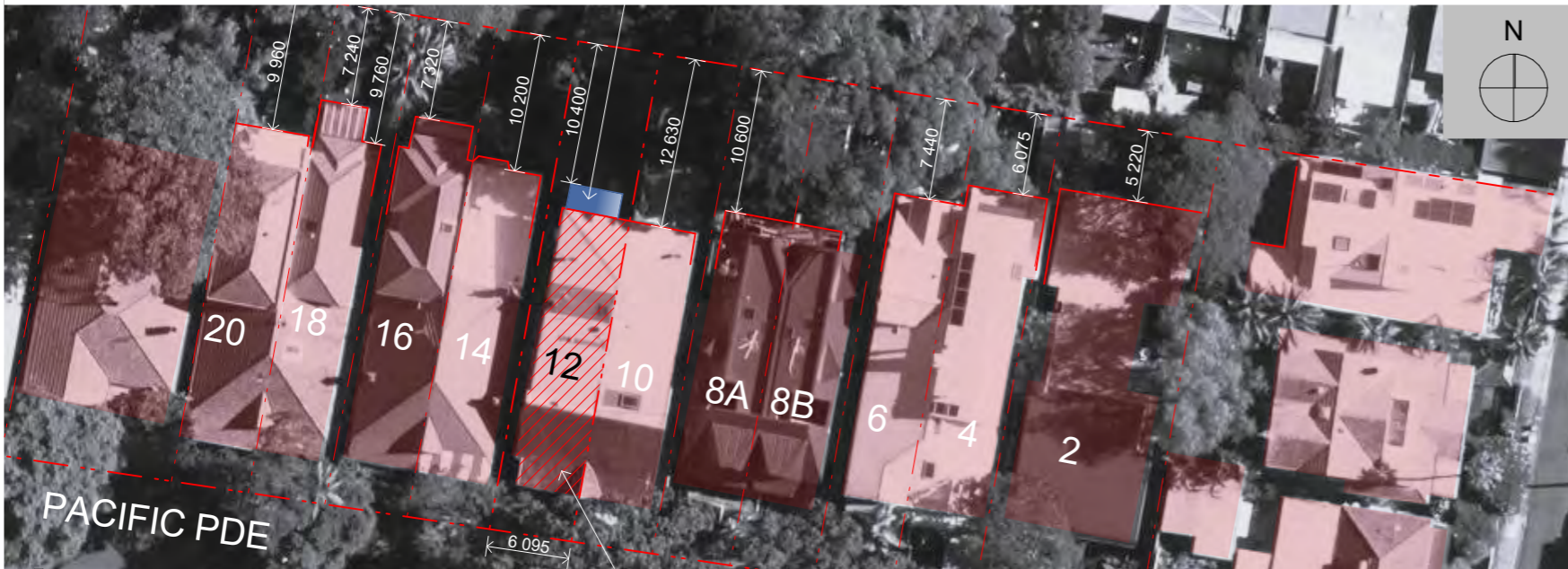
## REAR SETBACKS

INCONSISTENT PATTERN OF EXISTING REAR SETBACKS SUBJECT PROPERTY SHOWN HATCHED DIMENSIONS ARE APPROXIMATE ONLY

## SITE MANAGEMENT, EROSION, SILT & SEDIMENT CONTROL

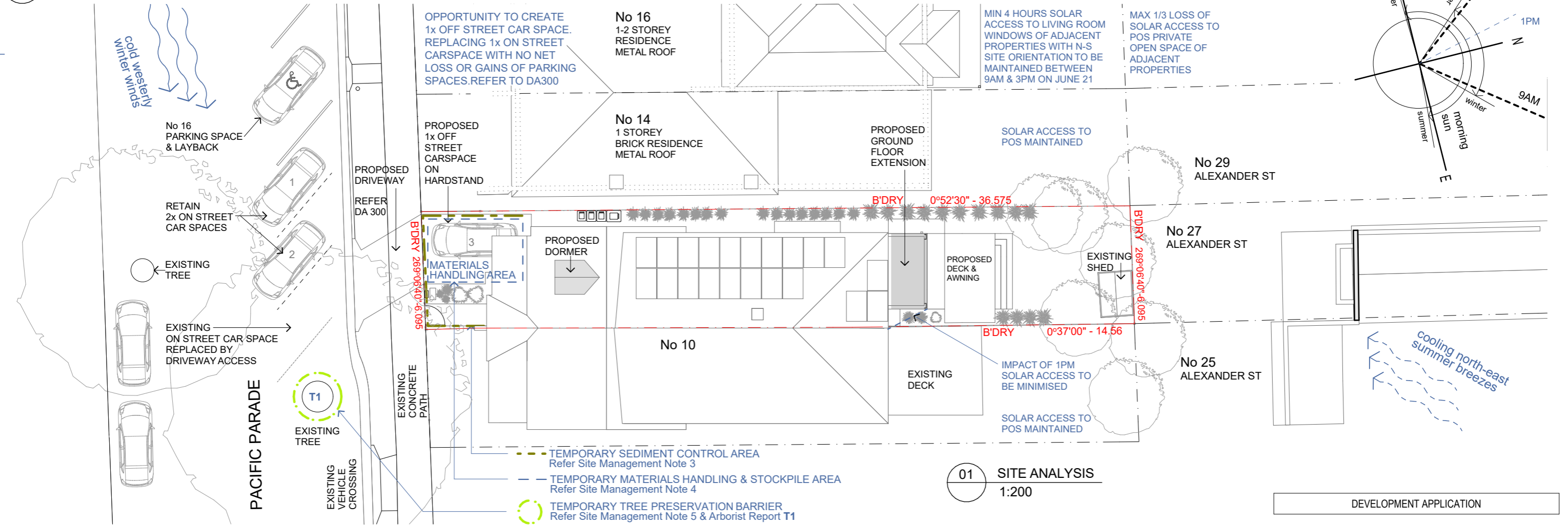
1. THE PURPOSE OF THIS PLAN IS TO PROTECT THE EXISTING TREES AND THE ENVIRONMENT FROM THE EFFECTS OF SEDIMENTATION AND EROSION FROM DEVELOPMENT SITES AND ALLOW FOR THE SORTING OF WASTE MATERIALS.
2. ALL CONTROL TECHNIQUES ARE TO BE, AT A MINIMUM, IN ACCORDANCE WITH LOCAL COUNCIL GUIDELINES ON EROSION, SEDIMENT CONTROL & WASTE MANAGEMENT.
3. **TEMPORARY SEDIMENT CONTROL BARRIER**  
A GEOTEXTILE SAUSAGE OR SUITABLE ALTERNATIVE MUST BE PLACED IN POSITIONS AS INDICATED ON THE PLAN TO PREVENT THE FLOW OF CONTAMINATED WATER INTO THE STORMWATER SYSTEM, OR ADJOINING PROPERTIES. THE BARRIER MUST BE INSPECTED PERIODICALLY FOR DAMAGE AND REPAIRED OR REPLACED AS NECESSARY. THE CONTRACTOR IS TO INSPECT THE SITE AND IF NECESSARY, ADJUST THE LOCATION OF BARRIERS INDICATED AND BE TOTALLY RESPONSIBLE FOR THE SITE AND CONTROL OF EROSION & SEDIMENTATION.

4. **TEMPORARY MATERIALS STOCKPILE AND WASTE MANAGEMENT AREA**  
BUILDING MATERIALS MUST BE STORED IN THE AREAS INDICATED ON THE PLAN. WASTE IS TO BE SORTED FOR REUSE & RECYCLING AS PER COUNCIL'S WASTE MANAGEMENT GUIDELINES. MATERIAL STOCKPILES MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.
5. **TEMPORARY TREE PRESERVATION BARRIER**  
THE EXISTING TREES NOTED ON THE DRAWINGS ARE TO BE SUITABLY PROTECTED TO PREVENT DAMAGE TO BARK OR ROOT SYSTEMS. TOP SOIL MUST NOT BE REMOVED OR COMPACTED UNDER THE TREE DRIP LINE. REFER TO ARBORIST REPORT TREE T1.
6. **NOISE & VIBRATION MANAGEMENT PLAN**  
AMELIORATION MEASURES MUST BE TAKEN TO ENSURE THE LIKELY NOISE & VIBRATION FROM DEMOLITION, EXCAVATION & CONSTRUCTION COMPLIES WITH AUSTRALIAN STANDARD AS 2436 FOR TECHNICAL FRAMEWORK TO ELIMINATE NOISE FROM CONSTRUCTION SITES AND COMPLIES WITH RELEVANT DA CONDITIONS WHERE APPLIED.



02 CONTEXT REAR SETBACK DIAGRAM APPROX. 1:500

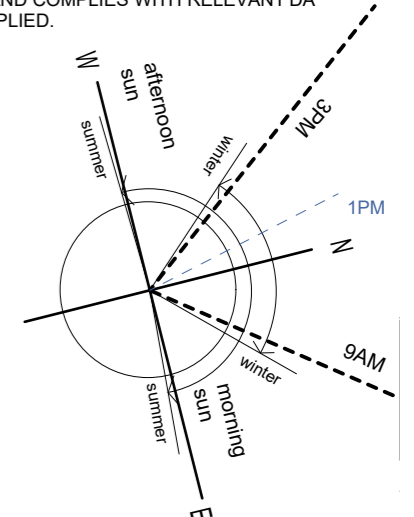
SUBJECT PROPERTY SHOWN HATCHED



## SOLAR ACCESS

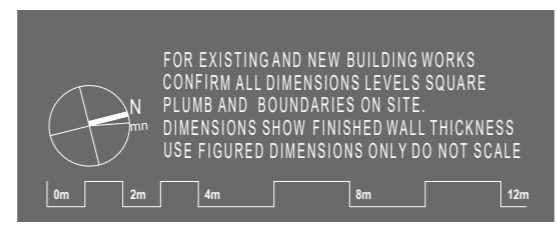
MIN 4 HOURS SOLAR ACCESS TO LIVING ROOM WINDOWS OF ADJACENT PROPERTIES WITH N-S SITE ORIENTATION TO BE MAINTAINED BETWEEN 9AM & 3PM ON JUNE 21

MAX 1/3 LOSS OF SOLAR ACCESS TO POS PRIVATE OPEN SPACE OF ADJACENT PROPERTIES



01 SITE ANALYSIS 1:200

Issue	Amendment	Date
A	DA SUBMISSION	171224
P2	ISSUE FOR APPROVAL	281124
P1	INITIAL ISSUE	241024



PROPOSED ALTERATIONS & ADDITIONS TO EXISTING SEMI DETACHED DWELLING @ 12 PACIFIC PARADE MANLY 2095 LOT 37A DP 438218 FOR JOHN BURRIDGE & KAREN CALCAGNO

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 ARCHITECTS

DEVELOPMENT APPLICATION

Title: **SITE ANALYSIS PLAN**  
 Scale @ A3: 1:200, 1:500  
 Project Ref No: PPMBBC 23110  
 Drawing No: **DA006** A  
 Revision:

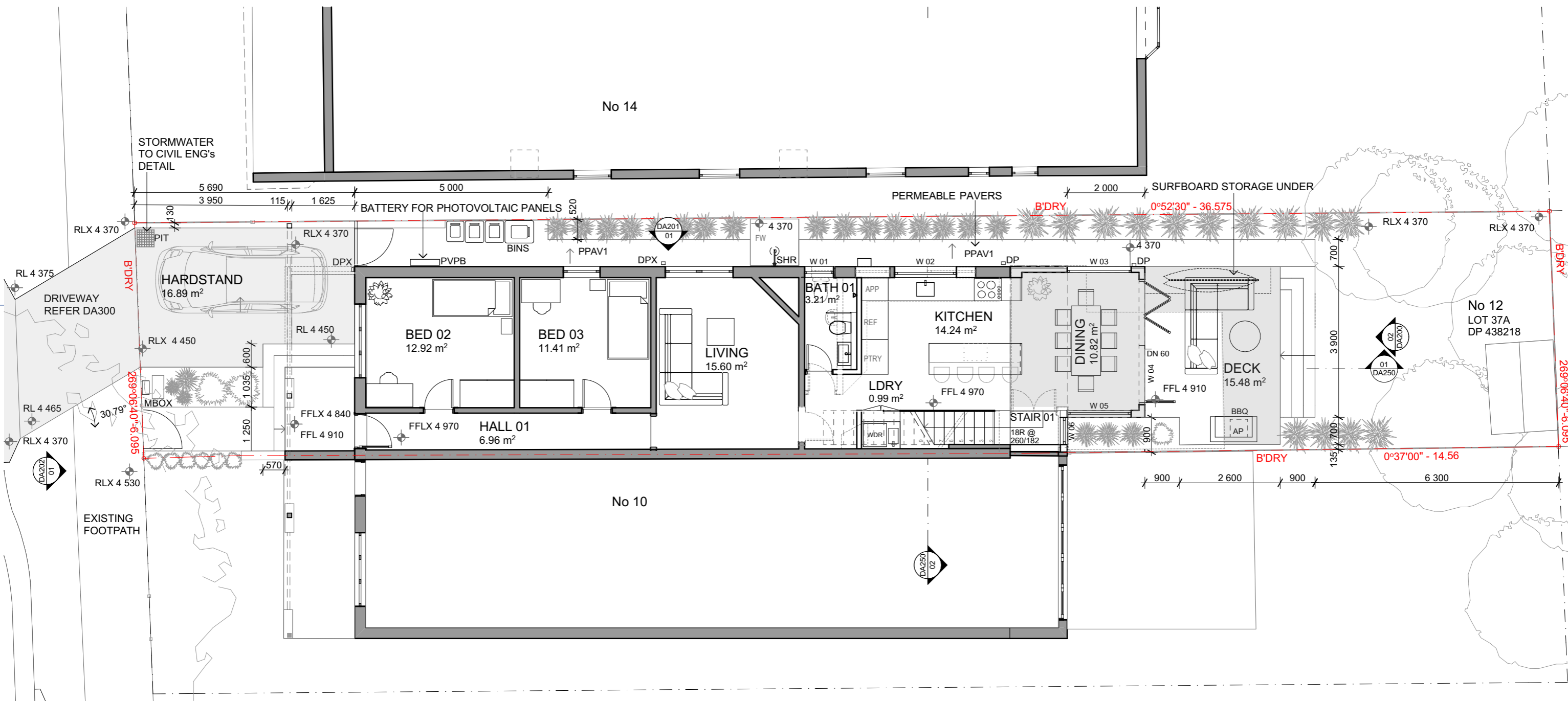
# DEVELOPMENT APPLICATION

EXISTING WALL  
 NEW WALL  
 REMOVE EXISTING

ADDITIONAL BUILDING AREA

## LEGEND

AFL	ABOVE FLOOR LEVEL	COS	CONFIRM ON SITE	OPQ	OPAQUE GLASS	SHR	SHOWER
AGL	ABOVE NATURAL GROUND LEVEL	DP	DOWN PIPE	P_	PAINT FINISH TYPE_	STC	STONE CLADDING
AP	ACCESS PANEL	FB	FACEBRICK	PPAV_	PERMEABLE PAVER TYPE_	STR_	SLATE TILE ROOF_
AWN_	AWNING TYPE_	FL_	COLORBOND FLASHING TYPE_	PVP	PHOTOVOLTAIC PANEL	STRX	SLATE TILE ROOF EXISTING
BBQ	BARBECUE	FP_	FIRE PLACE NUMBER	PVPB	PHOTOVOLTAIC PANEL BATTERY	TOW	TOP OF WALL
BDRY	BOUNDARY	MBOX	MAIL BOX	RL	RELATIVE LEVEL TO AHD	W_	WINDOW NUMBER_
CLL	CLOTHES LINE	OF	OVERFLOW	RWH	RAINWATER HEAD	X	EXISTING



01 GROUND FLOOR PLAN  
1:100

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P6	ISSUE FOR APPROVAL	281124
P5	ISSUE FOR COORDINATION	011024
P4	ISSUE FOR COORDINATION	240924
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS  
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PROPOSED ALTERATIONS & ADDITIONS  
 TO EXISTING SEMI DETACHED DWELLING  
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 ARCHITECTS

Title	GROUND FLOOR PLAN
Scale @ A3	1:100, 1:1
Project Ref No	PPMBC 23110
Drawing No	DA100 A
Revision	



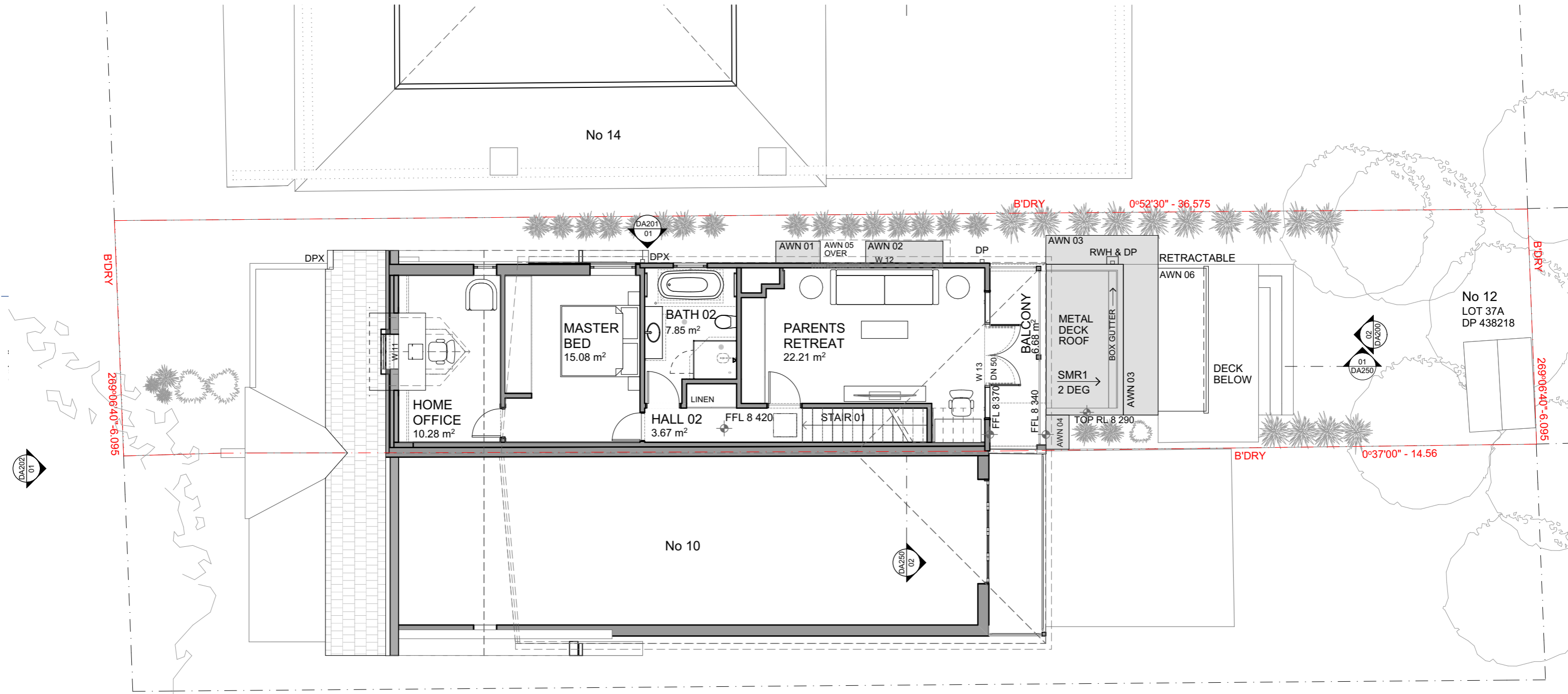
EXISTING WALL NEW WALL  
 REMOVE EXISTING

# DEVELOPMENT APPLICATION

ADDITIONAL BUILDING AREA

## LEGEND

AFL	ABOVE FLOOR LEVEL	COS	CONFIRM ON SITE	OPQ	OPAQUE GLASS	SHR	SHOWER
AGL	ABOVE NATURAL GROUND LEVEL	DP	DOWN PIPE	P_	PAINT FINISH TYPE_	STC	STONE CLADDING
AP	ACCESS PANEL	FB	FACEBRICK	PPAV_	PERMEABLE PAVERTYPE_	STR_	SLATE TILE ROOF_
AWN_	AWNING TYPE_	FL_	COLORBOND FLASHING TYPE_	PVP	PHOTOVOLTAIC PANEL	STRX	SLATE TILE ROOF EXISTING
BBQ	BARBECUE	FP_	FIRE PLACE NUMBER	PVPB	PHOTOVOLTAIC PANEL BATTERY	TOW	TOP OF WALL
BDRY	BOUNDARY	MBOX	MAIL BOX	RL	RELATIVE LEVEL TO AHD	W_	WINDOW NUMBER_
CLL	CLOTHES LINE	OF	OVERFLOW	RWH	RAINWATER HEAD	X	EXISTING



01 FIRST FLOOR PLAN  
 1:100

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P6	ISSUE FOR APPROVAL	281124
P5	ISSUE FOR COORDINATION	011024
P4	ISSUE FOR COORDINATION	240924
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 NSW Architect Registration 6610 ©  
 ARCHITECTS

Title FIRST FLOOR PLAN  
 Scale @ A3 1:100, 1:1  
 Project Ref No PPMB 23110  
 Drawing No DA101 A  
 Revision

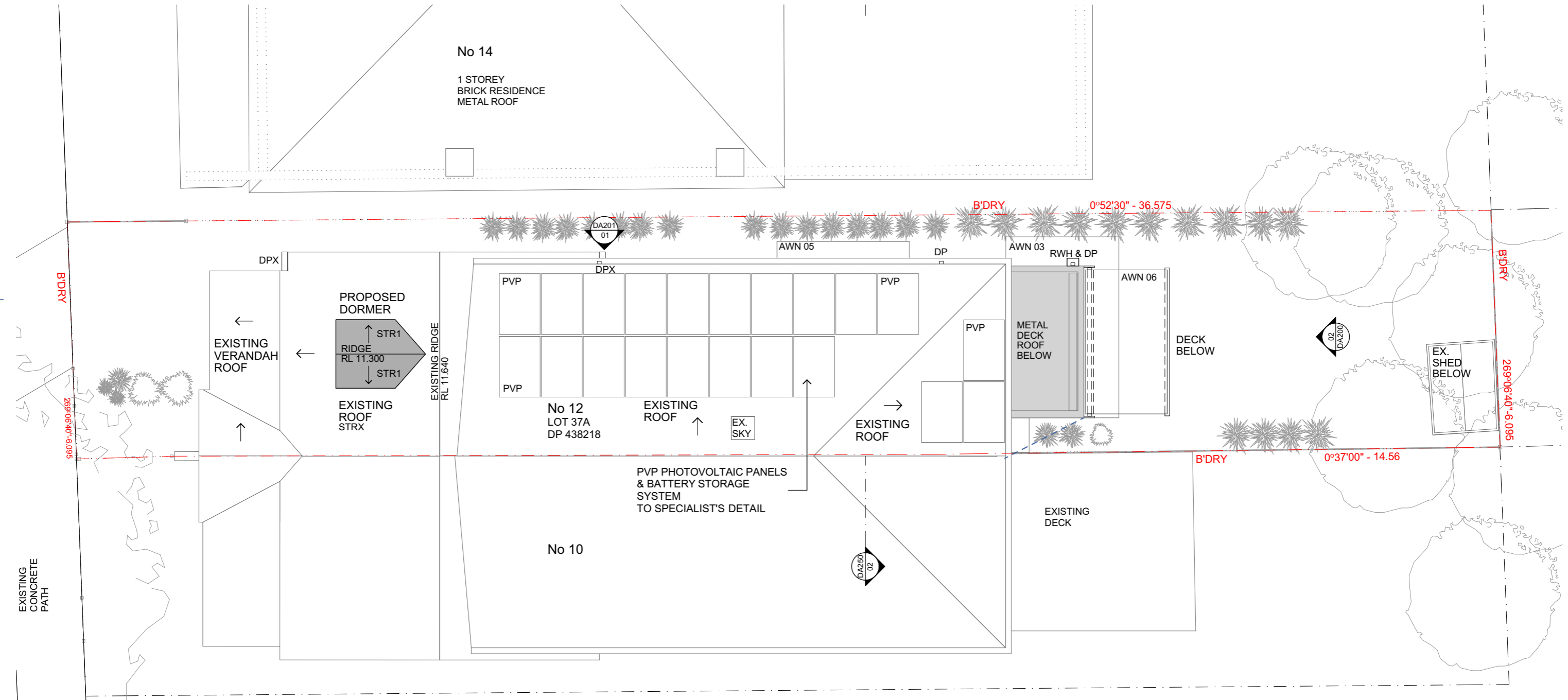
EXISTING WALL   
  NEW WALL  
 REMOVE EXISTING

# DEVELOPMENT APPLICATION

ADDITIONAL BUILDING AREA

## LEGEND

AFL	ABOVE FLOOR LEVEL	COS	CONFIRM ON SITE	OPQ	OPAQUE GLASS	SHR	SHOWER
AGL	ABOVE NATURAL GROUND LEVEL	DP	DOWN PIPE	P_	PAINT FINISH TYPE_	STC	STONE CLADDING
AP	ACCESS PANEL	FB	FACEBRICK	PPAV_	PERMEABLE PAVER TYPE_	STR_	SLATE TILE ROOF_
AWN_	AWNING TYPE_	FL_	COLORBOND FLASHING TYPE_	PVP	PHOTOVOLTAIC PANEL	STRX	SLATE TILE ROOF EXISTING
BBQ	BARBECUE	FP_	FIRE PLACE NUMBER	PVPB	PHOTOVOLTAIC PANEL BATTERY	TOW	TOP OF WALL
BDRY	BOUNDARY	MBOX	MAIL BOX	RL	RELATIVE LEVEL TO AHD	W_	WINDOW NUMBER_
CLL	CLOTHES LINE	OF	OVERFLOW	RWH	RAINWATER HEAD	X	EXISTING



01 ROOF PLAN  
1:100

DEVELOPMENT APPLICATION

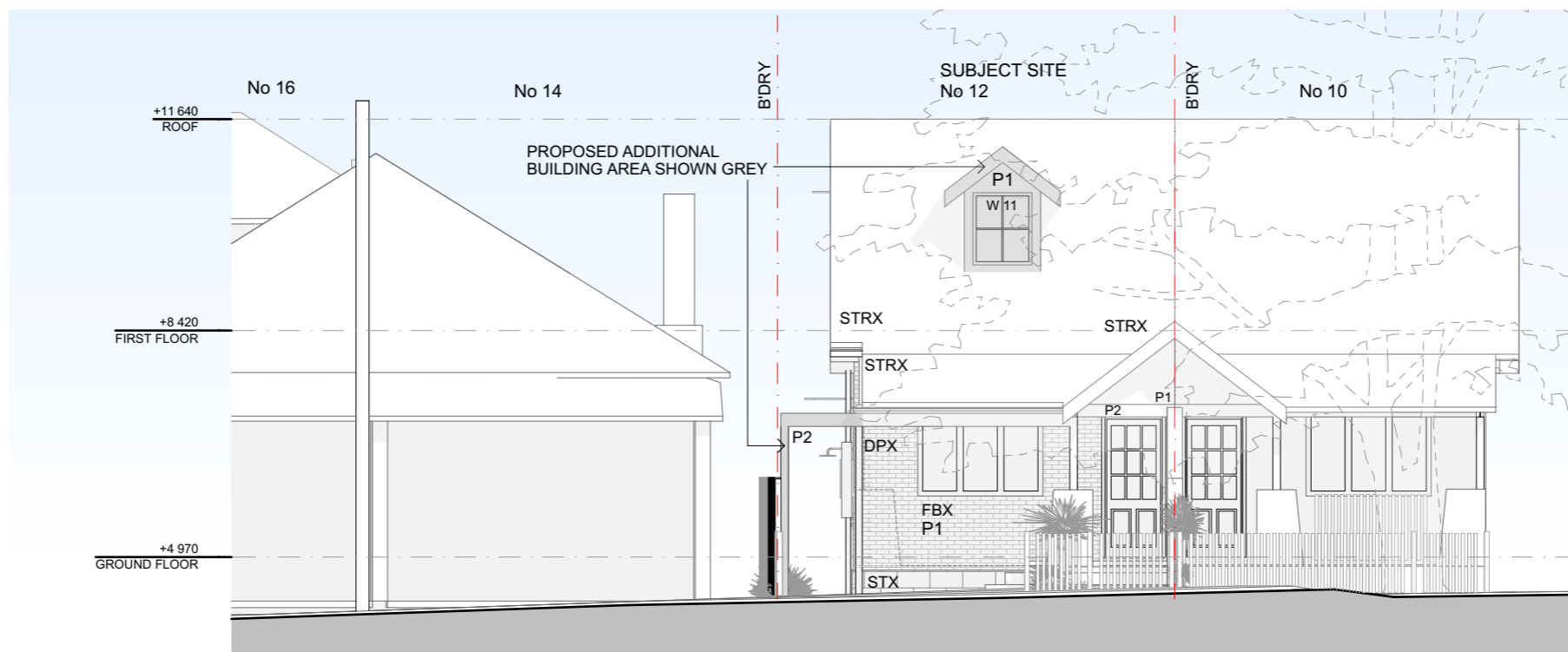
A	DA SUBMISSION	171224
P3	ISSUE FOR APPROVAL	281124
P2	ISSUE FOR COORDINATION	011024
P1	ISSUE FOR COORDINATION	240924
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS  
 CONFIRM ALL DIMENSIONS LEVELS SQUARE  
 PLUMB AND BOUNDARIES ON SITE.  
 DIMENSIONS SHOW FINISHED WALL THICKNESS  
 USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS  
 TO EXISTING SEMI DETACHED DWELLING  
 @ 12 PACIFIC PARADE MANLY 2095  
 LOT 37A DP 438218  
 FOR JOHN BURRIDGE & KAREN CALCAGNO

**Costello + Graham Design**  
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 office@costellograhamdesign.com.au  
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 ARCHITECTS

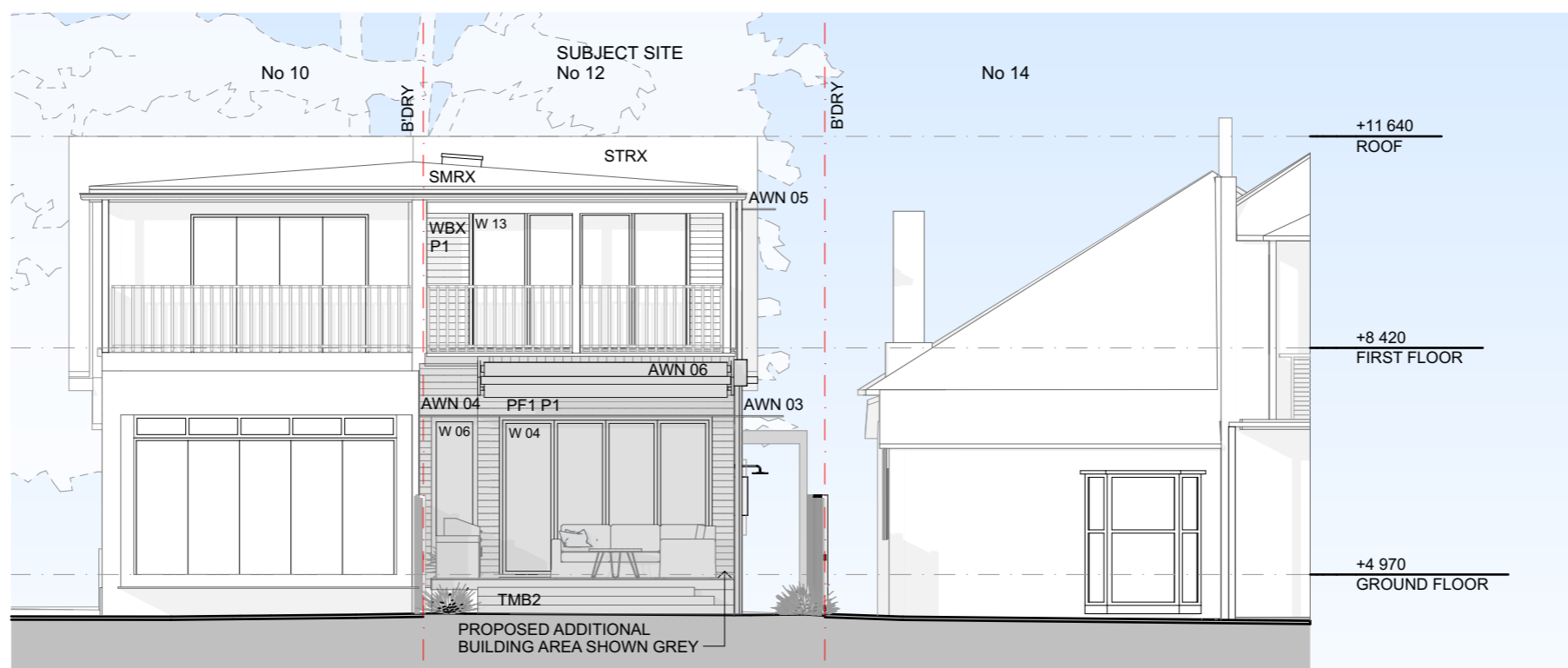
Title	ROOF PLAN
Scale @ A3	1:100, 1:1
Project Ref No	PPMBC 23110
Drawing No	DA102 A
Revision	



01 SOUTH ELEVATION  
1:100

## LEGEND

- AWN\_ AWNING NUMBER \_
- COS CONFIRM ON SITE
- DP DOWN PIPE
- FGL FINISHED GROUND LEVEL
- G\_ GATE NUMBER \_
- MBOX MAIL BOX
- P\_ PAINT TYPE \_
- PF\_ PANELISED FACADE TYPE \_
- PS PRIVACY SCREEN
- PVP PHOTOVOLTAIC PANEL
- PVPB PHOTOVOLTAIC PANEL BATTERY
- RL RELATIVE LEVEL TO AHD
- RP\_ RENDER & PAINT TYPE\_
- RWH RAIN WATER HEAD
- RWT RAIN WATER TANK
- SHR SHOWER
- SMR\_ SHEET METAL ROOFING TYPE \_
- STR\_ SLATE TILE ROOF\_
- STRX SLATE TILE ROOF EXISTING
- TMB\_ TIMBER TYPE \_
- TP TIMBER POST
- W\_ WINDOW NUMBER \_
- WB WEATHERBOARD CLADDING
- X EXISTING



02 NORTH ELEVATION  
1:100

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P6	ISSUE FOR APPROVAL	281124
P5	ISSUE FOR REVIEW	311024
P4	ISSUE FOR COORDINATION	011024
Issue	Amendment	Date



FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
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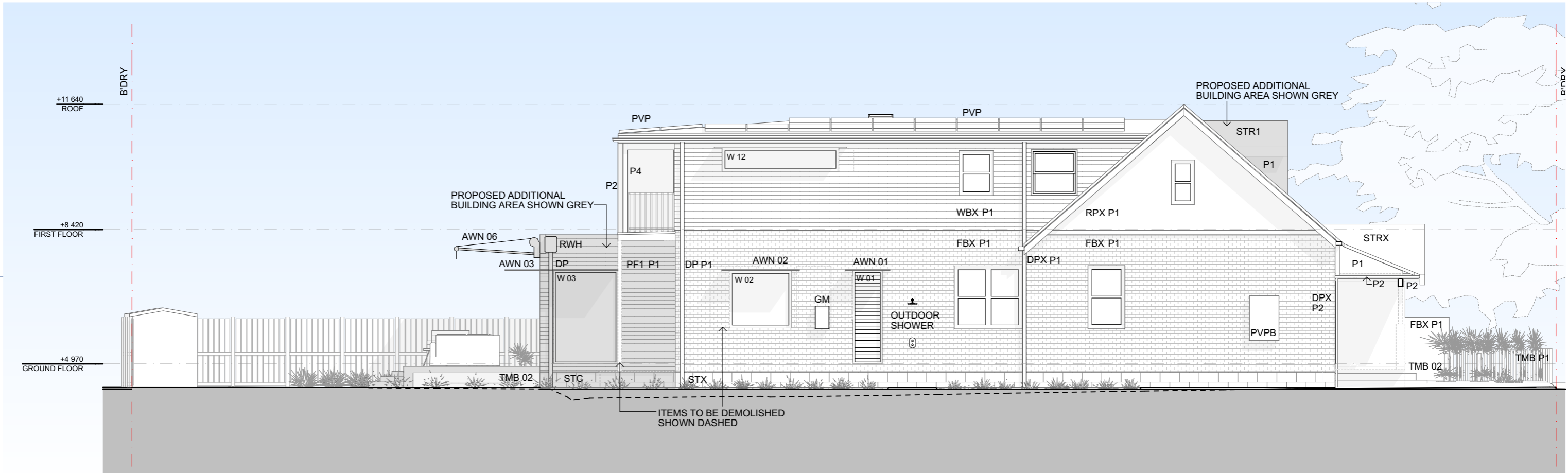


**PROPOSED ALTERATIONS & ADDITIONS  
TO EXISTING SEMI DETACHED DWELLING  
@ 12 PACIFIC PARADE MANLY 2095  
LOT 37A DP 438218  
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 ARCHITECTS



Title **ELEVATIONS 01**  
 Scale @ A3 1:100  
 Project Ref No PPMBC 23110  
 Drawing No **DA200** A  
 Revision



01 WEST ELEVATION  
1:100

### LEGEND

AWN_	AWNING NUMBER _	MBOX	MAIL BOX	RL	RELATIVE LEVEL TO AHD	STR_	SLATE TILE ROOF_
COS	CONFIRM ON SITE	P_	PAINT TYPE _	RP_	RENDER & PAINT TYPE_	STRX	SLATE TILE ROOF EXISTING
DP	DOWN PIPE	PF_	PANELISED FACADE TYPE _	RWH	RAIN WATER HEAD	TMB_	TIMBER TYPE _
FGL	FINISHED GROUND LEVEL	PS	PRIVACY SCREEN	RWT	RAIN WATER TANK	TP	TIMBER POST
G_	GATE NUMBER _	PVP	PHOTOVOLTAIC PANEL	SHR	SHOWER	W_	WINDOW NUMBER _
		PVPB	PHOTOVOLTAIC PANEL BATTERY	SMR_	SHEET METAL ROOFING TYPE _	WB	WEATHERBOARD CLADDING

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P6	ISSUE FOR APPROVAL	281124
P5	ISSUE FOR REVIEW	311024
P4	ISSUE FOR COORDINATION	011024
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
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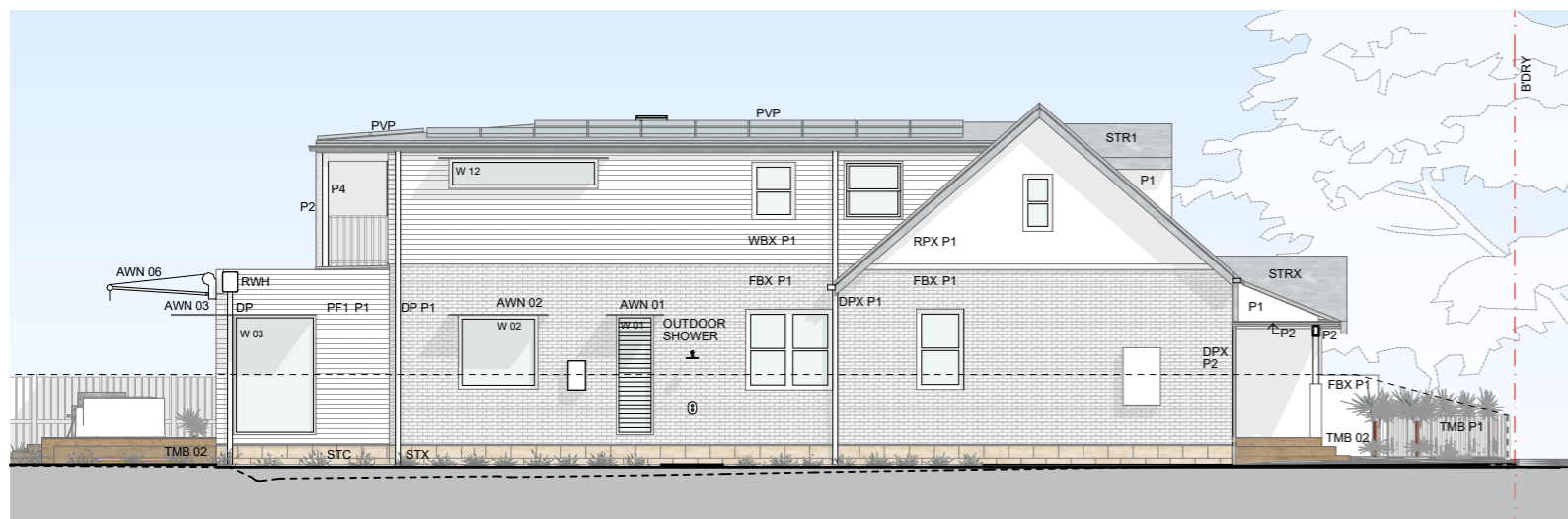
PROPOSED ALTERATIONS & ADDITIONS  
 TO EXISTING SEMI DETACHED DWELLING  
 @ 12 PACIFIC PARADE MANLY 2095  
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 ARCHITECTS

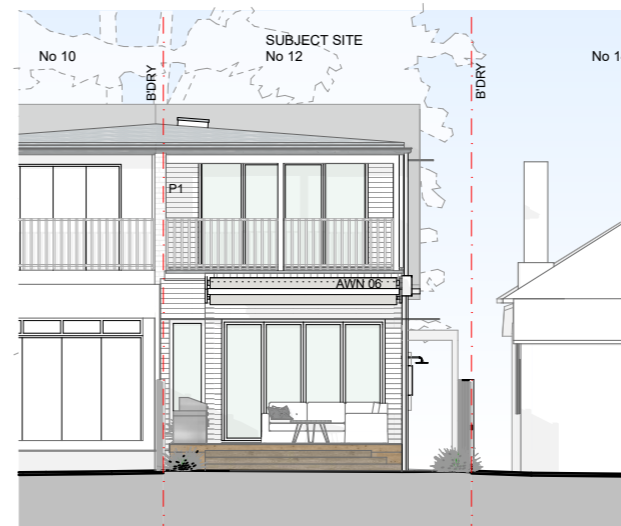
Title	ELEVATIONS 02
Scale @ A3	1:100
Project Ref No	PPMBC 23110
Drawing No	DA201
Revision	A

EXISTING WALL
  NEW WALL  
 REMOVE EXISTING

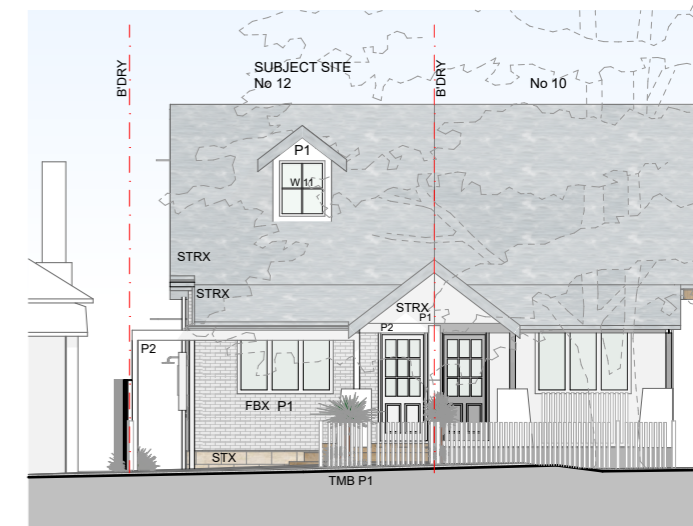
# DEVELOPMENT APPLICATION



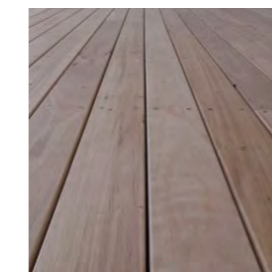
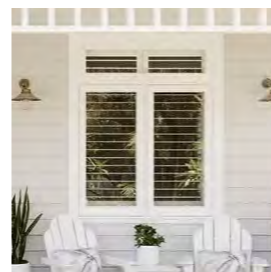
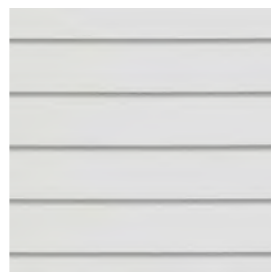
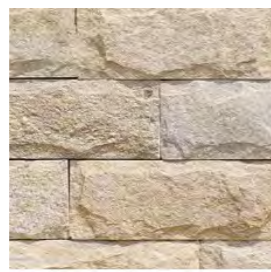
01 WEST ELEVATION FINISHES  
1:150



02 NORTH ELEVATION FINISHES  
1:150



03 SOUTH ELEVATION FINISHES  
1:150



**P1**  
PAINT FINISH  
SIMILIAR TO DULUX  
SNOW SEASON QUARTER SN4E1

**P2 + P4**  
PAINT FINISH TRIMS  
SIMILIAR TO DULUX  
VIVID WHITE SW1G1

**STX / STC**  
STX EXISTING SANDSTONE /  
STC SANDSTONE CLADDING  
BY GOSFORD QUARRIES OR  
SIMILAR

**FBX**  
EXISTING FACE BRICK  
WITH P1 PAINT FINISH

**PF1 P1**  
PANELISED FACADE TYPE 1  
LINEA WEATHERBOARD BY  
JAMES HARDIE INDUSTRIES  
P1 PAINT FINISH

**W\_**  
TIMBER WINDOWS  
PAINT FINISH P4

**TMB2**  
TIMBER DECK  
BLACKBUTT STAINED  
FINISH OR SIMILAR

**AWN\_**  
AWNING TO MATCH  
COLORBOND BASALT

**SMR, DPs + GUTTERS**  
SHEET METAL ROOFING  
SIMILIAR TO  
LYSAGHT LONGLINE 305  
BASALT MATT  
COLORBOND FINISH

**STR1**  
SLATE ROOF TILES TO  
DORMER WINDOW TO MATCH  
AND /OR REUSE EXISTING

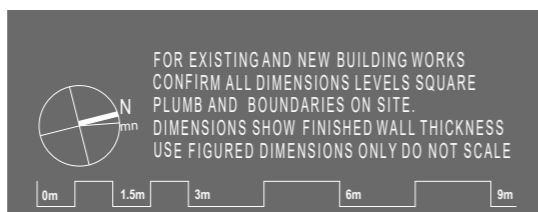
## 04 SCHEDULE OF MATERIALS & FINISHES

### LEGEND

AWN_	AWNING NUMBER _	MBOX	MAIL BOX	RL	RELATIVE LEVEL TO AHD	STR_	SLATE TILE ROOF_
COS	CONFIRM ON SITE	P_	PAINT TYPE _	RP_	RENDER & PAINT TYPE_	STRX	SLATE TILE ROOF EXISTING
DP	DOWN PIPE	PF_	PANELISED FACADE TYPE _	RWH	RAIN WATER HEAD	TMB_	TIMBER TYPE _
FGL	FINISHED GROUND LEVEL	PS	PRIVACY SCREEN	RWT	RAIN WATER TANK	TP	TIMBER POST
G_	GATE NUMBER _	PVP	PHOTOVOLTAIC PANEL	SHR	SHOWER	W_	WINDOW NUMBER _
		PVPB	PHOTOVOLTAIC PANEL BATTERY	SMR_	SHEET METAL ROOFING TYPE _	WB	WEATHERBOARD CLADDING

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
Issue	Amendment	Date



PROPOSED ALTERATIONS & ADDITIONS  
 TO EXISTING SEMI DETACHED DWELLING  
 @ 12 PACIFIC PARADE MANLY 2095  
 LOT 37A DP 438218  
 FOR JOHN BURRIDGE & KAREN CALCAGNO

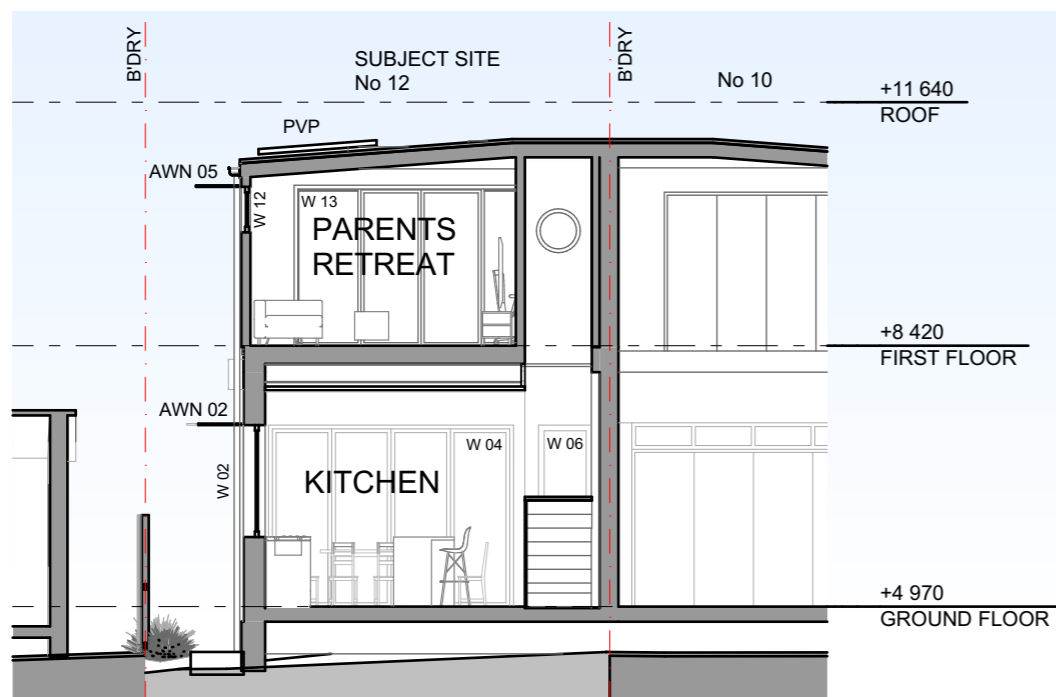
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 ph (02) 9977 1981  
 Robert Costello Nominated Architect  
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 ARCHITECTS

Title	COLOURS + FINISHES
Scale @ A3	1:150
Project Ref No	PPMBC 23110
Drawing No	DA202
Revision	A

EXISTING WALL NEW WALL  
 REMOVE EXISTING

# DEVELOPMENT APPLICATION

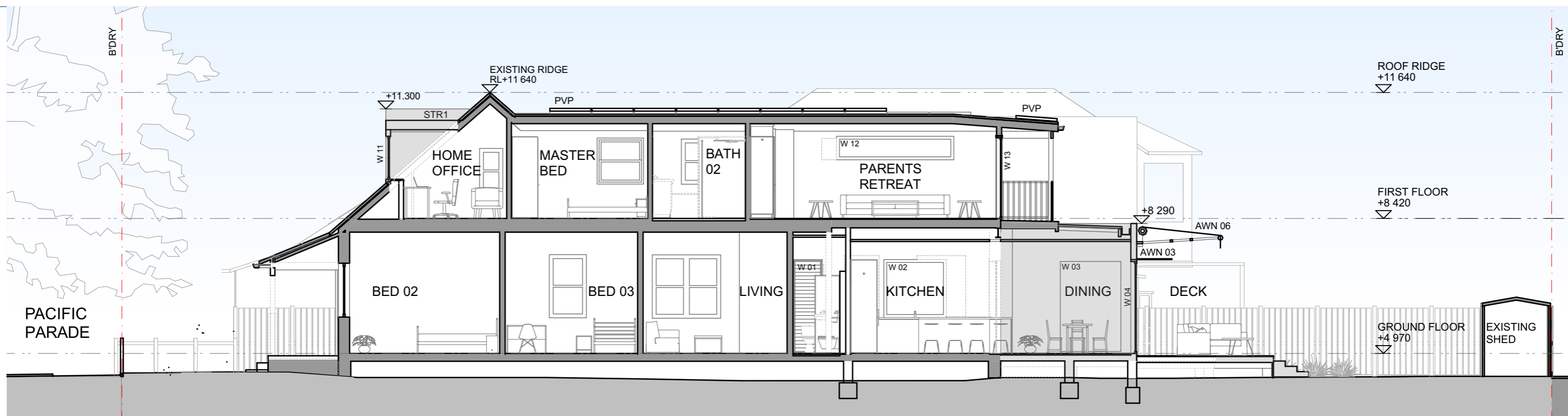
ADDITIONAL BUILDING AREA



02 SECTION E01  
1:100

## LEGEND

- AWN\_ AWNING NUMBER \_
- COS CONFIRM ON SITE
- DP DOWN PIPE
- FGL FINISHED GROUND LEVEL
- G\_ GATE NUMBER \_
- MBOX MAIL BOX
- P\_ PAINT TYPE \_
- PF\_ PANELISED FACADE TYPE \_
- PS PRIVACY SCREEN
- PVP PHOTOVOLTAIC PANEL
- PVPB PHOTOVOLTAIC PANEL BATTERY
- RL RELATIVE LEVEL TO AHD
- RP\_ RENDER & PAINT TYPE\_
- RWH RAIN WATER HEAD
- RWT RAIN WATER TANK
- SHR SHOWER
- SMR\_ SHEET METAL ROOFING TYPE \_
- STR\_ SLATE TILE ROOF\_
- STRX SLATE TILE ROOF EXISTING
- TMB\_ TIMBER TYPE \_
- TP TIMBER POST
- W\_ WINDOW NUMBER \_
- WB WEATHERBOARD CLADDING
- X EXISTING



01 SECTION N01  
1:100

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P5	ISSUE FOR APPROVAL	281124
P4	ISSUE FOR COORDINATION	011024
P3	ISSUE FOR COORDINATION	240924
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS  
 CONFIRM ALL DIMENSIONS LEVELS SQUARE  
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PROPOSED ALTERATIONS & ADDITIONS  
 TO EXISTING SEMI DETACHED DWELLING  
 @ 12 PACIFIC PARADE MANLY 2095  
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 ARCHITECTS

Title	SECTIONS 01
Scale @ A3	1:100
Project Ref No	PPMBC 23110
Drawing No	DA250 A
Revision	

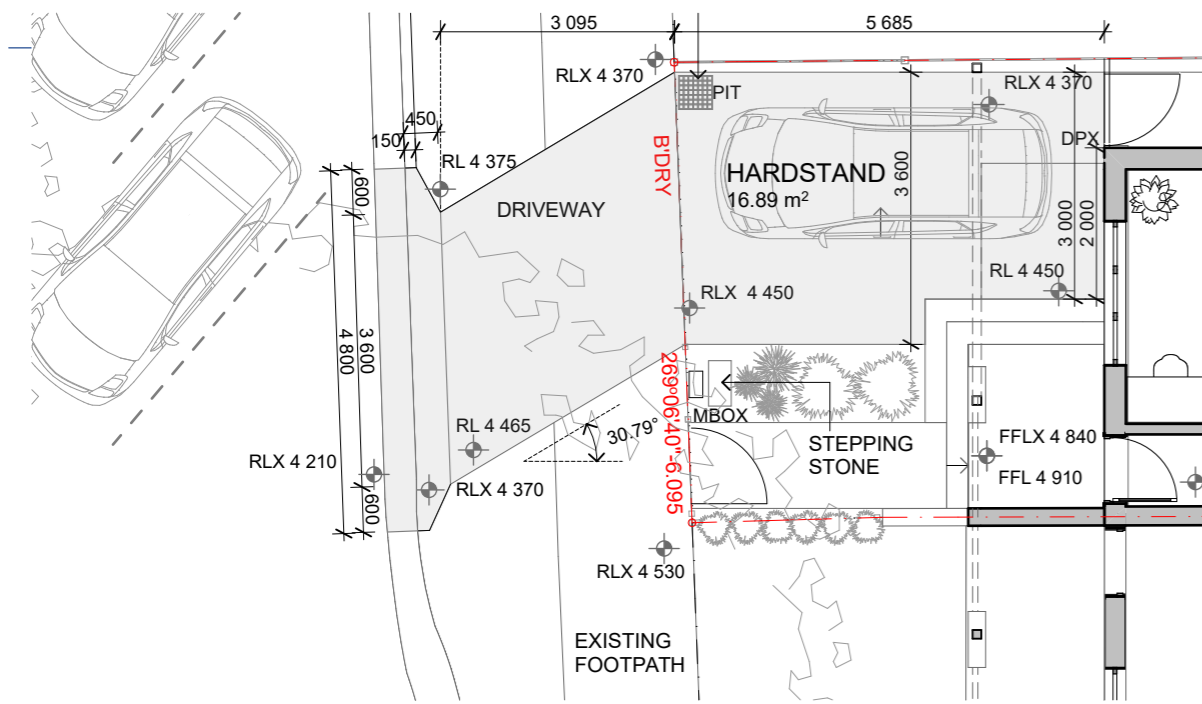
EXISTING WALL NEW WALL  
 REMOVE EXISTING

# DEVELOPMENT APPLICATION

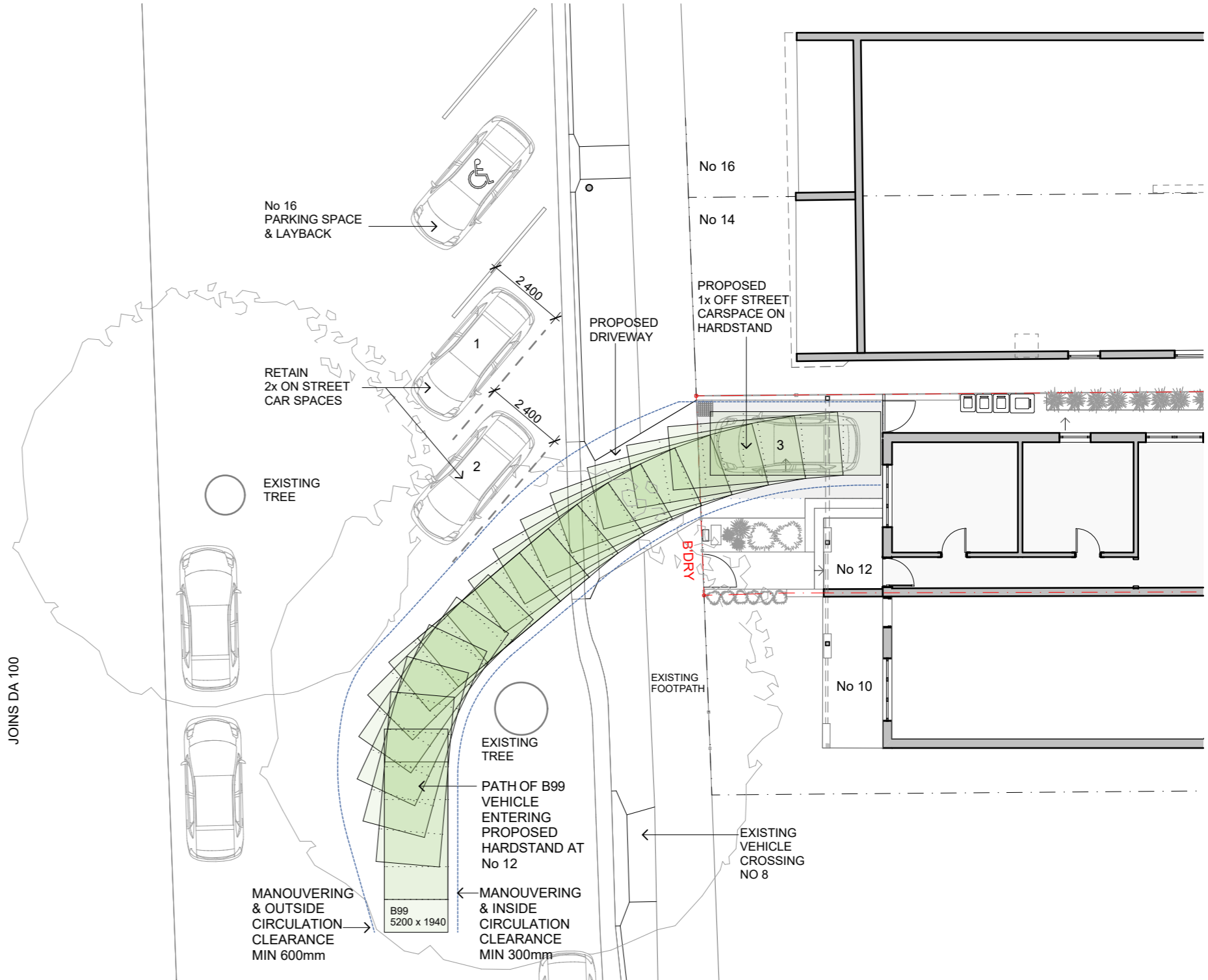
ADDITIONAL BUILDING AREA



02 STREET VIEW IMAGE PACIFIC PARADE



01 DRIVEWAY & HARDSTAND PLAN  
1:100



03 B99 VEHICLE SWEEP PATH TURNING DIAGRAM  
1:150

A	DA SUBMISSION	171224
P2	ISSUE FOR APPROVAL	281124
P1	ISSUE FOR COORDINATION	011024
Issue	Amendment	Date

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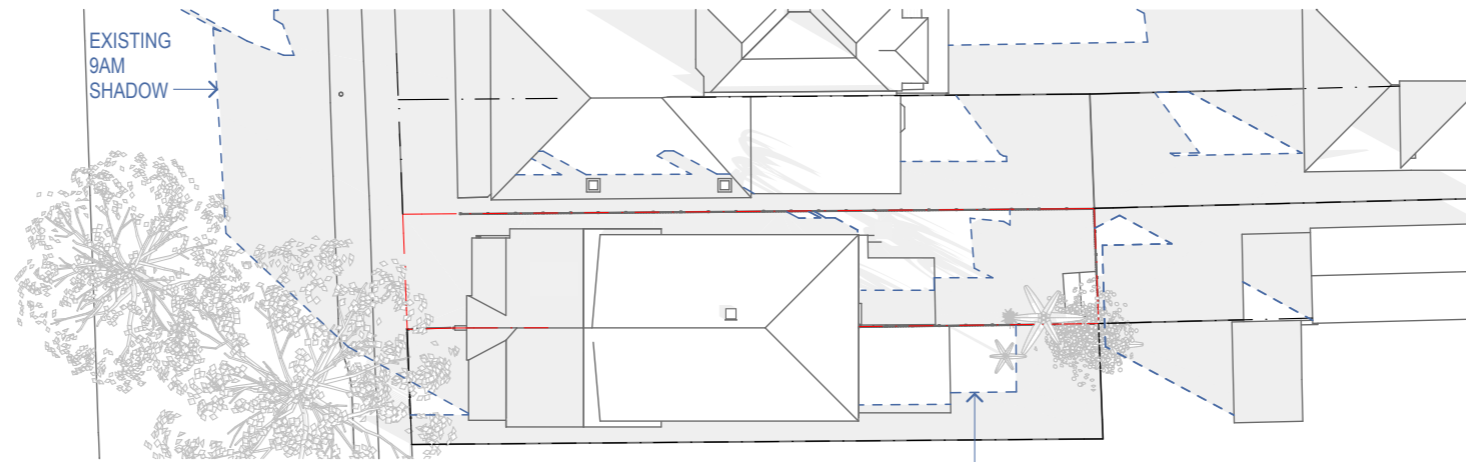
PROPOSED ALTERATIONS & ADDITIONS  
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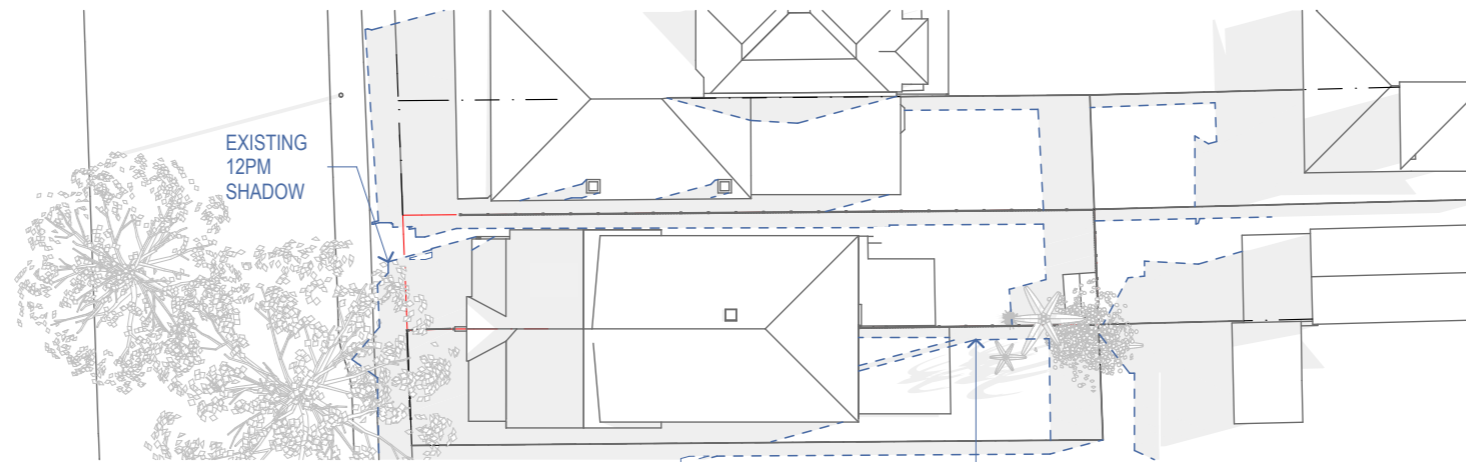
DEVELOPMENT APPLICATION

Title	VEHICLE TURNING DIAGRAM
Scale @ A3	1:150, 1:100
Project Ref No	PPMBC 23110
Drawing No	DA300 A
Revision	

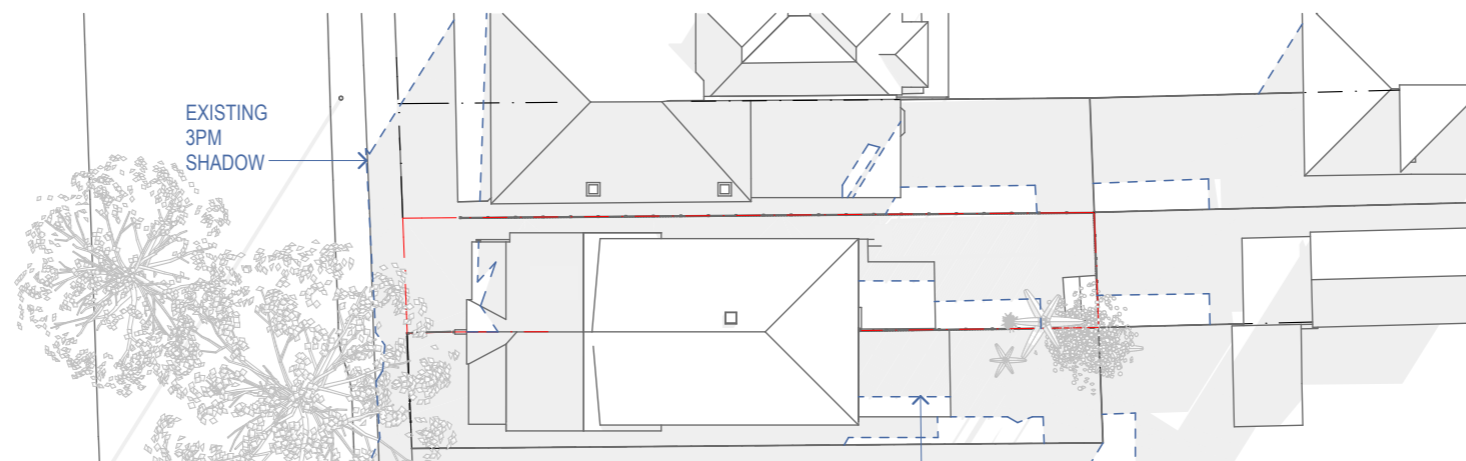
# DEVELOPMENT APPLICATION



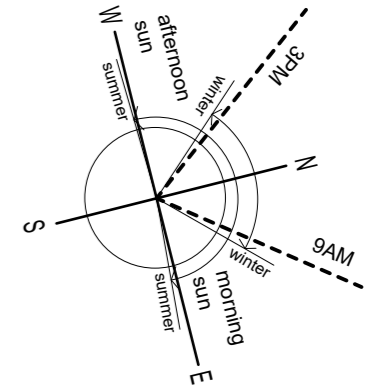
01 EXISTING SHADOW DIAGRAM 21 JUNE 9am  
1:400



02 EXISTING SHADOW DIAGRAM 21 JUNE 12pm  
1:400



03 EXISTING SHADOW DIAGRAM 21 JUNE 3pm  
1:400





## SHADOW PROJECTIONS SYDNEY

LATITUDE: 34°0" S  
LONGITUDE: 151°0" E

**21ST JUNE WINTER SOLSTICE**  
9AM ALT 18 DEG AZM 43 DEG EoN  
12PM ALT 32 DEG AZM 0 DEG EoN  
3PM ALT 17 DEG AZM 317 DEG EoN

**21ST SEPTEMBER EQUINOX**  
9AM ALT 35 DEG AZM 60 DEG EoN  
12PM ALT 55 DEG AZM 0 DEG EoN  
3PM ALT 35 DEG AZM 300 DEG EoN

EXISTING SHADOW   
ADDITIONAL SHADOW 

**DESIGN COMPLIANCE SUMMARY - FORMER MANLY**  
MIN 4 HOURS SOLAR ACCESS TO LIVING ROOM  
WINDOWS OF ADJACENT PROPERTIES WITH N-S SITE  
ORIENTATION TO BE MAINTAINED

NO 10 PACIFIC PARADE - 4 HOURS OF SOLAR ACCESS  
TO LIVING ROOM WINDOWS ARE MAINTAINED  
BETWEEN 9AM AND 1PM PM ON 21ST JUNE.

NO 14 PACIFIC PARADE - 4 HOURS OF SOLAR ACCESS  
TO LIVING ROOM WINDOWS ARE MAINTAINED  
BETWEEN 9AM AND 3PM PM ON 21ST JUNE.

MAX 1/3 LOSS OF SOLAR ACCESS TO POS PRIVATE  
OPEN SPACE OF ADJACENT PROPERTIES

NO 10 PACIFIC PARADE - EXISTING SOLAR ACCESS  
TO POS IS NOT REDUCED BY MORE THAN 1/3 OF  
EXISTING AVAILABLE BETWEEN 9AM AND 3PM ON  
21ST JUNE.

NO 14 PACIFIC PARADE - EXISTING SOLAR ACCESS  
TO PRIVATE OPEN SPACE IS MAINTAINED BETWEEN  
9AM AND 3PM PM ON 21ST JUNE.

**CONCLUSION**  
THE DESIGN PROPOSALS FOR NO 12 PACIFIC PARADE  
MANLY PROVIDE COMPLIANT SOLAR ACCESS TO THE  
WINDOWS & POS PRIVATE OPEN SPACE OF NOS 10 &  
14 PACIFIC PARADE MANLY.

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P2	ISSUE FOR APPROVAL	281124
P1	INITIAL ISSUE	241024
Issue	Amendment	Date



FOR EXISTING AND NEW BUILDING WORKS  
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PROPOSED ALTERATIONS & ADDITIONS  
TO EXISTING SEMI DETACHED DWELLING  
@ 12 PACIFIC PARADE MANLY 2095  
LOT 37A DP 438218  
FOR JOHN BURRIDGE & KAREN CALCAGNO

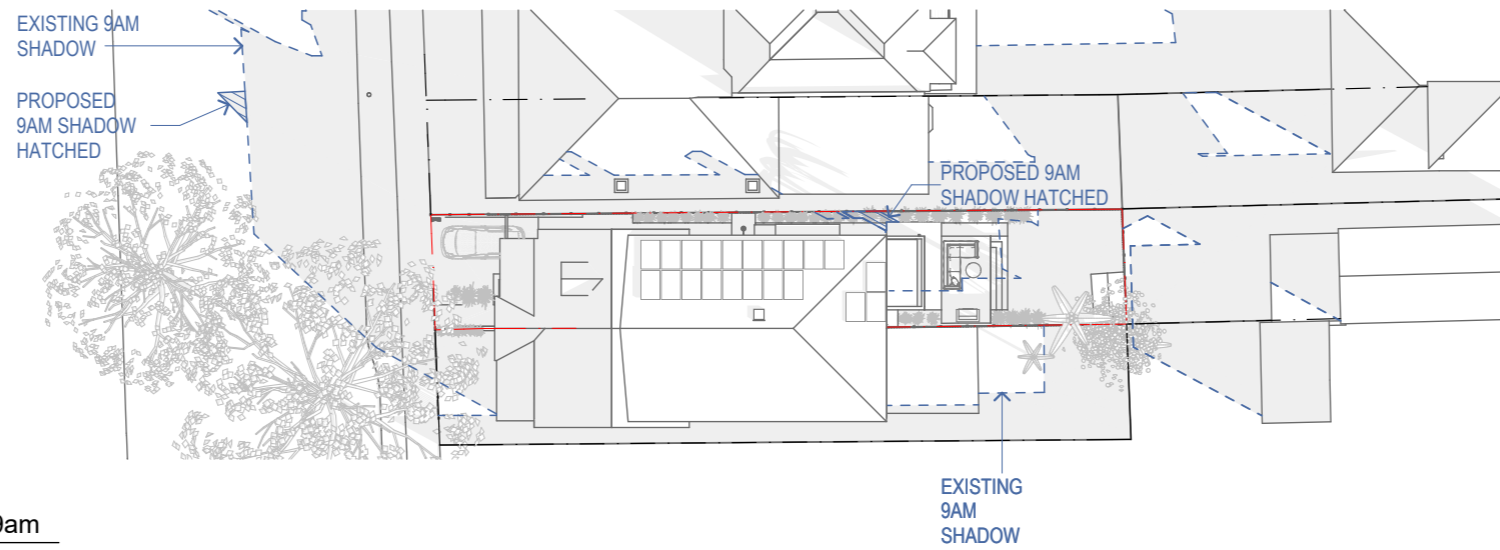
Costello + Graham Design  
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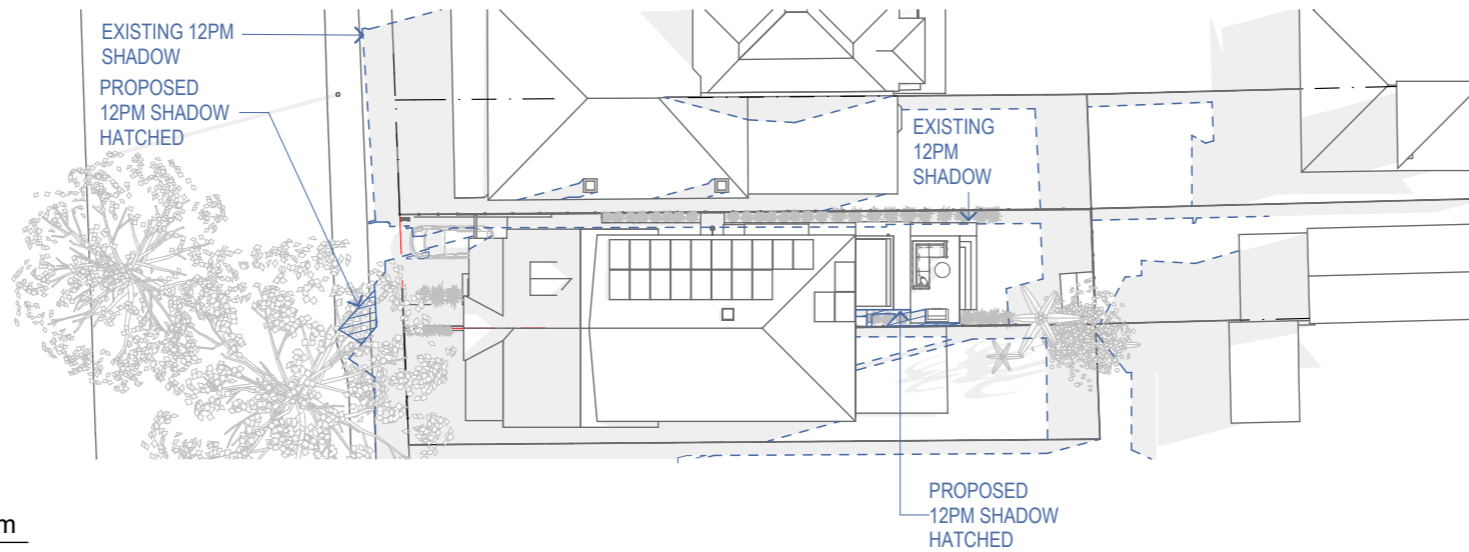
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Scale @ A3 1:400  
Project Ref No PPMBBC 23110  
Drawing No DA900 A  
Revision



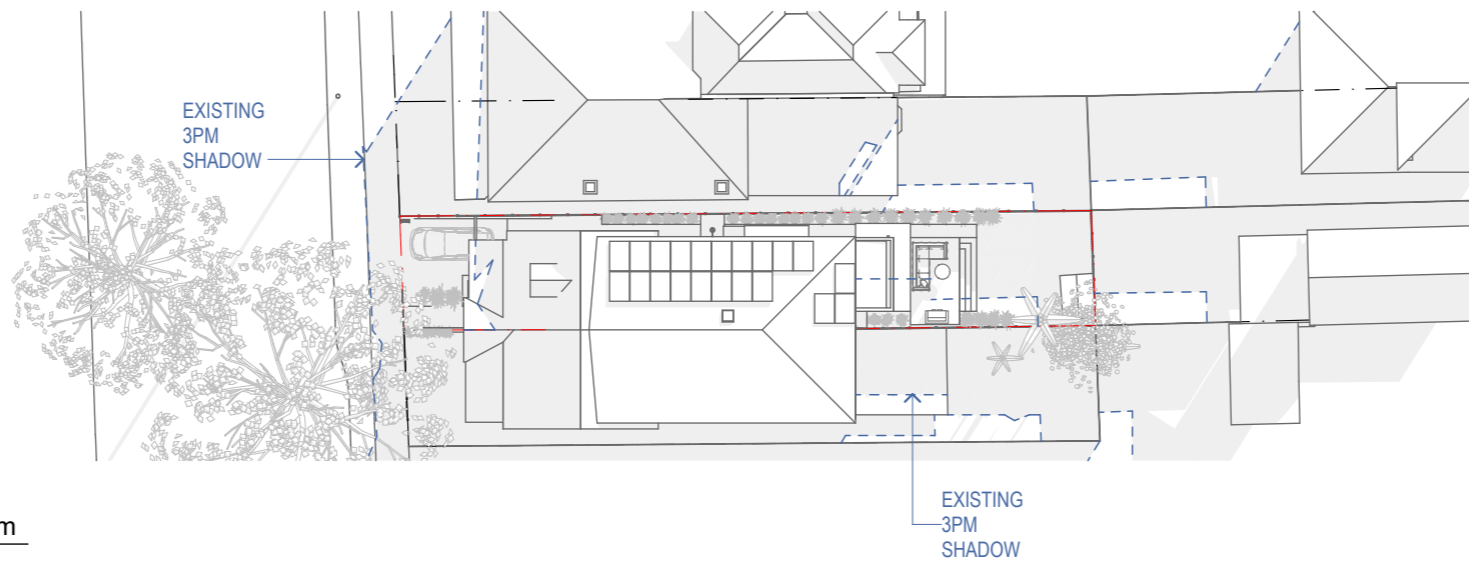
# DEVELOPMENT APPLICATION



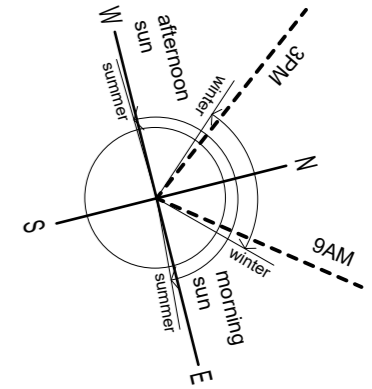
01 PROPOSED SHADOW DIAGRAM 21 JUNE 9am  
1:400



02 PROPOSED SHADOW DIAGRAM 21 JUNE 12pm  
1:400



03 PROPOSED SHADOW DIAGRAM 21 JUNE 3pm  
1:400



## SHADOW PROJECTIONS SYDNEY

LATITUDE: 34°0' S  
LONGITUDE: 151°0' E

**21ST JUNE WINTER SOLSTICE**  
9AM ALT 18 DEG AZM 43 DEG EoN  
12PM ALT 32 DEG AZM 0 DEG EoN  
3PM ALT 17 DEG AZM 317 DEG EoN

**21ST SEPTEMBER EQUINOX**  
9AM ALT 35 DEG AZM 60 DEG EoN  
12PM ALT 55 DEG AZM 0 DEG EoN  
3PM ALT 35 DEG AZM 300 DEG EoN

EXISTING SHADOW   
ADDITIONAL SHADOW

**DESIGN COMPLIANCE SUMMARY - FORMER MANLY**  
MIN 4 HOURS SOLAR ACCESS TO LIVING ROOM WINDOWS OF ADJACENT PROPERTIES WITH N-S SITE ORIENTATION TO BE MAINTAINED

NO 10 PACIFIC PARADE - 4 HOURS OF SOLAR ACCESS TO LIVING ROOM WINDOWS ARE MAINTAINED BETWEEN 9AM AND 1PM PM ON 21ST JUNE.

NO 14 PACIFIC PARADE - 4 HOURS OF SOLAR ACCESS TO LIVING ROOM WINDOWS ARE MAINTAINED BETWEEN 9AM AND 3PM PM ON 21ST JUNE.

MAX 1/3 LOSS OF SOLAR ACCESS TO POS PRIVATE OPEN SPACE OF ADJACENT PROPERTIES

NO 10 PACIFIC PARADE - EXISTING SOLAR ACCESS TO POS IS NOT REDUCED BY MORE THAN 1/3 OF EXISTING AVAILABLE BETWEEN 9AM AND 3PM ON 21ST JUNE.

NO 14 PACIFIC PARADE - EXISTING SOLAR ACCESS TO PRIVATE OPEN SPACE IS MAINTAINED BETWEEN 9AM AND 3PM PM ON 21ST JUNE.

**CONCLUSION**  
THE DESIGN PROPOSALS FOR NO 12 PACIFIC PARADE MANLY PROVIDE COMPLIANT SOLAR ACCESS TO THE WINDOWS & POS PRIVATE OPEN SPACE OF NOS 10 & 14 PACIFIC PARADE MANLY.

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P2	ISSUE FOR APPROVAL	281124
P1	INITIAL ISSUE	241024
Issue	Amendment	Date



FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
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DIMENSIONS SHOW FINISHED WALL THICKNESS  
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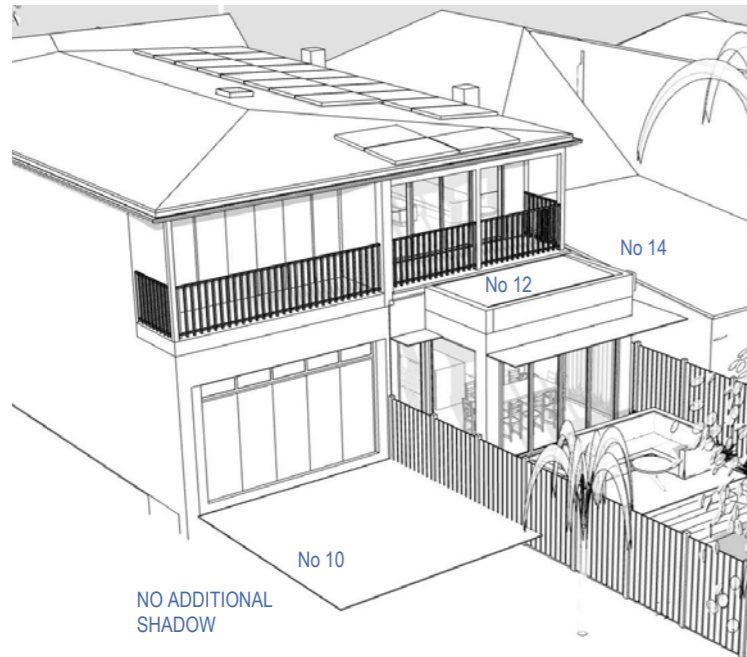
PROPOSED ALTERATIONS & ADDITIONS  
TO EXISTING SEMI DETACHED DWELLING  
@ 12 PACIFIC PARADE MANLY 2095  
LOT 37A DP 438218  
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ARCHITECTS

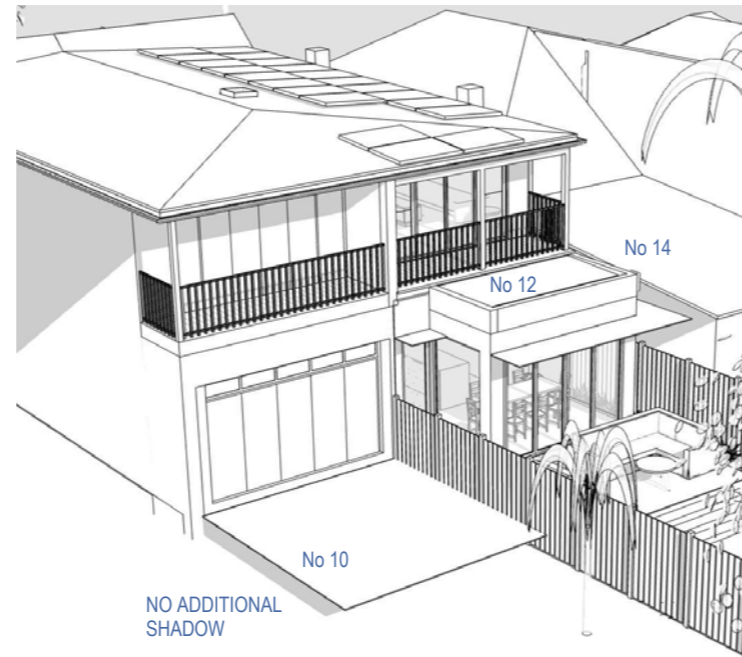


Title SHADOW DIAGRAMS 02  
Scale @ A3 1:400  
Project Ref No PPMB 23110  
Drawing No DA901 A  
Revision

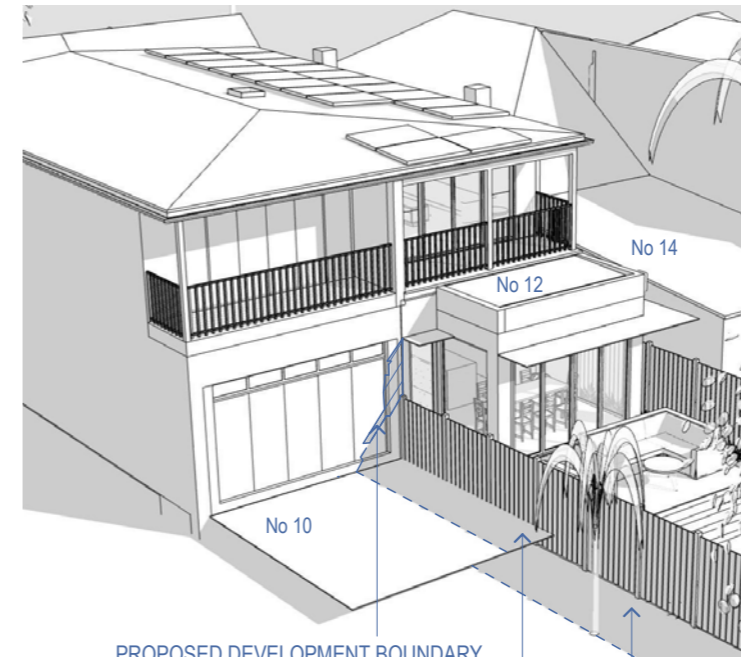
# DEVELOPMENT APPLICATION



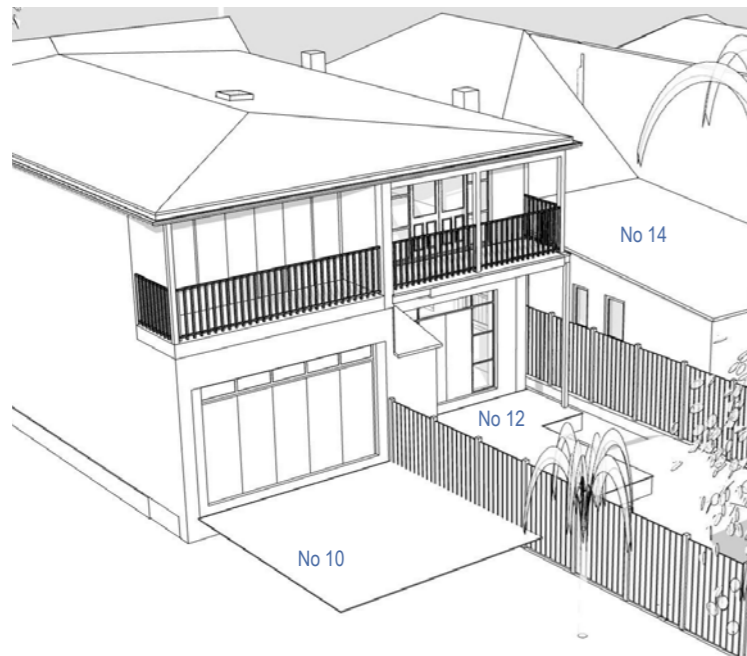
04 3D PROPOSED SHADOW - REAR - 9AM



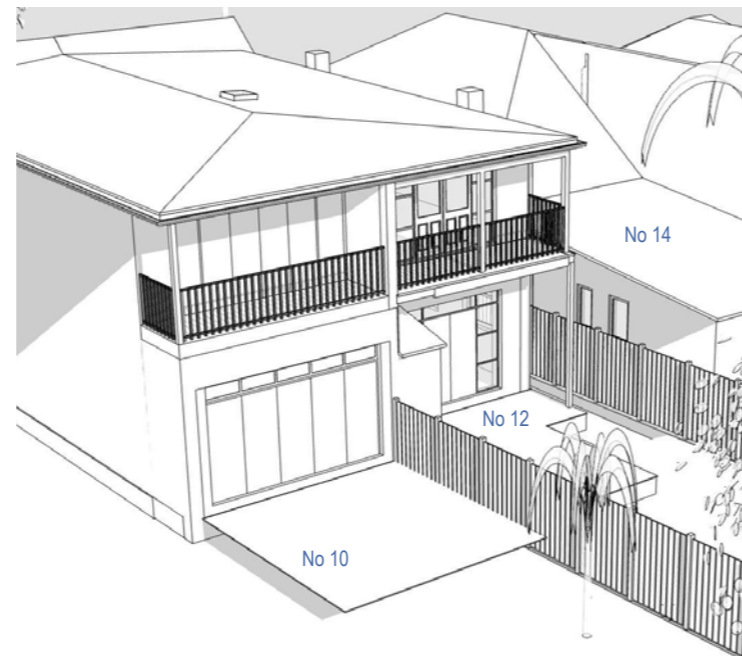
05 3D PROPOSED SHADOW - REAR - 11AM



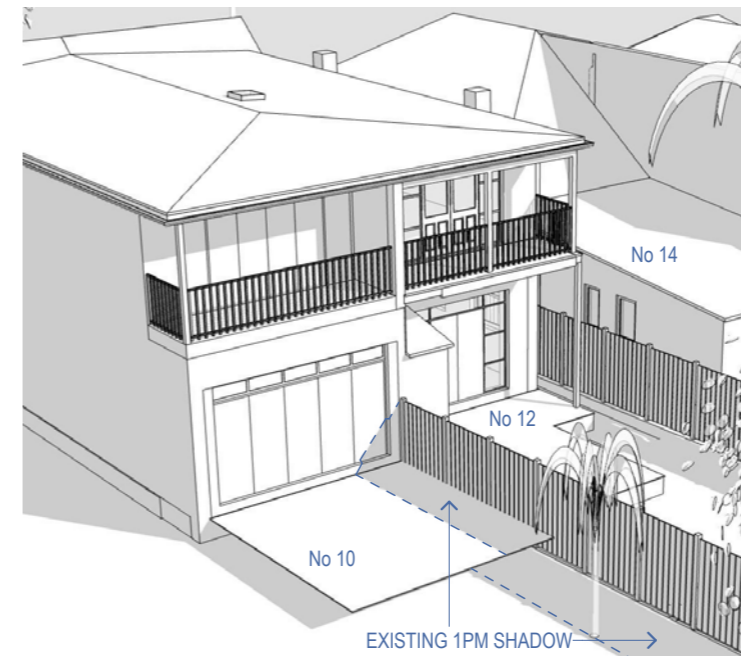
06 3D PROPOSED SHADOW - REAR - 1PM



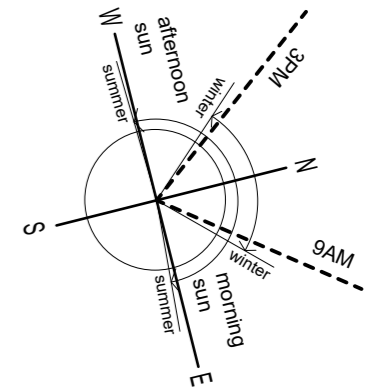
01 3D EXISTING SHADOW - REAR - 9AM



02 3D EXISTING SHADOW - REAR - 11AM



03 3D EXISTING SHADOW - REAR - 1PM



## SHADOW PROJECTIONS SYDNEY

LATITUDE: 34°0' S  
LONGITUDE: 151°0' E

**21ST JUNE WINTER SOLSTICE**  
9AM ALT 18 DEG AZM 43 DEG EoN  
12PM ALT 32 DEG AZM 0 DEG EoN  
3PM ALT 17 DEG AZM 317 DEG EoN

**21ST SEPTEMBER EQUINOX**  
9AM ALT 35 DEG AZM 60 DEG EoN  
12PM ALT 55 DEG AZM 0 DEG EoN  
3PM ALT 35 DEG AZM 300 DEG EoN

EXISTING SHADOW (dashed line)  
ADDITIONAL SHADOW (hatched area)

**DESIGN COMPLIANCE SUMMARY - FORMER MANLY**  
MIN 4 HOURS SOLAR ACCESS TO LIVING ROOM WINDOWS OF ADJACENT PROPERTIES WITH N-S SITE ORIENTATION TO BE MAINTAINED

NO 10 PACIFIC PARADE - 4 HOURS OF SOLAR ACCESS TO LIVING ROOM WINDOWS ARE MAINTAINED BETWEEN 9AM AND 1PM PM ON 21ST JUNE.  
NO 14 PACIFIC PARADE - 4 HOURS OF SOLAR ACCESS TO LIVING ROOM WINDOWS ARE MAINTAINED BETWEEN 9AM AND 3PM PM ON 21ST JUNE.

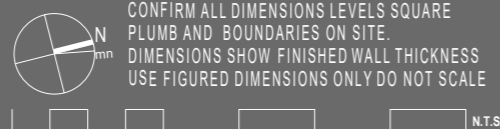
MAX 1/3 LOSS OF SOLAR ACCESS TO POS PRIVATE OPEN SPACE OF ADJACENT PROPERTIES

NO 10 PACIFIC PARADE - EXISTING SOLAR ACCESS TO POS IS NOT REDUCED BY MORE THAN 1/3 OF EXISTING AVAILABLE BETWEEN 9AM AND 3PM ON 21ST JUNE.  
NO 14 PACIFIC PARADE - EXISTING SOLAR ACCESS TO PRIVATE OPEN SPACE IS MAINTAINED BETWEEN 9AM AND 3PM PM ON 21ST JUNE.

**CONCLUSION**  
THE DESIGN PROPOSALS FOR NO 12 PACIFIC PARADE MANLY PROVIDE COMPLIANT SOLAR ACCESS TO THE WINDOWS & POS PRIVATE OPEN SPACE OF NOS 10 & 14 PACIFIC PARADE MANLY.

DEVELOPMENT APPLICATION

A	DA SUBMISSION	171224
P2	ISSUE FOR APPROVAL	281124
P1	INITIAL ISSUE	241024
Issue	Amendment	Date



PROPOSED ALTERATIONS & ADDITIONS  
TO EXISTING SEMI DETACHED DWELLING  
@ 12 PACIFIC PARADE MANLY 2095  
LOT 37A DP 438218  
FOR JOHN BURRIDGE & KAREN CALCAGNO

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NSW Architect Registration 6610 ©  
ARCHITECTS



Title SHADOW DIAGRAMS 03  
Scale @ A3  
Project Ref No PPMB 23110  
Drawing No DA902 A  
Revision