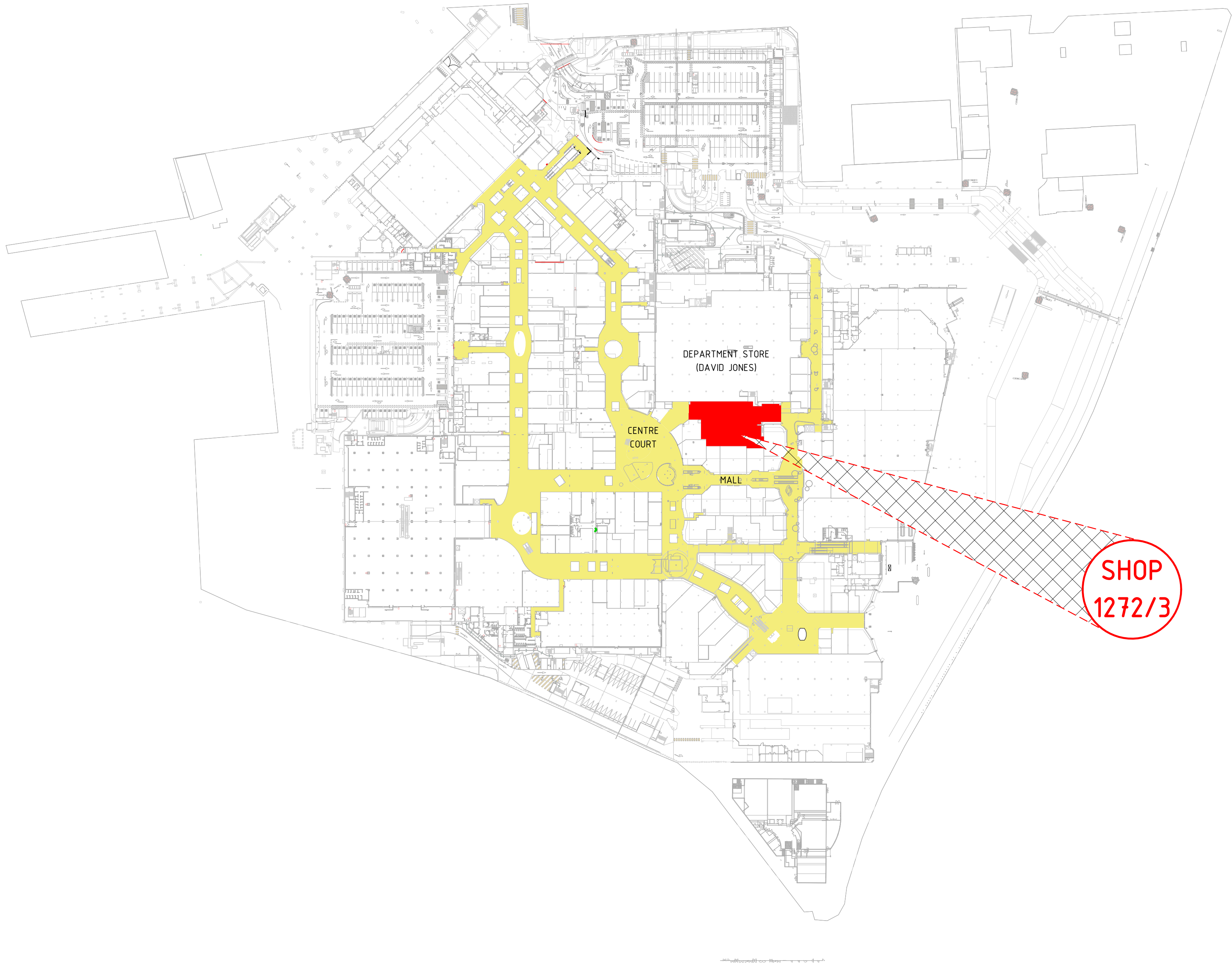




northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2022/0332



TENANCY STANDARD NOTES

1. ALL FITOUTS SHALL COMPLY WITH RELEVANT HEALTH & FOOD CODES AND NCC (NATIONAL CONSTRUCTION CODE) PLUS THE CENTRE FIRE ENGINEERING REPORT IF APPLICABLE. SUBJECT TO COUNCIL DISPENSATION IN SPECIFIC CASES ONLY.
2. THE LESSEE SHALL CHECK ALL DIMENSIONS & DETAILS ON ALL RELEVANT DRAWINGS (STRUCTURAL, MECHANICAL & SERVICES) ON SITE BEFORE COMMENCING ANY WORKS. CONFIRM POSITION OF ALL EXISTING STRUCTURE & SERVICES ON SITE. THE LESSEE SHOULD BEFORE PROCEEDING WITH FITOUT DESIGN, SITE SURVEY THE PREMISES AND ADVISE SCENTRE GROUP RETAIL DESIGN MANAGEMENT OF ANY DISCREPANCIES THAT MAY AFFECT THEIR DESIGN.
3. THE LESSEE MUST REFER TO THE SCENTRE GROUP FITOUT REQUIREMENTS FOR SPECIALITY SHOPS AND THE SPECIFIC SITE GUIDELINES FOR SPECIFIC PREMISES ISSUED BY SCENTRE GROUP RETAIL DESIGN MANAGEMENT (RDM). NO SHOP OUTGO IS PERMITTED UNLESS SPECIFICALLY ALLOWED IN THE PRECINCT GUIDELINES.
4. THE LESSEE SHALL REFER TO THE SCENTRE GROUP FITOUT REQUIREMENTS FOR TENANCY STANDARD SERVICES PROVIDED BY LESSOR.
5. STRUCTURAL MEMBERS, SERVICES LOCATION AND THE EXTENT OF THE OVERHEAD LESSOR'S SERVICES ZONE ARE REPRESENTATIVE OF THE DESIGN AT THE TIME OF DRAWING ISSUE AND ARE SUBJECT TO DESIGN DEVELOPMENT AND CHANGE WITHOUT NOTICE. THIS ALSO INCLUDES BUT IS NOT LIMITED TO, MALL FINISHES, VOID, ESCALATOR & TRAVELATOR LOCATIONS, MALL & DIGITAL, SEWAGE, CASUAL MALL LEASE SITES, BALUSTRADES AND KIOSK SIZES & POSITIONS.
6. FINISHES TO TENANCY FLOOR, WALLS, CEILING, STEEL BRACING MEMBERS, AND STEEL/CONCRETE COLUMNS BY LESSEE UNLESS NOTED OTHERWISE. STEEL COLUMNS AND BEAMS HAVE 2HR FIRE PROTECTION BY LESSOR OF EITHER BOARD OR SPRAY TYPE, THE INTEGRITY OF THIS FIRE RATING CAN NOT BE AFFECTED BY THE LESSEE'S WORK IN ANY WAY.
7. FINISHES TO END OF INTER-TENANCY WALL BY LESSOR, UNLESS NOTED OTHERWISE.
8. LESSEE'S SHOPFRONT CAN NOT ATTACH TO THE LESSOR'S BULKHEAD FOR ANY SUPPORT. ALL LESSEE'S WORKS SHALL BE INDEPENDENTLY SUPPORTED FROM THE MAIN BUILDING STRUCTURE ONLY, WHERE A STRUCTURAL STEEL HEAD SUPPORT IS PROVIDED BY LESSOR THIS IS DESIGNED ONLY FOR LATERAL SUPPORT AND NO HANGING LOADS ARE PERMITTED. PRIOR TO TRADING THE LESSEE MUST PROVIDE THE LESSOR'S NOMINATED REPRESENTATIVE THE STRUCTURAL DESIGN & INSTALLATION CERTIFICATE CERTIFIED BY A REGISTERED STRUCTURAL ENGINEER CONFIRMING THE STRUCTURAL INTEGRITY OF ALL SHOPFRONTS AND SUSPENDED ELEMENTS.
9. DO NOT CHASE OR PENETRATE STRUCTURAL COMPONENTS, COLUMNS OR SLABS. ALL PENETRATIONS BY LESSOR AT LESSEE'S COST SUBJECT TO APPROVAL BY LESSOR'S STRUCTURAL ENGINEER. ALL SLAB PENETRATIONS WITHIN TENANCY ARE TO BE CO-ORDINATED WITH STRUCTURAL CONDITIONS.
10. THE LESSOR'S SERVICE ZONE IS INDICATED ON THE SECTION WITH THE BOTTOM LINE & HATCHED AREA INDICATING THE MAXIMUM HEIGHT OF ANY LESSEE'S CEILING UNLESS APPROVED BY THE LESSOR. THE LESSOR'S SERVICES WILL BE KEPT A MINIMUM OF 500MM ABOVE THIS BOTTOM LINE TO ALLOW FOR LESSEE'S CEILING STRUCTURE.
11. TENANCY LAYOUT SHOULD MAINTAIN FIRE HOSE REEL (36m) AND HYDRANT (30x10m SPRAY) COVERAGE WITHIN TENANCY.
12. THE NCC REQUIRES A SECOND CHOICE OF EXIT FOR TENANCY OCCUPANTS WHO ARE NOT WITHIN 20 METERS OF THE EXIT TO THE MALL OR A FIRE RATED CORRIDOR UNLESS NOTED OTHERWISE OR WHERE A FIRE ENGINEERING SOLUTION APPLIES.
13. SHOPFRONT DOORS SHALL PROVIDE FREE ACCESS FROM THE INSIDE WHEN THE TENANCY IS OCCUPIED UNLESS AN EXIT DOOR COMPLYING WITH THE NCC CLAUSES D2.19 & D2.20, IS PROVIDED.
14. EMERGENCY LIGHTING TO SUIT THE TENANCY LAYOUT IS TO BE PROVIDED TO AS 2293 BY LESSOR AT LESSEE'S COST.
15. EXIT SIGNS, IF REQUIRED WITHIN TENANCY, ARE PROVIDED BY THE LESSOR AT LESSEE'S COST.
16. EWS SPEAKERS BY THE LESSOR AT LESSEE'S COST ARE REQUIRED WITHIN TENANCY TO SUIT THE FINAL TENANCY LAYOUT.
17. SPRINKLER SETOUT TO SUIT THE TENANCY LAYOUT BY LESSOR AT LESSEE'S COST.
18. LESSEE SHALL CERTIFY THAT ALL FLOOR FINISHES ARE NON-SLIP AS REQUIRED UNDER AS 4566.100 & AS 3661.
19. ALL CEILING SERVICES ACCESS PANELS REQUIRED BY THE SERVICES CONTRACTORS FOR LESSOR'S SERVICES ARE BY THE LESSEE AT LESSEE'S COST. NUMBER AND LOCATION TO BE CONFIRMED ON SITE TO LESSOR'S REQUIREMENTS.
20. FOR FOOD TENANCIES: LESSEE SHOULD PROVIDE A PORTABLE FIRE EXTINGUISHER LOCATED WITHIN 5 METERS OF ALL POINTS OF THE TENANCY AS REQUIRED BY THE NCC. THE LESSEE SHALL PROVIDE A WATERPROOF MEMBRANE TO THE FLOOR, 300mm UP ALL WALLS & COLUMNS AND INTO FLOOR WASTES AT LESSEE'S COST. GAS CONNECTION POINT BY LESSOR AT HIGH LEVEL TO HEAR OF TENANCY. EXTRA CAPACITY, IF AVAILABLE, BY LESSOR AT LESSEE'S COST. REGULATOR/METER WITHIN TENANCY BY THE LESSEE. INTERVEN EXHAUST CONNECTION POINT BY LESSOR AT HIGH LEVEL IN TENANCY. HOODS, BOOSTER SYSTEM WITH MAKE UP AIR, FIRE ALARM SYSTEM, NON - RETURN DAMPER & DUCTING BY LESSEE.
21. SERVICES FOR SERVICE PROVISION BY LESSOR SEE SCENTRE GROUP REQUIREMENTS FOR TENANCY STANDARD SERVICES.
22. SERVICES: WATER & WASTE: SINK, PPEWORK, BENCH & CABINET BY LESSEE. SINK BOWL MUST BE 100mm MINIMUM FROM SWITCH BOARD. ALTERNATIVELY ENCLOSE SWITCHBOARD IN WATER RESISTANT COVER.
23. EXPANSION JOINT COVER PLATES BY LESSEE, UNLESS OTHERWISE NOTED, TO FLOOR WALLS AND CEILING AS PER DETAILS PROVIDED.
24. STEP DOWN FROM MALL FLOOR FINISH TO STRUCTURAL SLAB LEVEL 20mm-50mm TYPICALLY, UNLESS OTHERWISE NOTED. LESSEE TO CHECK ON SITE FOR SPECIFIC STEP DOWN.

LEGEND:

EXISTING

DEMOLITION

EXTENT OF TENANCY

NEW WORKS



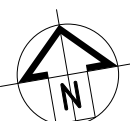
LEASE LINE

EXTENT OF TENANCY

EXISTING OVERHEAD PIPES

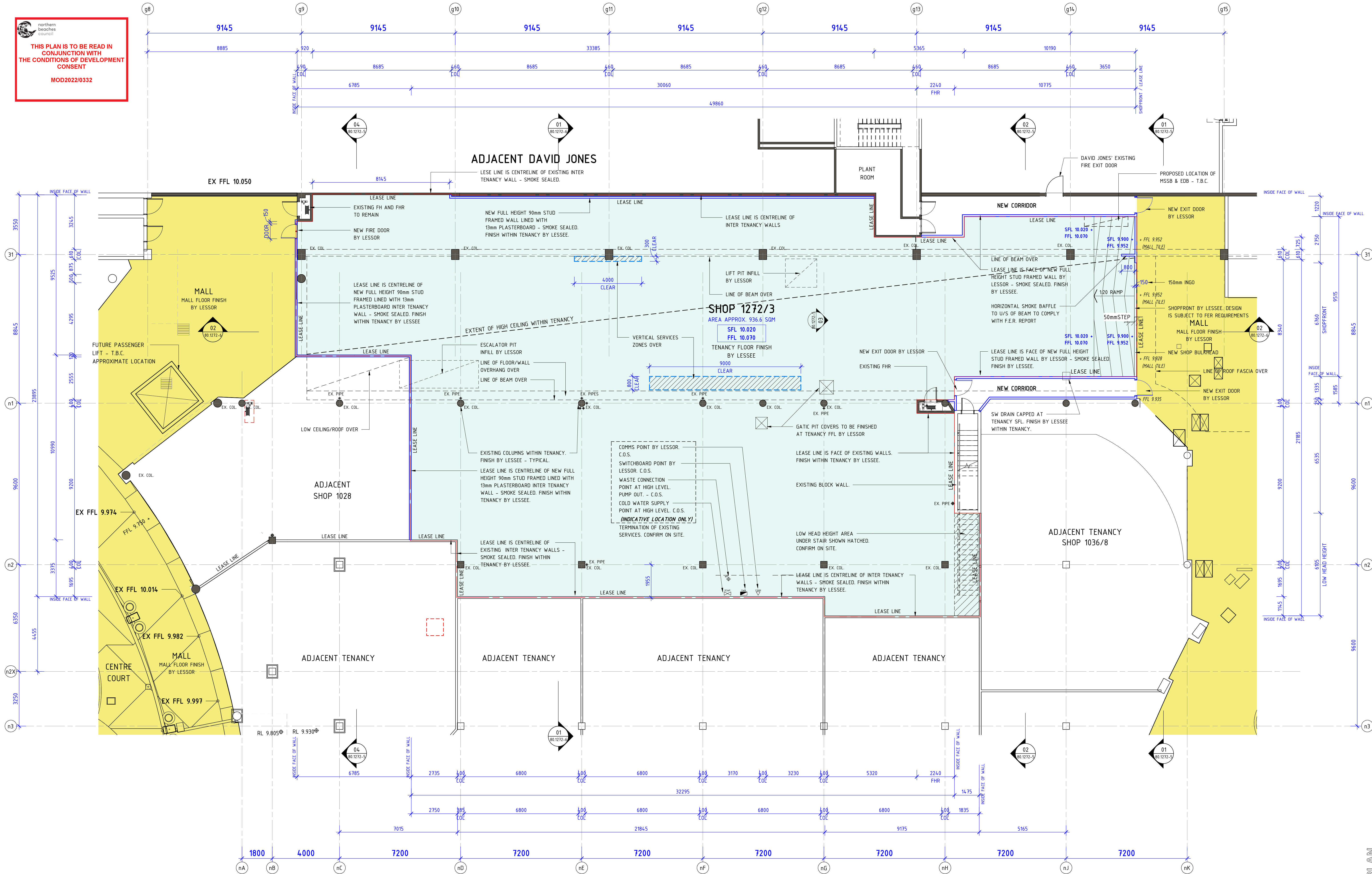
NOTE:
CONFIRM ALL DIMENSIONS ON SITE.

01 LOCATION PLAN - SHOP 1272/3
1 : 1500

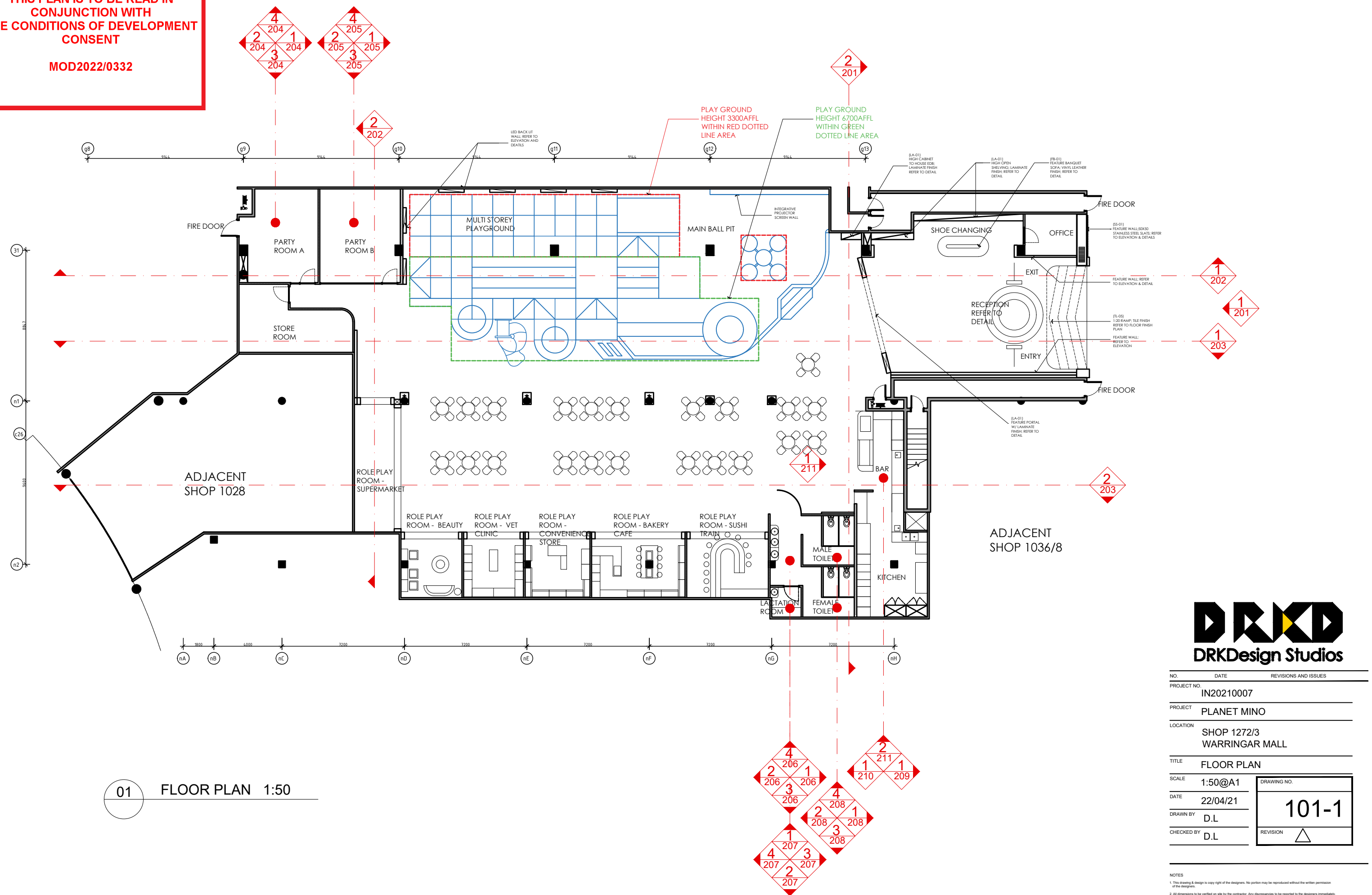
Rev	Date	By	Chk	Description	General Note	AMPCAPITAL	SCENTRE GROUP	Scintre Design and Construction Pty Limited	Title	North Point	CADD File Path	Scale Bar	Scale @ A1
A	16/02/2022	LL	VT	PRELIMINARY ISSUE - SKETCH PLAN	ALL DIMENSIONS TO BE CHECKED ON SITE. WRITTEN DIMENSIONS ONLY TO BE USED REFER TO DETAIL DRAWINGS. STRUCTURAL, MECHANICAL & SERVICES DIMENSIONS TO THE IMPACTS OF NOT SCALE FROM DRAWING. COPYRIGHT OF THE DESIGN ORIGINATOR IS RETAINED BY LICENSEE DESIGN AND CONSTRUCTION. WRITTEN AUTHORITY IS REQUIRED FOR ANY REPRODUCTION.			Scintre Design and Construction Pty Limited R1 Lathemagh Street - Sydney NSW 2000 Phone: 02 9556 5600 Fax: 02 9556 5605 GPO Box 4354, Sydney NSW 2001 A/CN 100 041 200	ZONE 6 BLOCK O - GROUND LEVEL LOCATION PLAN SHOP 1272/3		C:\ADD\FILE PATH\SCENTRE GROUP\AMPCAPITAL\SHOP 1272/3\SHOP 1272/3 LOCATION PLAN.dwg	0 10 20 30	As indicated
B	21/02/2022	LL	VT	ISSUED AS PRELIMINARY LEASE PLAN							Date: 22/04/2022	Project No: C52359	Revision
C	01/03/2022	LL	VT	RE-ISSUED PRELIMINARY LEASE PLAN - TENANCY SHOPFRONT AMENDED							Drawn: LL	Checked: VT	80.1272-1
1	31/03/2022	LL	VT	ISSUED AS LEASE PLAN									2
2	22/04/2022	LL	VT	ISSUED AS LEASE PLAN									

LEASE PLAN

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MOD2022/0332



01 SHOP 1272/3 - GROUND FLOOR PLAN
1 : 100



01

FLOOR PLAN 1:50



NO.	DATE	REVISIONS AND ISSUES
PROJECT NO.	IN20210007	
PROJECT	PLANET MINO	
LOCATION	SHOP 1272/3 WARRINGAR MALL	
TITLE	FLOOR PLAN	
SCALE	1:50@A1	DRAWING NO.
DATE	22/04/21	101-1
DRAWN BY	D.L	
CHECKED BY	D.L	REVISION
		△

NOTES

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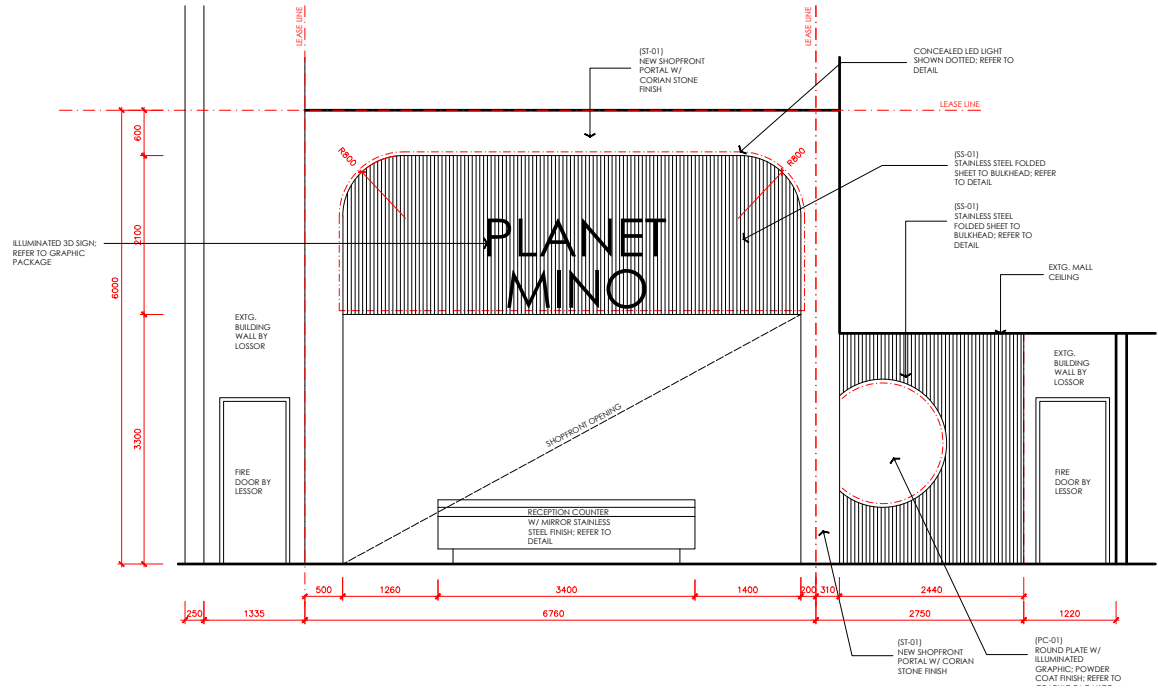
2. All dimensions to be verified on site by the contractor. Any discrepancies to be reported to the designers immediately.

3. This drawing is to be read in conjunction with the designers specification & condition of contract.

4. Drawing not showing the latest revision above are to be cancelled.

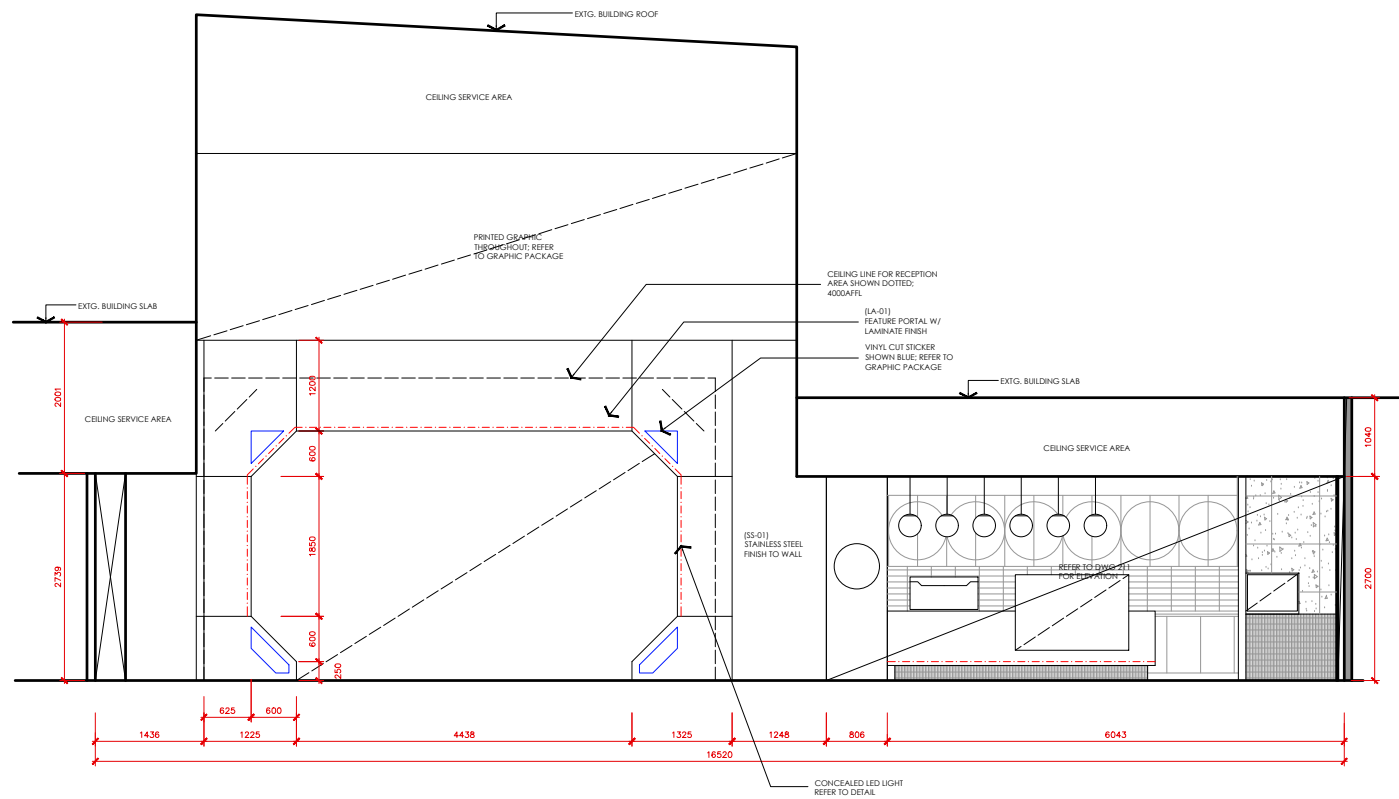
01

ELEVATION 1:50
SHOPFRONT



02

ELEVATION 1:50





NO.	DATE	REVISIONS AND ISSUES
PROJECT NO. IN20210007		
PROJECT PLANET MINO		
LOCATION SHOP 1272/3 WARRINGAR MALL		
TITLE ELEVATION		
SCALE 1:50@A1	DRAWING NO. 201	
DATE 22/04/21	REVISION	
DRAWN BY D.L.		
CHECKED BY D.L.		

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