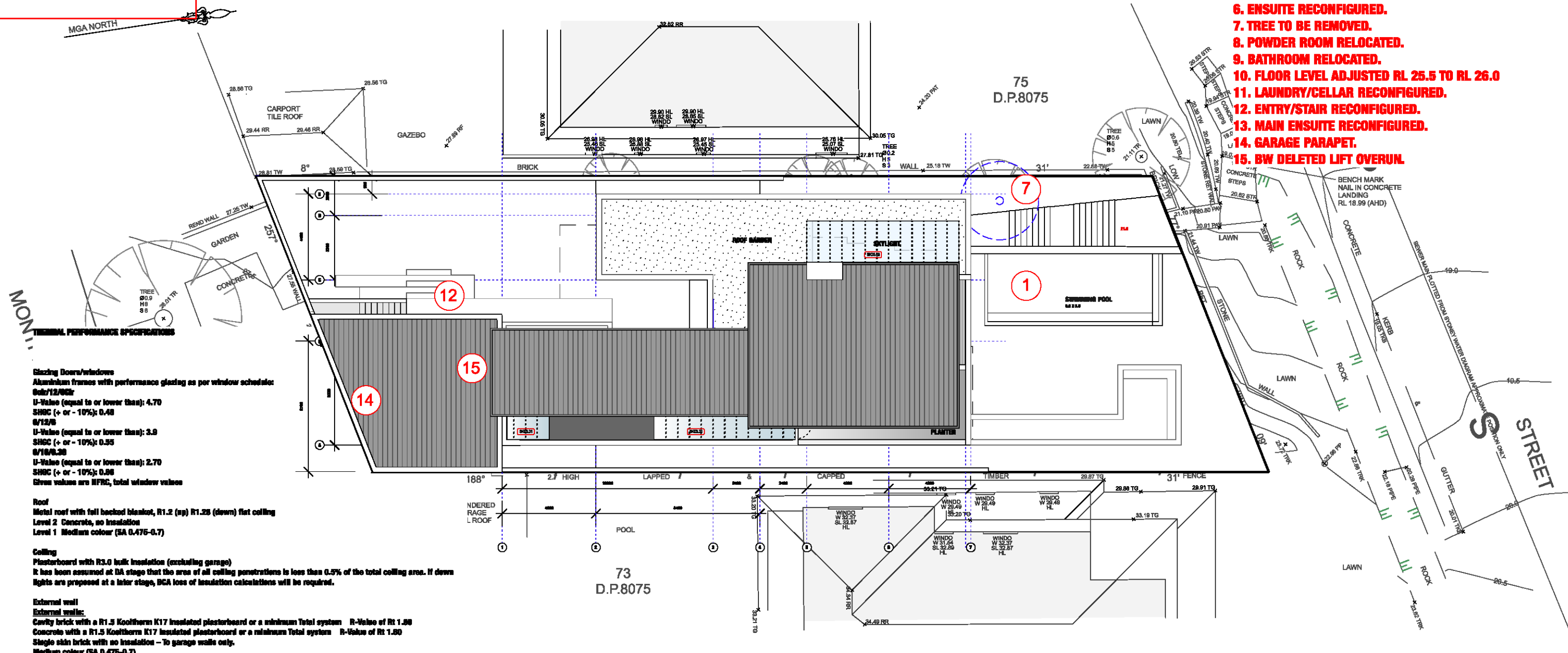


SECTION 96 MODIFICATION TO DA269/2015:

1. SWIMMING POOL ADJUSTED.
2. INTERNAL STAIR RECONFIGURED.
3. SERVICE AREA RECONFIGURED.
4. GYM RECONFIGURED.
5. LIGHTWELL/VOID.
6. ENSUITE RECONFIGURED.
7. TREE TO BE REMOVED.
8. POWDER ROOM RELOCATED.
9. BATHROOM RELOCATED.
10. FLOOR LEVEL ADJUSTED RL 25.5 TO RL 26.0
11. LAUNDRY/CELLAR RECONFIGURED.
12. ENTRY/STAIR RECONFIGURED.
13. MAIN ENSUITE RECONFIGURED.
14. GARAGE PARAPET.
15. BW DELETED LIFT OVERUN



Glazing Doors/windows
 Aluminium frames with performance glazing as per window schedule:
 600/12/062
 U-Value (equal to or lower than): 4.70
 SHGC (+ or - 10%): 0.48
 6/12/6
 U-Value (equal to or lower than): 3.9
 SHGC (+ or - 10%): 0.35
 6/16/0.38
 U-Value (equal to or lower than): 2.70
 SHGC (+ or - 10%): 0.38
 Given values are NFRC, total window values

Roof
 Metal roof with full backed blanket, R1.2 (up) R1.28 (down) flat ceiling
 Level 2 Concrete, no insulation
 Level 1 Medium colour (SA 0.475-0.7)

Ceiling
 Plasterboard with R3.0 bulk insulation (excluding garage)
 It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, DCA loss of insulation calculations will be required.

External wall
 External walls:
 Cavity brick with a R1.5 Kooltherm K17 insulated plasterboard or a minimum Total system R-Value of R1.88
 Concrete with a R1.5 Kooltherm K17 insulated plasterboard or a minimum Total system R-Value of R1.88
 Single skin brick with no insulation - To garage walls only.
 Medium colour (SA 0.475-0.7)
Internal walls:
 Concrete block, no insulation - To walls adjacent to IFL.
 Plasterboard on studs, no insulation - To rest of home

Floors
 Concrete slab on ground with no insulation - Level 0.
 Elevated enclosed concrete slabs with no insulation - Level 1.
 Concrete slab, hydronic heating to all floors other than bathrooms which will be electric. Refer to BASIX for insulation requirements.

Roof:	Walls: External:	Floors:
mr select colourbond metal roof sheeting/cappings	sst sandstone walls	tf1 timber floor on concrete
gr green roof - membrane planter	rm rendered masonry	pc Stone on concrete
g select colorbond gutters	fg fixed glass	Structure:
dp select colorbond downpipes	lb metal louvre blades	tb timber beams
tp timber pergola	ald aluminium glass door	sb steel beams
tf timber fascia	ahw aluminium pivot window	Walls Internal:
sk skylight	sb steel balustrade	pb Plasterboard on timber framework
	agd aluminium garage door	

Door + Window schedule:

SK03.01 2200w x 1200	Roof	Fixed clear glass skylight, adjustable aluminium louvres - double glazed
SK03.02 7250w x 1200	Roof	Fixed clear glass skylight, adjustable aluminium louvres - double glazed
SK03.02 7800w x 2100	Roof	Fixed clear glass skylight, adjustable aluminium louvres - double glazed



GLAZING DOORS/WINDOWS

Aluminium frames with performance glazing as per window schedule:

6clr/12/6clr

U-Value (equal to or lower than): 4.70

SHGC (+ or - 10%): 0.48

6/12/6

U-Value (equal to or lower than): 3.9

SHGC (+ or - 10%): 0.55

6/16/6.38

U-Value (equal to or lower than): 2.70

SHGC (+ or - 10%): 0.66

Given values are NFRC, total window values

ROOF

Metal roof with foil backed blanket, R1.2 (up) R1.28 (down) flat ceiling -

Level 2 Concrete, no insulation

Level 1, Medium colour (SA 0.475-0.7)

CEILING

Plasterboard with R3.0 bulk insulation (excluding garage)

It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are

WALLS

External walls:

Cavity brick with a R1.5 Kooltherm K17 Insulated plasterboard or a minimum Total system R-Value of R1 1.86

Concrete with a R1.5 Kooltherm K17 Insulated plasterboard or a minimum Total system R-Value of R1 1.60

Single skin brick with no insulation - To garage walls only.

Medium colour (SA 0.475-0.7)

Internal walls:

Concrete block, no insulation - To walls adjacent to lift.

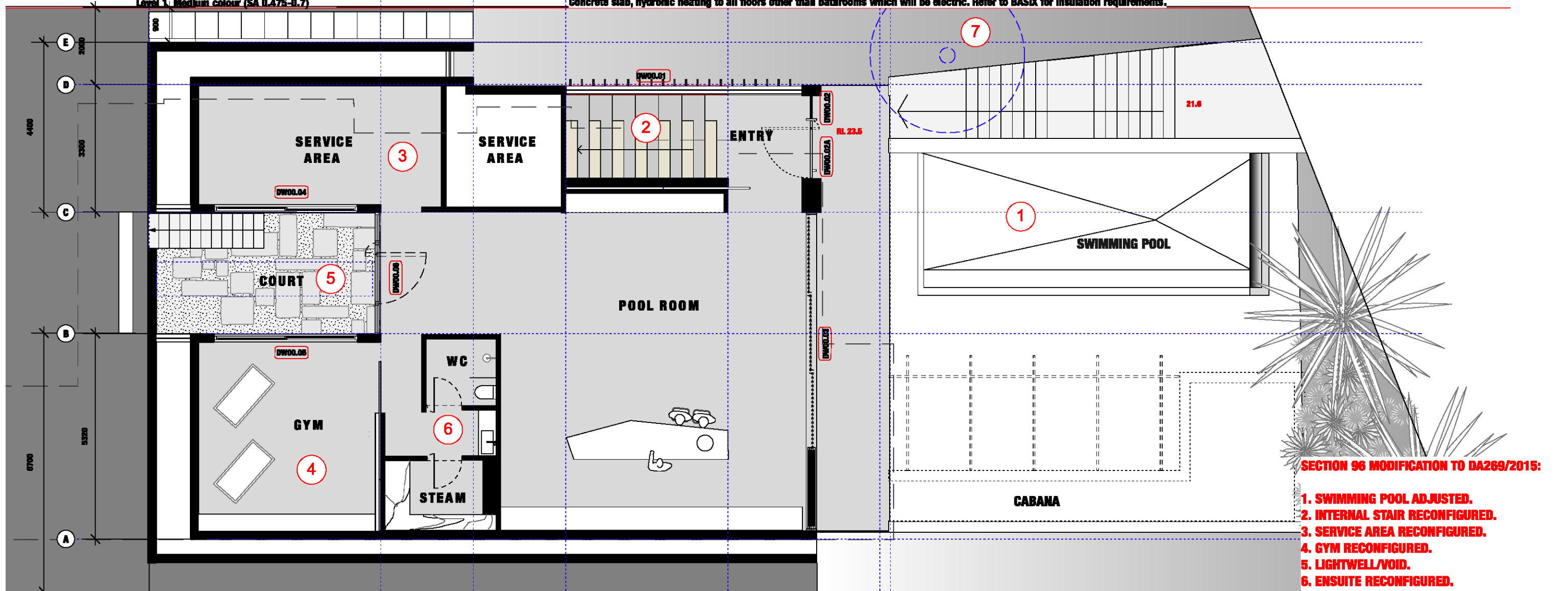
Plasterboard on studs, no insulation - To rest of home

FLOORS

Concrete slab on ground with no insulation - Level 0.

Elevated enclosed concrete slab with no insulation - Level 1.

Concrete slab, hydronic heating to all floors other than bathrooms which will be electric. Refer to BASIX for insulation requirements.



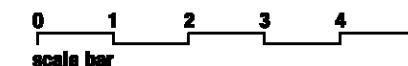
SECTION 96 MODIFICATION TO DA269/2015:

1. SWIMMING POOL ADJUSTED.
2. INTERNAL STAIR RECONFIGURED.
3. SERVICE AREA RECONFIGURED.
4. GYM RECONFIGURED.
5. LIGHTWELL/VOID.
6. ENSUITE RECONFIGURED.
7. TREE TO BE REMOVED.
8. POWDER ROOM RELOCATED.
9. BATHROOM RELOCATED.
10. FLOOR LEVEL ADJUSTED RL 25.5 TO RL 26.0
11. LAUNDRY/CELLAR RECONFIGURED.
12. ENTRY/STAIR RECONFIGURED.
13. MAIN ENSUITE RECONFIGURED.
14. GARAGE PARAPET.
15. BW DELETED LIFT OVERUN.

Roof:
mr select colourbond metal roof sheeting/cappings
gr green roof - membrane
g select colorbond gutters
dp select colorbond downpipes
tp timber pergola
tf timber fascia
sk skylight

Walls: External:
sst sandstone walls
rm rendered masonry
fg fixed glass
lb metal louvre blades
ald aluminium glass door
alw aluminium pivot window
sb steel balustrade
agd aluminium garage door

Floors:
tf1 timber floor on concrete
pc Stone on concrete
Structure:
tb timber beams
sb steel beams
Walls Internal:
pb Plasterboard on timber framework



GLAZING DOORS/WINDOWS

Aluminium frames with performance glazing as per window schedule:

8air/12/0C2

U-Value (equal to or lower than): 4.70

SHGC (+ or - 10%): 0.48

8/12/6

U-Value (equal to or lower than): 3.9

SHGC (+ or - 10%): 0.55

8/16/0.38

U-Value (equal to or lower than): 2.70

SHGC (+ or - 10%): 0.66

Given values are NFRC, total window values

ROOF

Metal roof with foil backed blanket, R1.2 (up) R1.28 (down) flat ceiling

Level 2 Concrete, no insulation

Level 1 Medium colour (SA 0.475-0.7)

CEILING

Plasterboard with R3.0 bulk insulation (excluding garage)

It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are

WALLS

External walls:

Cavity brick with a R1.5 Kooltherm K17 Insulated plasterboard or a minimum Total system R-Value of R1.86

Concrete with a R1.5 Kooltherm K17 Insulated plasterboard or a minimum Total system R-Value of R1.80

Single skin brick with no insulation - To garage walls only.

Medium colour (SA 0.475-0.7)

Internal walls:

Concrete block, no insulation - To walls adjacent to lift.

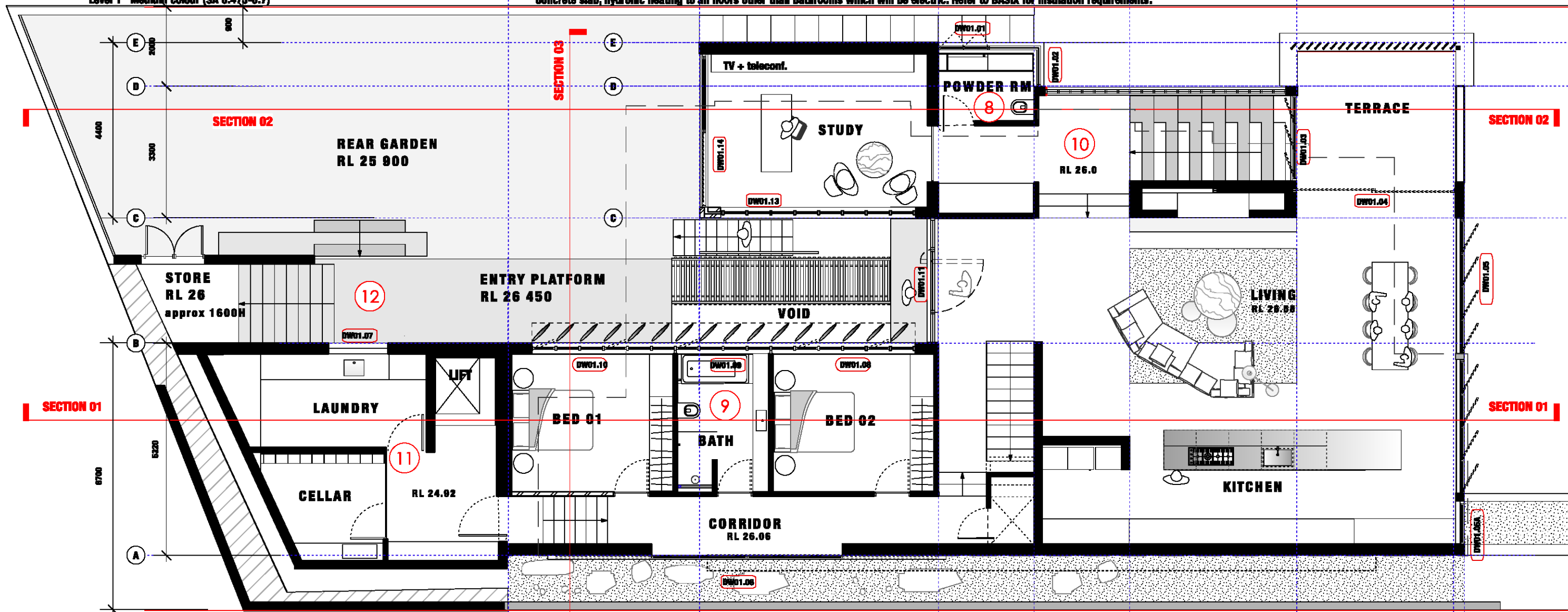
Plasterboard on studs, no insulation - To rest of home

FLOORS

Concrete slab on ground with no insulation - Level 0.

Elevated enclosed concrete slab with no insulation - Level 1.

Concrete slab, hydronic heating to all floors other than bathrooms which will be electric. Refer to BASIX for insulation requirements.



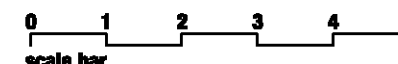
SECTION 96 MODIFICATION TO DA269/2015:

1. SWIMMING POOL ADJUSTED.
2. INTERNAL STAIR RECONFIGURED.
3. SERVICE AREA RECONFIGURED.
4. GYM RECONFIGURED.
5. LIGHTWELL/VOID.
6. ENSUITE RECONFIGURED.
7. TREE TO BE REMOVED.
8. POWDER ROOM RELOCATED.
9. BATHROOM RELOCATED.
10. FLOOR LEVEL ADJUSTED RL 25.5 TO RL 26.0
11. LAUNDRY/CELLAR RECONFIGURED.
12. ENTRY/STAIR RECONFIGURED.
13. MAIN ENSUITE RECONFIGURED.
14. GARAGE PARAPET.
15. BW DELETED LIFT OVERUN.

Roof:
 mr select colourbond metal roof sheeting/cappings
 gr green roof - membrane planter
 g select colorbond gutters
 dp select colorbond downpipes
 tp timber pergola
 tf timber fascia
 sk skylight

Walls: External:
 sst sandstone walls
 rm rendered masonry
 fg fixed glass
 lb metal louvre blades
 ald aluminium glass door
 alw aluminium pivot window
 sb steel balustrade
 agd aluminium garage door

Floors:
 tf1 timber floor on concrete
 pc Stone on concrete
Structure:
 tb timber beams
 sb steel beams
Walls Internal:
 pb Plasterboard on timber framework

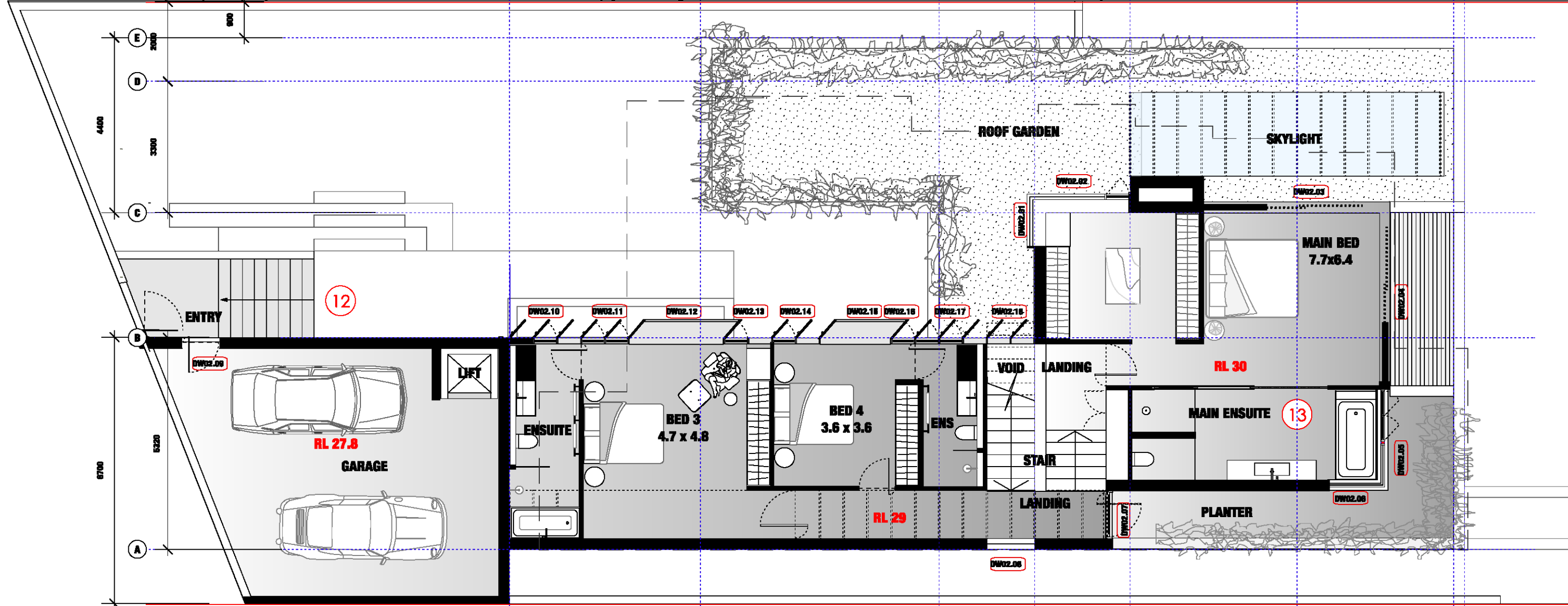


GLAZING DOORS/WINDOWS
 Aluminium frames with performance glazing as per window schedule:
6air/12/0C1
 U-Value (equal to or lower than): 4.70
 SHGC (+ or - 10%): 0.48
8/12/6
 U-Value (equal to or lower than): 3.9
 SHGC (+ or - 10%): 0.55
8/16/6.38
 U-Value (equal to or lower than): 2.70
 SHGC (+ or - 10%): 0.66
 Given values are NFRC, total window values
ROOF
 Metal roof with foil backed blanket, R1.2 (up) R1.28 (down) flat ceiling
 Level 2 Concrete, no insulation
 Level 1 Medium colour (SA 0.475-0.7)

CEILING
 Plasterboard with R3.0 bulk insulation (excluding garage)
 It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are

WALLS
External walls:
 Cavity brick with a R1.5 Kooltherm K17 Insulated plasterboard or a minimum Total system R-Value of R1.86
 Concrete with a R1.5 Kooltherm K17 Insulated plasterboard or a minimum Total system R-Value of R1.80
 Single skin brick with no insulation - To garage walls only.
 Medium colour (SA 0.475-0.7)
Internal walls:
 Concrete block, no insulation - To walls adjacent to lift.
 Plasterboard on studs, no insulation - To rest of home

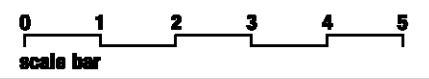
FLOORS
 Concrete slab on ground with no insulation - Level 0.
 Elevated enclosed concrete slab with no insulation - Level 1.
 Concrete slab, hydronic heating to all floors other than bathrooms which will be electric. Refer to BASIX for insulation requirements.



SECTION 96 MODIFICATION TO DA269/2015:

1. SWIMMING POOL ADJUSTED.
2. INTERNAL STAIR RECONFIGURED.
3. SERVICE AREA RECONFIGURED.
4. GYM RECONFIGURED.
5. LIGHTWELL/VOID.
6. ENSUITE RECONFIGURED.
7. TREE TO BE REMOVED.
8. POWDER ROOM RELOCATED.
9. BATHROOM RELOCATED.
10. FLOOR LEVEL ADJUSTED RL 25.5 TO RL 26.0
11. LAUNDRY/CELLAR RECONFIGURED.
12. ENTRY/STAIR RECONFIGURED.
13. MAIN ENSUITE RECONFIGURED.
14. GARAGE PARAPET.
15. BW DELETED LIFT OVERUN.

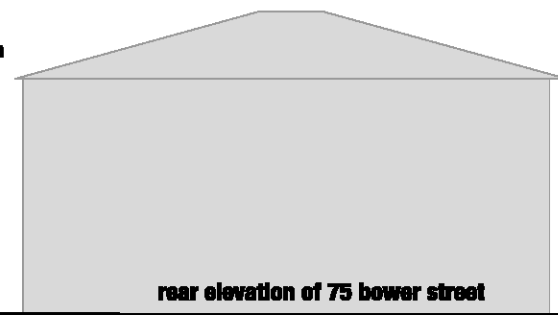
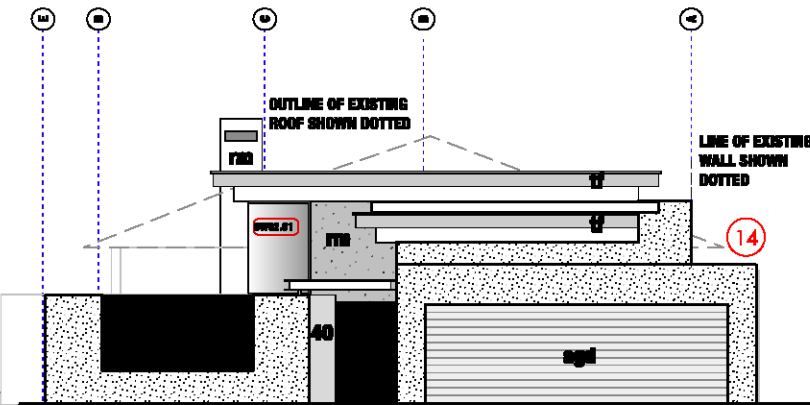
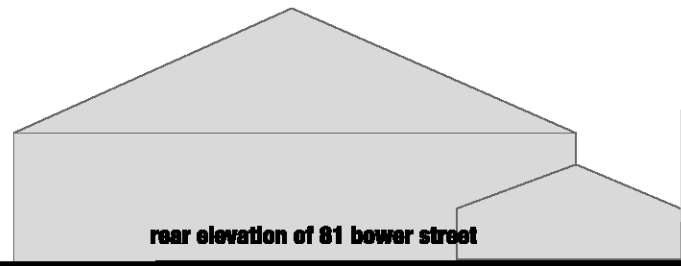
<p>Roof: mr select colourbond metal roof sheeting/cappings gr green roof - membrane planter g select colorbond gutters dp select colorbond downpipes tp timber pergola tf timber fascia sk skylight</p>	<p>Walls: External: sst sandstone walls rm rendered masonry fg fixed glass lb metal louvre blades ald aluminium glass door alw aluminium pivot window sb steel balustrade agd aluminium garage door</p>	<p>Floors: tfi timber floor on concrete pc Stone on concrete</p> <p>Structure: tb timber beams sb steel beams</p> <p>Walls Internal: pb Plasterboard on timber framework</p>
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30 MAIN BED
LEVEL 2 20 BEDROOMS

28.5 LIVING
LEVEL 1 26 BEDROOMS
 25.5 COURT

LEVEL 0 23.5 ENTRY



- SECTION 96 MODIFICATION TO DA289/2015:**
1. SWIMMING POOL ADJUSTED.
 2. INTERNAL STAIR RECONFIGURED.
 3. SERVICE AREA RECONFIGURED.
 4. GYM RECONFIGURED.
 5. LIGHTWELL/VOID.
 6. ENSUITE RECONFIGURED.
 7. TREE TO BE REMOVED.
 8. POWDER ROOM RELOCATED.
 9. BATHROOM RELOCATED.
 10. FLOOR LEVEL ADJUSTED RL 25.5 TO RL 26.0
 11. LAUNDRY/CELLAR RECONFIGURED.
 12. ENTRY/STAIR RECONFIGURED.
 13. MAIN ENSUITE RECONFIGURED.
 14. GARAGE PARAPET.
 15. RW DELETED LEFT OVERUN.

GLAZING DOORS/WINDOWS
 Aluminum frames with performance glazing as per window schedule:
 6alr/12/6Clr
 U-Value (equal to or lower than): 4.70
 SHGC (+ or - 10%): 0.48
 6/12/6
 U-Value (equal to or lower than): 3.9
 SHGC (+ or - 10%): 0.55
 6/18/6.38
 U-Value (equal to or lower than): 2.70
 SHGC (+ or - 10%): 0.66
 Given values are NFRC, total window values
ROOF
 Metal roof with foil backed blanket, R1.2 (up) R1.28 (down) flat ceiling - Level 2
 Concrete, no insulation - Level 1
 Medium colour (SA 0.475-0.7)

CEILING
 Plasterboard with R3.0 bulk insulation (excluding garage)
 It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are

WALLS
External walls:
 Cavity brick with a R1.5 Kooltherm K17 insulated plasterboard or a minimum Total system R-Value of Rt 1.86
 Concrete with a R1.5 Kooltherm K17 insulated plasterboard or a minimum Total system R-Value of Rt 1.80
 Single skin brick with no insulation - To garage walls only.
 Medium colour (SA 0.475-0.7)
Internal walls:
 Concrete block, no insulation - To walls adjacent to lift.
 Plasterboard on studs, no insulation - To rest of home

FLOORS
 Concrete slab on ground with no insulation - Level 0.
 Elevated enclosed concrete slab with no insulation - Level 1.
 Concrete slab, hydronic heating to all floors other than bathrooms which will be electric. Refer to BASIX for insulation requirements.

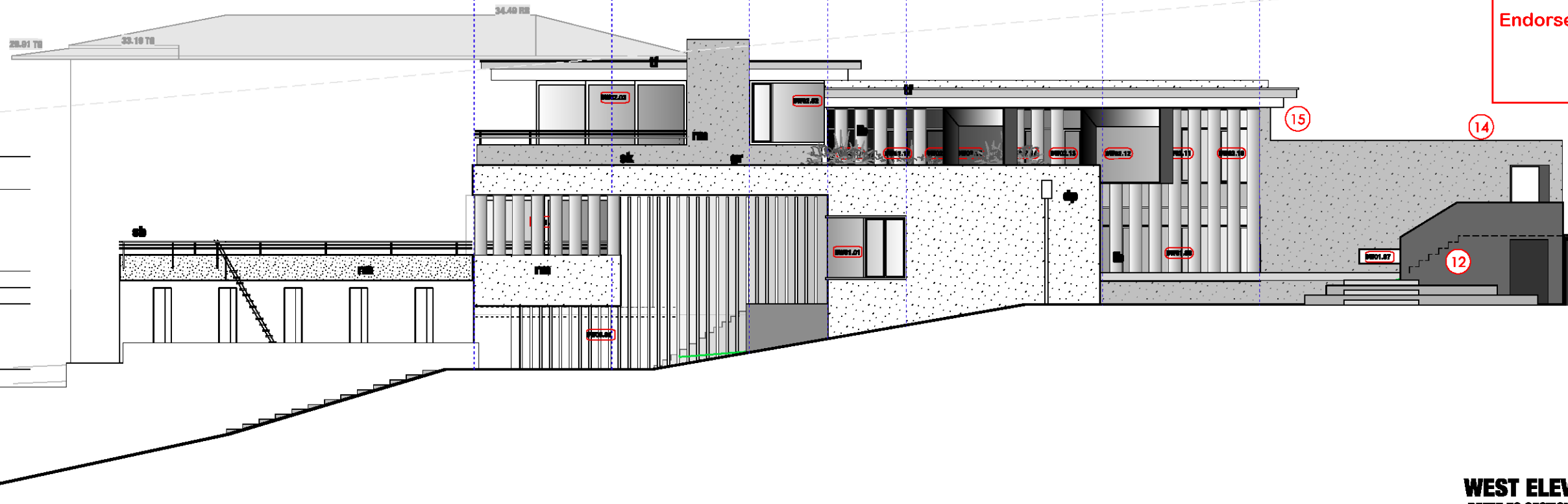
SOUTH ELEVATION

NORTHERN BEACHES COUNCIL
 THIS PLAN IS TO BE READ IN CONJUNCTION WITH
 Endorsement Date: 20/06/2018
 Mod2018/0180

30 MAIN BED
LEVEL 2 20 BEDROOMS

28.5 LIVING
LEVEL 1 26 BEDROOMS
 25.5 COURT

LEVEL 0 23.5 ENTRY

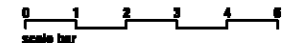


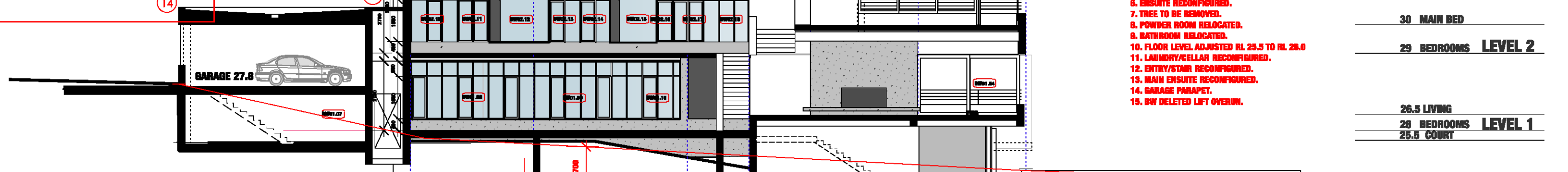
WEST ELEVATION
 REFER TO SECTION 01 FOR WINDOW NUMBERS

Roof:
 mr select colourbond metal roof sheeting/cappings
 gr green roof - membrane planter
 g select colorbond gutters
 dp select colorbond downpipes
 tp timber pergola
 tf timber fascia
 sk skylight

Walls: External:
 sst sandstone walls
 rm rendered masonry
 fg fixed glass
 lb metal louvre blades
 ald aluminium glass door
 alw aluminium pivot window
 sb steel balustrade
 agd aluminium garage door

Floors:
 tf1 timber floor on concrete
 pc Stone on concrete
Structure:
 tb timber beams
 sb steel beams
Walls Internal:
 pb Plasterboard on timber framework





SECTION 96 MODIFICATION TO DA269/2015:

1. SWIMMING POOL ADJUSTED.
2. INTERNAL STAIR RECONFIGURED.
3. SERVICE AREA RECONFIGURED.
4. GYM RECONFIGURED.
5. LIGHTWELL/VOID.
6. ENSUITE RECONFIGURED.
7. TREE TO BE REMOVED.
8. POWDER ROOM RELOCATED.
9. BATHROOM RELOCATED.
10. FLOOR LEVEL ADJUSTED RL 25.5 TO RL 26.0
11. LAUNDRY/CELLAR RECONFIGURED.
12. ENTRY/STAIR RECONFIGURED.
13. MAIN ENSUITE RECONFIGURED.
14. GARAGE PARAPET.
15. BW DELETED LIFT OVERUN.

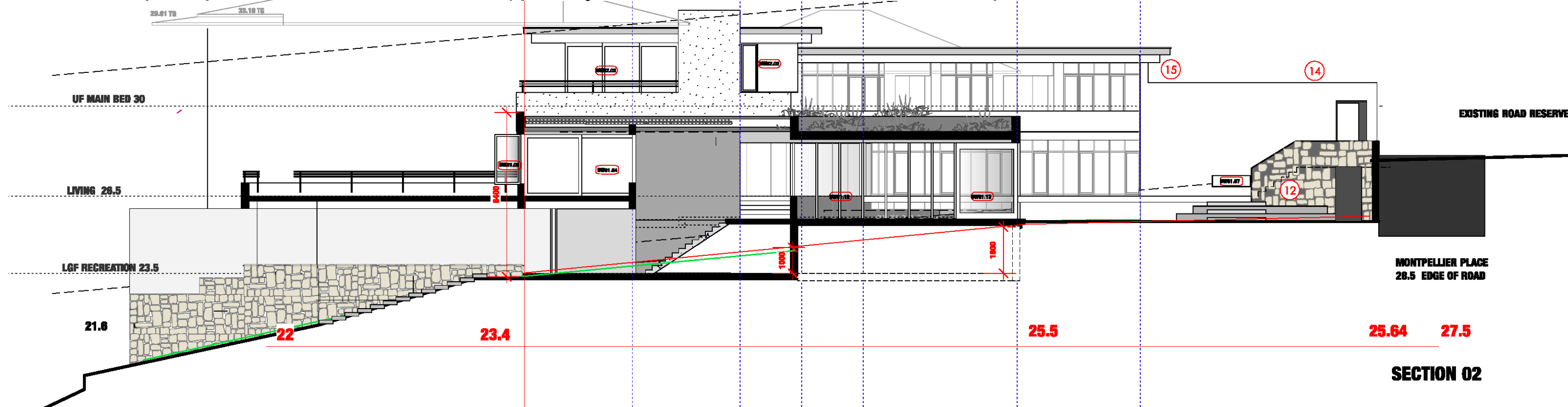
30 MAIN BED	
29 BEDROOMS	LEVEL 2
26.5 LIVING	
26 BEDROOMS	LEVEL 1
25.5 COURT	
23.5 ENTRY	LEVEL 0

GLAZING DOORS/WINDOWS
 Aluminum frames with performance glazing as per window schedule:
 6air/12/6Ct
 U-Value (equal to or lower than): 4.70
 SHGC (+ or - 10%): 0.48
 6/12/6
 U-Value (equal to or lower than): 3.9
 SHGC (+ or - 10%): 0.55
 6/16/6-38
 U-Value (equal to or lower than): 2.70
 SHGC (+ or - 10%): 0.66
 Given values are NFRC, total window values
ROOF
 Metal roof with foil backed blanket, R1.2 (up) R1.28 (down) flat ceiling -
 Level 2 Concrete, no insulation
 Level 1 Medium colour (SA 0.475-0.7)

CEILING
 Plasterboard with R3.0 bulk insulation (excluding garage)
 It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are

WALLS
External walls:
 Cavity brick with a R1.5 Kooltherm K17 insulated plasterboard or a minimum Total system R-Value of Rt 1.86
 Concrete with a R1.5 Kooltherm K17 insulated plasterboard or a minimum Total system R-Value of Rt 1.80
 Single skin brick with no insulation - To garage walls only.
 Medium colour (SA 0.475-0.7)
Internal walls:
 Concrete block, no insulation - To walls adjacent to lift.
 Plasterboard on studs, no insulation - To rest of home

FLOORS
 Concrete slab on ground with no insulation - Level 0.
 Elevated enclosed concrete slab with no insulation - Level 1.
 Concrete slab, hydronic heating to all floors other than bathrooms which will be electric. Refer to BASIX for insulation requirements.



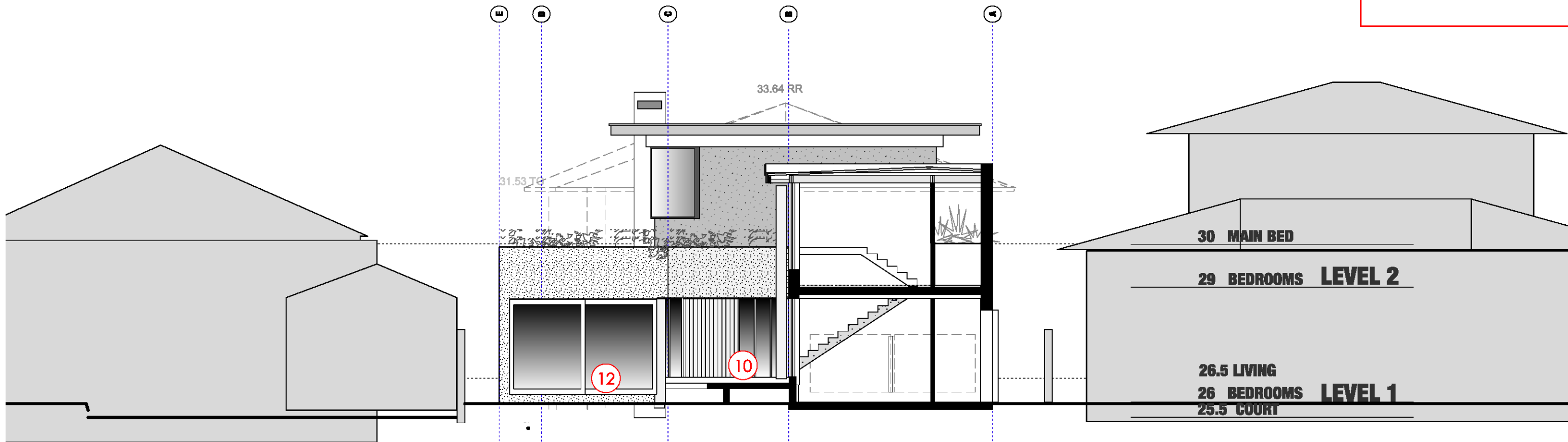
SECTION 01

SECTION 02

BOWER STREET RL 18 EDGE OF ROAD @ LANDING

EXISTING ROAD RESERVE

MONTPELLIER PLACE 28.5 EDGE OF ROAD



GLAZING DOORS/WINDOWS

Aluminium frames with performance glazing as per window schedule:

60x12/6Ct

U-Value (equal to or lower than): 4.70

SHGC (+ or - 10%): 0.48

6/12/6

U-Value (equal to or lower than): 3.9

SHGC (+ or - 10%): 0.55

6/16/6.38

U-Value (equal to or lower than): 2.70

SHGC (+ or - 10%): 0.66

Given values are NFRC, total window values

ROOF

Metal roof with foil backed blanket, R1.2 (up) R1.28 (down) flat ceiling –

Level 2 Concrete, no Insulation

Level 1 Medium colour (SA 0.475-0.7)

CEILING

Plasterboard with R3.0 bulk insulation (excluding garage)

It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are

WALLS

External walls:

Cavity brick with a R1.5 Kooltherm K17 insulated plasterboard or a minimum Total system R-Value of Rt 1.86

Concrete with a R1.5 Kooltherm K17 insulated plasterboard or a minimum Total system R-Value of Rt 1.60

Single skin brick with no insulation – To garage walls only.

Medium colour (SA 0.475-0.7)

Internal walls:

Concrete block, no insulation – To walls adjacent to lift.

Plasterboard on studs, no insulation – To rest of home

FLOORS

Concrete slab on ground with no insulation – Level 0.

Elevated enclosed concrete slab with no insulation – Level 1.

Concrete slab, hydronic heating to all floors other than bathrooms which will be electric. Refer to BASIX for insulation requirements.

SECTION 96 MODIFICATION TO DA269/2015:

1. SWIMMING POOL ADJUSTED.
2. INTERNAL STAIR RECONFIGURED.
3. SERVICE AREA RECONFIGURED.
4. GYM RECONFIGURED.
5. LIGHTWELL/VOID.
6. ENSUITE RECONFIGURED.
7. TREE TO BE REMOVED.
8. POWDER ROOM RELOCATED.
9. BATHROOM RELOCATED.
10. FLOOR LEVEL ADJUSTED RL 25.5 TO RL 26.0
11. LAUNDRY/CELLAR RECONFIGURED.
12. ENTRY/STAIR RECONFIGURED.
13. MAIN ENSUITE RECONFIGURED.
14. GARAGE PARAPET.
15. BW DELETED LIFT OVERUN.

Roof:

mr select colourbond metal roof sheeting/cappings
gr green roof - membrane planter
g select colorbond gutters
dp select colorbond downpipes
tp timber pergola
tf timber fascia
sk skylight

Walls: External:

sst sandstone walls
rm rendered masonry
fg fixed glass
lb metal louvre blades
ald aluminium glass door
alw aluminium pivot window
sb steel balustrade
agd aluminium garage door

Floors:

tf1 timber floor on concrete
pc Stone on concrete

Structure:

tb timber beams
sb steel beams

Walls Internal:

pb Plasterboard on timber framework

DOOR & WINDOW SCHEDULE
S96 AMENDMENTS IN RED

SCHEDULE OF BASIX COMMITMENTS

LEVEL 0

DW00.01	6255w x 2100-3500H	West	Entry Lobby:	Fixed clear glass panels with timber screened panel in front ALS-018-19	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW00.02	2055w x 2500H	North	Entry:	Entry door with clear glass sidelight glazing	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW00.03	8815w x 2500H	North	Pool Room:	Top Hung 4 off clear glass sliding doors ALS-010-01	9/12/6	UW3.9 SHGC0.55 Tvw0.59 Atr0.38
DW00.04	3600w x 2350H	West	service:	2off clear glass sliding doors	9/12/6	UW3.9 SHGC0.55 Tvw0.59 Atr0.38
DW00.05	3600w x 2350H	East	gym:	2off clear glass sliding doors	9/12/6	UW3.9 SHGC0.55 Tvw0.59 Atr0.38
DW00.06	3100w x 2350H	South	Court:	Single door + fixed sidelight	9/18/6.38	UW2.7 SHGC0.66 Atr0.18

LEVEL 1

DW01.01	2600w x 1950	West	Den/Study	Fixed clear glass corner window - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW01.02	1035w x 1950	North	Den/Study	Fixed corner window - clear glass- double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW01.03	2100w x 1950	North	Stair Lobby	3 off Pivot windows - clear glass- double glazed	9/18/6.38	UW2.7 SHGC0.66 Atr0.18
DW01.04	3900w x 2400	West	Living	2 off Cavity sliding doors - clear glass- double glazed	9/12/6	UW3.9 SHGC0.55 Tvw0.59 Atr0.38
DW01.05	7500w x 1950	North	Living	8 off Casement windows - clear glass- double glazed	9/18/6.38	UW2.7 SHGC0.66 Atr0.18
DW01.05A	750 x 2400	North	Living	1 off clear glass	9/18/6.38	UW2.7 SHGC0.66 Atr0.18
DW01.06	5720w x 2400	East	Corridor	2 off Sliding doors - clear glass- double glazed	9/12/6	UW3.9 SHGC0.55 Tvw0.59 Atr0.38
DW01.07	1500w x 400	West	Laundry	Fixed clear window - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW01.08	4200w x 2250	West	Bed 02	Fixed clear panes + 3 off casement windows - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW01.09	2135w x 2250	West	Bath	Fixed clear panes + 2 off casement windows - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW01.10	4200w x 2250	West	Bed 01	Fixed clear panes + 1 off casement window - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW01.11	3150w x 2100	South	South Entry	Solid Entry door with fixed glazed sidelight - double glazed	9/18/6.38	UW2.7 SHGC0.66 Atr0.18
DW01.12		East	Den/Study	deleted		
DW01.13	4800w x 3000	East	Den/Study	Fixed clear panes - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW01.14	3800w x 3000	South	Den/Study	Sliding doors 2 off clear glass - double glazed	9/12/6	UW3.9 SHGC0.55 Tvw0.59 Atr0.38

LEVEL 2

DW02.01	1250w x 1950	South	Robe	Fixed clear glass corner window - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.02	2580w x 1950	West	Robe	Fixed clear glass corner window + 1 x off casement window - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.03	4680w x 2400	West	Main Bed	3 off Sliding doors - clear glass- double glazed	9/12/6	UW3.9 SHGC0.55 Tvw0.59 Atr0.38
DW02.04	4625w x 2400	West	Main Bed	3 off Sliding doors - clear glass- double glazed	9/12/6	UW3.9 SHGC0.55 Tvw0.59 Atr0.38
DW02.05	2270w x 2400	North	Ensuite	Fixed clear glass corner window, 1 x off casement - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.06	1940w x 2400	North	Ensuite	Fixed clear glass corner window - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.07	1200w x 1400	North	Corridor	1x off casement clear glass window - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.08	1200w x 2400	East	Corridor	Fixed clear glass window - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.09	900w x 2400	West	Garage	1 off clear glass door - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.10	1860w x 2250	West	Ensuite	Fixed clear panes + 1 x off casement window, highlight fixed glazing over - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.11	1240w x 2250	West	Bed 03	2 x off casement windows, highlight fixed glazing over - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.12	2400w x 2250	West	Bed 03	1 x fixed glass window box - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.13	1240w x 2250	West	Bed 03	Fixed clear pane + 1 x off casement window, highlight fixed glazing over - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.14	1240w x 2250	West	Bed 04	Fixed clear pane + 1 x off casement window, highlight fixed glazing over - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.15	1800w x 2250	West	Bed 04	1 x fixed glass window box - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.16	640w x 2250	West	Bed 04	1 x off casement windows, highlight fixed glazing over - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.17	1860w x 2250	West	Bed 04	Fixed clear pane + 2 x off casement windows, highlight fixed glazing over - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08
DW02.18	1240w x 2250	West	Stairs	Fixed clear panes, highlight fixed glazing over - double glazed	6Cbr/12/6Cbr	UW4.7 SHGC0.48 Tvw0.47 Atr0.08

THERMAL PERFORMANCE SPECIFICATIONS

Glazing Doors/windows
Aluminium frames with performance glazing as per window schedule:
6Cbr/12/6Cbr
U-Value (equal to or lower than): 4.70
SHGC (+ or - 10%): 0.48
9/12/6

U-Value (equal to or lower than): 3.9
SHGC (+ or - 10%): 0.55
9/18/6.38

U-Value (equal to or lower than): 2.70
SHGC (+ or - 10%): 0.68

Given values are NFRC, total window values

Roof

Metal roof with foil backed blanket, R1.2 (up) R1.28 (down) flat ceiling - Level 2
Concrete, no insulation - Level 1
Medium colour (SA 0.475-0.7)

Ceiling

Plasterboard with R3.0 bulk insulation (excluding garage)
It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

External wall

External walls:

Cavity brick with a R1.5 Kooltherm K17 Insulated plasterboard or a minimum Total system R-Value of R1 1.86
Concrete with a R1.5 Kooltherm K17 Insulated plasterboard or a minimum Total system R-Value of R1 1.80
Single skin brick with no insulation - To garage walls only.
Medium colour (SA 0.475-0.7)

Internal walls:

Concrete block, no insulation - To walls adjacent to INT.
Plasterboard on studs, no insulation - To rest of home

Floors

Concrete slab on ground with no insulation - Level 0.
Elevated enclosed concrete slab with no insulation - Level 1.
Concrete slab, hydronic heating to all floors other than bathrooms which will be electric. Refer to BASIX for insulation requirements.

Roof:
mr select colourbond metal roof sheeting/cappings
gr green roof - membrane planter
g select colorbond gutters
dp select colorbond downpipes
tp timber pergola
tf timber fascia
sk skylight

Walls: External:
sst sandstone walls
rm rendered masonry
fg fixed glass
lb metal louvre blades
ald aluminium glass door
alw aluminium pivot window
sb steel balustrade
agd aluminium garage door

Floors:
tf timber floor on concrete
pc Stone on concrete
Structure:
tb timber beams
sb steel beams
Walls Internal:
pb Plasterboard on timber framework

