

RESIDENTIAL DEVELOPMENT

8 Forest Road | Warriewood NSW 2102

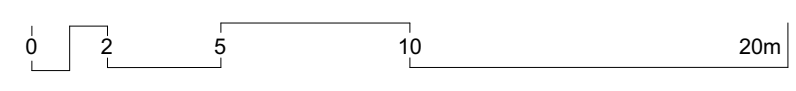
SECTION 4.56(3) APPLICATION



UNIT SCHEDULE												
Apartment No:	No of Bedrooms	Area (m2)	Adaptable	Cross Ventilation	09.00	10.00	11.00	12.00	13.00	14.00	15.00	Total Solar Access
TH 01	4 BED	244.7	NO	YES	1	1	1	1	1	1	1	6 HRS
TH 02	4 BED	185.2	NO	YES	1	1	0	0	0	1	1	2 HRS
TH 03	4 BED	185.1	NO	YES	1	1	0.5	0	0	1	1	2.5 HRS
TH 04	4 BED	186.1	NO	YES	1	1	0	0	0	1	1	2 HRS
TH 05	4 BED	184.8	NO	YES	1	1	0	0	0	1	1	2 HRS
TH 06	4 BED	185.0	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS
TH 07	4 BED	185.6	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS
TH 08	4 BED	186.1	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS
TH 09	4 BED	185.1	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS
TH 10	4 BED	184.8	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS
TH 11	4 BED	185.5	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS
TH 12	4 BED	185.0	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS
TH 13	4 BED	185.4	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS
TH 14	4 BED	216.3	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS
UNIT 01	3 BED	122.3	NO	YES	0	0	0	0	0	0.5	1	0.5 HRS
UNIT 02	3 BED	120.2	NO	YES	0	1	1	1	1	1	1	5 HRS
UNIT 03	3 BED	127.7	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 04	1 BED	76.3	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 05 ADAPT	2 BED	102.0	YES	YES	1	1	1	0	0	0	0	2 HRS
UNIT 06	3 BED	127.5	NO	YES	0	0	0	0	0	0	0	0 HRS
UNIT 07	3 BED	122.2	NO	YES	0	0	0	0	0	0.5	1	0.5 HRS
UNIT 08	3 BED	120.3	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 09	3 BED	127.8	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 10	3 BED	132.4	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 11 ADAPT	2 BED	102.5	YES	YES	1	1	1	0	0	0	0	2 HRS
UNIT 12 ADAPT	3 BED	128.2	YES	YES	0	0	0	0	0	0	0	0 HRS
UNIT 13	4 BED	137.4	NO	YES	0	0	0	0.5	1	1	1	2.5 HRS
UNIT 14	3 BED	120.3	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 15	3 BED	127.7	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 16	3 BED	132.1	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 17 ADAPT	2 BED	102.5	YES	YES	1	1	1	0	0	0	0	2 HRS
UNIT 18 ADAPT	3 BED	128.1	YES	YES	1	1	1	1	1	1	1	6 HRS
UNIT 19	3 BED	122.5	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 20 ADAPT	3 BED	128.5	YES	YES	1	1	1	1	0	0	0	3 HRS
UNIT 21 ADAPT	2 BED	91.5	YES	YES	1	1	1	1	1	1	0	5 HRS
UNIT 22	3 BED	122.3	NO	YES	0.5	0	0	0	0	0	0	0.5 HRS
UNIT 23	3 BED	255.2	NO	YES	0	0	0	0	0	0	0	0 HRS
UNIT 24	3 BED	132.3	NO	YES	0	0	0	0	0.5	1	0	0.5 HRS
UNIT 25	3 BED	121.7	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 26 ADAPT	3 BED	128.3	YES	YES	1	1	1	1	0	0	0	3 HRS
UNIT 27 ADAPT	2 BED	91.2	YES	YES	1	1	1	1	1	1	0	5 HRS
UNIT 28	3 BED	122.1	YES	YES	1	1	1	1	1	1	0	5 HRS
UNIT 29	3 BED	126.7	NO	YES	0	0	0	0	0	0	0	0 HRS
UNIT 30	3 BED	132.4	NO	YES	0	0	0	0.5	1	1	0.5	2 HRS
UNIT 31	3 BED	121.6	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 32	3 BED	128.5	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 33 ADAPT	2 BED	91.7	YES	YES	1	1	1	1	1	0.5	0	5.5 HRS
UNIT 34	3 BED	122.1	NO	YES	0.5	0	1	1	1	1	0	2.5 HRS
UNIT 35	3 BED	126.7	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 36	3 BED	132.3	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 37 ADAPT	3 BED	134.2	YES	YES	1	1	1	1	1	1	1	6 HRS
UNIT 38	3 BED	135.4	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS
UNIT 39	3 BED	134.5	NO	YES	0	0	0	0	0	0	0	0 HRS
UNIT 40	3 BED	131.8	NO	YES	0	0	0	0	0	1	1	2 HRS
UNIT 41 ADAPT	3 BED	134.2	YES	YES	1	1	1	1	1	1	1	6 HRS
UNIT 42	3 BED	135.3	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS
UNIT 43	3 BED	142.9	NO	YES	0	0	0	0	0	0	0	0 HRS
UNIT 44	3 BED	131.8	NO	YES	0	0	0	0	0	1	1	2 HRS
UNIT 45 ADAPT	3 BED	134.2	YES	YES	1	1	1	1	1	1	1	6 HRS
UNIT 46	3 BED	135.5	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS
UNIT 47	3 BED	143.5	NO	YES	0	0.5	1	1	0.5	0	0	2 HRS
UNIT 48	3 BED	132.0	NO	YES	0	0.5	1	1	0	1	1	2.5 HRS
UNIT 49	3 BED	123.2	NO	YES	0.5	0	0	0	0	0	0	0.5 HRS
UNIT 50	2 BED	87.7	NO	YES	0	0	0	0	0	0	0	0 HRS
UNIT 51	3 BED	123.6	NO	YES	0	0	0	0	0	0	0	0 HRS
UNIT 52	3 BED	122.5	NO	YES	1	1	1	1	1	1	1	6 HRS

UNIT SCHEDULE												
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UNIT 53 ADAPT	3 BED	127.8	YES	YES	1	1	1	1	1	1	1	6 HRS
UNIT 54	3 BED	120.7	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS
UNIT 55	3 BED	123.1	NO	YES	0.5	0	0	0	0	0	0	0.5 HRS
UNIT 56	2BED	87.7	NO	YES	0	0	0	0	0	0	0	0 HRS
UNIT 57	3 BED	123.6	NO	YES	0	0	0	0	0	0	0	0 HRS
UNIT 58	3 BED	122.5	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 59 ADAPT	3 BED	128.3	YES	YES	1	1	1	1	1	1	1	6 HRS
UNIT 60	3 BED	121.2	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS
UNIT 61	3 BED	123.2	NO	YES	1	1	1	0.5	0	0	0	2.5 HRS
UNIT 62	2BED	87.9	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 63	3 BED	123.6	NO	YES	0	0	1	1	0.5	1	1	2.5 HRS
UNIT 64	3 BED	122.5	NO	YES	1	1	1	1	1	1	1	6 HRS
UNIT 65 ADAPT	3 BED	128.2	YES	YES	1	1	1	1	1	1	1	6 HRS
UNIT 66	3 BED	120.6	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS

SCHEDULE OF AREAS	
ADDRESS	8 Forest Road Warriewood NSW 2102 Australia
LOT AND DP	LOT 1 DP 5055
SITE AREA	5.678 Ha
RU2 SITE AREA	2.823 Ha
R3 SITE AREA	2.855 Ha
LANDSCAPE AREA (R3 AREA) (53.7% OF R3 SITE AREA)	15,331.0 m ²
PROPOSED -- RESIDENTIAL :	66 x UNITS 14 x Town Houses
	1 x 1 BEDROOM 9 x 2 BEDROOM 55 x 3 BEDROOM 1 x 4 BEDROOM
CAR PARKING :	RESIDENTIAL: 167 VISITORS: 27
	TOTAL SPACES: 194



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	21/01/2022	ISSUE FOR S4.56	JB				
02	8/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB				
03	11/02/2022	ISSUE FOR S4.56	JB				
04	31/01/2023	ISSUE FOR S4.56	GL				
05	13/03/2023	ISSUE FOR S4.56	GL				

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Structural Engineer: Van Der Meer
Mechanical Services: AASAN Consulting
Electrical Services: Joeline
Hydraulic Services: ITM Design
Fire Services: Scientific Fire Services
BCA and Access Consultant: BCA Logic
Principal Certifying Authority: Metropolitan
Landscape Architect: Site Design Studios
Acoustic Engineer: Acoustic Logic

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
Client: **KLIATRO**
Address: 8 Forest Road Warriewood NSW 2102 Australia

Drawing Title: Preliminary Title Page

Revision: 05
Drawing No: A000

Project No: Pn_0800
Checked: Drawn: PD GL
Scale@A1: 1:100, 1:1, 1:2.12
Date: 13/03/2023
ARCHITECTURE DESIGN STUDIO (NSW) PTY LTD
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NSW Nominated Architect Pavlo Doroch 9170



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S4.56 Changes



Rev	Date	Amendment	By
01	1/12/2021	ISSUE FOR S4.56(2) FOR COORDINATION	GL
02	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	GL
03	17/01/2022	ISSUE FOR S4.56 - FOR COORDINATION	GL
04	21/01/2022	ISSUE FOR S4.56	GL
05	02/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	GL
06	11/02/2022	ISSUE FOR S4.56	GL
07	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL
08	31/01/2023	ISSUE FOR S4.56	GL
09	13/03/2023	ISSUE FOR S4.56	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client: **KLIATRO**

Status:
ISSUE FOR S4.56

Drawing Title: Preliminary Site Plan

Project No: Pn_0800 A001 Drawing No: A001 Revision: 09

Date: 13/03/2023 Checked: PD Drawn: GL Scale@A1: 1:500

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1 Site Plan
Scale @ A1 = 1:500

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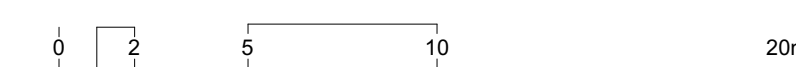
S4.56 Changes

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
02	21/01/2022	ISSUE FOR S4.56	JB.GL
03	20/02/2022	ISSUE FOR COORDINATION	JB.GL
04	8/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
05	11/02/2022	ISSUE FOR S4.56	JB.GL
06	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL
07	31/01/2023	ISSUE FOR S4.56	GL
08	13/03/2023	ISSUE FOR S4.56	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client: **KLIATRO**



Status:
ISSUE FOR S4.56

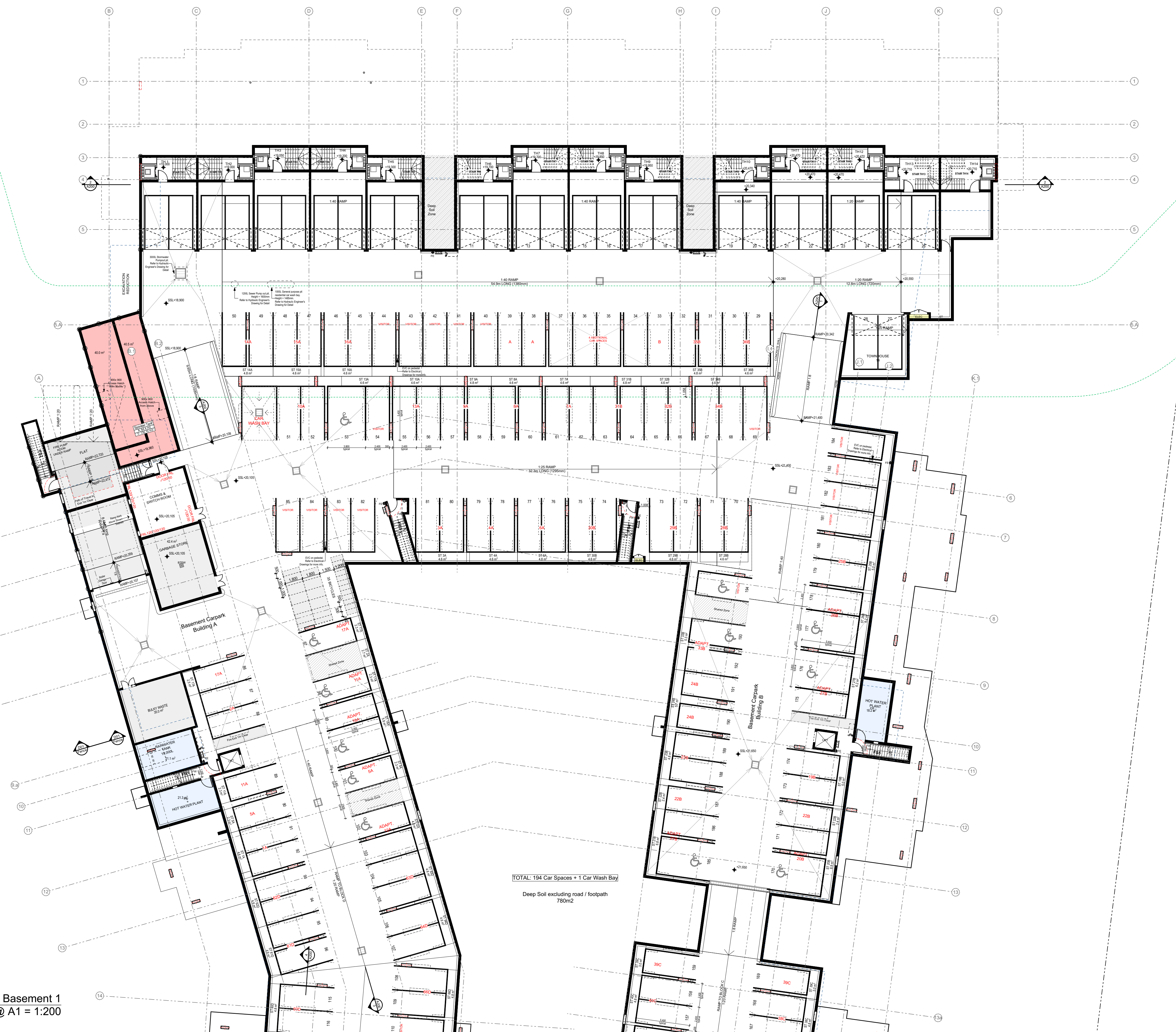
Drawing Title: Floor Plans
Basement 1 - East

Project No: Pn_0800
Drawing No: A099.1
Revision: 08

Date: 13/03/2023
Checked: PD
Drawn: GL
Scale@A1: 1:200



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 NSW Nominated Architect Pavlo Doroch 9170



TOTAL: 194 Car Spaces + 1 Car Wash Bay
 Deep Soil excluding road / footpath
 760m²

01
Basement 1
Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A099.2

FOR CONTINUATION SEE SHEET A099.1

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S4.56 Changes

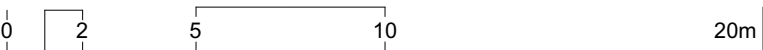


Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
02	21/01/2022	ISSUE FOR S4.56	JB.GL
03	20/02/2022	ISSUE FOR COORDINATION	JB.GL
04	8/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
05	11/02/2022	ISSUE FOR S4.56	JB.GL
06	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL
07	31/01/2023	ISSUE FOR S4.56	GL
08	13/03/2023	ISSUE FOR S4.56	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client: **KLIATRO**



Status:
ISSUE FOR S4.56

Drawing Title: Floor Plans
Basement 1 - West

Project No: Drawing No: Revision:
Pn_0800 A099.2 08

Date: Checked: Drawn: Scale@A1:
13/03/2023 PD GL 1:200



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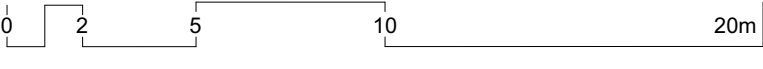
Legend: S4.56 Changes

Rev	Date	Amendment	By
01	1/12/2021	ISSUE FOR S4.56(2) FOR COORDINATION	GL
02	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	GL
03	21/01/2022	ISSUE FOR S4.56	GL
04	8/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	GL
05	11/02/2022	ISSUE FOR S4.56	GL
06	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL
07	31/01/2023	ISSUE FOR S4.56	GL
08	13/03/2023	ISSUE FOR S4.56	GL
09	15/06/2023	ISSUE FOR S4.56 AMENDMENT	GL

Project: RESIDENTIAL DEVELOPMENT

Address: 8 Forest Road Warriewood NSW 2102 Australia

Client: **KLIATRO**



Status: ISSUE FOR S4.56 AMENDMENT
 Drawing Title: Floor Plans Ground Floor Plan - East

Project No: Pn_0800 A100.1
 Drawing No: 09
 Revision: 09
 Date: 15/06/2023
 Checked: PD
 Drawn: GL
 Scale@A1: 1:200



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01 Ground Floor Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A100.2

FOR CONTINUATION SEE SHEET A100.1

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S4.56 Changes

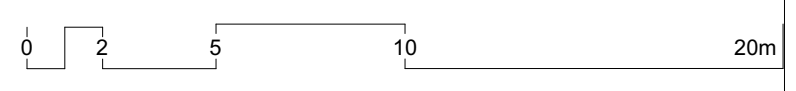


Rev	Date	Amendment	By
01	1/12/2021	ISSUE FOR S4.56(2) FOR COORDINATION	GL
02	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	GL
03	21/01/2022	ISSUE FOR S4.56	GL
04	8/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	GL
05	11/02/2022	ISSUE FOR S4.56	GL
06	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL
07	31/01/2023	ISSUE FOR S4.56	GL
08	13/03/2023	ISSUE FOR S4.56	GL
09	15/06/2023	ISSUE FOR S4.56 AMENDMENT	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client: **KLIATRO**



Status:
ISSUE FOR S4.56 AMENDMENT

Drawing Title: Floor Plans
Ground Floor Plan - West

Project No: Pn_0800
Drawing No: A100.2
Revision: 09

Date: 15/06/2023
Checked: PD
Drawn: GL
Scale@A1: 1:200



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ABN: 90 616 216 196
NSW Nominated Architect Pavlo Doroch 9170

01 Ground Floor
Scale @ A1 = 1:200

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S4.56 Changes

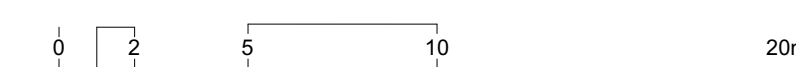


Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
02	21/01/2022	ISSUE FOR S4.56	JB.GL
03	06/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
04	11/02/2022	ISSUE FOR S4.56	JB.GL
05	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL
06	31/01/2023	ISSUE FOR S4.56	GL
07	13/03/2023	ISSUE FOR S4.56	GL
08	15/06/2023	ISSUE FOR S4.56 AMENDMENT	GL

Project:
 RESIDENTIAL DEVELOPMENT

Address:
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Client: **KLIATRO**



Status:
 ISSUE FOR S4.56
 AMENDMENT
 Drawing Title: Floor Plans
 Level 1 - East

Project No: Pn_0800 A101.1
 Drawing No: A101.1
 Revision: 08

Date: 15/06/2023
 Checked: PD
 Drawn: GL
 Scale@A1: 1:200



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01 Level 1
 Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A101.2

FOR CONTINUATION SEE SHEET A101.1

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 S4.56 Changes

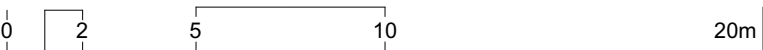


Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
02	21/01/2022	ISSUE FOR S4.56	JB.GL
03	06/09/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
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05	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL
06	31/01/2023	ISSUE FOR S4.56	GL
07	13/03/2023	ISSUE FOR S4.56	GL
08	15/06/2023	ISSUE FOR S4.56 AMENDMENT	GL

Project: RESIDENTIAL DEVELOPMENT


Address: 8 Forest Road Warriewood NSW 2102 Australia

Client: **KLIATRO**



Status: **ISSUE FOR S4.56 AMENDMENT**

Drawing Title: Floor Plans Level 1 - West



Project No: Pn_0800 Drawing No: A101.2 Revision: 08

Date: 15/06/2023 Checked: PD Drawn: GL Scale@A1: 1:200



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01 Level 1
 Scale @ A1 = 1:200

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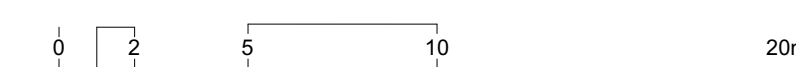


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06	31/01/2023	ISSUE FOR S4.56	GL
07	13/03/2023	ISSUE FOR S4.56	GL
08	15/06/2023	ISSUE FOR S4.56 AMENDMENT	GL

Project:
 RESIDENTIAL DEVELOPMENT

Address:
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Client: **KLIATRO**



Status:
 ISSUE FOR S4.56
 AMENDMENT
 Drawing Title: Floor Plans
 Level 2 - East

Project No: Pn_0800
 Drawing No: A102.1
 Revision: 08

Date: 15/06/2023
 Checked: PD
 Drawn: GL
 Scale@A1: 1:200



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01 Level 2
 Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A102.2

FOR CONTINUATION SEE SHEET A102.1

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 S4.56 Changes

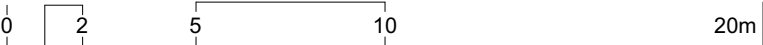


Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
02	21/01/2022	ISSUE FOR S4.56	JB.GL
03	06/09/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
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06	31/01/2023	ISSUE FOR S4.56	GL
07	13/03/2023	ISSUE FOR S4.56	GL
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Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client: **KLIATRO**



Status:
ISSUE FOR S4.56 AMENDMENT

Drawing Title: Floor Plans
Level 2 - West

Project No: Pn_0800
Drawing No: A102.2
Revision: 08

Date: 15/06/2023
Checked: PD
Drawn: GL
Scale@A1: 1:200

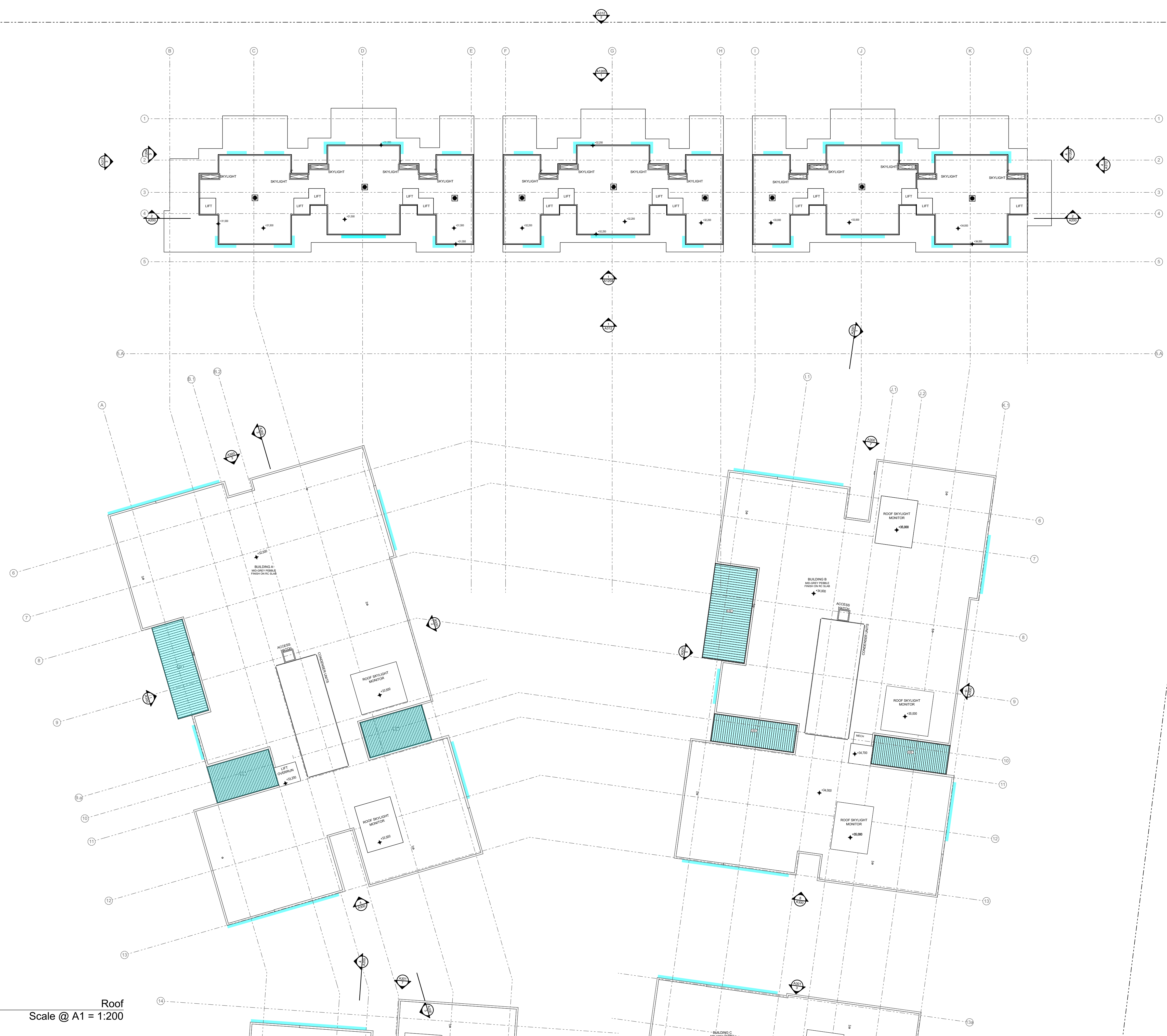


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01 Level 2
Scale @ A1 = 1:200

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S4.56 Changes

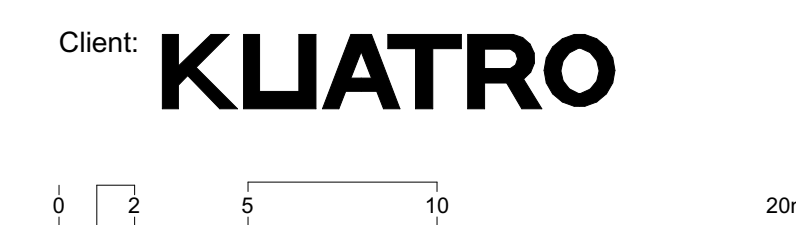


Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB.GL
02	21/01/2022	ISSUE FOR S4.56	JB.GL
03	11/02/2022	ISSUE FOR S4.56	JB.GL
04	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL
05	31/01/2023	ISSUE FOR S4.56	GL
06	13/03/2023	ISSUE FOR S4.56	GL
07	15/06/2023	ISSUE FOR S4.56 AMENDMENT	GL

Project: RESIDENTIAL DEVELOPMENT

Address: 8 Forest Road Warriewood NSW 2102 Australia

Client: **KLIATRO**



Status: **ISSUE FOR S4.56 AMENDMENT**
 Drawing Title: **Floor Plans Roof Level - East**

Project No: Pn_0800
 Drawing No: A103.1
 Revision: 07
 Date: 15/06/2023
 Checked: PD
 Drawn: GL
 Scale@A1: 1:200


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01 Roof Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A103.2

FOR CONTINUATION SEE SHEET A103.1

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03	11/02/2022	ISSUE FOR S4.56	JB.GL
04	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL
05	31/01/2023	ISSUE FOR S4.56	GL
06	13/03/2023	ISSUE FOR S4.56	GL
07	15/06/2023	ISSUE FOR S4.56 AMENDMENT	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
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Client: **KLIATRO**

Status:
ISSUE FOR S4.56 AMENDMENT

Drawing Title: **Floor Plans
Roof Level - West**

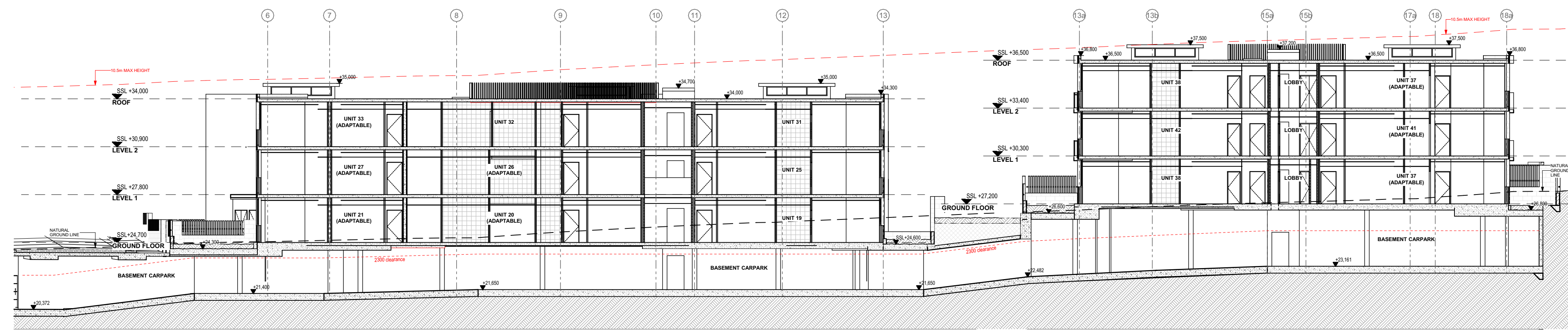
Project No: Pn_0800
Drawing No: A103.2
Revision: 07

Date: 15/06/2023
Checked: PD
Drawn: GL
Scale@A1: 1:200



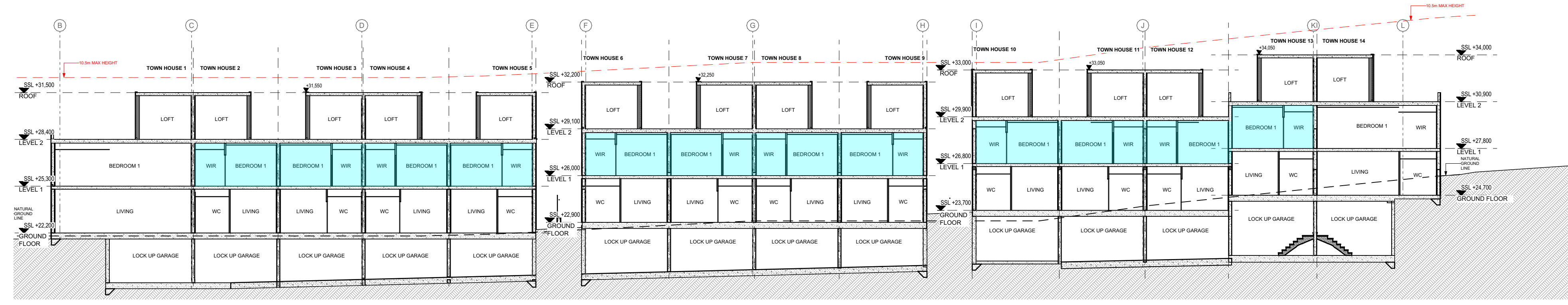
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01 Roof
Scale @ A1 = 1:200

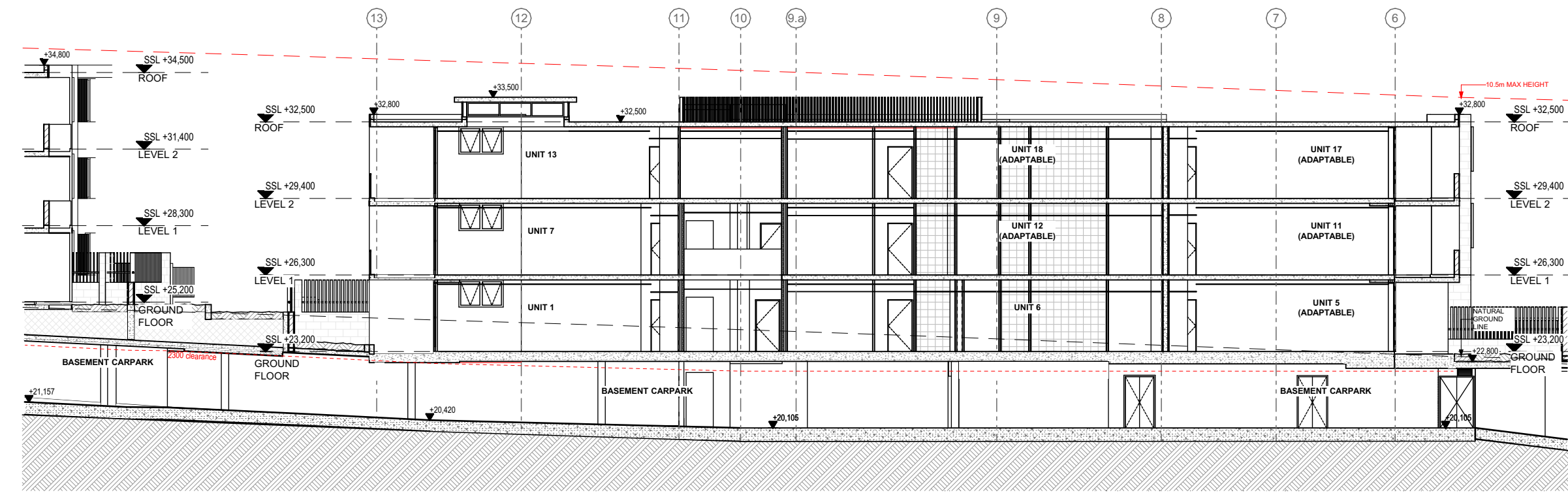


1 Building B & C ramp
Scale @ A1 = 1:200

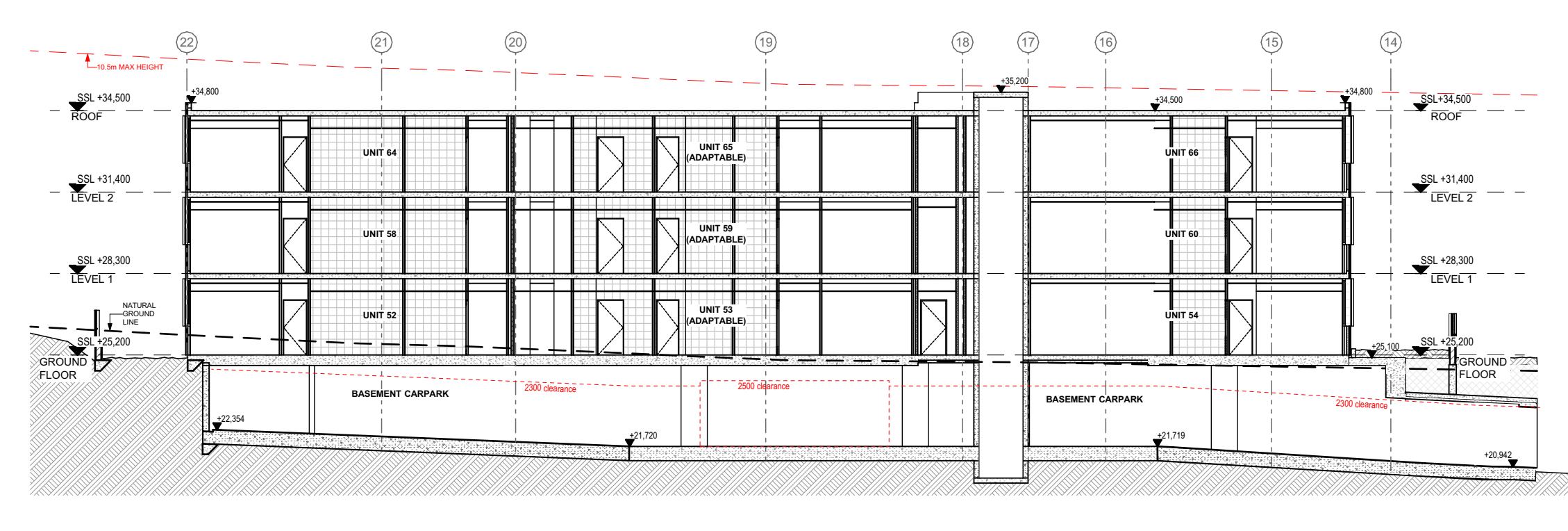
S4.56 Changes



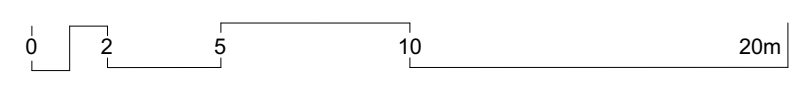
2 Townhouse Section
Scale @ A1 = 1:200



3 Building A Ramp Section
Scale @ A1 = 1:200



4 Building D Ramp Section
Scale @ A1 = 1:200



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	RK				
02	21/01/2022	ISSUE FOR S4.56	RK				
03	01/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	RK				
04	11/02/2022	ISSUE FOR S4.56	RK				
05	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL				
06	31/01/2023	ISSUE FOR S4.56	GL				
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Van Der Meer

Mechanical Services:
AASAN Consulting

Electrical Services:
Joeliane

Hydraulic Services:
ITM Design

Fire Services:
Scientific Fire Services

BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
Metropolitan

Landscape Architect:
Site Design Studios

Acoustic Engineer:
Acoustic Logic

ISSUE FOR S4.56
 AMENDMENT
 Project: RESIDENTIAL DEVELOPMENT
 Client: **KLIATRO**
 Address:
 8 Forest Road Warriewood NSW 2102 Australia

Project No: Pn_0800
 Checked: PD
 Scale@A1: 1:200
 Date: 15/06/2023

Drawing Title:
Sections
Sections

Revision:
08
 Drawing No:
A200

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LEGEND

- BAL1 BALUSTRADE GLASS
- BAL2 BALUSTRADE SOLID - FC CLADDING VIVID WHITE
- CC1 CONCRETE FINISH LOOK
- FC1 RENDER & PAINT - DULUX TIMELESS GREY
- FC3 RENDER & PAINT - DULUX VIVID WHITE
- GD1 GLAZING DOOR / WINDOW - DULUX MONUMENT POWDER COAT
- LD1 HORIZONTAL LOUVRES - TIMBER LOOK
- MC1 METAL CLADDING - MONUMENT HORIZONTAL & VERTICAL
- WC2 ALUMINIUM BATTENS - (SLATS) - WHITE
- P01 RENDER & PAINT - DULUX VIVID WHITE
- SC SANDSTONE CLADDING
- SH2 SUNSHADING - TIMBER LOOK
- TF FENCE (ALUMINIUM SLATS) - DULUX MONUMENT POWDER COAT

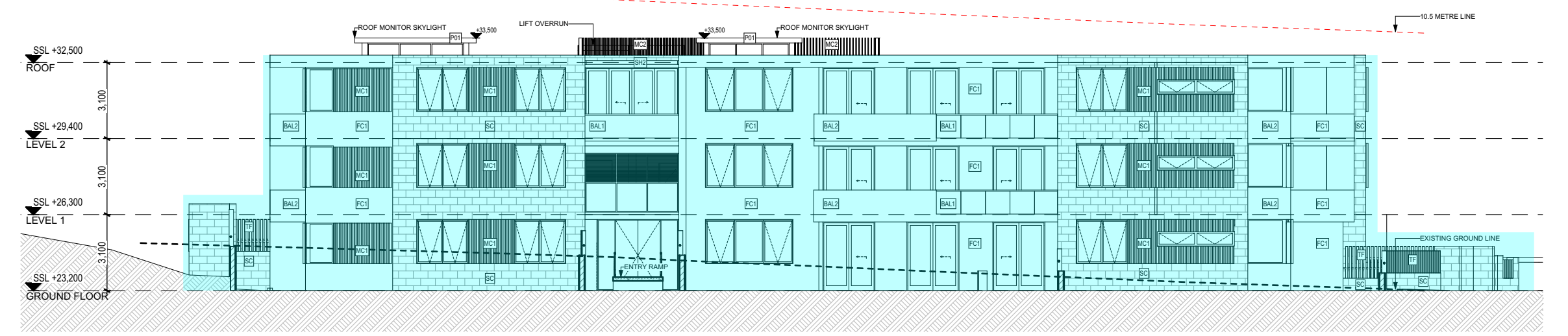
S4.56 Changes



1 North Elevation - Building A
Scale @ A1 = 1:200



5 North Elevation - Building B
Scale @ A1 = 1:200



2 South Elevation - Building A
Scale @ A1 = 1:200



6 South Elevation - Building B
Scale @ A1 = 1:200



3 East Elevation - Building A
Scale @ A1 = 1:200



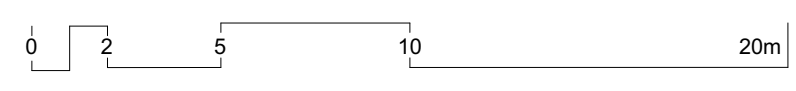
7 East Elevation - Building B
Scale @ A1 = 1:200



4 West Elevation - Building A
Scale @ A1 = 1:200



8 West Elevation - Building B
Scale @ A1 = 1:200



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06	31/01/2023	ISSUE FOR S4.56	GL				
07	13/03/2023	ISSUE FOR S4.56	GL				
08	23/05/2023	ISSUE FOR S4.56 AMENDMENT	GL				
09	15/06/2023	ISSUE FOR S4.56 AMENDMENT	GL				

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 Electrical Services: Joeliene
 Hydraulic Services: ITM Design
 Fire Services: Scientific Fire Services
 BCA and Access Consultant: BCA Logic
 Principal Certifying Authority: Metropolitan
 Landscape Architect: Site Design Studios
 Acoustic Engineer: Acoustic Logic

ISSUE FOR S4.56 AMENDMENT
 Project: RESIDENTIAL DEVELOPMENT
 Client: **KLIATRO**
 Address: 8 Forest Road Warriewood NSW 2102 Australia

Drawing Title: Elevations Building A and B

Revision: 09
 Drawing No: A300

Project No: Pn_0800
 Checked: PD
 Scale@A1: 1:200
 Date: 15/06/2023

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 P: 02 9648 6663 I F: 02 9648 6664
 info@adsarchitects.com I www.adsarchitects.com
 ABN: 90 616 216 196
 NSW Nominated Architect Pavlo Doroch 9170

- LEGEND**
- BAL1 BALUSTRADE GLASS
 - BAL2 BALUSTRADE SOLID - FC CLADDING VIVID WHITE
 - CO1 CONCRETE FINISH LOOK
 - FC1 RENDER & PAINT - DULUX TIMELESS GREY
 - FC3 RENDER & PAINT - DULUX VIVID WHITE
 - GD1 GLAZING DOOR / WINDOW - DULUX MONUMENT POWDER COAT
 - L01 HORIZONTAL LOUVRES - TIMBER LOOK
 - WC1 METAL CLADDING - MONUMENT HORIZONTAL & VERTICAL
 - WC2 ALUMINIUM BATTENS - (SLATS) - WHITE
 - P01 RENDER & PAINT - DULUX VIVID WHITE
 - SC SANDSTONE CLADDING
 - SH2 SUNSHADING - TIMBER LOOK
 - TF FENCE (ALUMINIUM SLATS) - DULUX MONUMENT POWDER COAT

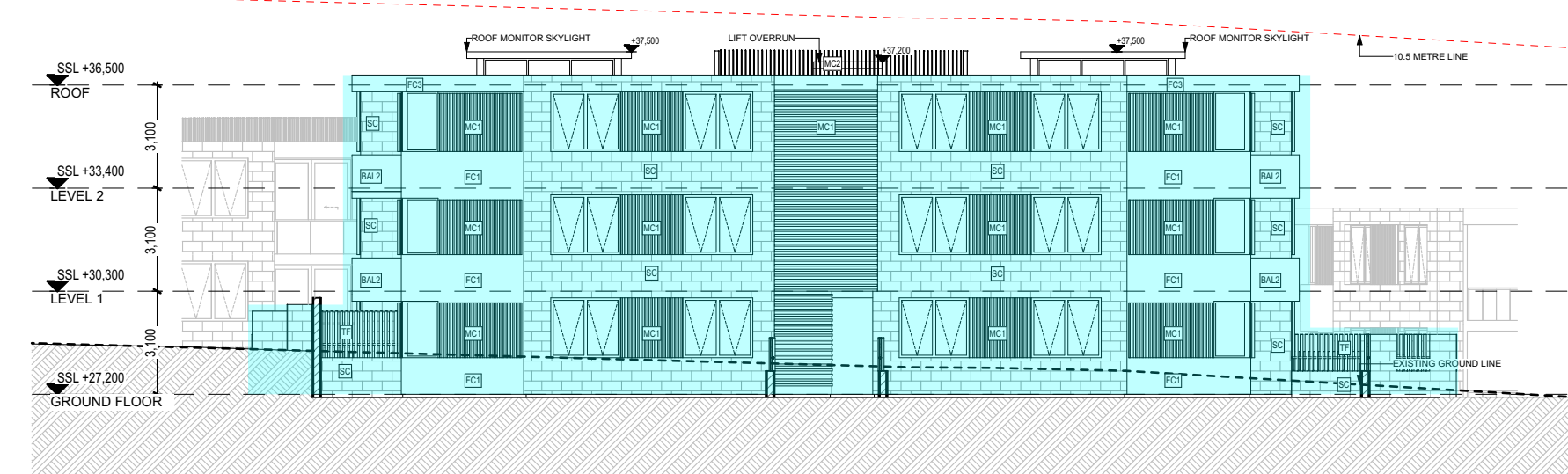
S4.56 Changes



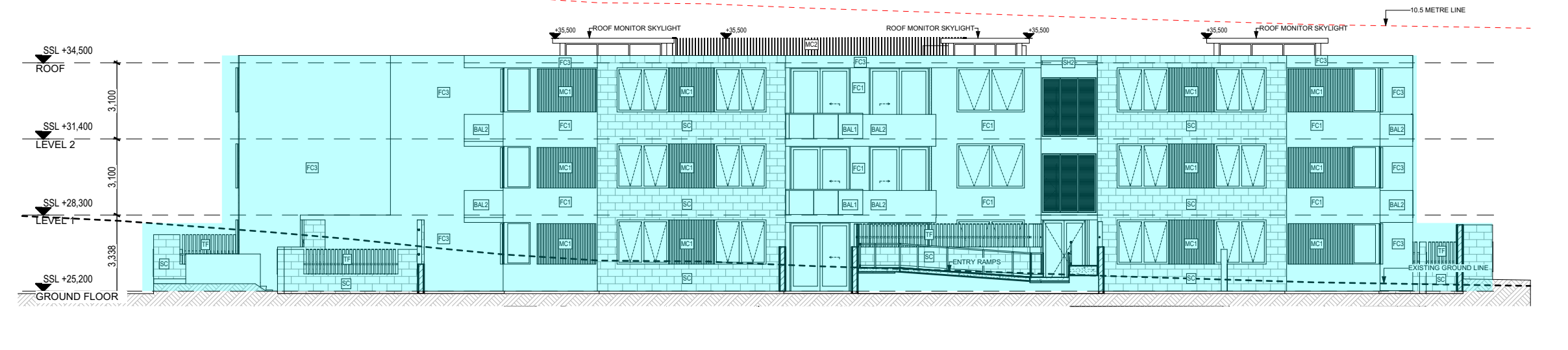
1 North Elevation - Building C
Scale @ A1 = 1:200



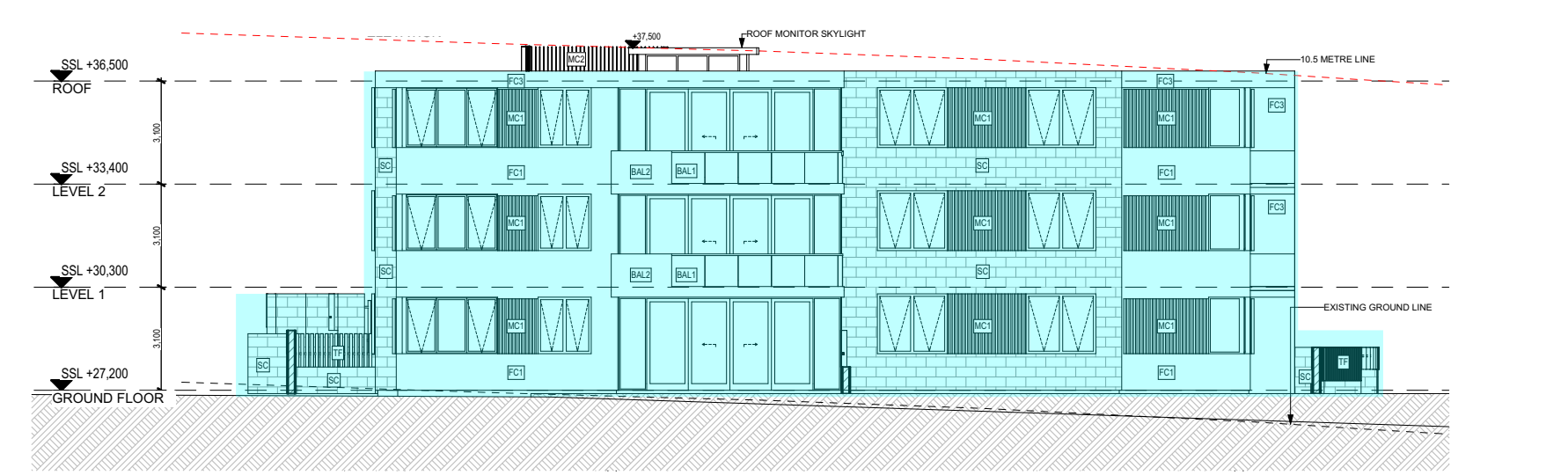
5 North Elevation - Building D
Scale @ A1 = 1:200



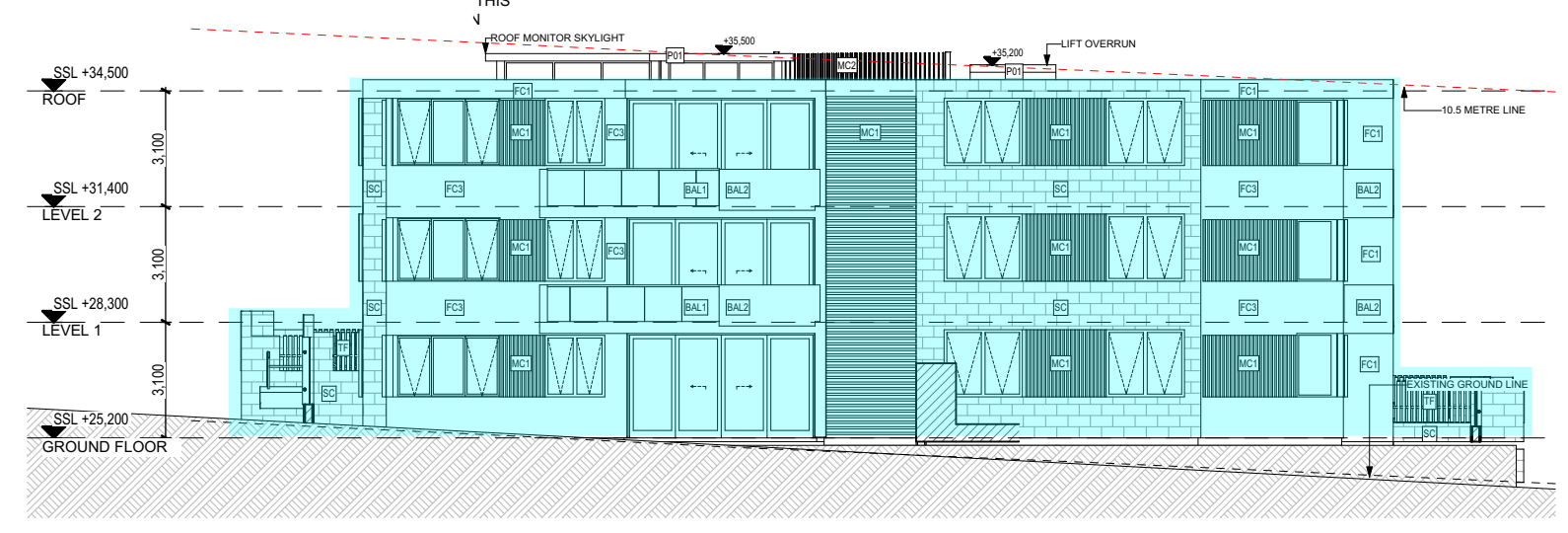
2 South Elevation - Building C
Scale @ A1 = 1:200



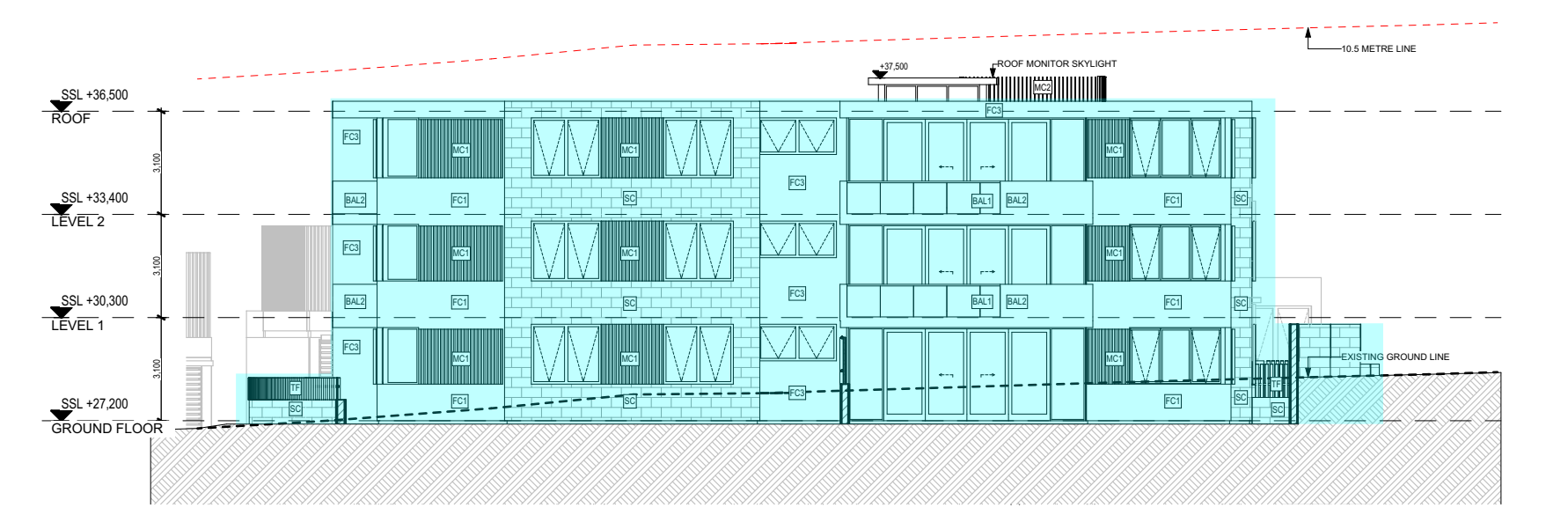
6 South Elevation - Building D
Scale @ A1 = 1:200



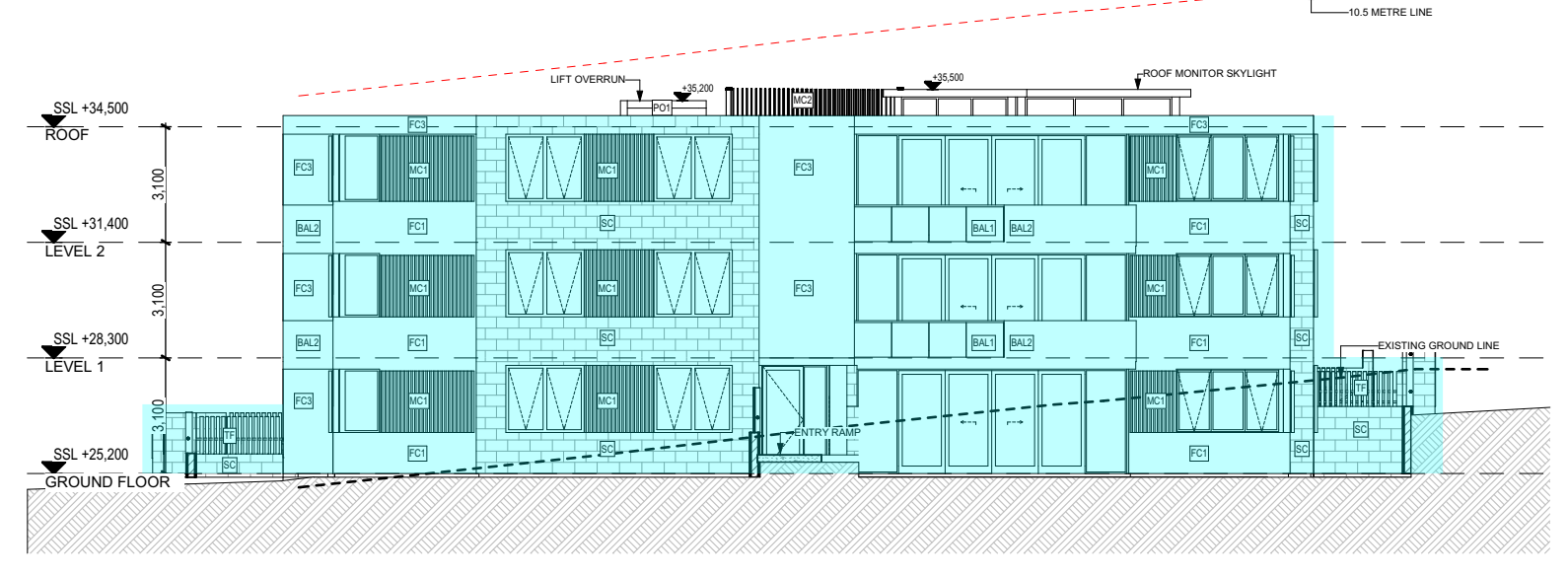
3 East Elevation - Building C
Scale @ A1 = 1:200



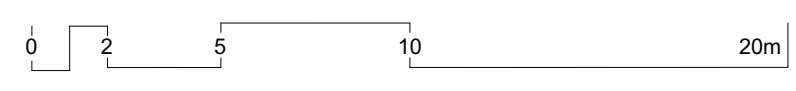
7 East Elevation - Building D
Scale @ A1 = 1:200



4 West Elevation - Building C
Scale @ A1 = 1:200



8 West Elevation - Building D
Scale @ A1 = 1:200



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	RK				
02	21/01/2022	ISSUE FOR S4.56	RK				
03	01/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	RK				
04	11/02/2022	ISSUE FOR S4.56	RK				
05	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL				
06	31/01/2023	ISSUE FOR S4.56	GL				
07	13/03/2023	ISSUE FOR S4.56	GL				
08	28/05/2023	ISSUE FOR S4.56 AMENDMENT	GL				
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- BCA and Access Consultant:
BCA Logic
- Principal Certifying Authority:
Metropolitan
- Landscape Architect:
Site Design Studios
- Acoustic Engineer:
Acoustic Logic

ISSUE FOR S4.56
AMENDMENT
Project: RESIDENTIAL DEVELOPMENT
Client: **KLIATRO**
Address:
8 Forest Road Warriewood NSW 2102 Australia

Drawing Title:
Elevations
Building C and D

Revision: 09
Drawing No: A301

Project No: Pn_0800
Checked: Drawn:
PD GL
Scale@A1: 1:200
Date: 15/06/2023

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NSW Nominated Architect Pavlo Doroch 9170

LEGEND

- BAL1 BALUSTRADE GLASS
- BAL2 BALUSTRADE SOLID - FC CLADDING VIVID WHITE
- CO1 CONCRETE FINISH LOOK
- FC1 RENDER & PAINT - DULUX TIMELESS GREY
- FC3 RENDER & PAINT - DULUX VIVID WHITE
- GD1 GLAZING DOOR / WINDOW - DULUX MONUMENT POWDER COAT
- L01 HORIZONTAL LOUVRES - TIMBER LOOK
- MC1 METAL CLADDING - MONUMENT HORIZONTAL & VERTICAL
- MC2 ALUMINIUM BATTENS (SLATS) - WHITE
- P01 RENDER & PAINT - DULUX VIVID WHITE
- SC SANDSTONE CLADDING
- SH2 SUNSHADING - TIMBER LOOK
- TF FENCE (ALUMINIUM SLATS) - DULUX MONUMENT POWDER COAT

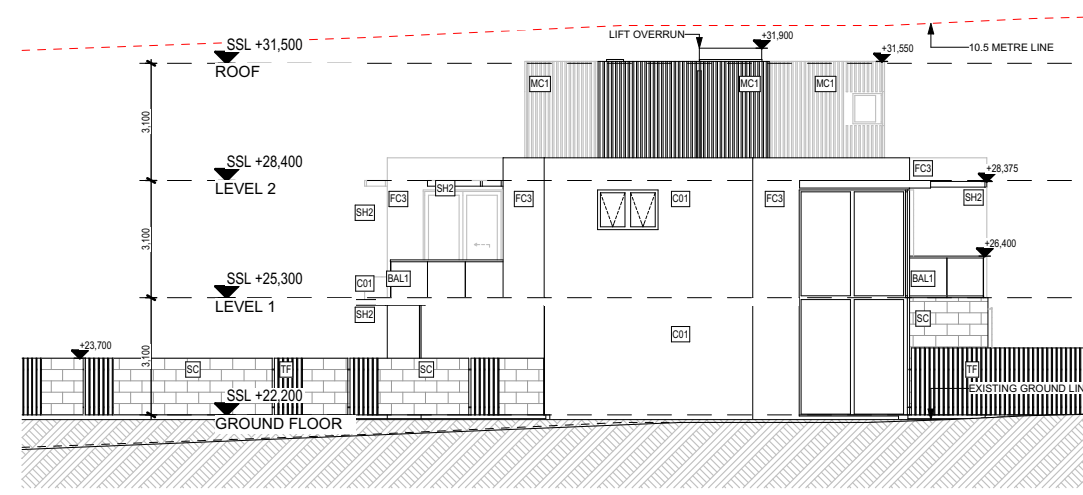
S4.56 Changes



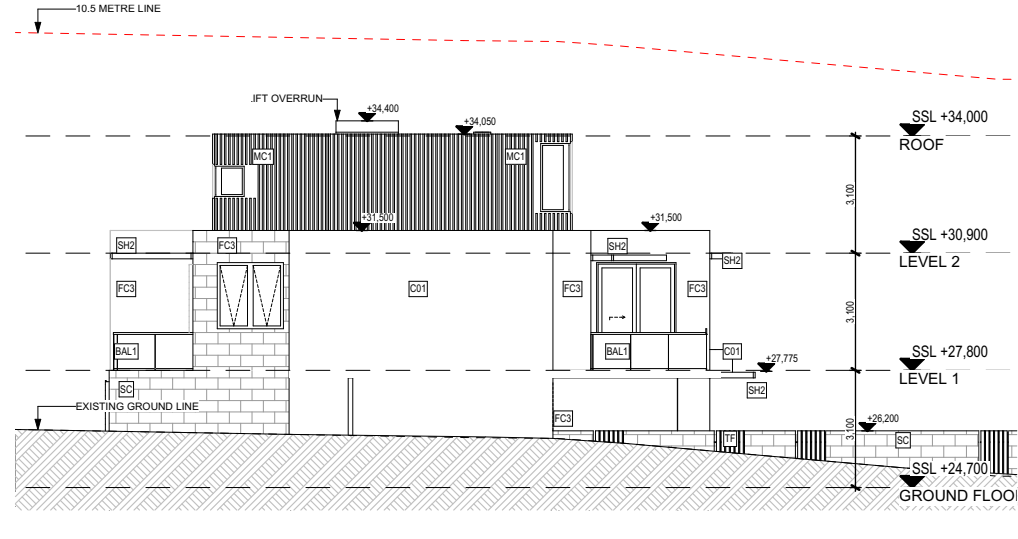
1 West Elevation - Townhouses
Scale @ A1 = 1:200



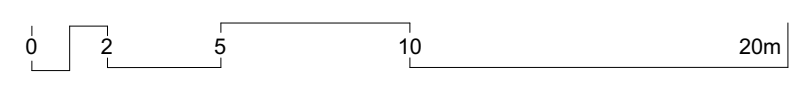
2 East Elevation - Townhouses
Scale @ A1 = 1:200



3 North Elevation - Townhouses
Scale @ A1 = 1:200



4 South Elevation - Townhouses
Scale @ A1 = 1:200



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	RK				
02	21/01/2022	ISSUE FOR S4.56	RK				
03	01/02/2022	ISSUE FOR S4.56 - FOR COORDINATION	RK				
04	11/02/2022	ISSUE FOR S4.56	RK				
05	14/12/2022	ISSUE FOR S4.56 - COORDINATION	GL				
06	31/01/2023	ISSUE FOR S4.56	GL				
07	13/03/2023	ISSUE FOR S4.56	GL				
08	26/05/2023	ISSUE FOR S4.56 AMENDMENT	GL				
09	15/06/2023	ISSUE FOR S4.56 AMENDMENT	GL				

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Fire Services:
Scientific Fire Services

BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
Metropolitan

Landscape Architect:
Site Design Studios

Acoustic Engineer:
Acoustic Logic

**ISSUE FOR S4.56
AMENDMENT**
Project: RESIDENTIAL DEVELOPMENT
Client: **KLIATRO**
Address:
8 Forest Road Warriewood NSW 2102 Australia

Drawing Title:
Elevations
Townhouses

Revision:
09

Drawing No:
A302

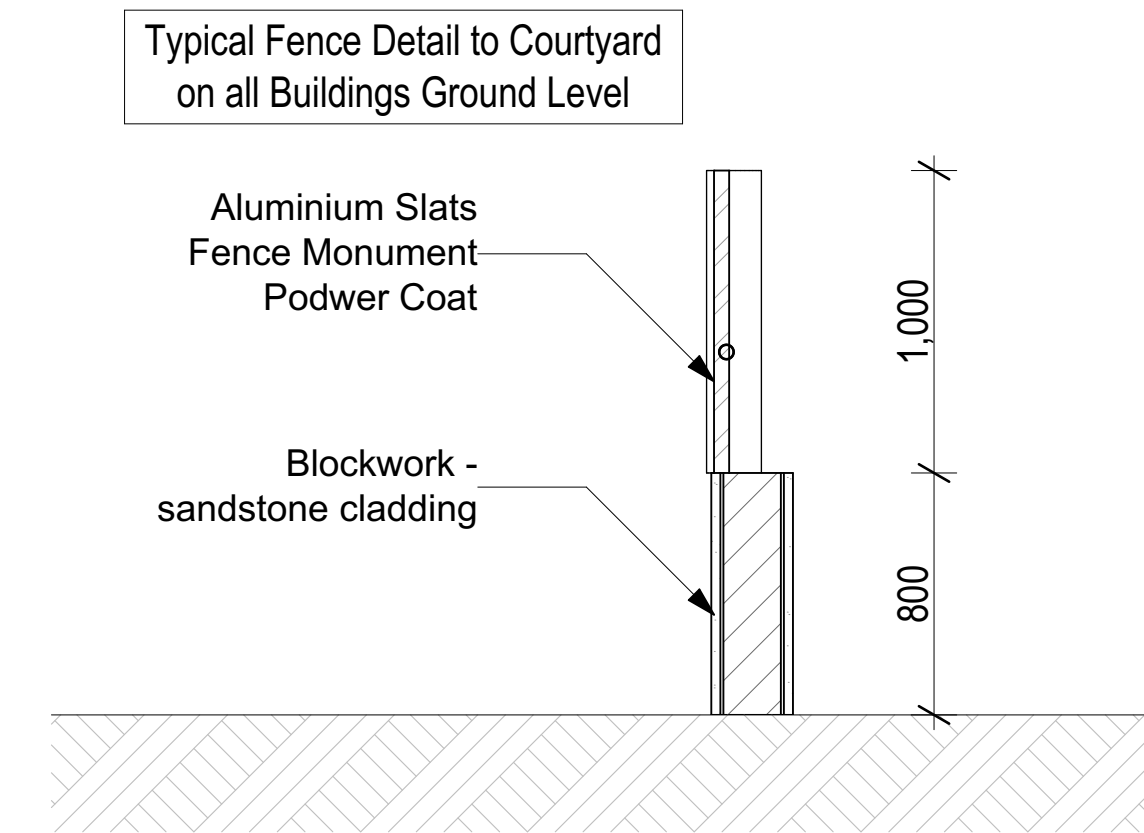
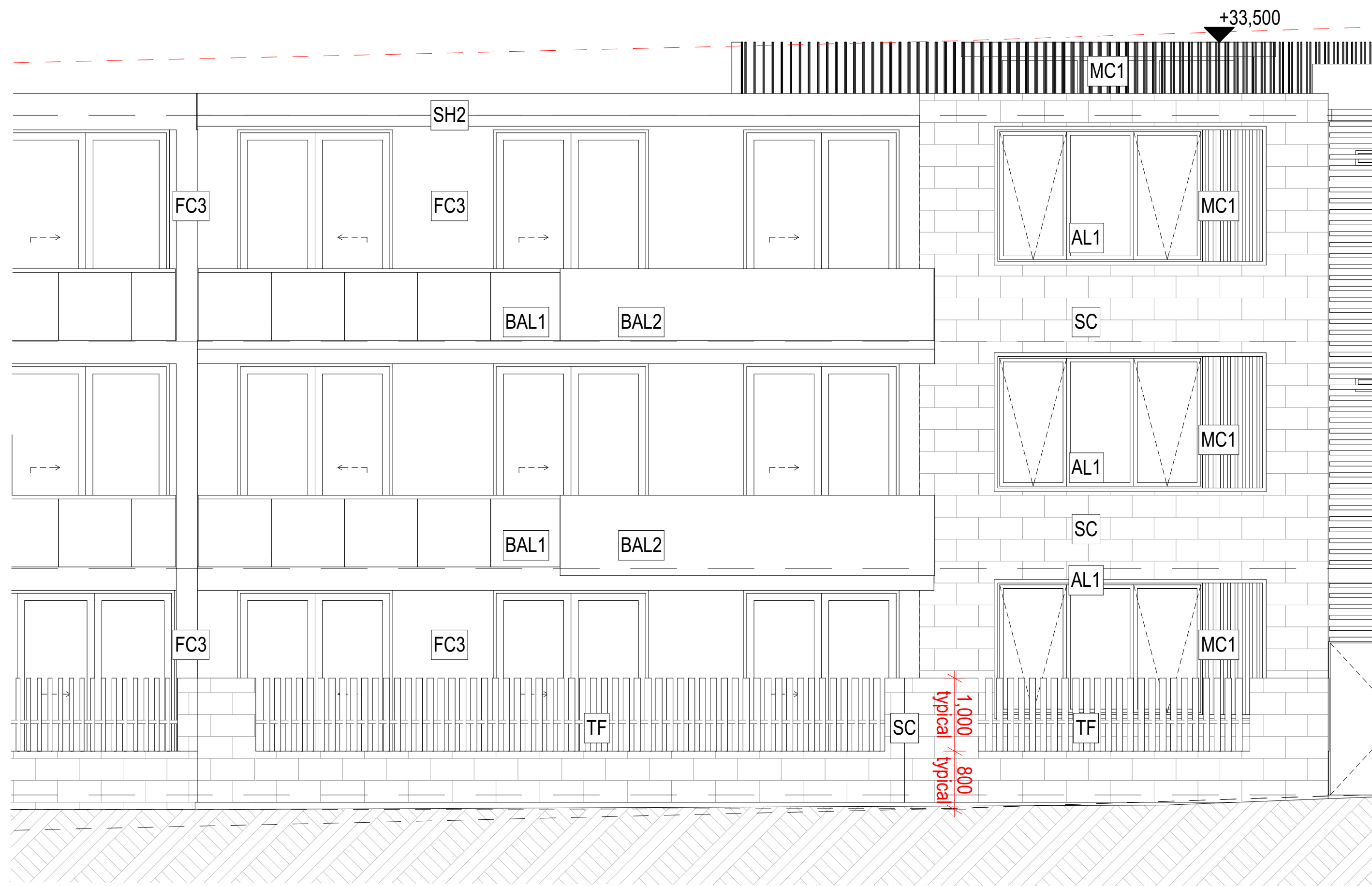
Project No: Pn_0800
Checked: Drawn:
PD GL
Scale@A1: 1:200
Date: 15/06/2023

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LEGEND

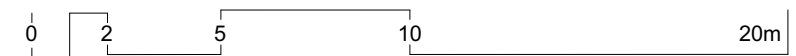
- BAL1 BALUSTRADE GLASS
- BAL2 BALUSTRADE SOLID - FC CLADDING VIVID WHITE
- CB1 FIBRECEMENT CLADDING - CONCRETE FINISH LOOK
- FC1 FIBRECEMENT CLADDING - DULUX TIMELESS GREY
- FC3 FIBRECEMENT CLADDING - DULUX VIVID WHITE
- GD1 GLAZING DOOR / WINDOW - DULUX MONUMENT POWDER COAT
- L01 HORIZONTAL LOUVRES - TIMBER LOOK
- MC1 METAL CLADDING - MONUMENT HORIZONTAL & VERTICAL
- WC2 ALUMINIUM BATTENS - (SLATS) - WHITE
- P01 RENDER & PAINT - DULUX VIVID WHITE
- SC SANDSTONE CLADDING
- SH2 SUNSHADING - TIMBER LOOK
- TF FENCE (ALUMINIUM SLATS) - DULUX MONUMENT POWDER COAT

S4.56 Changes



1 North Elevation - Building A - Fence
Scale @ A1 = 1:50

2 Fence
Scale @ A1 = 1:25



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	13/03/2023	ISSUE FOR S4.56	GL				

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- Fire Services: Scientific Fire Services
- BCA and Access Consultant: BCA Logic
- Principal Certifying Authority: Metropolitan
- Landscape Architect: Site Design Studios
- Acoustic Engineer: Acoustic Logic

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
Client: **KLIATRO**
Address: 8 Forest Road Warriewood NSW 2102 Australia

Drawing Title: Elevations Fence Detail
Revision: 01
Drawing No: A303

Project No: Pn_0800
Checked: Drawn: PD GL
Scale@A1: 1:50, 1:25
Date: 13/03/2023

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NSW Nominated Architect Pavlo Doroch 9170



S4.56 Changes

1

Site Plan
Scale @ A1 = 1:500

Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	11/02/2022	ISSUE FOR S4.56	GL				
02	13/03/2023	ISSUE FOR S4.56	GL				

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Hydraulic Services:
ITM Design

Mechanical Services:
AASAN Consulting

Fire Services:
Scientific Fire Services

Electrical Services:
Joeliane

Principal Certifying Authority:
Metropolitan

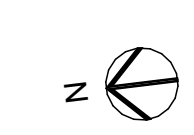
Landscape Architect:
Site Design Studios

Acoustic Engineer:
Acoustic Logic

BCA and Access Consultant:
BCA Logic

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
 Client: EQ CONSTRUCTIONS
 Address: 8 Forest Road Warriewood NSW 2102 Australia



Drawing Title:
Notification Plans
Notification Plan - Site Plan

Revision:
02

Drawing No:
A800

Project No: Pn_0800
 Checked: Drawn:
 PD GL
 Scale@A1: 1:500
 Scale@A4: 1:1,414.02
 Date: 13/03/2023



- LEGEND**
- BAL1 BALUSTRADE GLASS
 - BAL2 BALUSTRADE SOLID - FC CLADDING VIVID WHITE
 - C01 FIBRECEMENT CLADDING - CONCRETE FINISH LOOK
 - FC1 FIBRECEMENT CLADDING - DULUX TIMELESS GREY
 - FC3 FIBRECEMENT CLADDING - DULUX VIVID WHITE
 - GD1 GLAZING DOOR / WINDOW - DULUX MONUMENT POWDER COAT
 - L01 HORIZONTAL LOUVRES - TIMBER LOOK
 - M01 METAL CLADDING - MONUMENT HORIZONTAL & VERTICAL
 - M02 ALUMINIUM BATTENS (SLATS) - WHITE
 - P01 RENDER & PAINT - DULUX VIVID WHITE
 - SC SANDSTONE CLADDING
 - SH2 SUNSHADING - TIMBER LOOK
 - TF FENCE (ALUMINIUM SLATS) - DULUX MONUMENT POWDER COAT

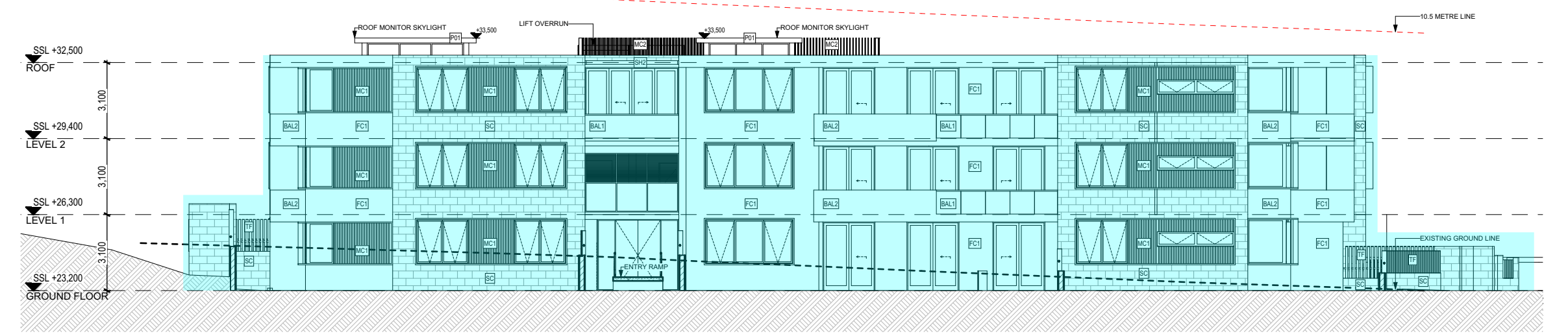
S4.56 Changes



1 North Elevation - Building A
Scale @ A1 = 1:200



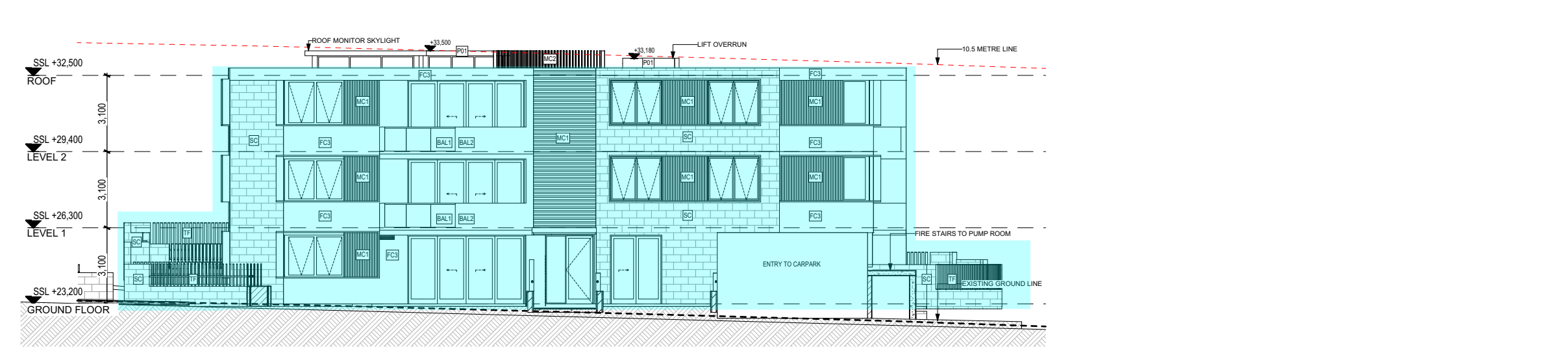
5 North Elevation - Building B
Scale @ A1 = 1:200



2 South Elevation - Building A
Scale @ A1 = 1:200



6 South Elevation - Building B
Scale @ A1 = 1:200



3 East Elevation - Building A
Scale @ A1 = 1:200



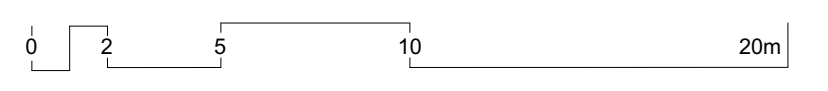
7 East Elevation - Building B
Scale @ A1 = 1:200



4 West Elevation - Building A
Scale @ A1 = 1:200



8 West Elevation - Building B
Scale @ A1 = 1:200



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	11/02/2022	ISSUE FOR S4.56	GL				
02	13/03/2023	ISSUE FOR S4.56	GL				

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 Landscape Architect: Site Design Studios
 Acoustic Engineer: Acoustic Logic

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
 Client: **KLIATRO**
 Address: 8 Forest Road Warriewood NSW 2102 Australia

Project No: Pn_0800
 Checked: Drawn: PD GL
 Scale@A1: 1:200
 Scale@A4: 1:565.6
 Date: 13/03/2023

Drawing Title: Notification Plans and B Elevations

Revision: 02
 Drawing No: A801

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 NSW Nominated Architect Pavlo Doroch 9170

LEGEND

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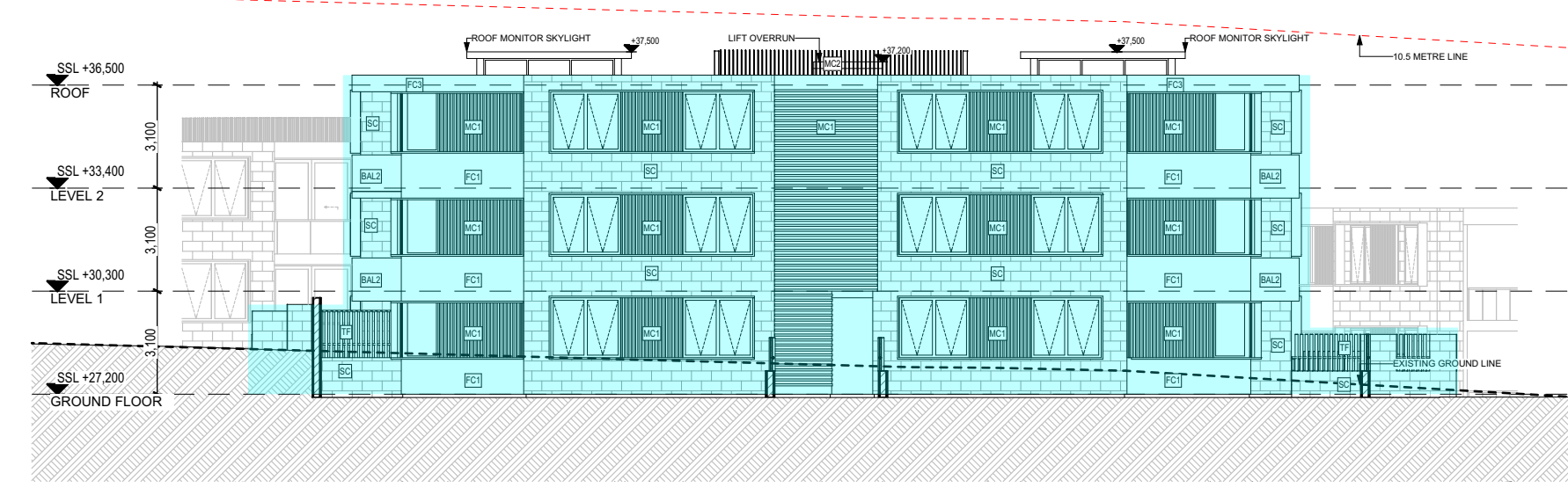
S4.56 Changes



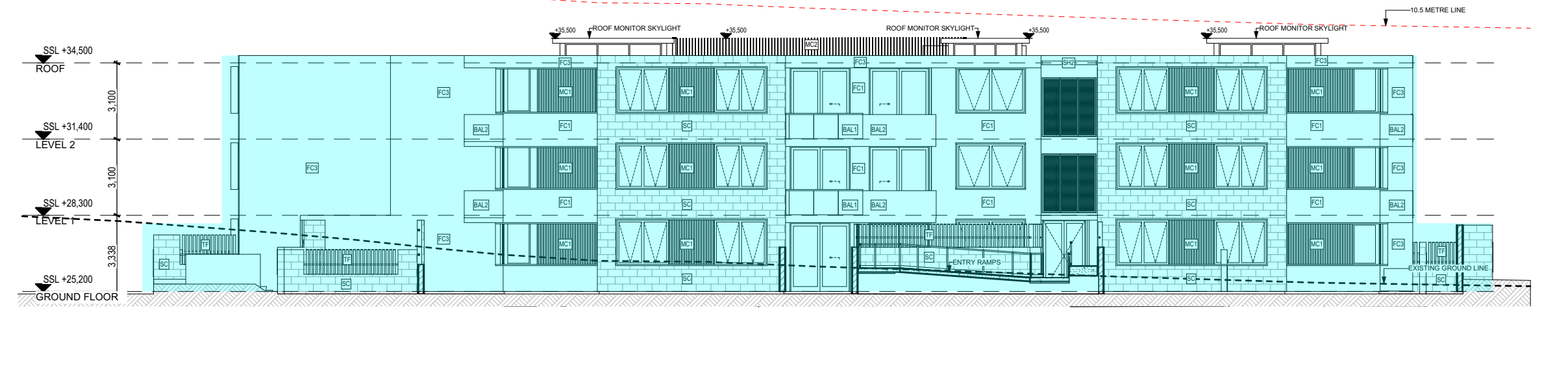
1 North Elevation - Building C
Scale @ A1 = 1:200



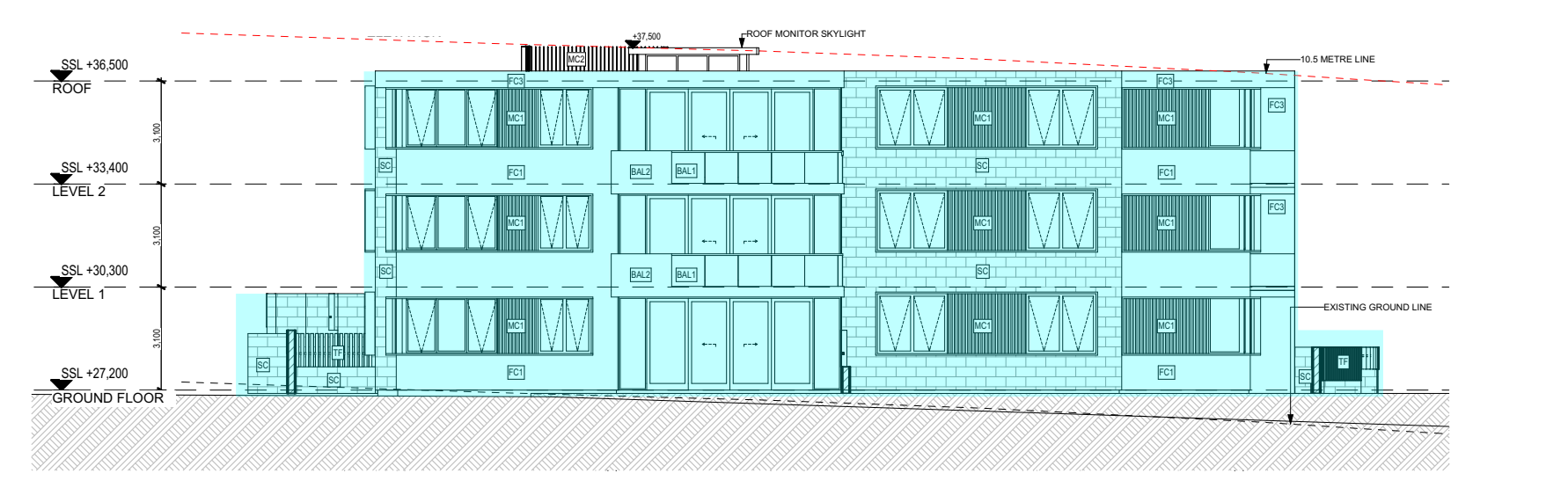
5 North Elevation - Building D
Scale @ A1 = 1:200



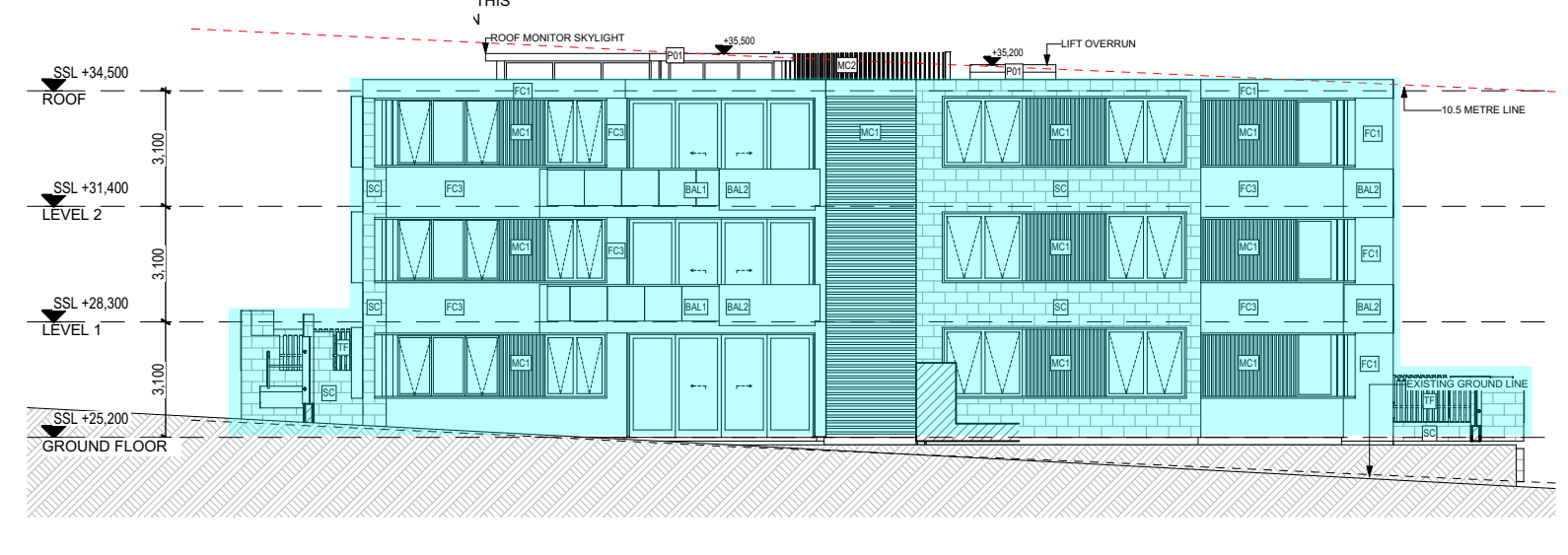
2 South Elevation - Building C
Scale @ A1 = 1:200



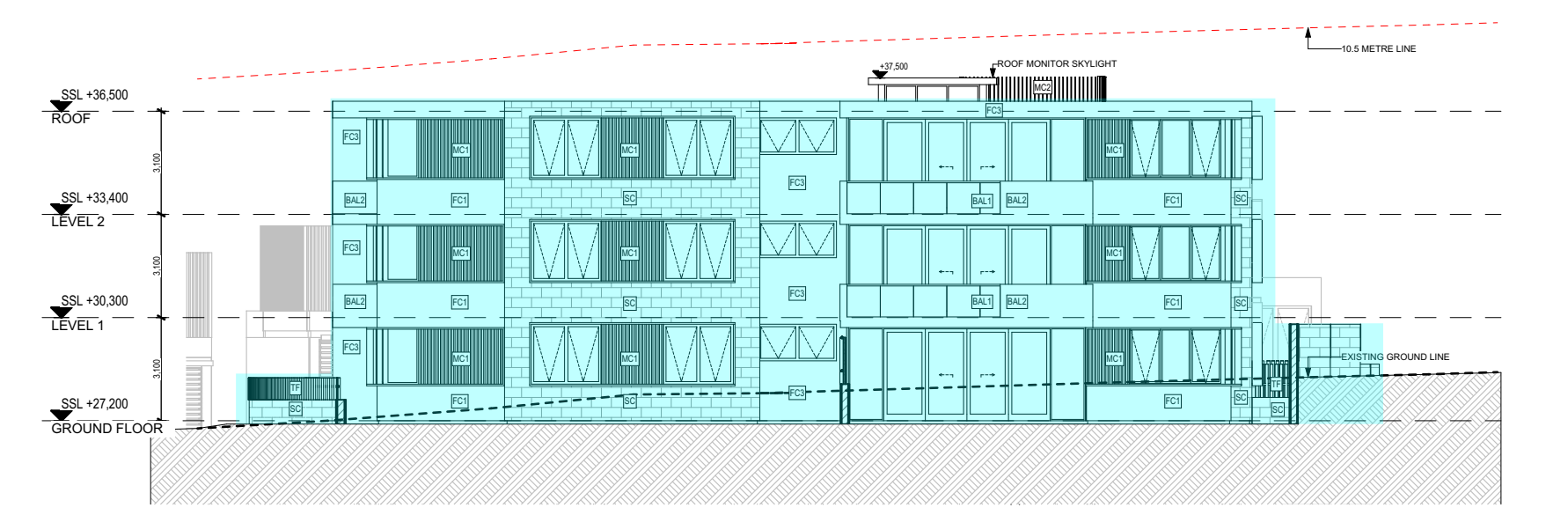
6 South Elevation - Building D
Scale @ A1 = 1:200



3 East Elevation - Building C
Scale @ A1 = 1:200



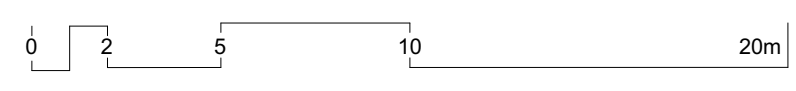
7 East Elevation - Building D
Scale @ A1 = 1:200



4 West Elevation - Building C
Scale @ A1 = 1:200



8 West Elevation - Building D
Scale @ A1 = 1:200



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	11/02/2022	ISSUE FOR S4.56	GL				
02	13/03/2023	ISSUE FOR S4.56	GL				

- GENERAL NOTES:
1. ALL DIMENSIONS AND SIZES ARE IN MILLIMETRES. DO NOT SCALE DRAWINGS. PREFERENCES OF DIMENSIONED MEASUREMENT TO BE TAKEN OVER SCALED MEASUREMENTS.
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- Structural Engineer: Van Der Meer
- Mechanical Services: AASAN Consulting
- Electrical Services: Joeliene
- Hydraulic Services: ITM Design
- Fire Services: Scientific Fire Services
- BCA and Access Consultant: BCA Logic
- Principal Certifying Authority: Metropolitan
- Landscape Architect: Site Design Studios
- Acoustic Engineer: Acoustic Logic

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
 Client: **KLIATRO**
 Address: 8 Forest Road Warriewood NSW 2102 Australia

Drawing Title: Notification Plans - Building C and D Elevations
 Revision: 02
 Drawing No: A802

Project No: Pn_0800
 Checked: Drawn: PD GL
 Scale@A1: 1:200
 Scale@A4: 1:565.6
 Date: 13/03/2023

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 info@adsarchitects.com | www.adsarchitects.com
 ABN: 90 616 216 196
 NSW Nominated Architect Pavlo Doroch 9170

LEGEND

- BAL1 BALUSTRADE GLASS
- BAL2 BALUSTRADE SOLID - FC CLADDING VIVID WHITE
- C01 FIBRECEMENT CLADDING - CONCRETE FINISH LOOK
- FC1 FIBRECEMENT CLADDING - DULUX TIMELESS GREY
- FC3 FIBRECEMENT CLADDING - DULUX VIVID WHITE
- GD1 GLAZING DOOR / WINDOW - DULUX MONUMENT POWDER COAT
- L01 HORIZONTAL LOUVRES - TIMBER LOOK
- MC1 METAL CLADDING - MONUMENT HORIZONTAL & VERTICAL
- MC2 ALUMINIUM BATTENS (SLATS) - WHITE
- P01 RENDER & PAINT - DULUX VIVID WHITE
- SC SANDSTONE CLADDING
- SH2 SUNSHADING - TIMBER LOOK
- TF FENCE (ALUMINIUM SLATS) - DULUX MONUMENT POWDER COAT

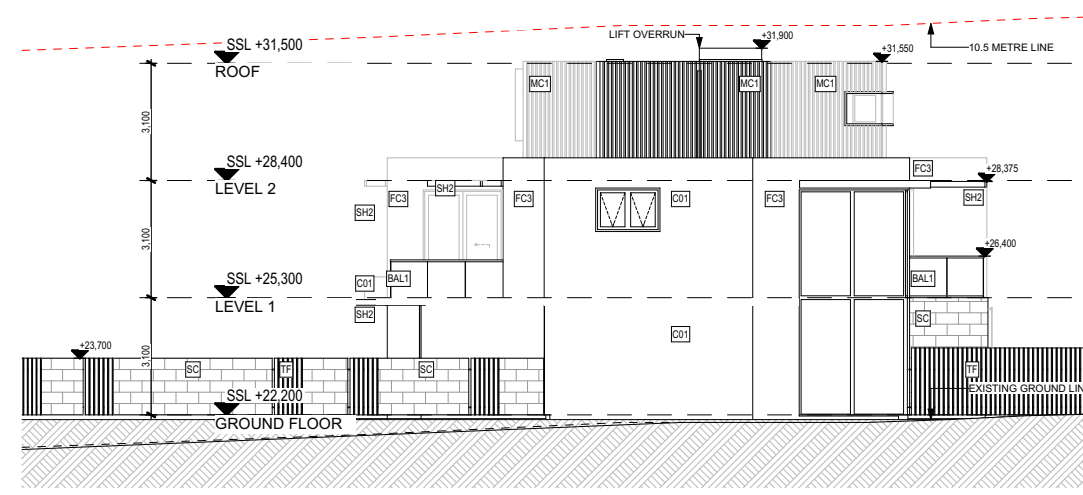
S4.56 Changes



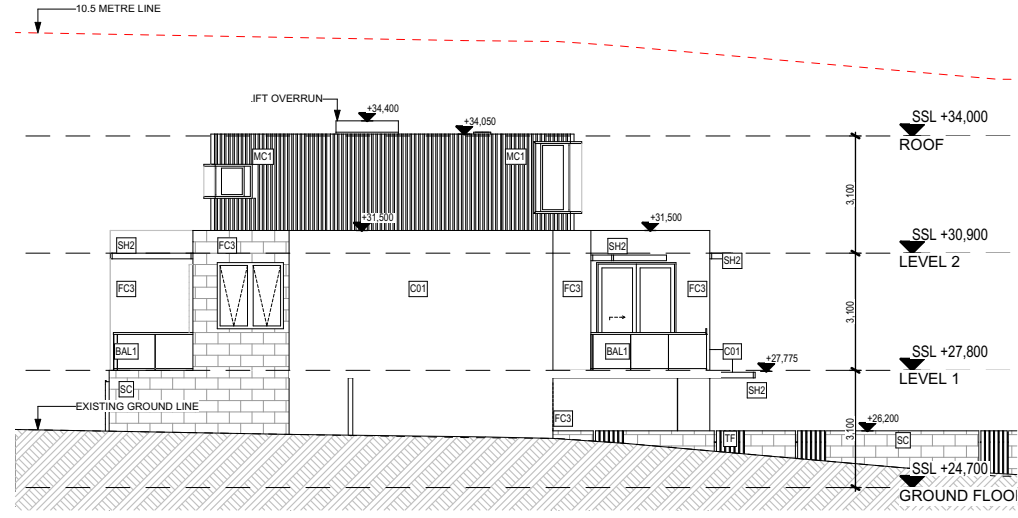
1 West Elevation - Townhouses
Scale @ A1 = 1:200



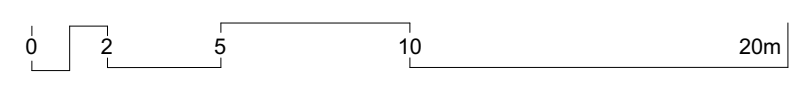
2 East Elevation - Townhouses
Scale @ A1 = 1:200



3 North Elevation - Townhouses
Scale @ A1 = 1:200



4 South Elevation - Townhouses
Scale @ A1 = 1:200



Rev	Date	Amendment	By	Rev	Date	Amendment	By
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Structural Engineer:
Van Der Meer

Mechanical Services:
AASAN Consulting

Electrical Services:
Joeliane

Hydraulic Services:
ITM Design

Fire Services:
Scientific Fire Services

BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
Metropolitan

Landscape Architect:
Site Design Studios

Acoustic Engineer:
Acoustic Logic

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
Client: **KLIATRO**
Address:
8 Forest Road Warriewood NSW 2102 Australia

Drawing Title:
Notification Plans
Notification Plan -
Townhouses Elevations

Revision: **02**
Drawing No: **A803**

Project No: Pn_0800
Checked: Drawn:
PD GL
Scale@A1: 1:200
Scale@A4: 1:565.6
Date: 13/03/2023

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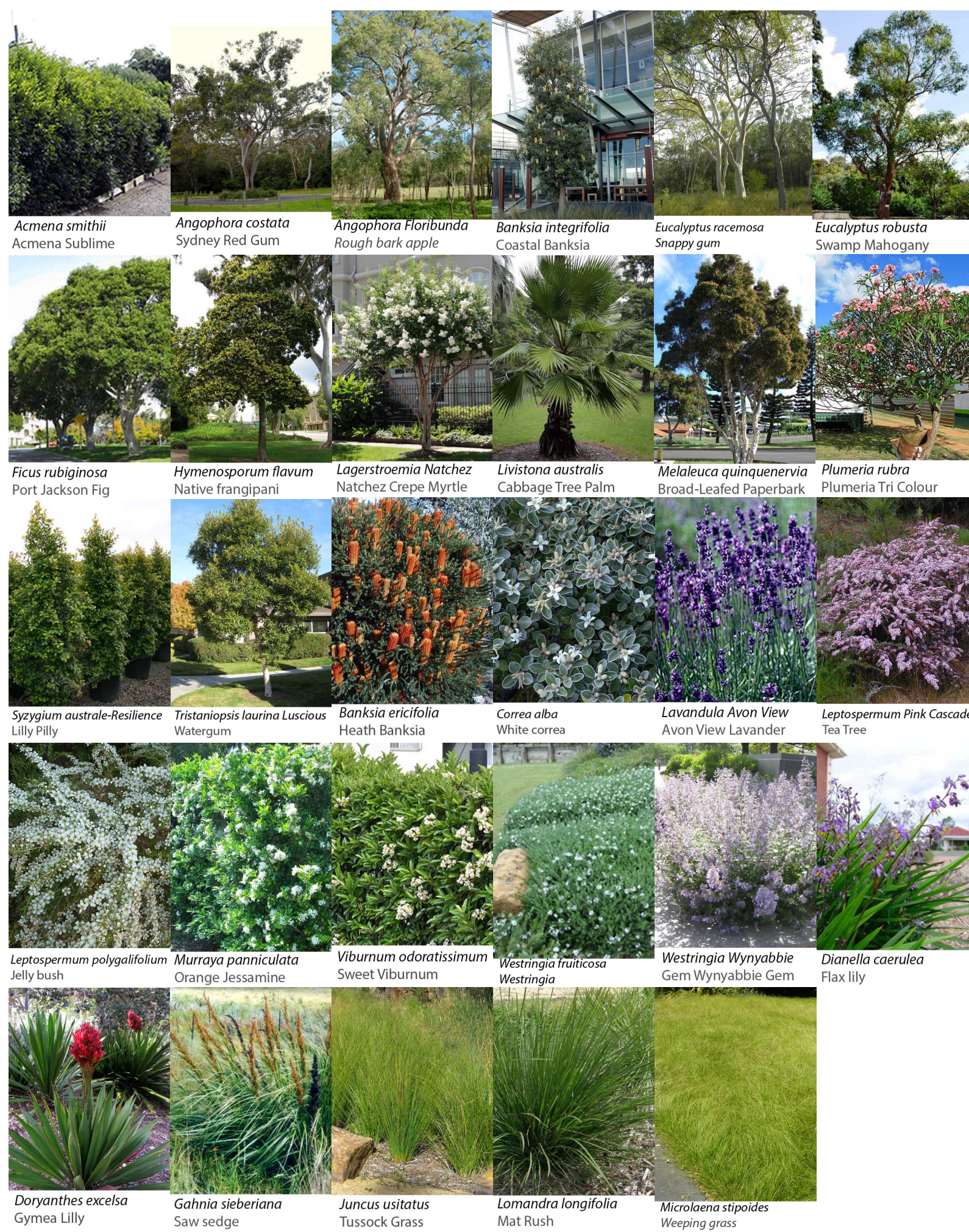
M	9/1/23	ISSUE SECT 4.56 FOR APPROVAL
L	19/12/22	ISSUE SECT 4.56 FOR APPROVAL
K	05/12/22	ISSUE SECT 4.56 FOR APPROVAL
J	20/01/22	ISSUE SECT 4.56 FOR APPROVAL
I	19/01/22	ISSUE SECT 4.56 FOR APPROVAL

AMENDMENTS - NOTES

GENERAL NOTES
 All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned. All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4085, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS 1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman-like manner according to the plans and specification.

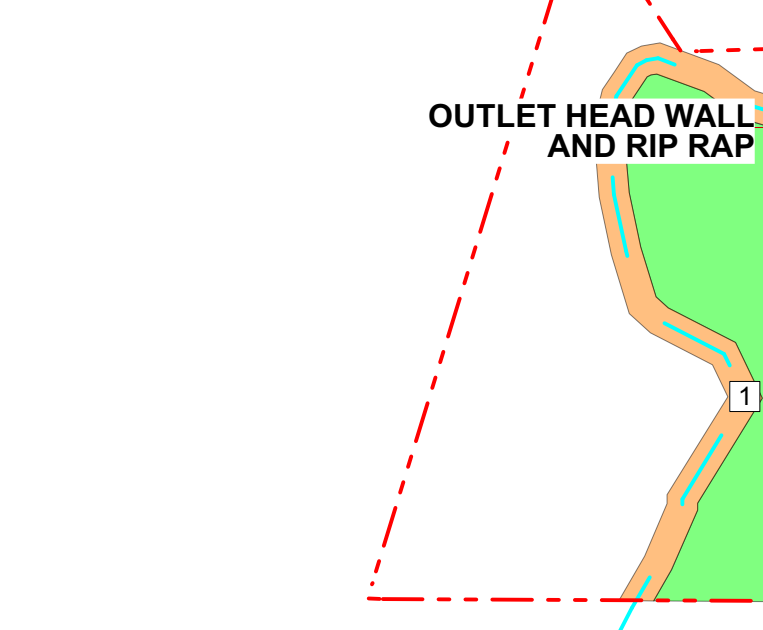
NOTE
 Do not scale off the drawings unless otherwise stated and use figured dimensions in preference. All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out. No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction. **COPYRIGHT CLAUSE**
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	ROAD
	TURF
	GARDEN BEDS
	BIO-RETENTION BASIN
	CONCRETE PATHWAYS
	GRANITE COBBLE STONE ACCESS WAY
	GRAVEL ROAD
	AS SELECTED DECK
	AS SELECTED PEBBLES
	TILED AREA
	BASEMENT LINE



ID	Qty	Common Name	Botanical Name	Scheduled Size	Mature Height	Mature Spread
Trees						
AS	110	Lillypilly	Acmena smithii	45L	5 - 10m	6 - 10m
ACost	21	Sydney Red Gum, Smooth-barked Apple	Angophora costata	150L	15 - 20m	6 - 10m
AF	1	Rough-barked Apple	Angophora floribunda	150L	10 - 15m	6 - 10m
Ban-int	7	Coastal Banksia	Banksia integrifolia	45L	5 - 10m	3.5 - 6m
Euc-ra	1	Snappy gum	Eucalyptus racemosa	45L	8-15m	6 - 10m
Euc-ro	23	Swamp Mahogany	Eucalyptus robusta	75L	5m	3m
Fic-ru	1	Port Jackson Fig	Ficus rubiginosa	1000L	12-20m	10-20m
Hym-fl	5	Native frangipani	Hymenosporum flavum	400L	6-9m	6-8m
Lag-na	11	Natchez Crepe Myrtle	Lagerstroemia 'Natchez'	400L	6-8m	4-6m
LAust	6	Cabbage-tree Palm	Livistona australis	2m CT	15 - 20m	6 - 10m
mel-qui	12	Broad-leafed Paperbark	Melaleuca quinquenervia	45L	10 - 15m	3.5 - 6m
Plum-rub	30	Frangipani	Plumeria rubra	45L	3 - 5m	3.5 - 6m
syz-au're'	38	Lilly Pilly	Syzygium australe 'Resilience'	75L	4 - 6m	1.5m
TLaur-lus	32	Kanooka, Water Gum	Tristaniopsis laurina 'luscious'	400L	5 - 10m	3.5 - 6m
Shrubs						
Ban-eri	19	Heath-leaved Banksia	Banksia ericifolia	75L	3 - 5m	3.5 - 6m
Cor-alb	6	White Correa	Correa alba	200mm	0.9 - 1.5m	0.9 - 1.2m
Lav-ang-m'	505	Munstead Lavender	Lavandula angustifolia 'Munstead'	200mm	0.45 - 0.6m	0.6 - 0.9m
lep-pc	67	Tea Tree	Leptospermum 'Pink Cascade'	200mm	1 - 3m	2m
Lep-pol	37	Jelly bush	Leptospermum polygalifolium	200mm	1.5 - 3m	2.0 - 3.5m
Mur-pan	164	Orange Jessamine	Murraya paniculata	200mm	1.5 - 3m	3.5 - 6m
Vib-odo	346	Viburnum	Viburnum odoratissimum	200mm	1500mm hedged	1000mm hedged
Wes-fru	533	Coastal Rosemary	Westringia fruticosa	200mm	0.6m	0.9m
Wes-wy	390	Wynyabbie Coast Rosemary	Westringia Wynyabbie Gem	300mm	1.6m	1.2m
Grasses						
Dia-cae	441	Paroo Lily, Blue Flax-lily	Dianella caerulea	150mm	0.6 - 0.75m	0.6 - 0.9m
Dor-exc	246	Gymea Lily	Doryanthes excelsa	300mm	1-2m	
gah-sie	208	Water Vine	Gahnia hypoglauca	150mm	2m	0.8m
jun-us	677	Rush	Juncus usitatus	150mm	1m	0.8m
Lom-lon	27	Spiny-headed Mat-Rush	Lomandra longifolia	150mm	0.75 - 0.9m	0.9 - 1.2m
mic-sti	175	Weeping Grass	Microlaena stipoides	150mm	0.6 - 0.75m	0.6 - 0.9m
Total	4139					

- LEGEND**
- Ficus rubiginosa
 - Eucalyptus robusta
 - Banksia integrifolia
 - Hymenosporum flavum
 - Angophora floribunda
 - Eucalyptus racemosa
 - Angophora costata
 - Tristaniopsis laurina 'luscious'
 - Livistona australis
 - Lagerstroemia 'Natchez'
 - Melaleuca quinquenervia
 - Plumeria rubra
 - Ceratopetalum apetalum
 - Casuarina glauca
 - Syzygium 'Resilience'
 - Banksia ericifolia
 - Murraya paniculata
 - Viburnum odoratissimum
 - Acmena smithii
 - Leptospermum polygalifolium
 - Westringia Wynyabbie Gem
 - Leptospermum 'Pink Cascade'
 - Doryanthes excelsa
 - Westringia fruticosa
 - Lavandula angustifolia 'Munstead'
 - Banksia 'Birthday Candles'
 - Correa alba
 - Juncus usitatus
 - Gahnia sieberiana
 - Dianella caerulea
 - Microlaena stipoides
- LEGEND MANAGEMENT ZONES:**
- ZONE 1** - Reconstruction - Aquatic Zone (1m Buffer of Creek)
 - ZONE 2** - Reconstruction (25m Buffer South of Creek)
 - Ground - treated creekline
 - Indicative Monitoring Points



creating places to live in and enjoy

LANDSCAPE ARCHITECTS // CONSTRUCTION // MAINTENANCE // IRRIGATION

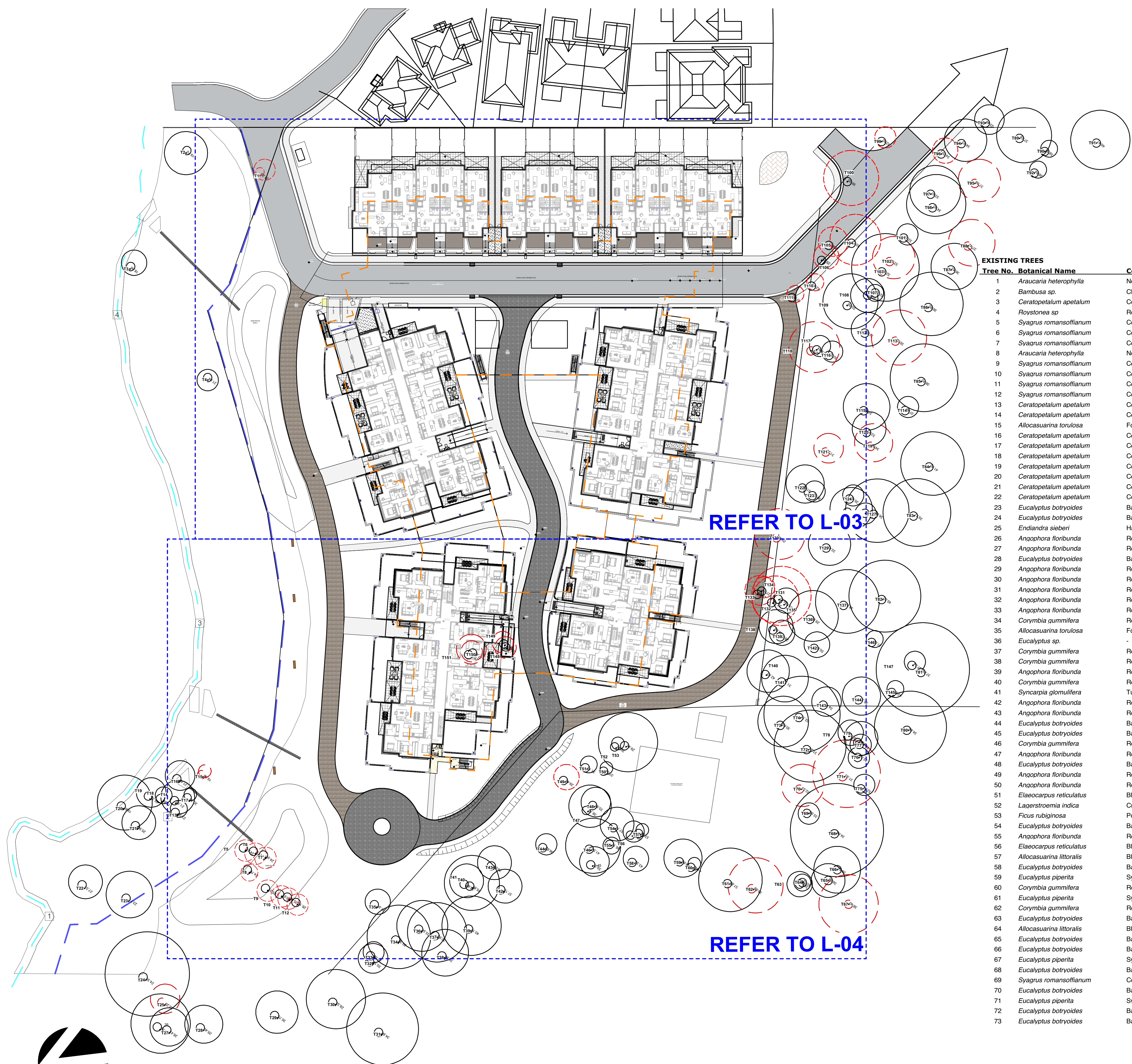
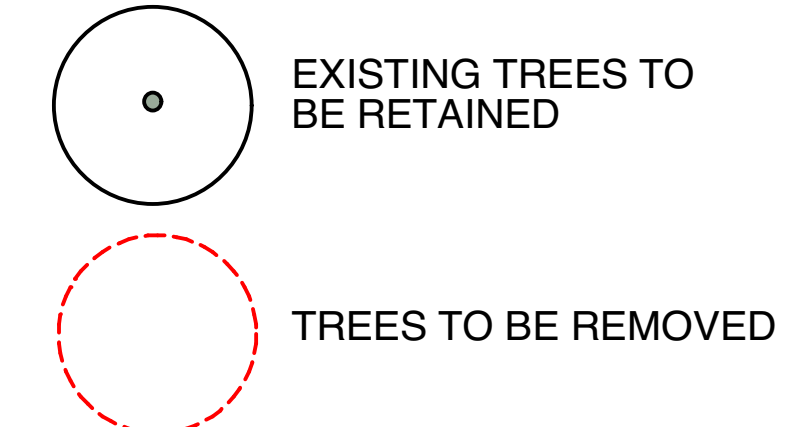
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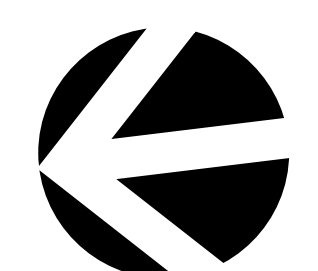
Project **WARRIEWOOD VALE DEVELOPMENT**
 Address **8 FOREST ROAD, WARRIEWOOD**
 Drawing Title **LANDSCAPE MASTER PLAN**
 Client **WARRIEWOOD VALE P/L** Scale 1:500 @A1

Page **15-826**
 Drawing No. **15-826**
L-01

M	9/1/23	ISSUE SECT 4.56 FOR APPROVAL
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I	19/01/22	ISSUE SECT 4.56 FOR APPROVAL
ISSUE	DATE	COMMENT



EXISTING TREES				EXISTING TREES					
Tree No.	Botanical Name	Common Name	Retain	Remove	Tree No.	Botanical Name	Common Name	Retain	Remove
1	<i>Araucaria heterophylla</i>	Norfolk Pine		v	74	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
2	<i>Bambusa sp.</i>	Clumping Bamboo	v		75	<i>Angophora floribunda</i>	Rough Barked Apple		v
3	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		76	<i>Livistona australis</i>	Cabbage Palm		v
4	<i>Roystonia sp.</i>	Royal Palm	v		77	<i>Livistona australis</i>	Cabbage Palm		v
5	<i>Syagrus romansoffianum</i>	Cocos Palm		v	78	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
6	<i>Syagrus romansoffianum</i>	Cocos Palm		v	79	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
7	<i>Syagrus romansoffianum</i>	Cocos Palm		v	80	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
8	<i>Araucaria heterophylla</i>	Norfolk Pine	v		81	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
9	<i>Syagrus romansoffianum</i>	Cocos Palm	v		82	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
10	<i>Syagrus romansoffianum</i>	Cocos Palm	v		83	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
11	<i>Syagrus romansoffianum</i>	Cocos Palm	v		84	<i>Angophora costata</i>	Sydney Red Gum		v
12	<i>Syagrus romansoffianum</i>	Cocos Palm	v		85	<i>Angophora costata</i>	Sydney Red Gum		v
13	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		86	<i>Angophora costata</i>	Sydney Red Gum		v
14	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		87	<i>Angophora costata</i>	Sydney Red Gum		v
15	<i>Allocasuarina torulosa</i>	Forest Oak		v	88	<i>Angophora costata</i>	Sydney Red Gum		v
16	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		89	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
17	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		90	<i>Angophora costata</i>	Sydney Red Gum		v
18	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		91	<i>Eucalyptus sp.</i>	-		v
19	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		92	<i>Angophora costata</i>	Sydney Red Gum		v
20	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		93	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
21	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		94	<i>Glochidion ferdinandi</i>	Cheese Tree		v
22	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		95	<i>Angophora costata</i>	Sydney Red Gum		v
23	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		96	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
24	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		97	<i>Allocasuarina littoralis</i>	Black She-oak		v
25	<i>Endiandra sieberi</i>	Hard Corkwood	v		98	<i>Angophora costata</i>	Sydney Red Gum		v
26	<i>Angophora floribunda</i>	Rough Barked Apple	v		99	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
27	<i>Angophora floribunda</i>	Rough Barked Apple	v		99	<i>Allocasuarina littoralis</i>	Black She-oak		v
28	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		100	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
29	<i>Angophora floribunda</i>	Rough Barked Apple	v		101	<i>Angophora costata</i>	Sydney Red Gum		v
30	<i>Angophora floribunda</i>	Rough Barked Apple	v		102	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
31	<i>Angophora floribunda</i>	Rough Barked Apple	v		102	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
32	<i>Angophora floribunda</i>	Rough Barked Apple	v		104	<i>Eucalyptus sp.</i>	-		v
33	<i>Angophora floribunda</i>	Rough Barked Apple	v		105	<i>Angophora costata</i>	Sydney Red Gum		v
34	<i>Corymbia gummifera</i>	Red Bloodwood	v		106	<i>Allocasuarina torulosa</i>	Forest Oak		v
35	<i>Allocasuarina torulosa</i>	Forest Oak	v		107	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
36	<i>Eucalyptus sp.</i>	-	v		108	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
37	<i>Corymbia gummifera</i>	Red Bloodwood	v		109	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
38	<i>Corymbia gummifera</i>	Red Bloodwood	v		110	<i>Allocasuarina torulosa</i>	Forest Oak		v
39	<i>Angophora floribunda</i>	Rough Barked Apple	v		111	<i>Allocasuarina torulosa</i>	Forest Oak		v
40	<i>Corymbia gummifera</i>	Red Bloodwood	v		112	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
41	<i>Syncarpia glomulifera</i>	Turpentine	v		113	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
42	<i>Angophora floribunda</i>	Rough Barked Apple	v		114	<i>Allocasuarina torulosa</i>	Forest Oak		v
43	<i>Angophora floribunda</i>	Rough Barked Apple	v		115	<i>Angophora floribunda</i>	Rough Barked Apple		v
44	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		116	<i>Allocasuarina torulosa</i>	Forest Oak		v
45	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		117	<i>Angophora costata</i>	Sydney Red Gum		v
46	<i>Corymbia gummifera</i>	Red Bloodwood	v		118	<i>Angophora costata</i>	Sydney Red Gum		v
47	<i>Angophora floribunda</i>	Rough Barked Apple	v		119	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
48	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		120	<i>Angophora floribunda</i>	Rough Barked Apple		v
49	<i>Angophora floribunda</i>	Rough Barked Apple	v		121	<i>Syncarpia glomulifera</i>	Turpentine		v
50	<i>Angophora floribunda</i>	Rough Barked Apple	v		122	<i>Angophora costata</i>	Sydney Red Gum		v
51	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	v		123	<i>Allocasuarina torulosa</i>	Forest Oak		v
52	<i>Lagerstroemia indica</i>	Crepe Myrtle	v		124	<i>Syncarpia glomulifera</i>	Turpentine		v
53	<i>Ficus rubiginosa</i>	Port Jackson Fig/Rusty Fig	v		125	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
54	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		126	<i>Allocasuarina torulosa</i>	Forest Oak		v
55	<i>Angophora floribunda</i>	Rough Barked Apple	v		127	<i>Angophora costata</i>	Sydney Red Gum		v
56	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	v		128	<i>Allocasuarina torulosa</i>	Forest Oak		v
57	<i>Allocasuarina littoralis</i>	Black She-oak	v		129	<i>Angophora costata</i>	Sydney Red Gum		v
58	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		130	<i>Angophora costata</i>	Sydney Red Gum		v
59	<i>Eucalyptus piperita</i>	Sydney Peppermint	v		131	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
60	<i>Corymbia gummifera</i>	Red Bloodwood	v		132	<i>Syncarpia glomulifera</i>	Turpentine		v
61	<i>Eucalyptus piperita</i>	Sydney Peppermint	v		133	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
62	<i>Corymbia gummifera</i>	Red Bloodwood	v		134	<i>Allocasuarina torulosa</i>	Forest Oak		v
63	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		135	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
64	<i>Allocasuarina littoralis</i>	Black She-oak	v		136	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
65	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		137	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
66	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		138	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
67	<i>Eucalyptus piperita</i>	Sydney Peppermint	v		139	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
68	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		140	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
69	<i>Syagrus romansoffianum</i>	Cocos Palm	v		141	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
70	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		142	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
71	<i>Eucalyptus piperita</i>	Sydney Peppermint	v		143	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
72	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		144	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
73	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		145	<i>Syncarpia glomulifera</i>	Turpentine		v
					146	<i>Allocasuarina torulosa</i>	Forest Oak		v
					147	<i>Syncarpia glomulifera</i>	Turpentine		v
					148	<i>Syagrus romansoffianum</i>	Cocos Palm		v
					149	<i>Syagrus romansoffianum</i>	Cocos Palm		v
					150	<i>Macadamia integrifolia</i>	Macadamia		v
					151	<i>Macadamia integrifolia</i>	Macadamia		v



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Address **8 FOREST ROAD, WARRIEWOOD**
Drawing Title **EXISTING TREES PLAN**
Client **WARRIEWOOD VALE P/L** Scale 1:500 @A1

Drawing No. **15-826**

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LEGEND

	Ficus rubiginosa
	Eucalyptus robusta
	Banksia integrifolia
	Hymenoporus flavum
	Angophora floribunda
	Eucalyptus racemosa
	Angophora costata
	Tristanopsis laurina 'lascioux'
	Livistona australis
	Lagerstroemia 'Natchez'
	Metaleuca quincianensis
	Plumera rubra
	Cerastopetalum apetalum
	Casuarina glauca
	Syzygium 'Resilience'
	Banksia encicifolia
	Murraya paniculata
	Viburnum odoratissimum
	Acmena smilax
	Leptospermum polytaftifolium
	Westringia Wynyabbe Gem
	Leptospermum 'Pink Cascade'
	Doryanthes excelsa
	Westringia fruticosa
	Lavandula angustifolia 'Munstead'
	Banksia 'Birthday Candles'
	Cornus alba
	Juncus verticillatus
	Gehnia sieberiana
	Dianella caerulea
	Microlaena stipoides

	ROAD
	TURF
	GARDEN BEDS
	BIO-RETENTION BASIN
	CONCRETE PATHWAYS
	GRANITE COBBLE STONE ACCESS WAY
	GRAVEL ROAD
	AS SELECTED DECK
	AS SELECTED PEBBLES
	TILED AREA
	BASEMENT LINE
	Bench Seating
	Overhead Lighting

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 Address **8 FOREST ROAD, WARRIEWOOD**
 Drawing Title **GROUND FLOOR EAST LANDSCAPE PLAN**
 Client **WARRIEWOOD VALE P/L** Scale 1:200 @A1

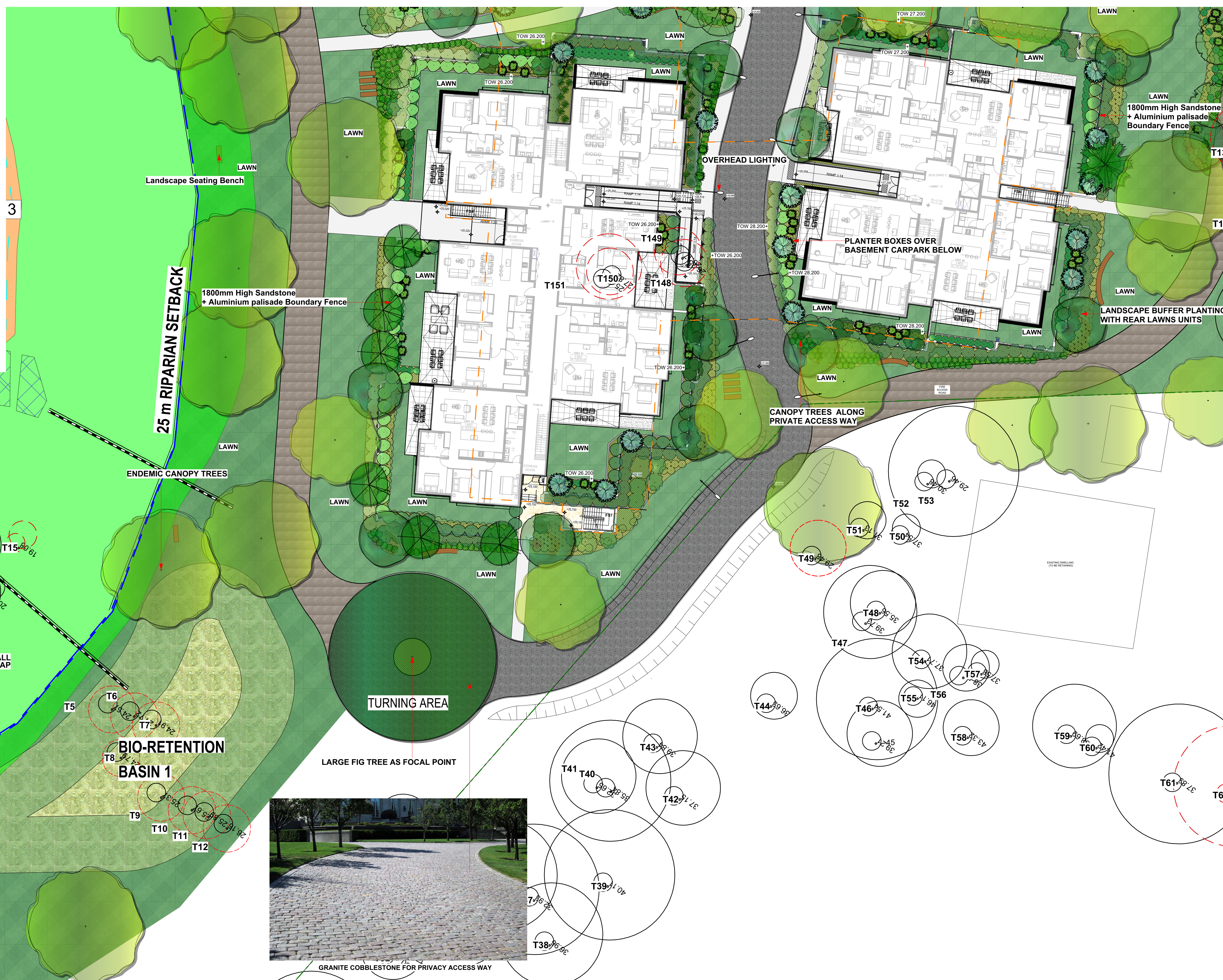
Drawing No. **15-826**

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LEGEND

- Ficus rubiginosa
- Eucalyptus robusta
- Banksia integrifolia
- Hymenoporum flavum
- Angophora floribunda
- Eucalyptus racemosa
- Angophora costata
- Tristanopsis laurina 'velidoid'
- Livistona australis
- Lagerstroemia 'Natchez'
- Melaleuca quinquenervia
- Plumeria rubra
- Coratopetalum apetalum
- Casuarina glauca
- Syzygium 'Resilience'
- Banksia ericifolia
- Murraya paniculata
- Viburnum odoratissimum
- Acmena smithii
- Leptospermum polygalifolium
- Westringia 'Wynjabbie Gem'
- Leptospermum 'Pink Cascade'
- Doryanthes excelsa
- Westringia fruticosa
- Lavandula angustifolia 'Munstead'
- Banksia 'Birthday Candles'
- Cornus alba
- Juncus ustulatus
- Gabnia sieberiana
- Dianella caerulea
- Mitrasacme stipoides



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AMENDMENTS -

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	ROAD
	TURF
	GARDEN BEDS
	BIO-RETENTION BASIN
	CONCRETE PATHWAYS
	GRANITE COBBLE STONE ACCESS WAY
	GRAVEL ROAD
	AS SELECTED DECK
	AS SELECTED PEBBLES
	TILED AREA
	BASEMENT LINE
	Bench Seating
	Overhead Lighting



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 Address **8 FOREST ROAD, WARRIEWOOD**
 Drawing Title **GROUND FLOOR WEST LANDSCAPE PLAN**
 Client **WARRIEWOOD VALE P/L** Scale 1:200 @A1
 Drawing No. **15-826**

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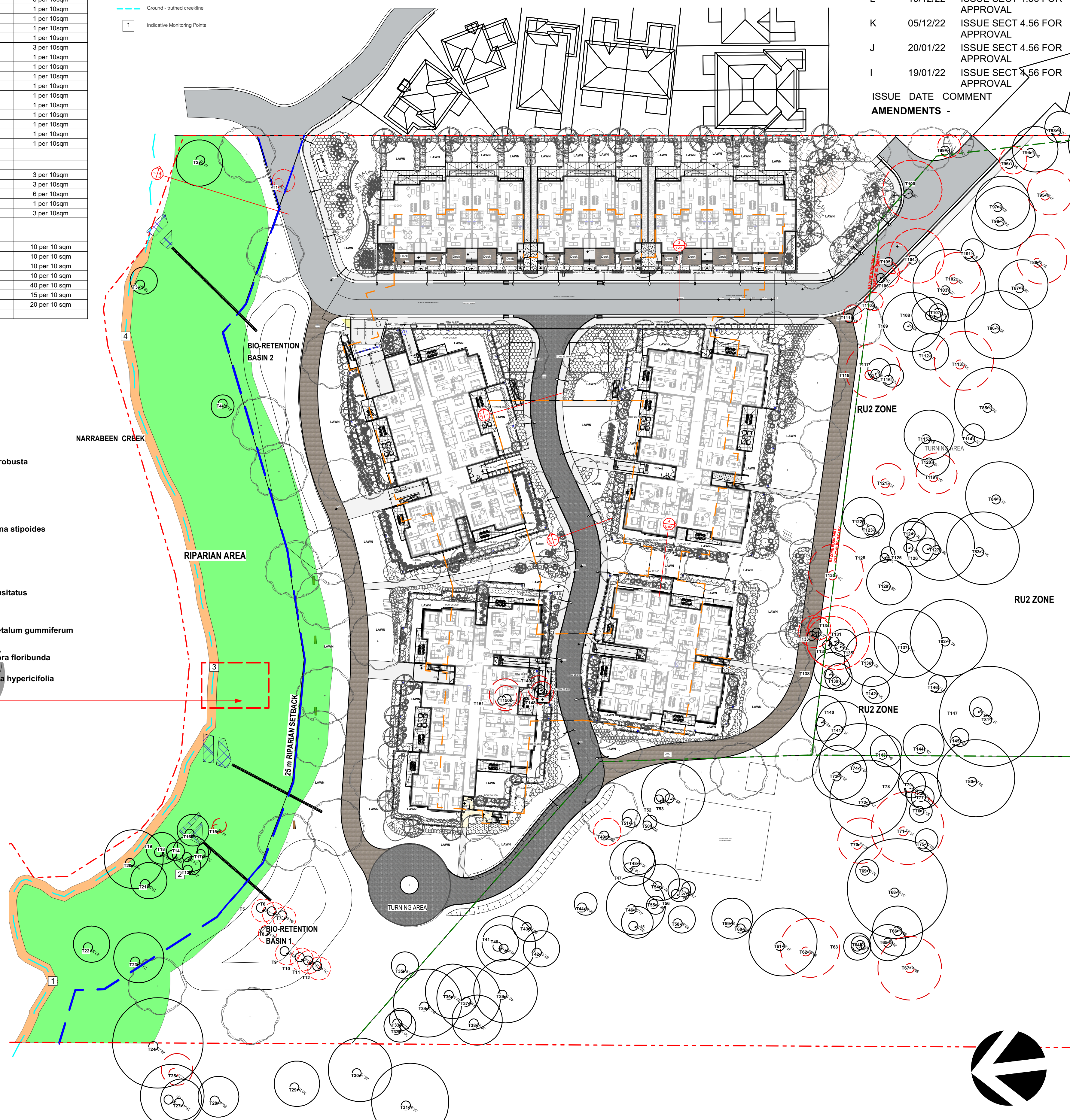
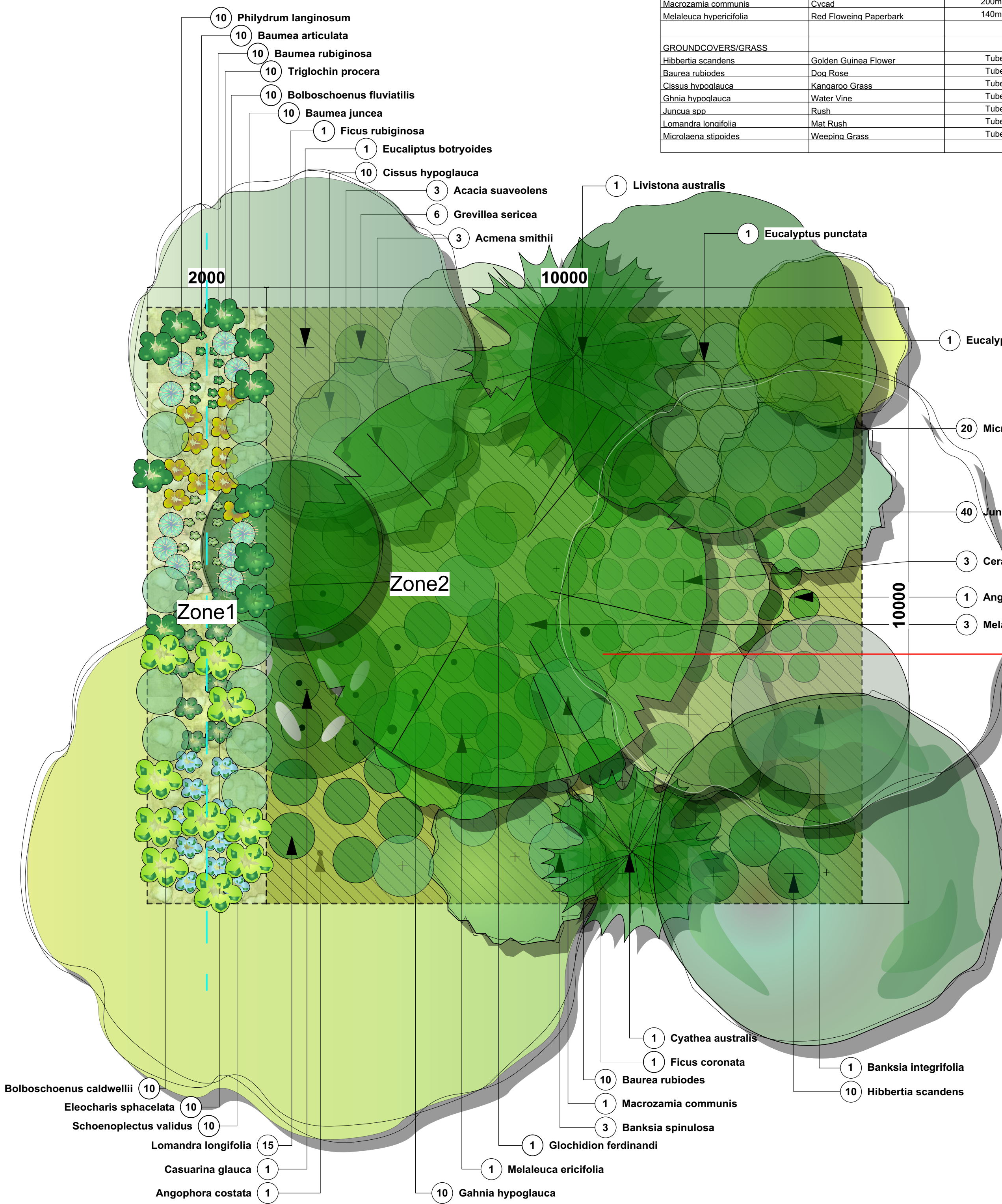
BOTANIC NAME	COMMON NAME	POT SIZE	DENSITY
Zone 1 - Aquatic Zone			
Baumea articulata	Jointed Twig-rush	140mm	10 per 10sqm
Baumea juncea	Bare Twig Rush	140mm	10 per 10sqm
Baumea rubiginosa	Soft Twig-rush	140mm	10 per 10sqm
Bolboschoenus caldwellii	Marsh Club Rush	140mm	10 per 10sqm
Bolboschoenus fluviatilis	Stream Club-rush	140mm	10 per 10sqm
Eleocharis sphacelata	Tall Spike-rush	140mm	10 per 10sqm
Philydrium lanuginosum	Frosmouth, Woolly Waterlily	140mm	10 per 10sqm
Schoenoplectus validus	River Club-rush	140mm	10 per 10sqm
Triglochin procerum	Water Ribbons	140mm	10 per 10sqm

NOTES:
 * Riparian Planting to be carried out by Qualified Bush Regeneration Contractor.
 * Planting to be informal with mixed Trees, Shrubs and Groundcovers.
 * Creepline bank to be stabilised where required using approved methods by Council.

BOTANIC NAME	COMMON NAME	POT SIZE	DENSITY
Zone 2			
CANOPY TREES			
Acmena smithii	Lilly Pilly	140mm	3 per 10sqm
Angophora costata	Sydney Red Gum, Smooth-barked	25L	1 per 10sqm
Angophora floribunda	Rough-barked Apple	25L	1 per 10sqm
Banksia integrifolia	Coastal Banksia	25L	1 per 10sqm
Casuarina glauca	Swamp She Oak	25L	1 per 10sqm
Ceratopetalum gummiferum	NSW Christmas Bush	140mm	3 per 10sqm
Cyathea australis	Rough Tree Fern	0.5m CT	1 per 10sqm
Eucalyptus botryoides	Southern Mahogany	25L	1 per 10sqm
Eucalyptus robusta	Swamp Mahogany	25L	1 per 10sqm
Eucalyptus punctata	Scribbly Gum	25L	1 per 10sqm
Ficus coronata	Sandpaper Fig	25L	1 per 10sqm
Ficus rubiginosa	Port Jackson Fig	25L	1 per 10sqm
Glochidion ferdinandi	Chessie Tree	25L	1 per 10sqm
Melaleuca ericifolia	Swamp Paperbark	25L	1 per 10sqm
Tristanopsis laurina 'uscious'	Cabbage Tree Palm	1m CT	1 per 10sqm
SHRUBS			
Acacia suaveolens	Sweet Wattle	140mm	3 per 10sqm
Banksia spinulosa	Honey Suckle Banksia	140mm	3 per 10sqm
Grevillea sericea	Pink Spider Flower	140mm	6 per 10sqm
Macrozamia communis	Cycad	200mm	1 per 10sqm
Melaleuca hypericifolia	Red Flowering Paperbark	140mm	3 per 10sqm
GROUNDCOVERS/GRASS			
Hibbertia scandens	Golden Guinea Flower	Tube	10 per 10 sqm
Baurea rubiodes	Doa Rose	Tube	10 per 10 sqm
Cissus hypoglauca	Kangaroo Grass	Tube	10 per 10 sqm
Ghnia hypoglauca	Water Vine	Tube	10 per 10 sqm
Juncus usitatus	Rush	Tube	40 per 10 sqm
Lomandra longifolia	Mat Rush	Tube	15 per 10 sqm
Microzamia stipooides	Weeping Grass	Tube	20 per 10 sqm

LEGEND MANAGEMENT ZONES:
 Zone 1 - Reconstruction - Aquatic Zone (1m Buffer of Creek)
 Zone 2 - Reconstruction (25m Buffer South of Creek)
 Ground - trusted creeking
 Indicative Monitoring Points

AMENDMENTS -	ISSUE DATE	COMMENT
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3 **RIPARIAN PLANTING MATRIX (1:50)**
Scale: 1:50

2 **SITE PLAN**
Scale: 1:500

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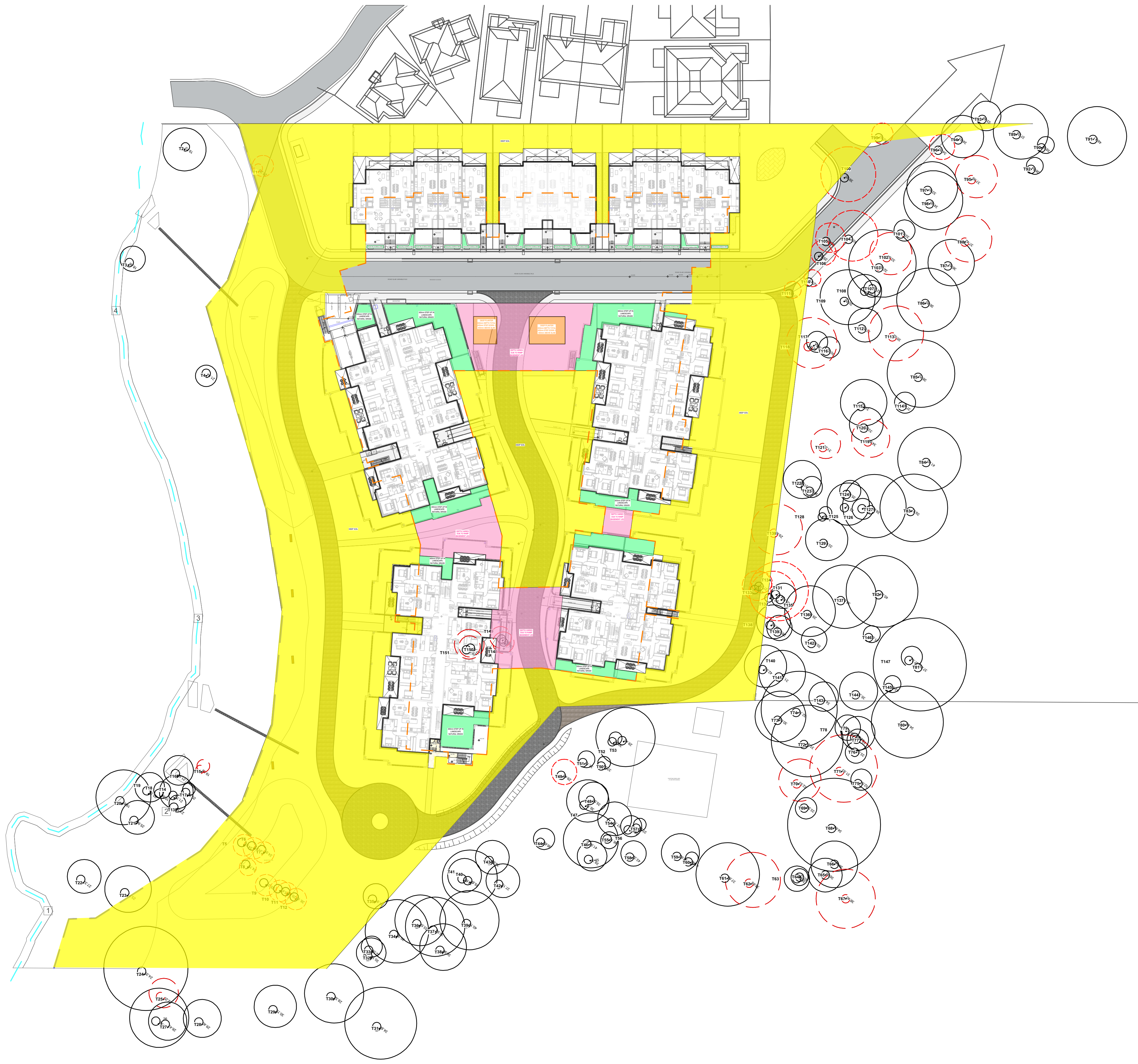
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 Address **8 FOREST ROAD, WARRIEWOOD**
 Drawing Title **RIPARIAN PLANTING**
 Client **WARRIEWOOD VALE P/L** Scale AS SHOWN @A1 Drawing No. **15-826**

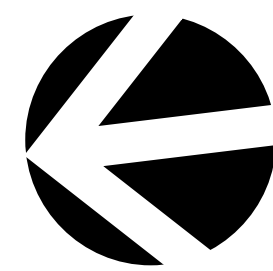
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- SOIL DEPTH ZONES:**
- ZONE 1 - DEEP SOIL ZONE
 - ZONE 2 - DEPTH VARIES DUE TO RAMP (BASEMENT LID)
 - ZONE 3 - 300mm STEP DOWN IN LANDSCAPE NATURAL GRASS
 - ZONE 4 - DEEP PLANTER
100mm DEPTH TOTAL
400mm STEP DOWN +
400mm ABOVE SLAB



- EXISTING TREES TO BE RETAINED
- TREES TO BE REMOVED



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Drawing Title **SOIL DEPTH ZONES PLAN**

Client **WARRIEWOOD VALE P/L** Scale 1:500 @A1

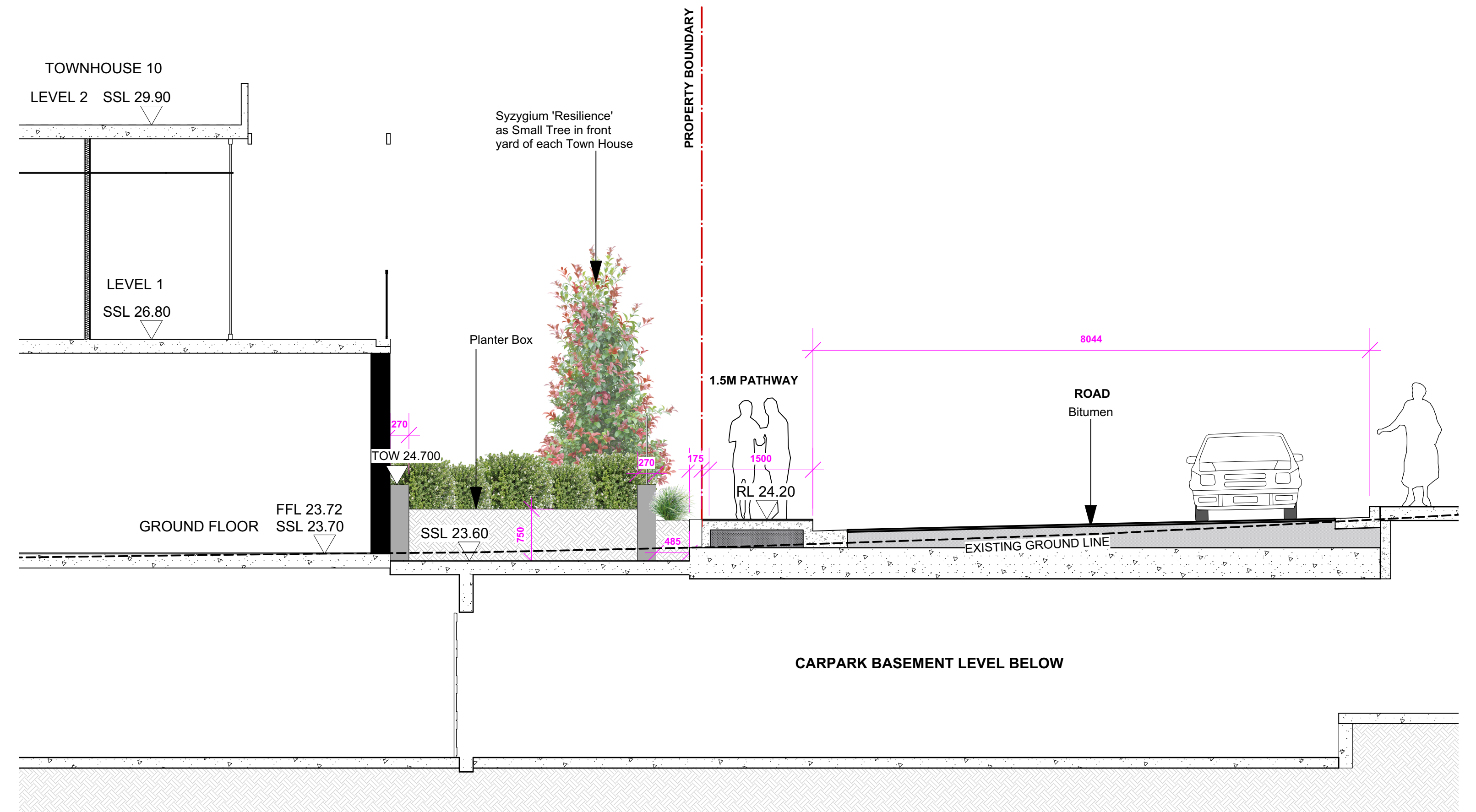
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1 SECTION 1 (REFER TO L-01) RIPARIAN ZONE
Scale: 1:50



2 SECTION 2 (REFER TO L-03) ROAD
Scale: 1:50

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Project **WARRIEWOOD VALE DEVELOPMENT**

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Drawing Title **SECTIONS**

Client **WARRIEWOOD VALE P/L** Scale 1:50 @A1

Drawing No. **15-826**

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AMENDMENTS -

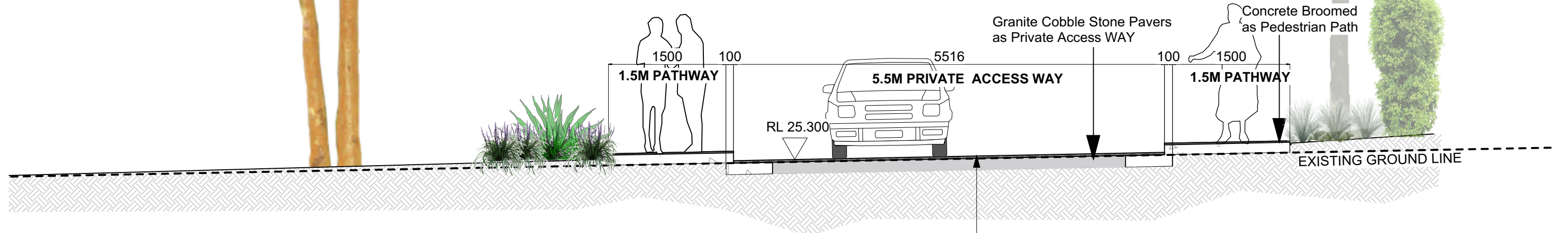
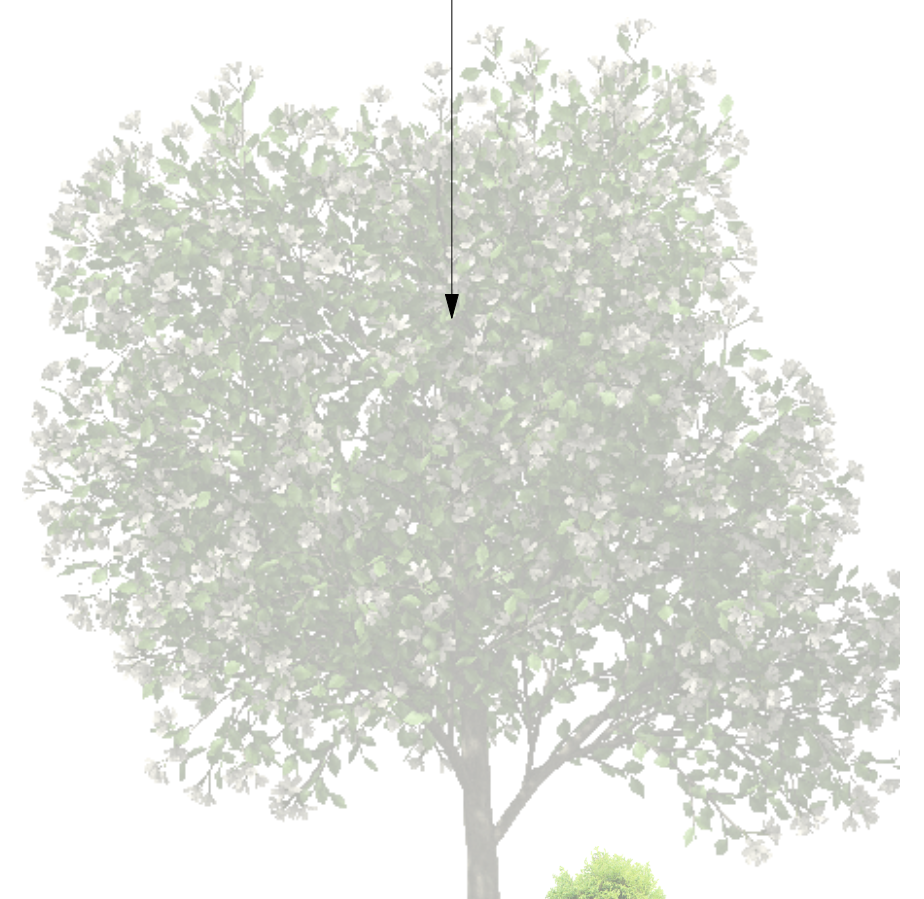
NOTES
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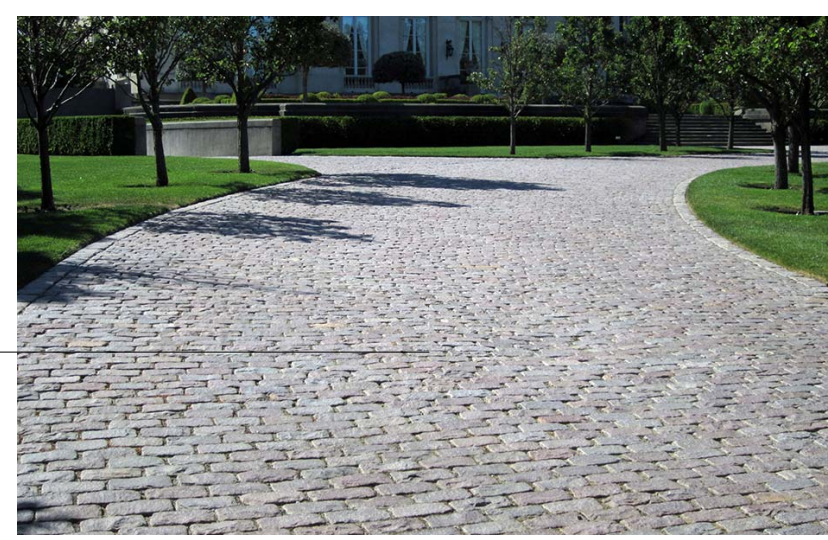
Angophora Floribunda
Rough bark apple



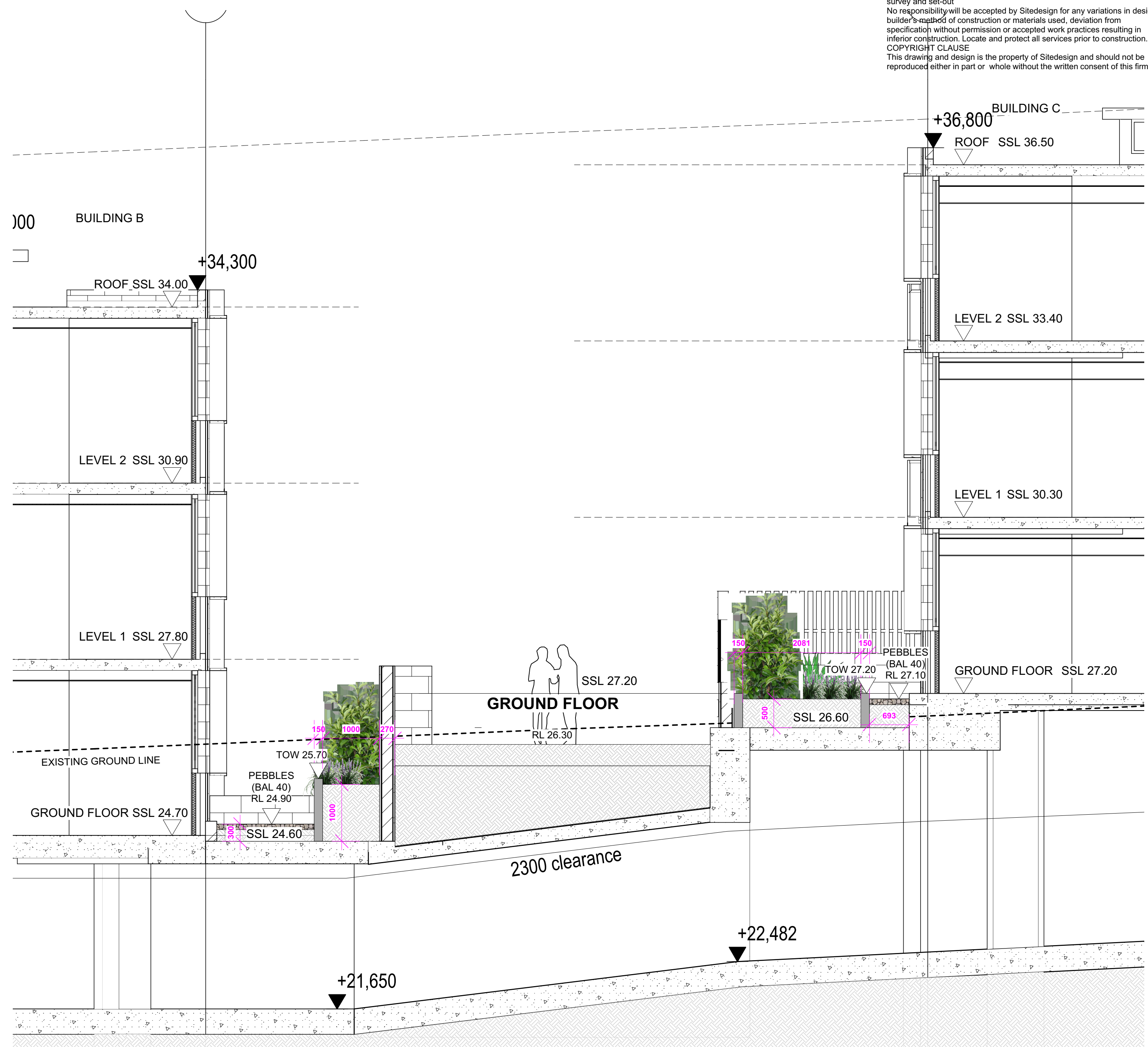
Tristaniopsis laurina Luscious Watergum



3 SECTION 3 (REFER TO L-03) PRIVATE ACCESS ROAD
Scale: 1:50



GRANITE COBBLE STONE FOR PRIVACY ACCESS WAY



4 SECTION 4 (REFER TO L-03) COMMUNAL OPEN SPACE
Scale: 1:50

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 Client **WARRIEWOOD VALE P/L** Scale 1:50 @A1

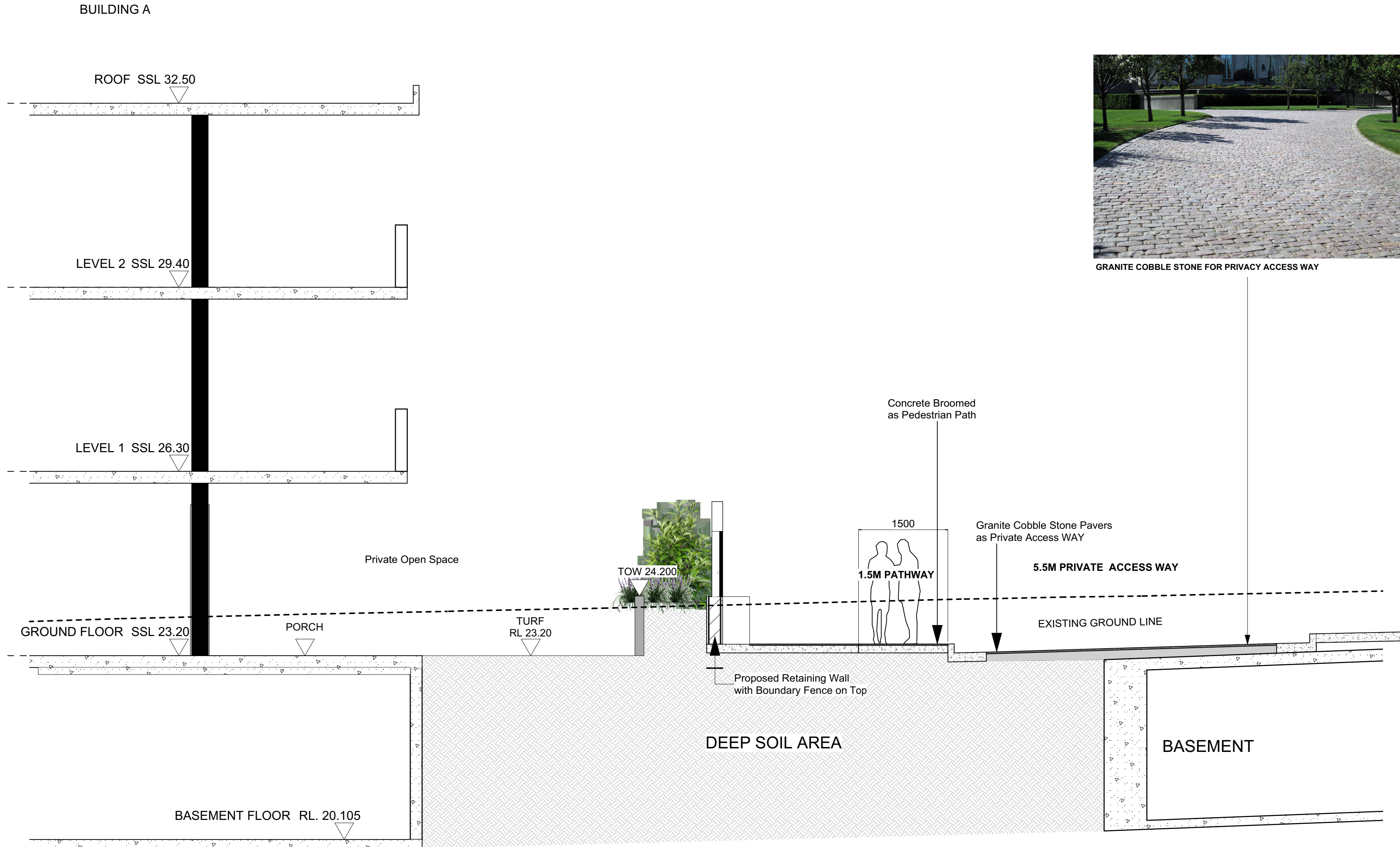
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5 SECTION 5 (REFER TO L-03) PRIVATE ACCESS ROAD
 Scale: 1:50

M	9/1/23	ISSUE SECT 4.56 FOR APPROVAL
L	19/12/22	ISSUE SECT 4.56 FOR APPROVAL
K	05/12/22	ISSUE SECT 4.56 FOR APPROVAL
J	20/01/22	ISSUE SECT 4.56 FOR APPROVAL
I	19/01/22	ISSUE SECT 4.56 FOR APPROVAL

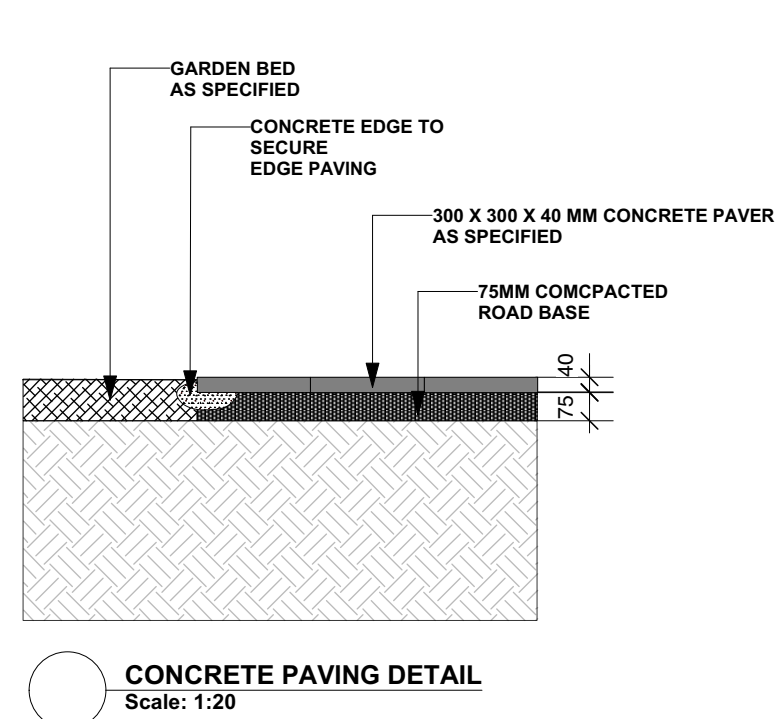
ISSUE DATE COMMENT

AMENDMENTS -

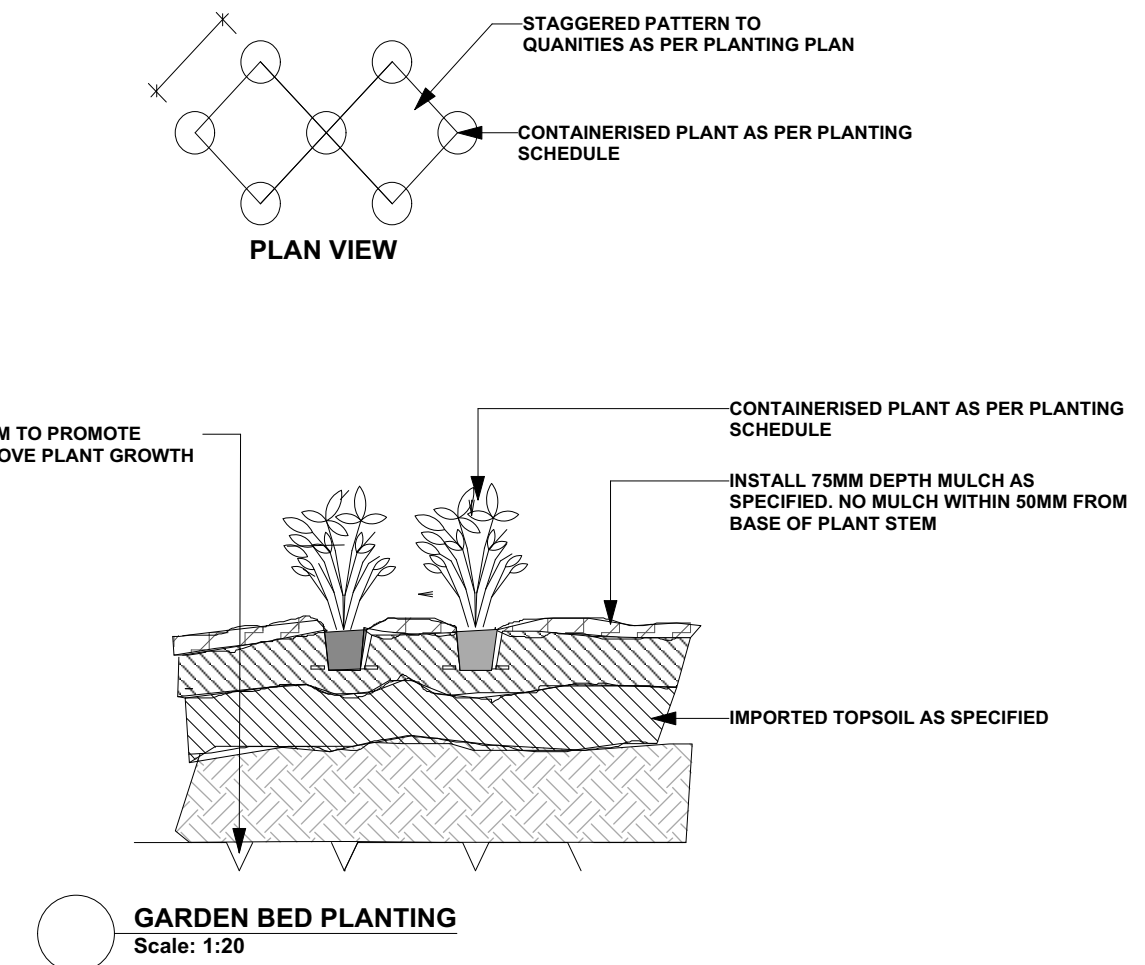
NOTES

GENERAL NOTES
 All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned. All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4085, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification.

NOTE
 Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.
 All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out
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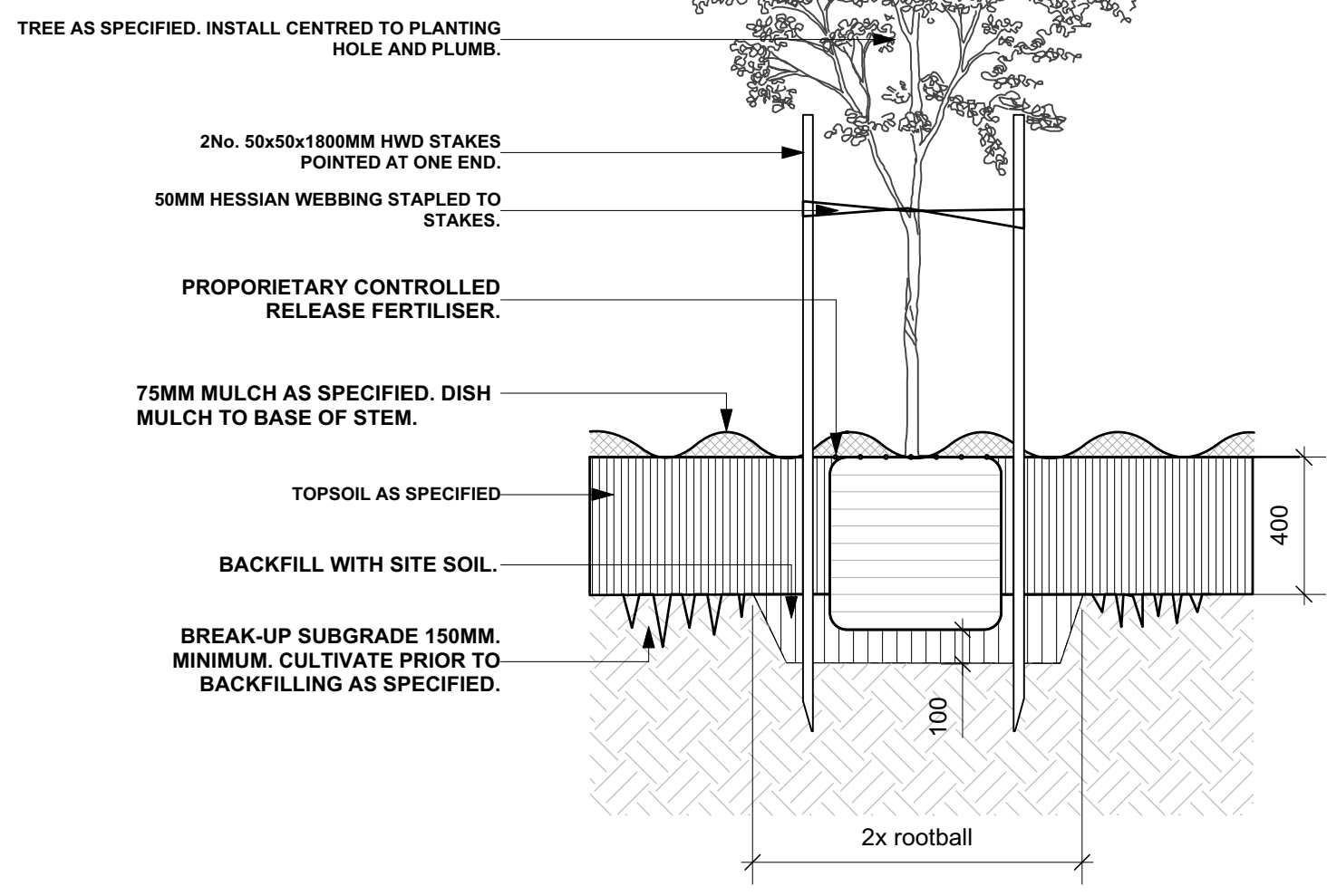


CONCRETE PAVING DETAIL
Scale: 1:20



GARDEN BED PLANTING
Scale: 1:20

NOTE: ENSURE PLANTING HOLE IS FREE DRAINING PRIOR TO PLANTING. WHERE WATER POOLS OR IN HEAVY SOILS, RECTIFY.



75-100L TREE PLANTING DETAIL
Scale: 1:20

LANDSCAPE MAINTENANCE

THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL AREAS OF THE CONTRACT DURING THE PROGRESS OF THE WORKS. THE CONTRACTOR SHALL COMMENCE AND FULLY IMPLEMENT THE SHORT-TERM MAINTENANCE AND ESTABLISHMENT AFTER PRACTICAL COMPLETION HAS BEEN CONFIRMED.

SITE CONTROL: REPORT TO THE PRINCIPAL'S DESIGNATED REPRESENTATIVE ON ARRIVING AT AND BEFORE LEAVING THE SITE.

PLANT ESTABLISHMENT PERIOD: THE PERIOD BETWEEN THE DATE OF PRACTICAL COMPLETION AND THE DATE OF FINAL COMPLETION.

MAINTENANCE/ ESTABLISHMENT PERIOD: 12 MONTHS.

PLANT ESTABLISHMENT: MAINTAIN THE CONTRACT AREA DURING THE PLANT ESTABLISHMENT PERIOD. ENSURE THE GENERAL APPEARANCE AND PRESENTATION OF THE LANDSCAPE AND THE QUALITY OF PLANT MATERIAL AT DATE OF PRACTICAL COMPLETION IS MAINTAINED FOR THE FULL PLANTING ESTABLISHMENT PERIOD.

EXISTING PLANT MATERIAL: MAINTAIN EXISTING PLANTING WITHIN THE LANDSCAPE CONTRACT AREA AS SPECIFIED FOR NEW PLANTING.

REPLACEMENTS: REPLACE FAILED, DEAD AND/OR DAMAGED PLANTS AT MINIMUM 3 WEEK INTERVALS AS NECESSARY THROUGHOUT THE FULL PLANT ESTABLISHMENT PERIOD.

REPORTING: SUBMIT REGULAR REPORTS BY THE LAST FRIDAY OF EACH MONTH SUMMARISING THE GENERAL STATUS OF WORKS. INCLUDE A MAINTENANCE SCHEDULE, A LOG BOOK OF MAINTENANCE ACTIVITY, SOIL TEST RESULTS AS REQUIRED FOR ANY FERTILISING PROGRAMS, AND PLANT REPLACEMENT REQUIREMENTS.

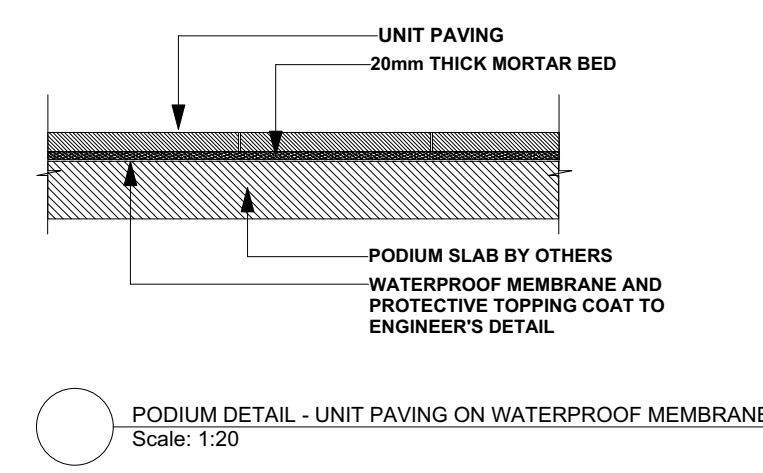
WATER RESTRICTIONS: COORDINATE THE WATER SUPPLY AND CONFIRM THE WATERING REGIME AGAINST RELEVANT GOVERNMENT LEGISLATION AND RESTRICTIONS AT THE TIME.

STAKES AND TIES: REMOVE AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.

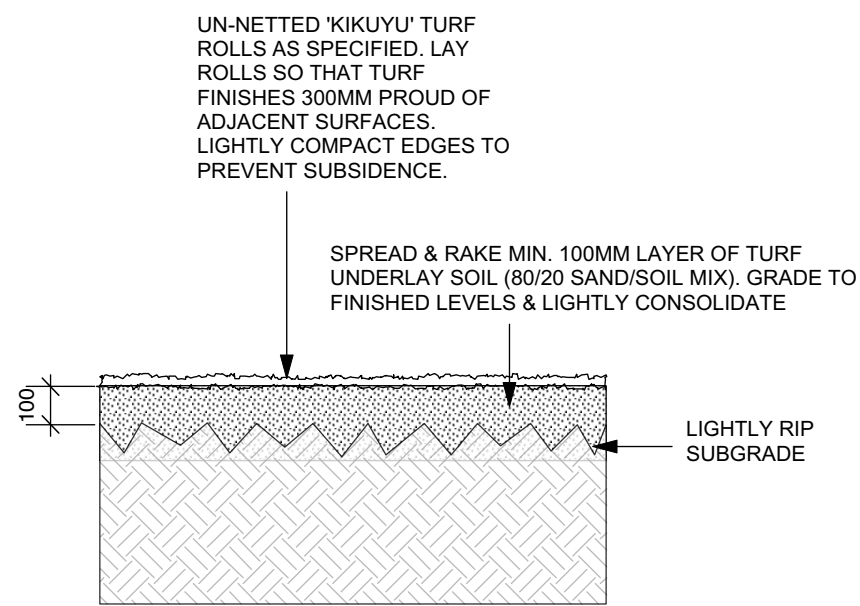
TEMPORARY FENCES: REMOVE TEMPORARY PROTECTIVE FENCES AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.

COMPLIANCE: PLANT ESTABLISHMENT SHALL BE DEEMED COMPLETE, SUBJECT TO THE FOLLOWING:

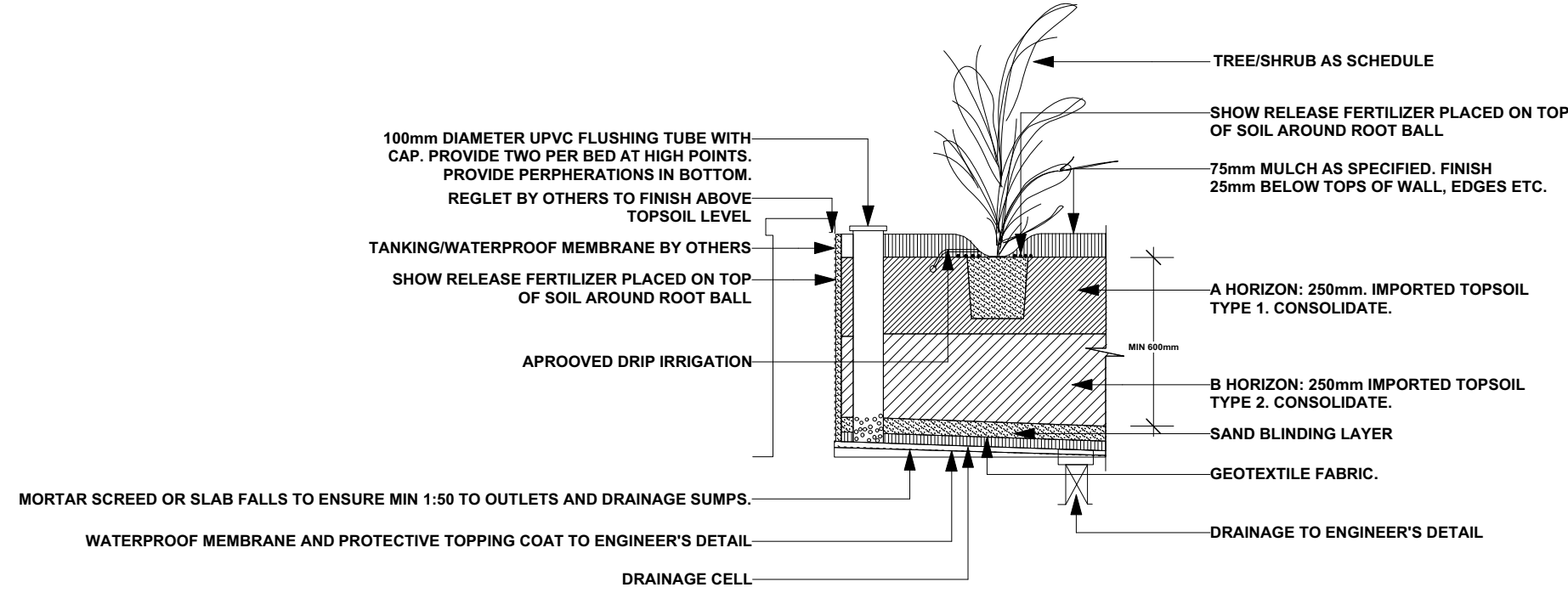
- * REPAIRS TO PLANTING MEDIA COMPLETED.
- * PESTS, DISEASE, OR NUTRIENT DEFICIENCIES OR TOXICITIES ARE NOT EVIDENT.
- * MULCHED SURFACES HAVE BEEN MAINTAINED IN A WEED FREE AND TIDY CONDITION AND TO THE SPECIFIED DEPTH.
- * VEGETATION IS ESTABLISHED AND WELL FORMED.
- * PLANTS HAVE HEALTHY ROOT SYSTEMS.
- * VEGETATION IS NOT RESTRICTING ESSENTIAL SIGHT LINES AND SIGNAGE.
- * COLLECTION AND REMOVAL OF LITTER COMPLETED.
- * REMOVAL OF MULCH FROM DRAINAGE AND ACCESS AREAS COMPLETED.
- * ALL DEFECTS NOTIFICATIONS HAVE BEEN CLOSED OUT.



PODIUM DETAIL - UNIT PAVING ON WATERPROOF MEMBRANE
Scale: 1:20



75-100L TREE PLANTING DETAIL
Scale: 1:20



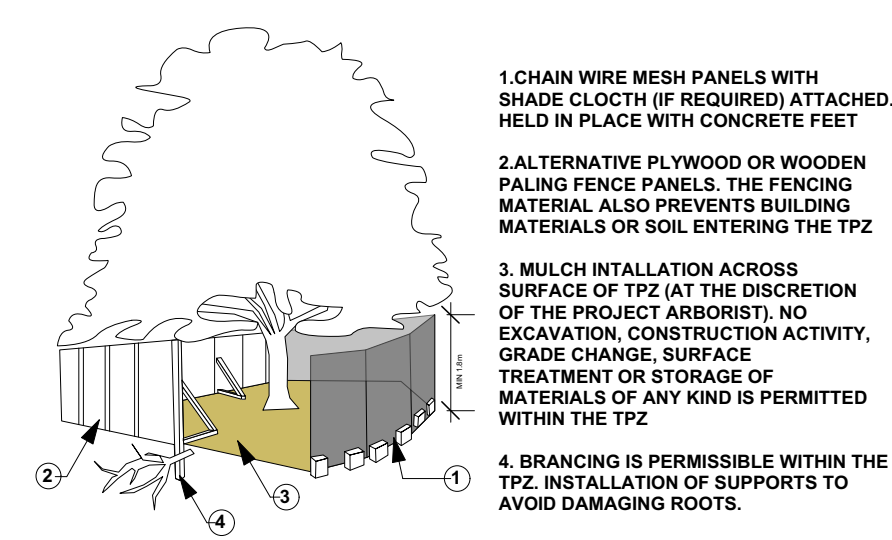
PODIUM DETAIL - TREE PLANTING ON SLAB DRAINAGE CELL
Scale: 1:20

DRIP IRRIGATION PERFORMANCE SPECIFICATION

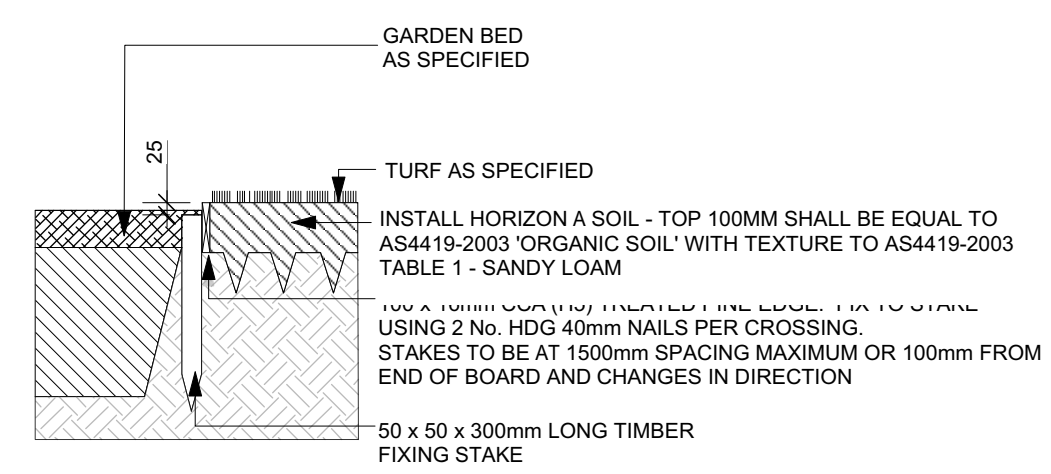
All Garden Beds and Planter Boxes are to be provided with a drip irrigation system connected to a pump and the rainwater tank. Water Taps to be provided.

Design, supply and install a permanent, fully automated drip irrigation system. The system is to cover all new garden areas to the extent shown on the drawings. Water is to be delivered via sub surface drippers and/or drip lines. The system is to be capable of supplying 32mm of water/week over all irrigated areas. It is to be designed to operate for a minimum of 10 years. All lines are to be buried below the finished ground level. Pits are to be set on a 200mm deep bed of gravel. Pit covers are to be level with the soil surface. Avoid seepage onto pavement, buildings or other structures. Include plumbing connection to main, main valve and backflow prevention. Central controller/programmer to be located in a lockable box in nominated location to be approved prior to installation. A dedicated GPO is to be provided for the controller to be plugged into. All work is to be approved by the local regulatory authority. Prepare as installed drawings and commission the system. The Contractor is to submit documents of the design and specification for the irrigation system for approval prior to commencement of work. Equipment is to comply with AS 2698.1 & as 2698.3.

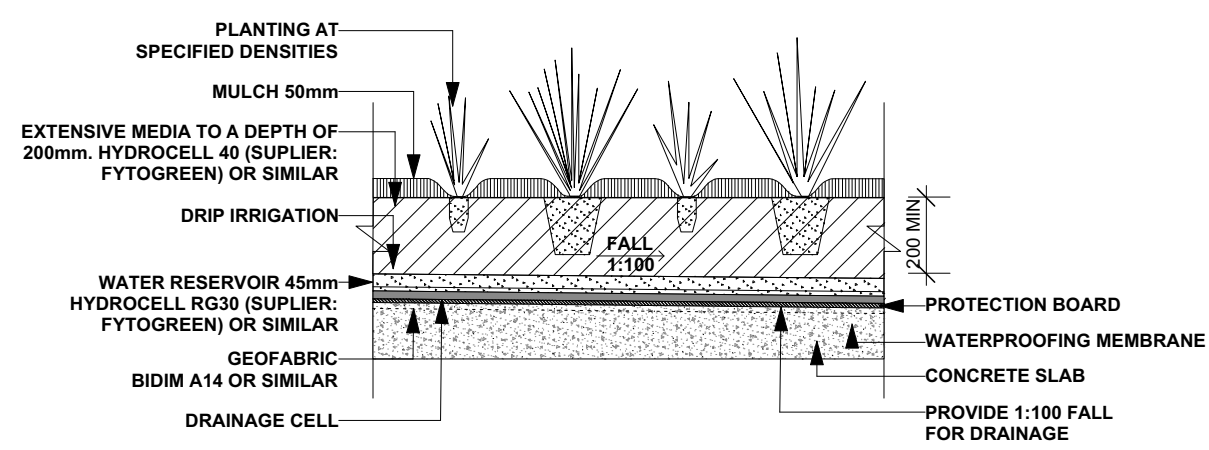
Connect to pumps connect to the rainwater tanks.



TREE PROTECTION ZONE
N.T.S



TIMBER EDGE DETAIL
Scale: 1:20



TYPICAL PLANTING/ PODIUM DETAIL
Scale: 1:20

creating places to live in and enjoy

LANDSCAPE ARCHITECTS // CONSTRUCTION // MAINTENANCE // IRRIGATION

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 info@sdstudios.com.au
 www.sdstudios.com.au

Project **WARRIEWOOD VALE DEVELOPMENT**
 Address **8 FOREST ROAD, WARRIEWOOD**
 Drawing Title **TYPICAL DETAILS & NOTES**
 Client **WARRIEWOOD VALE P/L** Scale 1:20 @A1

Page
 Drawing No. **15-826**
L-10

FF&E Schedule

8 Forest Rd Warriewood NSW 2102

Project Pn_0800

Revision 2

Prepared by Architecture Design Studio

01/ 7 Murray Rose Avenue, Sydney Olympic Park NSW 2127



ARCHITECTURE DESIGN STUDIO (NSW) PTY Ltd

ABN: 90 616 216 196 | 1/7 Murray Rose Avenue, Sydney Olympic Park NSW 2127 | P: 02 9648 6663 | E: info@adsarchitects.com

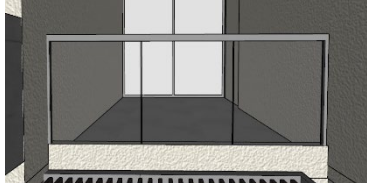

FF&E Schedule



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Note:

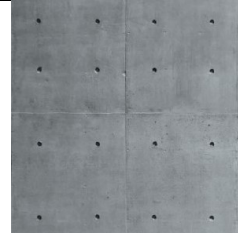
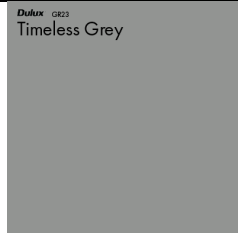

1. This schedule is to be read in conjunction with the Architectural Drawings and other schedules and specifications, relevant standards, and regulations.

Legend	Description	Colour	Image
BAL 1	Balustrade Glass		
BAL 2	Balustrade Solid Wall - Apartments	Dulux – Vivid White	

FF&E Schedule






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Legend	Description	Colour	Image
C01	Concrete Look	Fibre Cement Cladding – Concrete Look	
FC1	Fibre Cement Cladding	Dulux – Timeless Grey	 <small>Dulux GR23 Timeless Grey</small>
FC3	Fibre Cement Cladding	Dulux – Vivid White	 <small>Dulux 1W Vivid White™</small>

FF&E Schedule



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Legend	Description	Colour	Image
GD1	Glazing Door/ Window	Glass – Frame Monument Powder Coat	
L01	Horizontal Louvres	Timber Look	
MC1	Metal Cladding	Colorbond Monument Lysaght PanelRib or similar	

Project: 8 Forest Rd Warriewood 2102
 Client: Kuarto
 Project No.: Ph_0800
 Date: 10.03.2023

FF&E Schedule



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Legend	Description	Colour	Image
MC2	Aluminium Louvres - Roof	White Slats	
SC	Sandstone Cladding	Sandstone	
SH2	Sun shading	Louvres Timber Look	
TF	Fence - Palisade	Aluminium Slats - Monument Powder Coat	