

# CONTOUR

LANDSCAPE ARCHITECTURE

## DA DOCUMENTATION

### PROJECT

**Proposed Landscape & Pool Design  
Minor Alterations and Additions to Residence**

### CLIENT

Layton Bonnici

### ADDRESS

184 Whale Beach Road,  
Whale Beach NSW 2107



DEVELOPMENT DETAILS

- SWIMMING POOL WATER CAPACITY IS LESS MORE 40 000 LITRES - 47,500 LITRES
- SPA WATER CAPACITY IS LESS THAN 40 000 LITRES - 4,700 LITRES
- SWIMMING POOL LOCATED IN REAR YARD
- SWIMMING POOL SAFETY FENCING & SWIMMING POOL SHALL COMPLY WITH;
- COUNCIL CODES
- BUILDING CODE OF AUSTRALIA
- SWIMMING POOLS ACT 1992-NO. 49
- SWIMMING POOL SAFETY AS 1926.1-2007
- SWIMMING POOL SAFETY AS 1926.2-2007
- SWIMMING POOL SAFETY AS AS1926.1-2012 AS APPLICABLE.
- ALL TREES TO BE REMOVED ARE EXCEMPT SPECIES AS LISTED ON NORTHERN BEACHES COUNCIL WEBSITE

POOL COPING LEVELS  
(RELATIVE TO EXISTING GROUND LEVELS)

- A -1000mm
- B +1150mm
- C -940mm
- D +1200mm

LEGEND

- LAWN AREA
- CONCRETE
- GARDEN AREA
- DECORATIVE PEBBLES
- OFF FORM CONCRETE STEPS
- PAVED AREA
- TIMBER DECKING
- TREE TO BE REMOVED
- TREE TO BE RETAINED

CONTOUR  
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660  
Tel: 0434 500 705 - AIDLAM

PROJECT  
**Bonnici Residence**  
184 Whale Beach Road,  
Whale Beach NSW 2107

NOTES

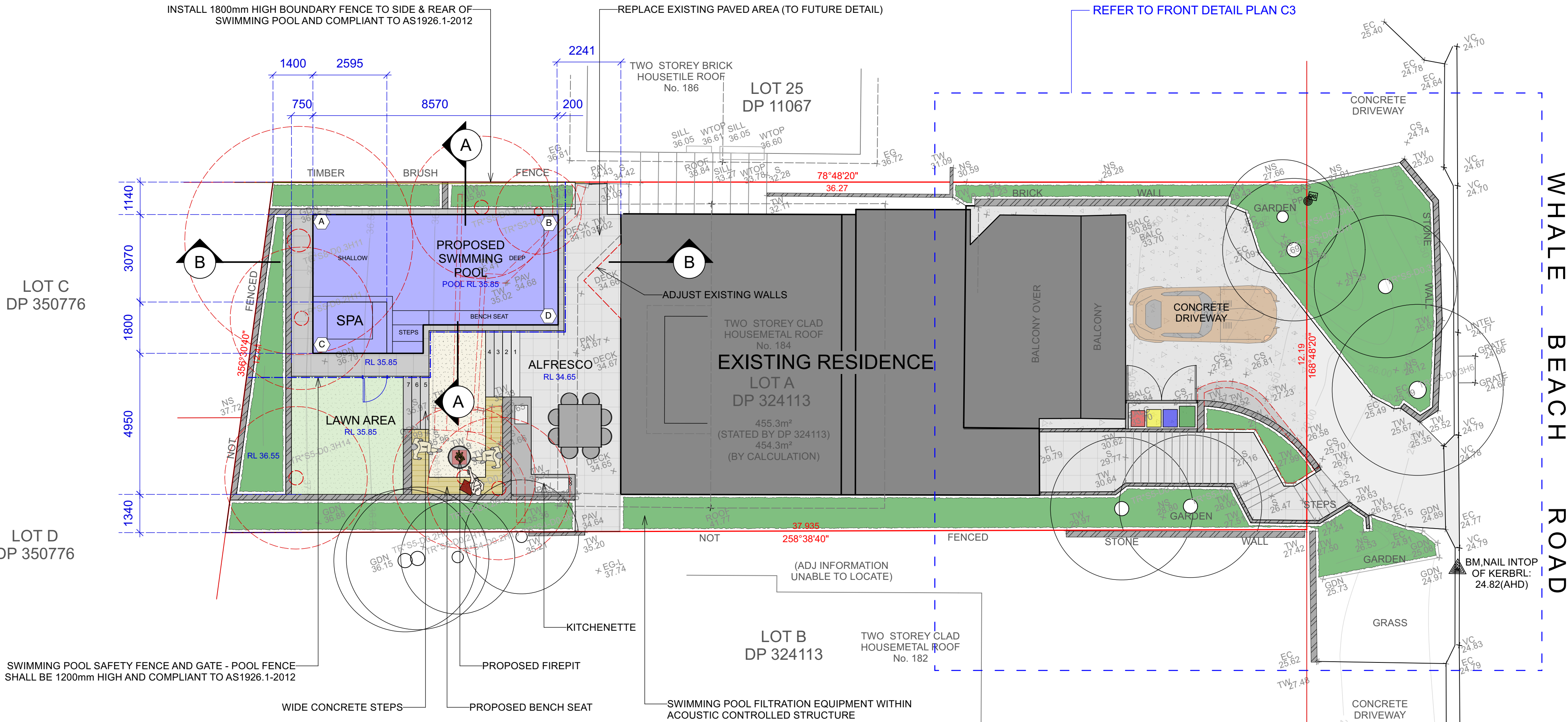
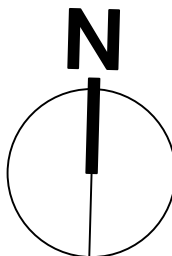
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DATE	REV.	ISSUE
20/04/21	A	DRAFT
28/04/21	B	DRAFT
30/04/21	C	DRAFT
11/05/21	D	DRAFT
18/06/21	E	DA

DATE: 30/04/21  
  
SCALE: 1:100 @ A1  
1:200 @ A3  
  
DRAWN: LH

DRAWING  
SITE PLAN

DRAWING NO:  
C1  
  
REV:  
E



EXISTING TIMBER RETAINING WALL TO REMAIN  
AND BE ADJUSTED TO SUIT PROPOSED LEVELS

EXISTING TIMBER PYLONS TO BE RETAINED

PROPOSED RETAINING WALL ATTACHED TO EXISTING  
RETAINING WALL (TO ENGINEERS DETAIL & SPECIFICATIONS)

PROPOSED DRAINAGE CAVITY  
BETWEEN WALL AND RETAINING WALL

LEGEND

- PROPOSED WALL
- WALL TO BE DEMOLISHED
- CARPET SURFACE TREATMENT
- TILED SURFACE TREATMENT
- INDOOR TIMBER SURFACE TREATMENT
- OUTDOOR TIMBER SURFACE TREATMENT

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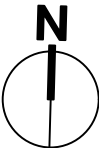
PROJECT  
**Bonnici Residence**  
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DATE	REV.	ISSUE
18/05/21	A	DRAFT
19/05/21	B	REVISION
25/05/21	C	REVISION
18/06/21	D	REVISION
18/06/21	E	DA

DATE: 18/06/21  
SCALE: 1:100 @ A3  
DRAWN: LH

DRAWING  
**LOWER GROUND  
FLOOR PLAN**  
DRAWING NO:  
C2  
REV:  
E





LEGEND

- LAWN AREA
- CONCRETE
- GARDEN AREA
- DECORATIVE PEBBLES
- OFF FORM CONCRETE STEPS
- PAVED AREA
- TIMBER DECKING
- TREE TO BE REMOVED
- TREE TO BE RETAINED



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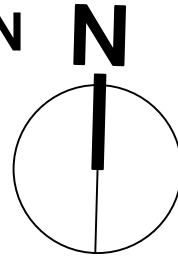
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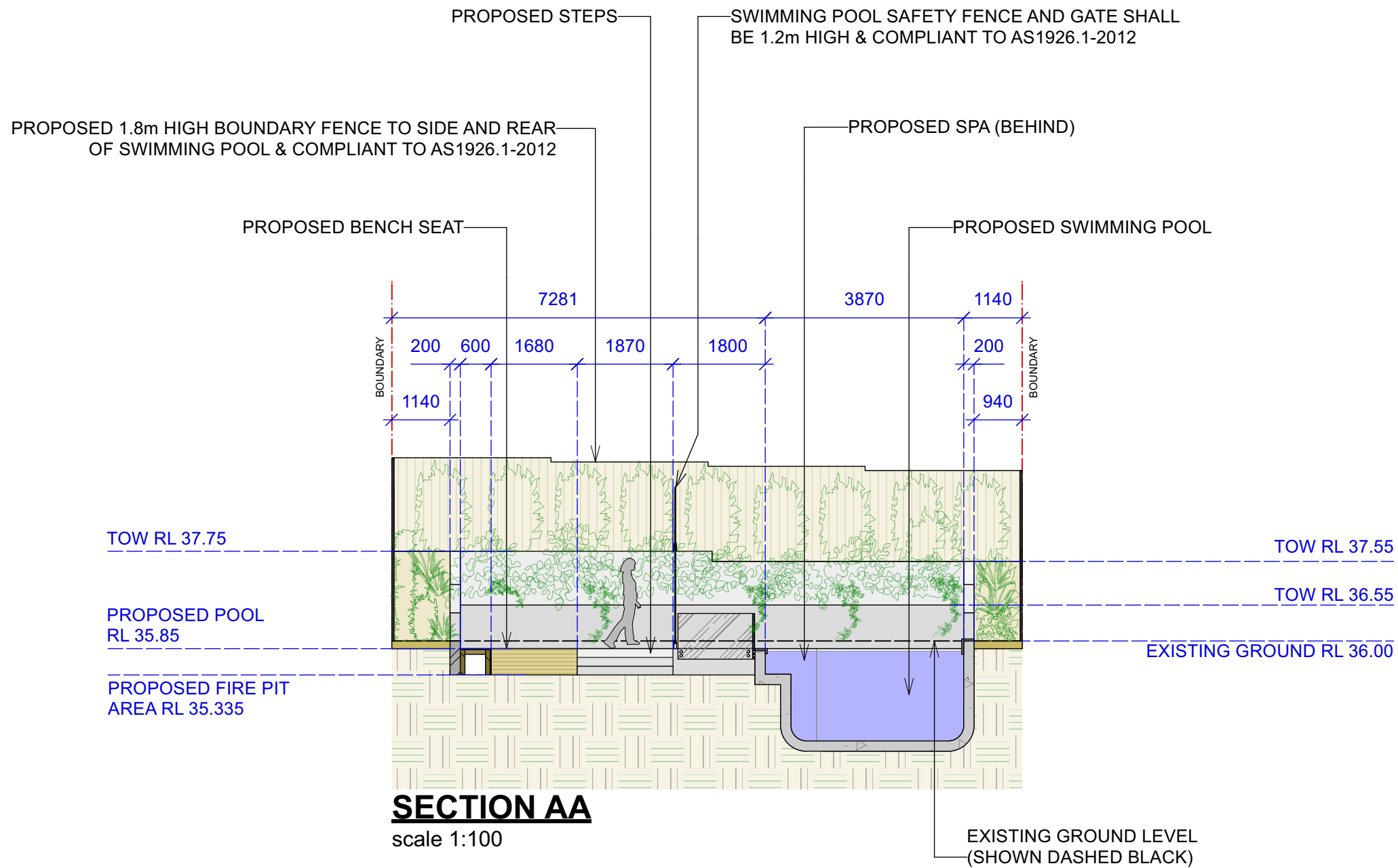
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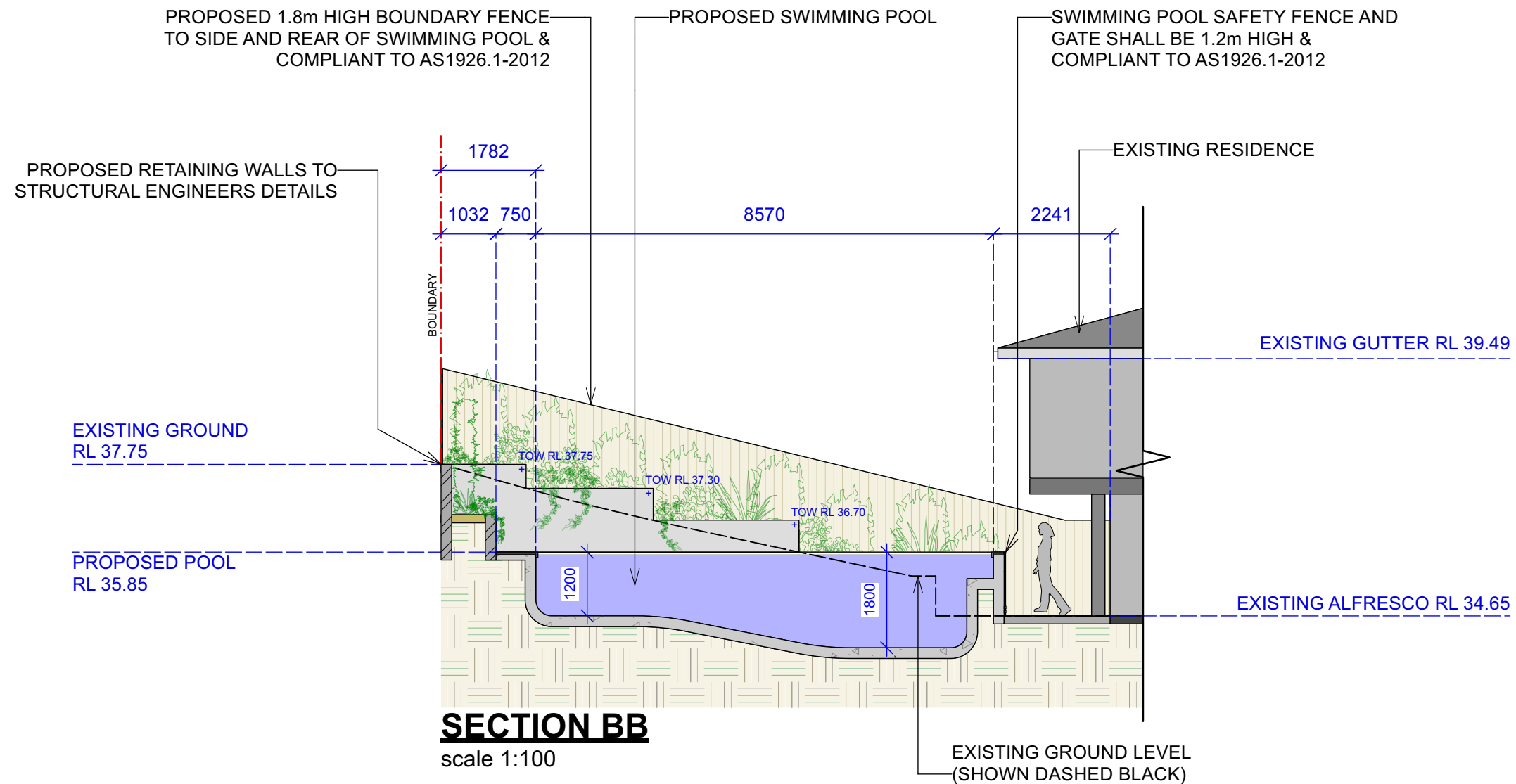
DATE	REV.	ISSUE
11/05/21	A	DRAFT
18/06/21	B	DA

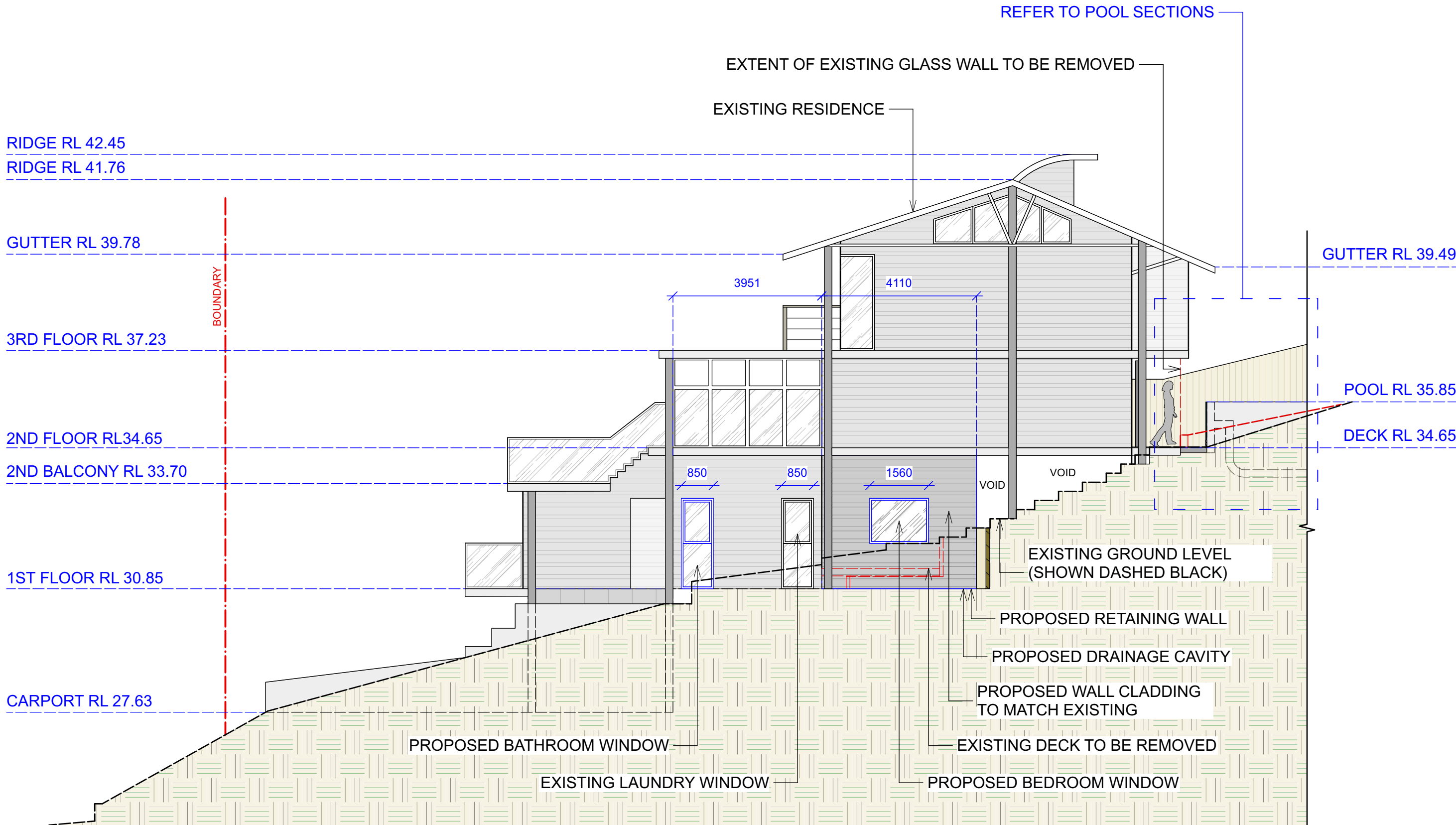
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SCALE: 1:50 @ A1  
1:100 @ A3  
DRAWN: LH

DRAWING  
**FRONT DETAIL PLAN**  
DRAWING NO: C3  
REV: B









CONTOUR  
LANDSCAPE ARCHITECTURE  
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**Bonnici Residence**  
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DATE	REV.	ISSUE
18/06/21	A	DA

DATE:	18/06/21	DRAWING
		<b>NORTH ELEVATION</b>
SCALE:	1:100 @ A3	DRAWING NO:
		C6
DRAWN:	LH	REV:
		B



DEVELOPMENT DETAILS	
TOTAL SITE AREA	455m2
TOTAL LANDSCAPED AREA REQ. (54%)	245.70m2
EXISTING LANDSCAPED AREA (37.30%)	169.82m2
PROPOSED LANDSCAPED AREA (28.40%)	129.20m2
TOTAL AREA FORWARD OF THE BUILDING LINE	77.39m2
REQ. LANDSCAPED AREA FORWARD OF THE BUILDING LINE (60%)	46.43m2
EXISTING LANDSCAPED AREA FORWARD OF THE BUILDING LINE (28.33%)	21.81m2
PROPOSED LANDSCAPED AREA FORWARD OF THE BUILDING LINE (27.50%)	21.20m2

 LANDSCAPED AREA

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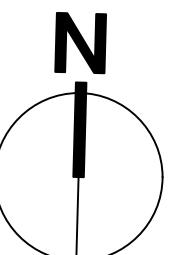
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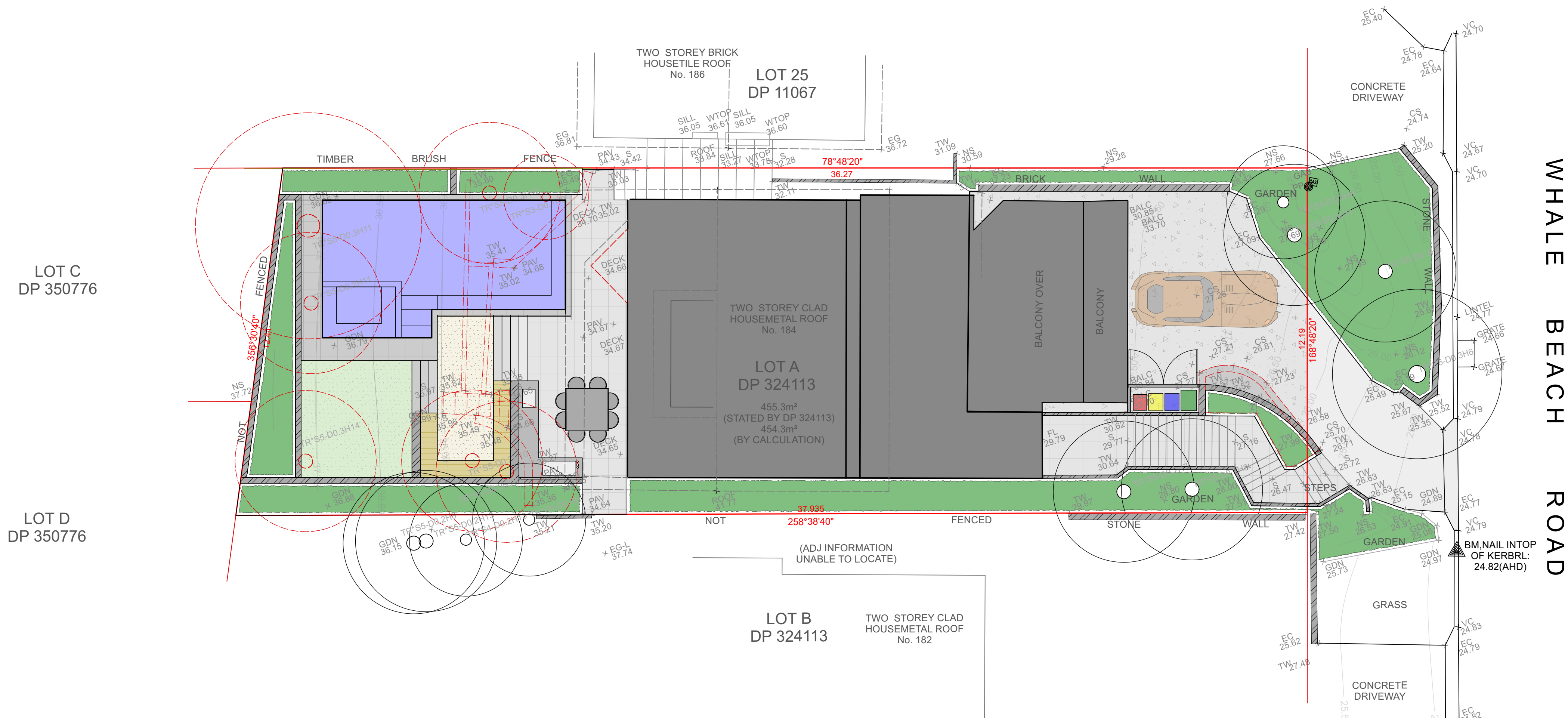
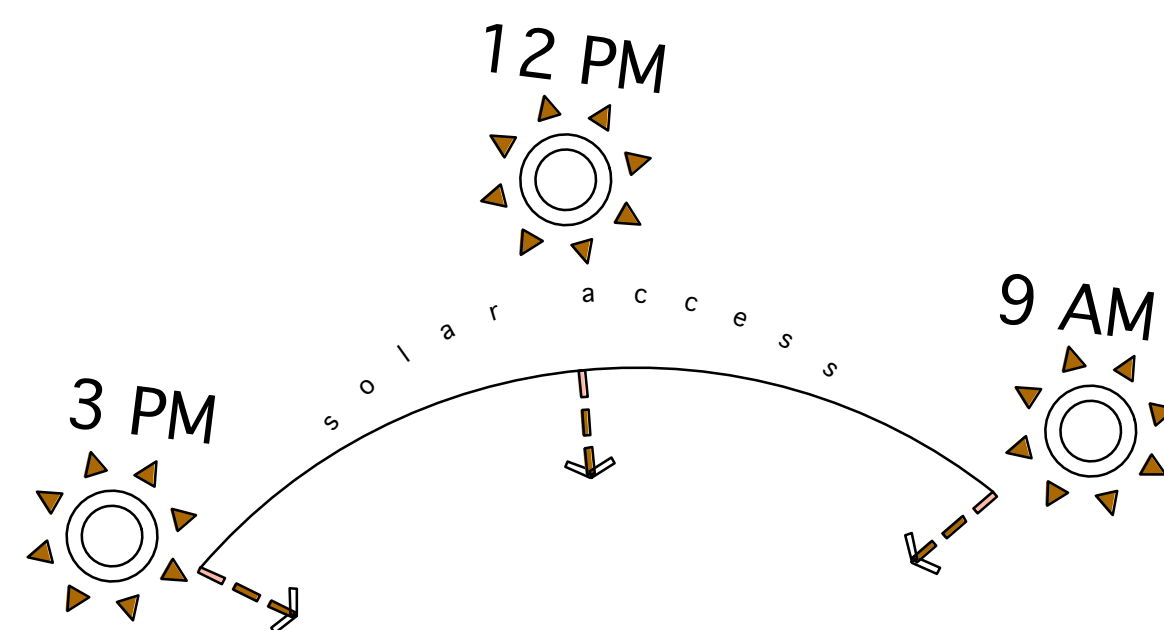
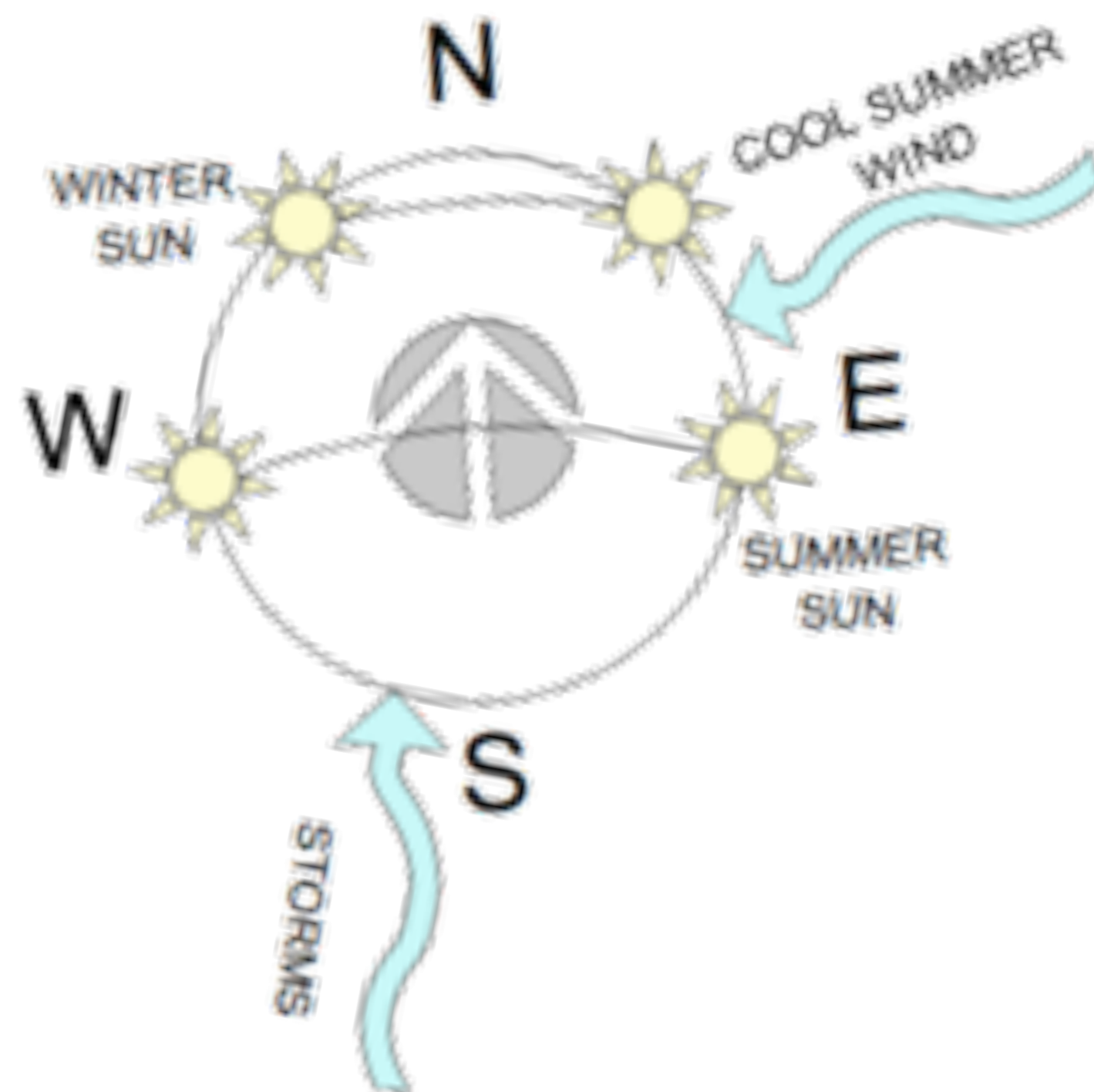
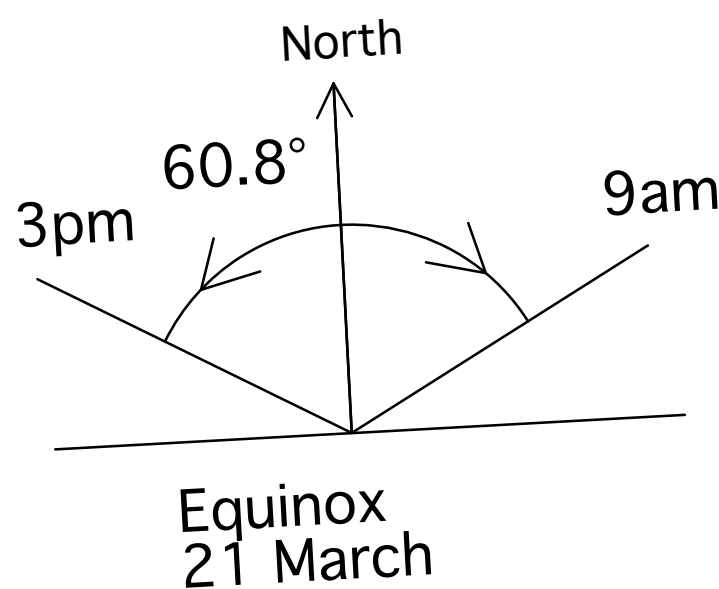
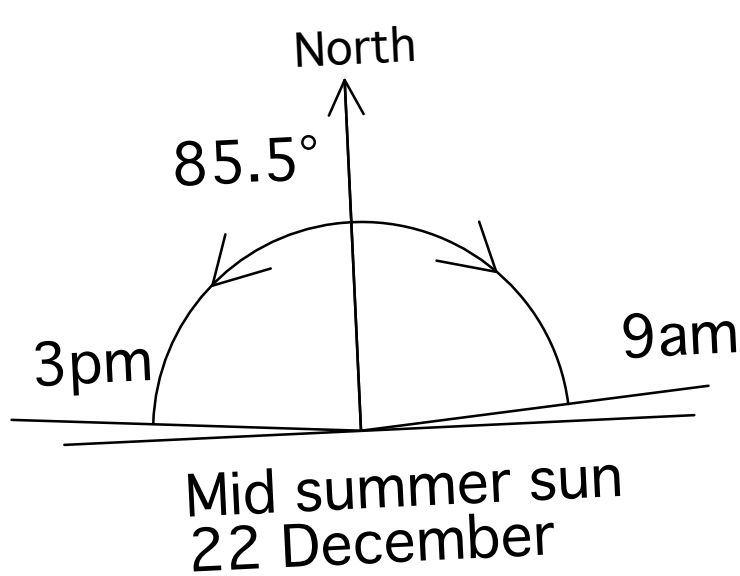
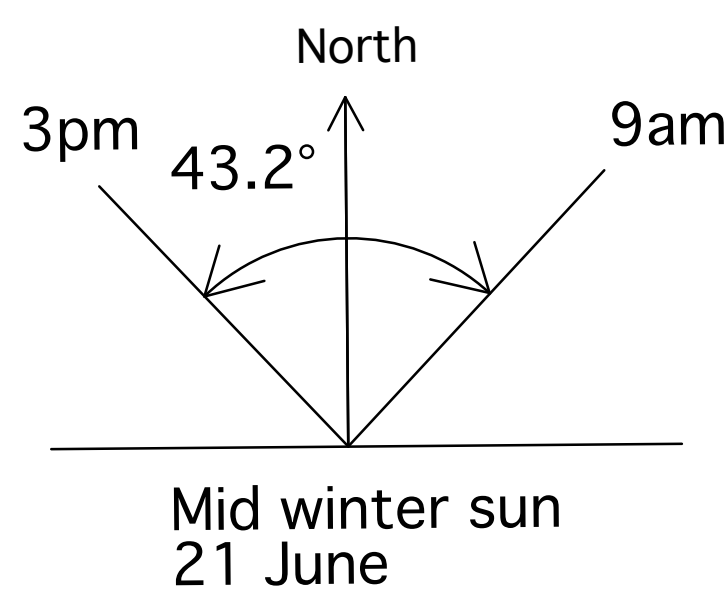
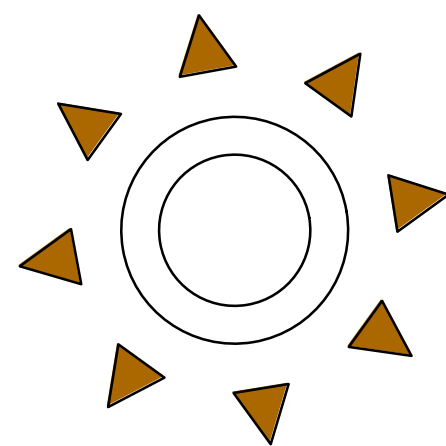
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DRAWN: LH

REV:  
B



Sun Angles



CONTOUR  
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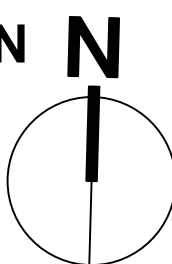
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**Bonnici Residence**  
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11/05/21	A	DRAFT
18/06/21	B	DA

DATE: 18/06/21  
  
SCALE: 1:100 @ A1  
1:200 @ A3  
  
DRAWN: LH

DRAWING  
**SITE ANALYSIS PLAN**  
  
DRAWING NO: C8  
REV: B







1. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
  - A. LOCAL AUTHORITY REQUIREMENTS
  - B. EPA REQUIREMENTS
  - C. NSW DEPARTMENT OF HOUSING MANUAL
2. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
3. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.
4. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
5. CLEAN BEHIND FENCE EACH MAJOR STORM OR OTHERWISE AS DIRECTED AND REMOVE ALL SILT FROM THE SITE.
6. SILT FENCE IS TO BE INSTALLED & APPROVED BY COUNCIL'S SUPERVISING ENGINEERS BEFORE OVERBURDEN IS REMOVED. THIS FENCE MAY REQUIRE REPLACEMENT AT TIMES IF LOCATED WITHIN OR NEARBY CONSTRUCTION ZONES.
6. 'BIDIM' W2W IS SUPPLIED BY GEOFABRICS AUST. P/L



ALL PAVED AREAS AND COPING SHALL FALL TOWARDS GARDEN & LAWN AREAS

LOT C  
DP 350776

LOT D  
DP 350776

PROPOSED SWIMMING POOL OVERFLOW SHALL BE CONNECTED TO THE EXISTING SEWER SYSTEM

EXISTING STORMWATER SYSTEM TO RESIDENCE TO REMAIN UNCHANGED

WHALE BEACH ROAD

CONTOUR  
LANDSCAPE ARCHITECTURE

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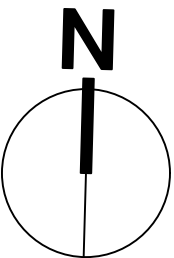
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DATE: 18/06/21  
  
SCALE: 1:100 @ A1  
1:200 @ A3  
  
DRAWN: LH

DRAWING  
**STORMWATER DRAINAGE PLAN**  
  
DRAWING NO:  
C10  
  
REV:  
B





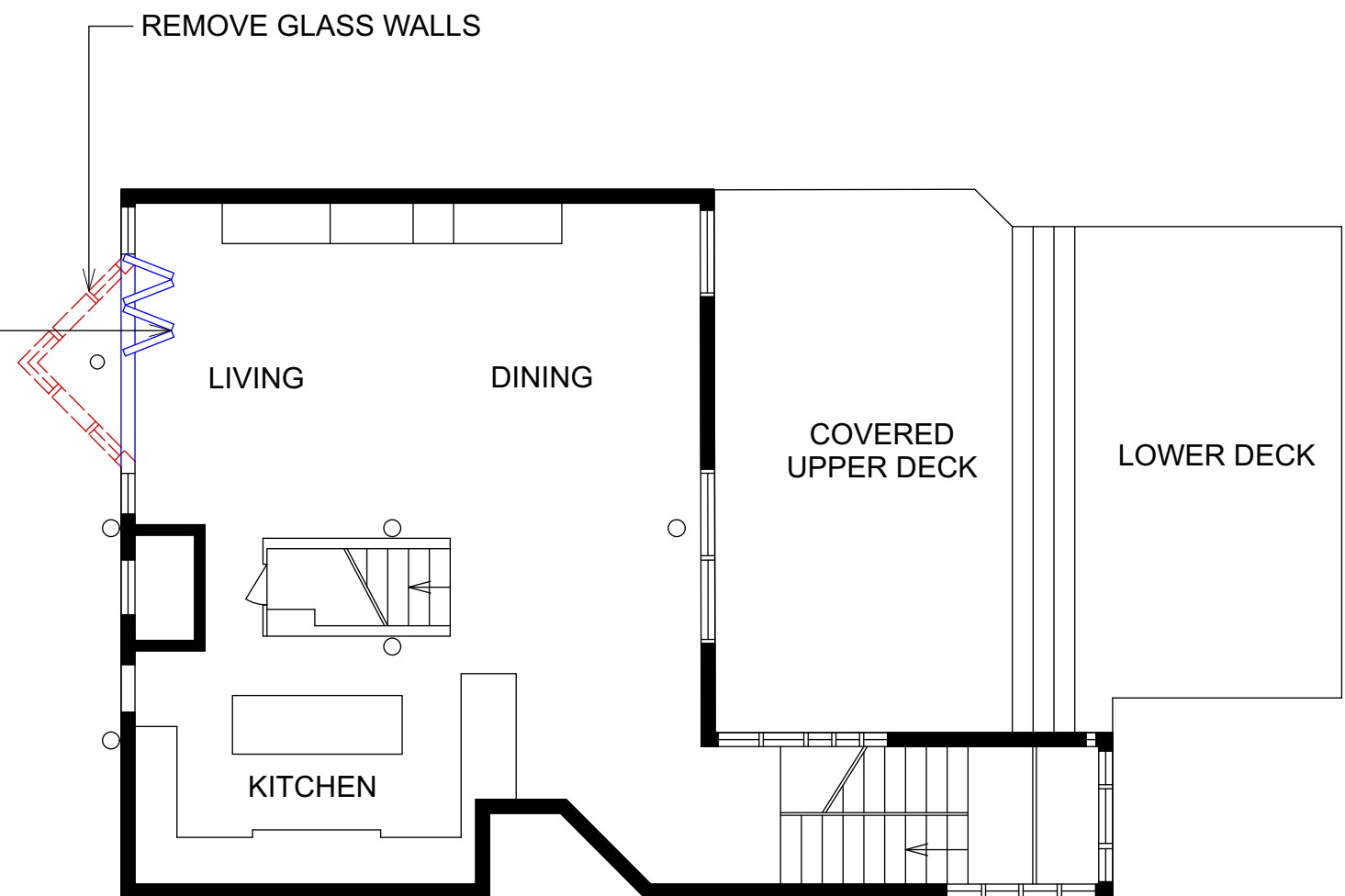


NO PROPOSED CHANGES ON UPPER FLOOR

## UPPER FLOOR PLAN

scale 1:100

INSTALL NEW GLASS BIFOLD DOORS



## GROUND FLOOR PLAN

scale 1:100

## LEGEND

- PROPOSED WALL
- WALL TO BE DEMOLISHED

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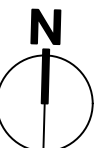
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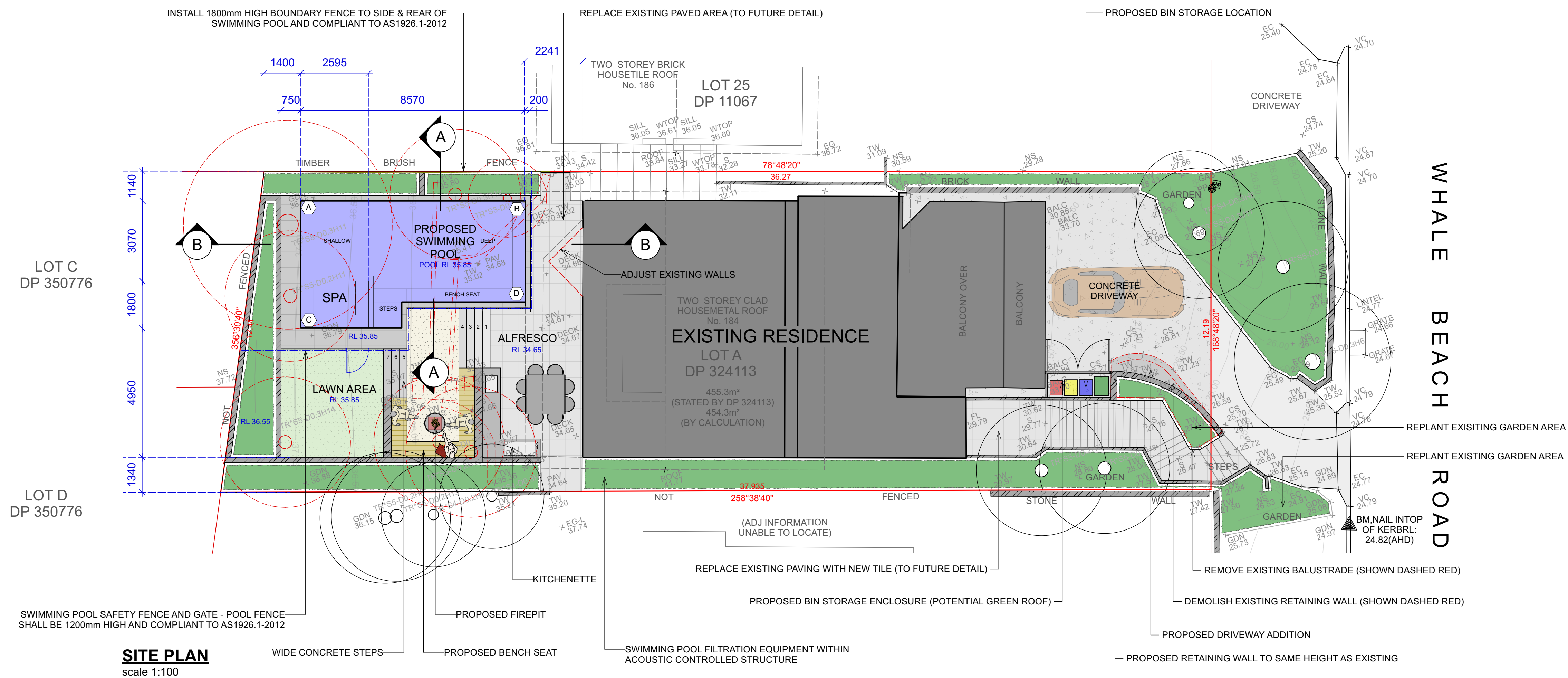
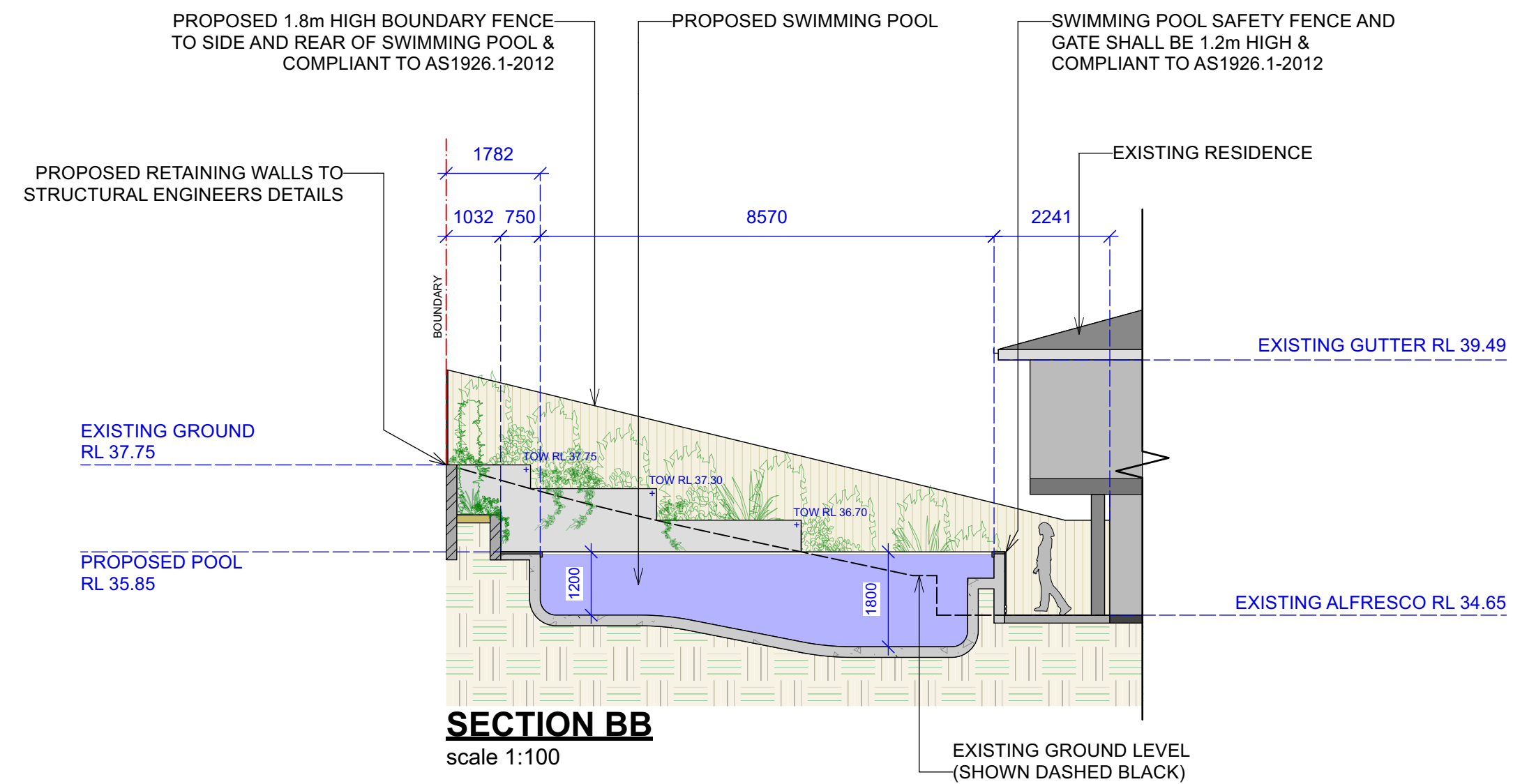
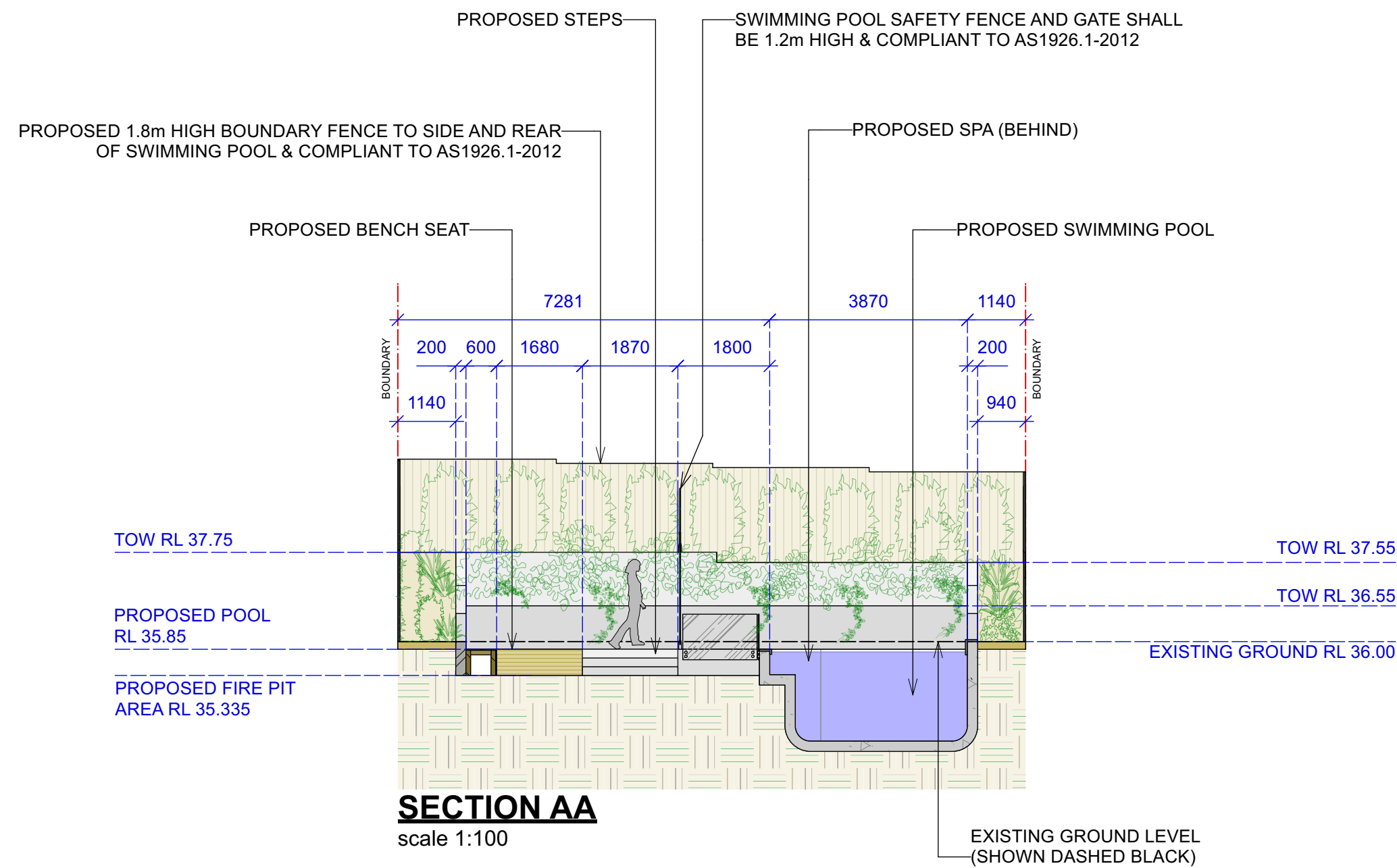
DRAWN: LH

DRAWING  
**GROUND & UPPER  
FLOOR PLANS**

DRAWING NO:  
C11

REV:  
A





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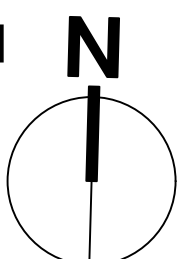
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DATE REV. ISSUE  
18/06/21 A DA

DATE: 18/06/21  
SCALE: 1:100 @ A1  
NTS @ A4  
DRAWN: LH

DRAWING  
NOTIFICATION PLAN

DRAWING NO:  
C1  
REV:  
A





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DATE: 18/06/21

SCALE: 1:100 @ A1  
1:200 @ A3

DRAWN: LH

DRAWING  
**WASTE MANAGEMENT  
PLAN**

DRAWING NO:  
C13

REV:  
A

