# **LEGEND** CONTOUR (AHD)

#### **NOTES**

EROSION CONTROL TO CONSIST OF STAKED GEOTECH FABRIC FENCES AND SOCKS.

CONSTRUCTION FENCING AND ACCESS GATES TO FULLY SECURE THE CONSTRUCTION SITE BETWEEN THE EXISTING SIDE BOUNDARY FENCES

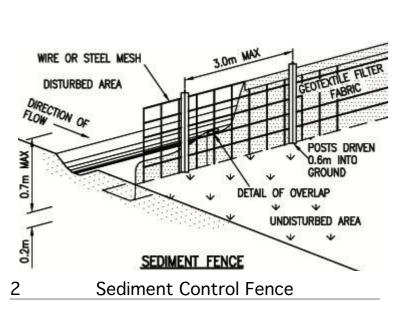
"WARNING CONSTRUCTION SITE- DO NOT ENTER" SIGNAGE TO BE FIXED TO SECURITY FENCING

ALL DOWNPIPES AND STORMWATER TO BE DIRECTED INTO THE EXISTING SUMMIT AVE STORMWATER NETWORK VIA GRAVITY

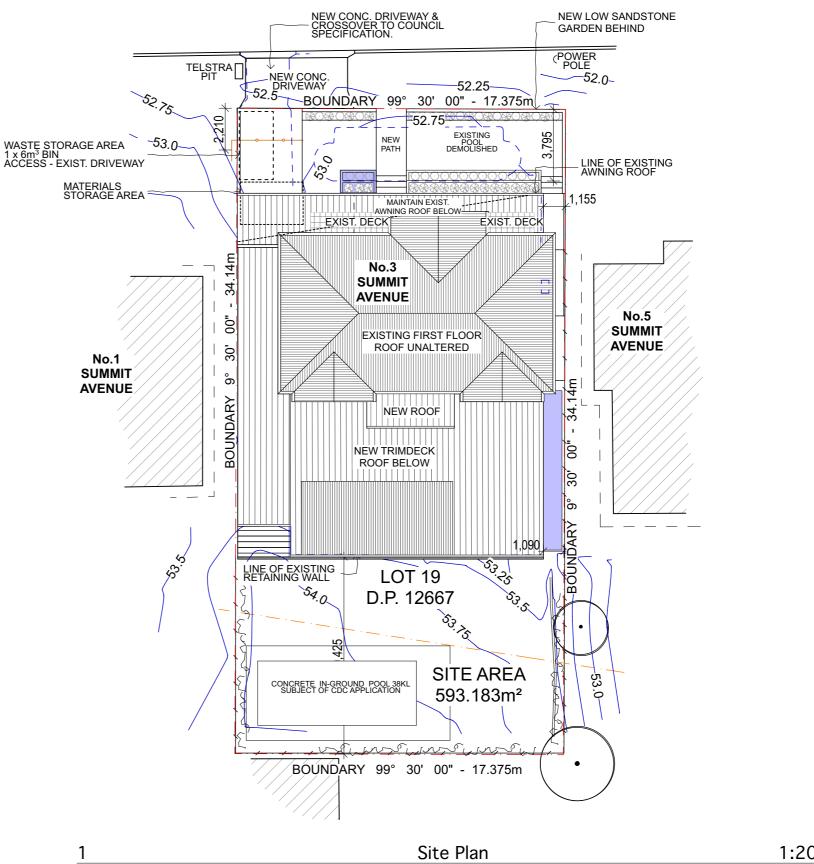
ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN BASIX CERTIFICATE No. A307857\_03.







# SUMMIT AVENUE



1:200

NOTES

This drawing shall be read in conjunction with all other drawings and specifications for the project.

Any discrepancies shall be referred to the building designer for clarification before proceeding with work.

All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.

Figured dimensions to be used rather than scaling.

All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

AMENDMENT SECTION 4.55 MODIFICATION APPLICATION



**Grant Seghers** 0424 428 602 grant.seghers@bigpond.com www.grantseghers.com.au

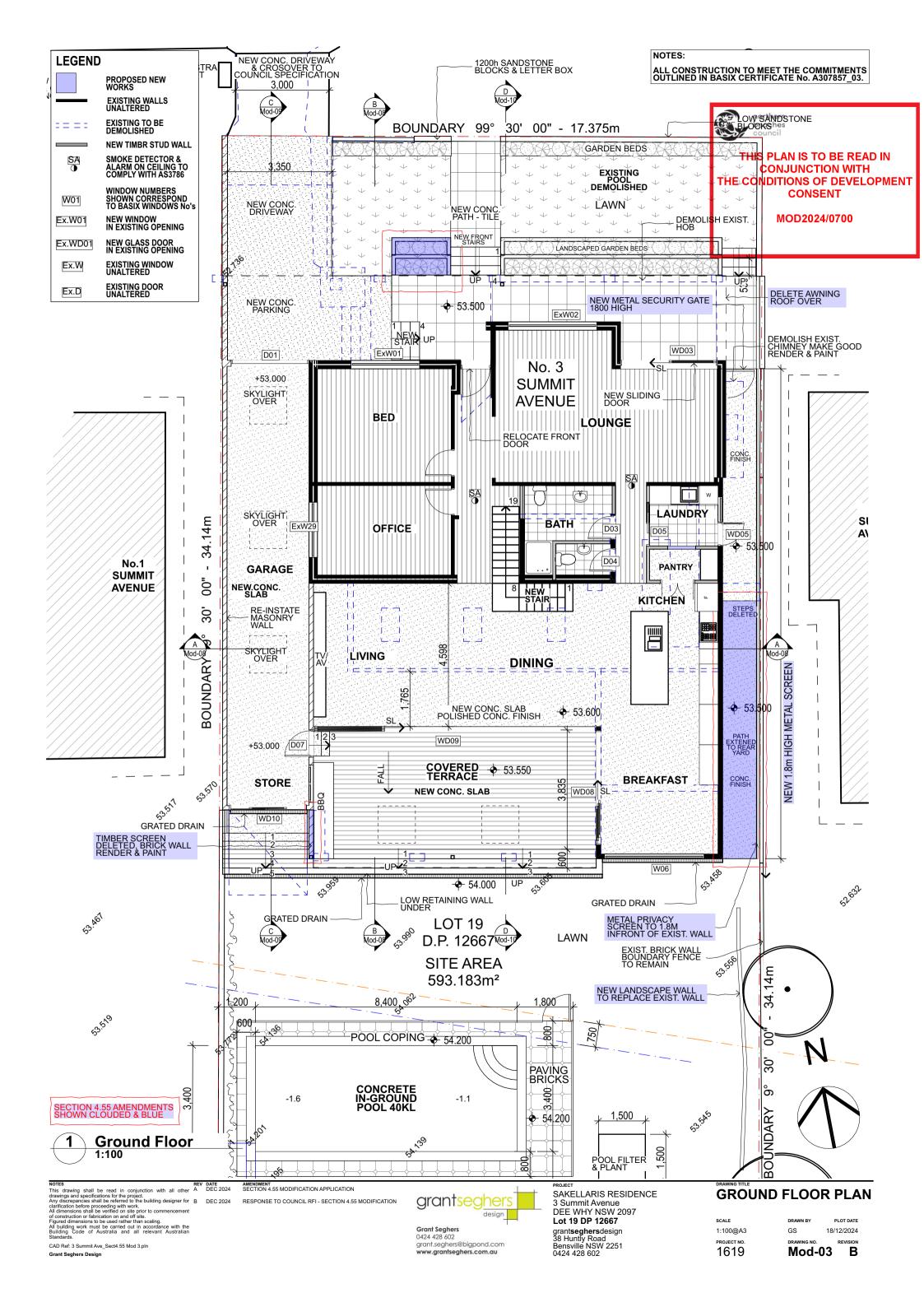
SAKELLARIS RESIDENCE 3 Summit Avenue DEE WHY NSW 2097

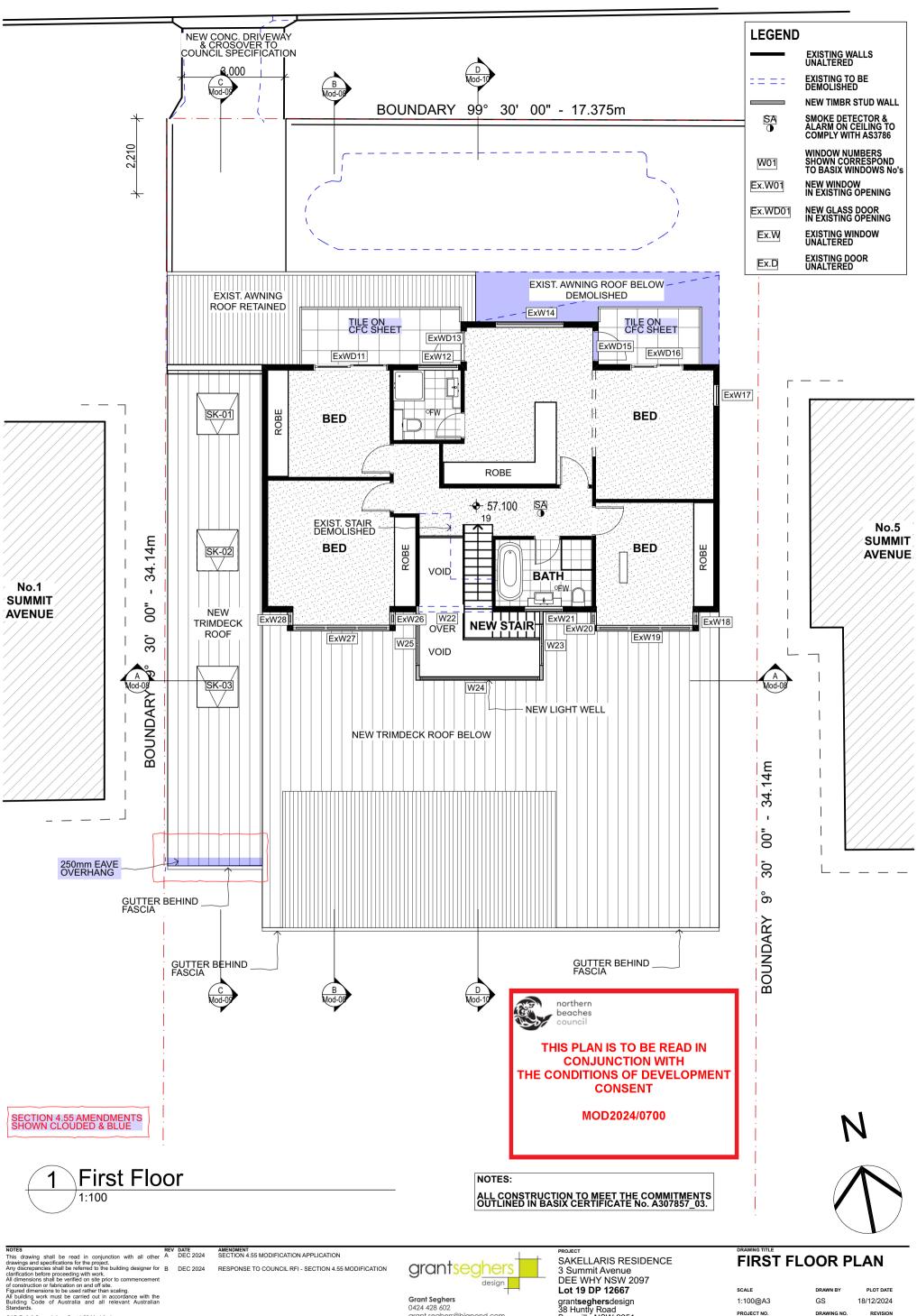
Lot 19 DP 12667 grant**seghers**design 38 Huntly Road Bensville NSW 2251 0424 428 602

SITE PLAN & SITE ANALYSIS PLAN

1:200@A3 1619

18/12/2024 Mod-02 B





grantseghers design Grant Seghers 0424 428 602 grant.seghers@bigpond.com www.grantseghers.com.au

SAKELLARIS RESIDENCE 3 Summit Avenue DEE WHY NSW 2097 Lot 19 DP 12667 grant**seghers**design 38 Huntly Road Bensville NSW 2251 0424 428 602

FIRST FLOOR PLAN

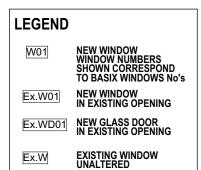
PLOT DATE

18/12/2024

Mod-04 B

SCALE DRAWN BY 1:100@A3 GS

1619



#### **COLOUR SCHEME LEGEND**

EXISTING DOOR UNALTERED

1 DELETED

Ex.D

**DULUX - NATURAL WHITE - 15W** 

3 COLORBOND - SHALE GREY - C4

4 DULUX - LINDSEED

**WINDOW FRAMES - BLACK** 

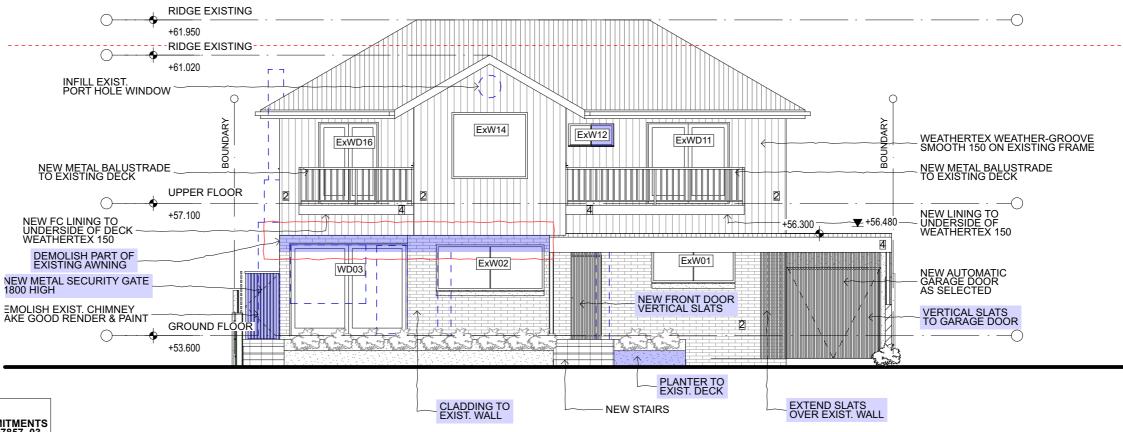


SECTION 4.55 AMENDMENTS SHOWN CLOUDED & BLUE

NOTES:

ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN BASIX CERTIFICATE No. A307857\_03.

RIDGE EXISTING +61.950 0 ExW21 ExW27 ExW19 EXIST. ROOF REPLACED W22 WEATHERTEX WEATHER-GROOVE SMOOTH 150 ON EXISTING FRAME UPPER FLOOR W24 RENDER & PAINT EXIST. BRICK WD09 W06 METAL PRIVACY SCREEN TO 1.8M 8 EXIST. BRICK WALL BOUNDARY FENCE TO REMAIN WD10 ROUND FLOOR -<u>+5</u>3.9<u>00</u>-+53.600 +53.500 +53.400 +52.600 South Elevation 1:100



North Elevation 1:100

NOTES
This drawing shall be read in conjunction with all other A DEC 2024 drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian

AMENDMENT SECTION 4.55 MODIFICATION APPLICATION



SAKELLARIS RESIDENCE 3 Summit Avenue DEE WHY NSW 2097 Lot 19 DP 12667 grant**seghers**design 38 Huntly Road Bensville NSW 2251 0424 428 602

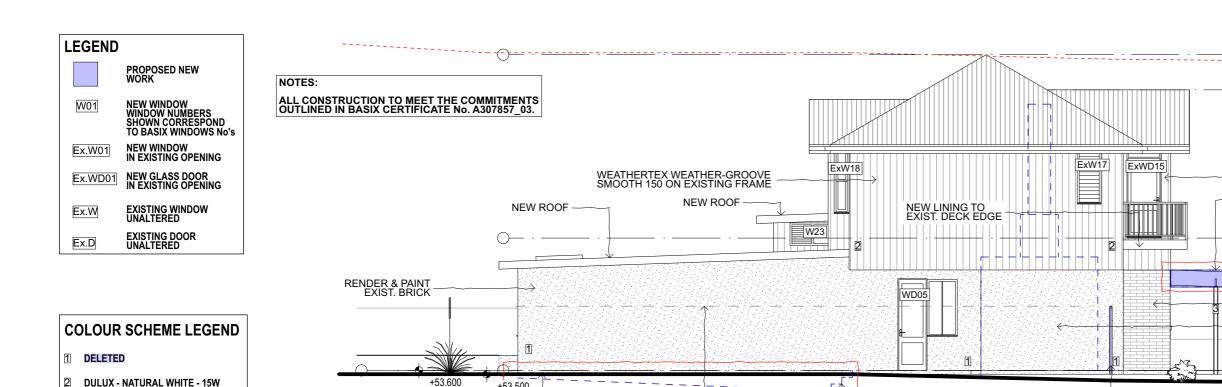
**ELEVATIONS** 

1:100@A3 PROJECT NO. 1619

18/12/2024 Mod-05 B

Grant Seghers Design

**Grant Seghers** 0424 428 602 grant.seghers@bigpond.com www.grantseghers.com.au



**NEW PATHWAY RL 53.5** 

+53.500

**East Elevation** 1:100 RIDGE EXISTING +61.950 RIDGE EXISTING beaches +61.020 THIS PLAN IS TO BE READ IN **CONJUNCTION WITH** NEW ROOF -THE CONDITIONS OF DEVELOPMENT ExW28 ExWD13 WEATHERTEX WEATHER-GROOVE SMOOTH 150 ON EXISTING FRAME CONSENT LINE OF EXISTING WALL MOD2024/0700 TIMBER SLAT SCREEN DELETED - BRICK WALL UPPER FLOOR W25 +56.480 +56.300 +56.020 EXISTING AWNING TO BE MAINTAINED RE-BUILT SQUARE +55.520 +56.000 ▼\_ +55.690 +55.500 +55.150 CLADDING TO EXIST. WALL LINE OF EXISTING WALL 1,250 +54.800 2 **GROUND FLOOR** +53.600 +53.890 +53.772 +53.600 +53.580 EXISTING MASONRY WALL TO BE DEMOLISHED AND +53.000 LINE OF EXISTING WALL-RE-CONSTRUCTED +52.600 **RENDER & PAINT** NEW MASONRY WALL IN +52.400 ACCORDANCE WITH BOUNDARY NOTICE SECTION 4.55 AMENDMENTS SHOWN CLOUDED & BLUE

METAL PRIVACY SCREEN TO 1.8M EAST BOUNDARY

PREVIOUSLY APPROVED STAIR DELETED

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scalling.
All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian

3 COLORBOND - SHALE GREY - C4

**WINDOW FRAMES - BLACK** 

4 DULUX - LINDSEED

Grant Seghers Design

grantseghers **Grant Seghers** 

West Elevation

SAKELLARIS RESIDENCE 3 Summit Avenue DEE WHY NSW 2097 Lot 19 DP 12667 grant**seghers**design 38 Huntly Road Bensville NSW 2251 0424 428 602

1:100

RIDGE EXISTING

RIDGE EXISTING

+61.950

+61.020

DEMOLISH PART OF AWNING ROOF

+57.100

DEMOLISH EXIST. CHIMNEY MAKE GOOD RENDER & PAINT

+53.600

+52.20

GROUND FLOOR

UPPER FLOOR

CLADDING TO EXIST. WALL

NEW METAL SECURITY GATE

WEATHERTEX WEATHER-GROOVE SMOOTH 150 ON EXISTING FRAME

### **ELEVATIONS**

1:100@A3 PROJECT NO. 1619

18/12/2024 Mod-06

0424 428 602 grant.seghers@bigpond.com www.grantseghers.com.au

**LEGEND** 

W01

NEW WINDOW WINDOW NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's

Ex.W01

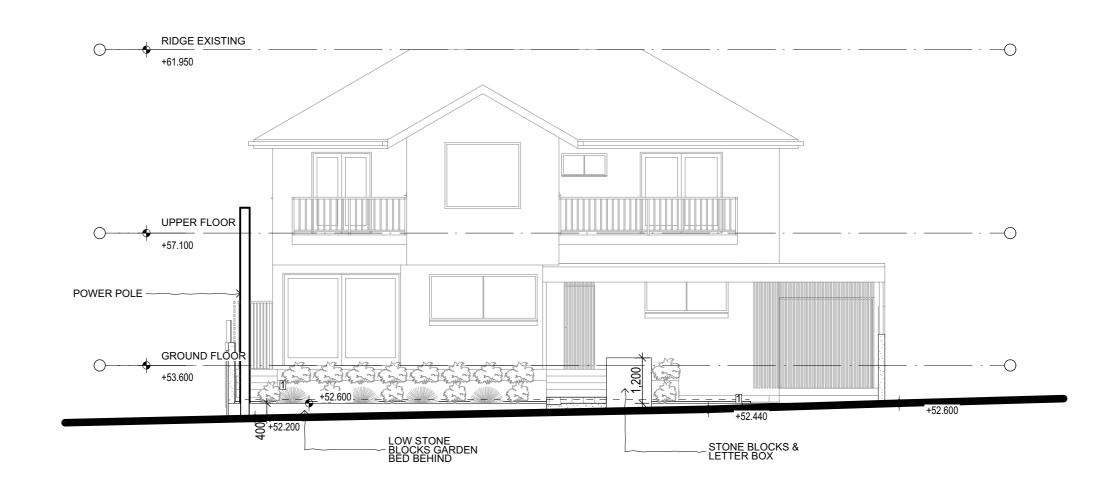
NEW WINDOW IN EXISTING OPENING

Ex.WD01 NEW GLASS DOOR IN EXISTING OPENING

Ex.W

EXISTING DOOR UNALTERED Ex.D

northern beaches council THIS PLAN IS TO BE READ IN **CONJUNCTION WITH** THE CONDITIONS OF DEVELOPMENT CONSENT MOD2024/0700



**Summit Street Elevation** 1:100

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.

Any discrepancies shall be referred to the building designer for claffication before proceeding with work.

All dimensions shall be verified on site prior to commencement of construction or patrication on and off site celling.

All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian.



NOTES:

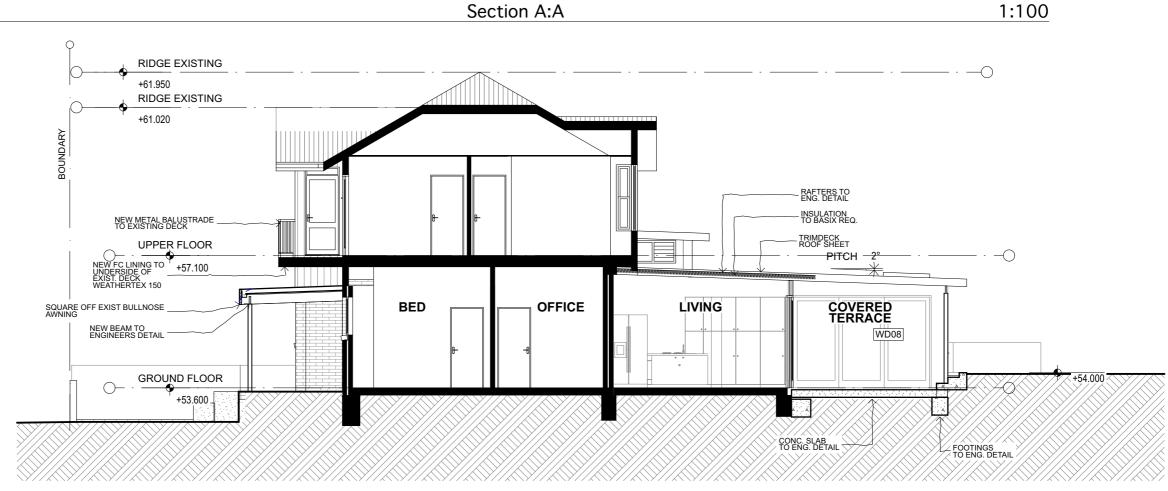
ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN BASIX CERTIFICATE No. A307857\_03.



northern beaches

THIS PLAN IS TO BE READ IN **CONJUNCTION WITH** THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2024/0700



SECTION 4.55 AMENDMENTS SHOWN CLOUDED & BLUE

Section B:B 1:100

NOTES

This drawing shall be read in conjunction with all other drawings and specifications for the project.

Any discrepancies shall be referred to the building designer for clarification before proceeding with work.

All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.

Figured dimensions to be used rather than scaling.

All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian

**Grant Seghers Design** 

AMENDMENT
SECTION 4.55 MODIFICATION APPLICATION

grantseghers

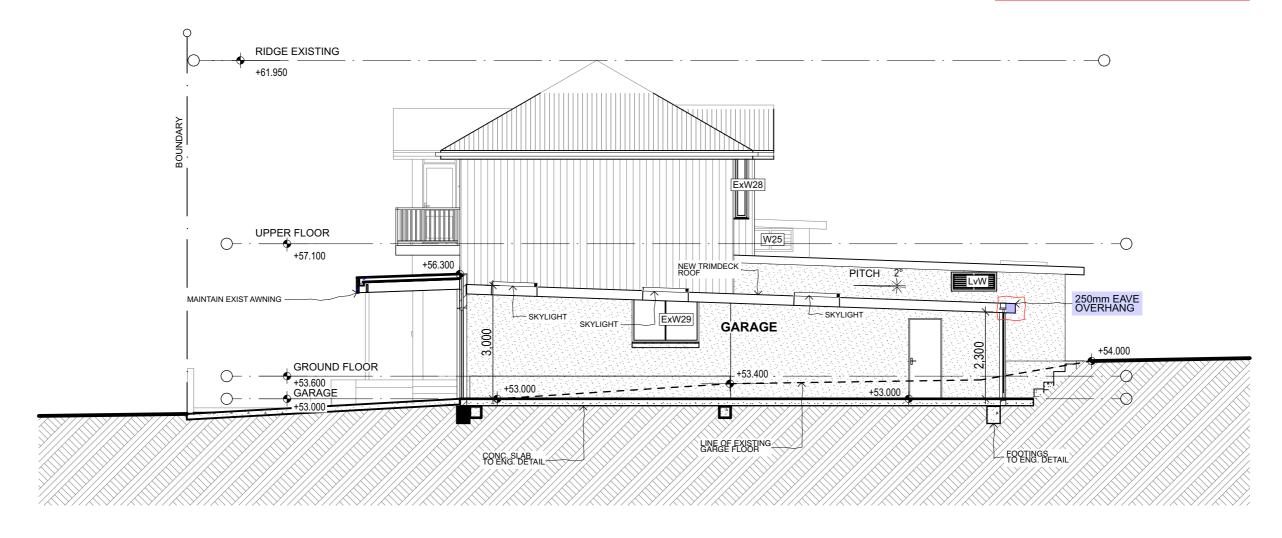
Grant Seghers 0424 428 602 grant.seghers@bigpond.com www.grantseghers.com.au

SAKELLARIS RESIDENCE 3 Summit Avenue DEE WHY NSW 2097 Lot 19 DP 12667 grant**seghers**design 38 Huntly Road Bensville NSW 2251 0424 428 602

## **SECTIONS**

1:100@A3 18/12/2024 PROJECT NO. 1619 Mod-08 B





Section C:C 1:100

NOTES:

ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN BASIX CERTIFICATE No. A307857\_03.

SECTION 4.55 AMENDMENTS SHOWN CLOUDED & BLUE

NOTES

This drawing shall be read in conjunction with all other A DEC 2024 drawings and specifications for the project.

Any discrepancies shall be referred to the building designer for clarification before proceeding with work.

All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.

Figured dimensions to be used rather than scaling.

All building work must be carried out in accordance with the Building. Code of Australia and all relevant Australian Standards.

AMENDMENT
SECTION 4.55 MODIFICATION APPLICATION



Grant Seghers 0424 428 602 grant.seghers@bigpond.com www.grantseghers.com.au

SAKELLARIS RESIDENCE 3 Summit Avenue DEE WHY NSW 2097 Lot 19 DP 12667 grant**seghers**design 38 Huntly Road Bensville NSW 2251 0424 428 602

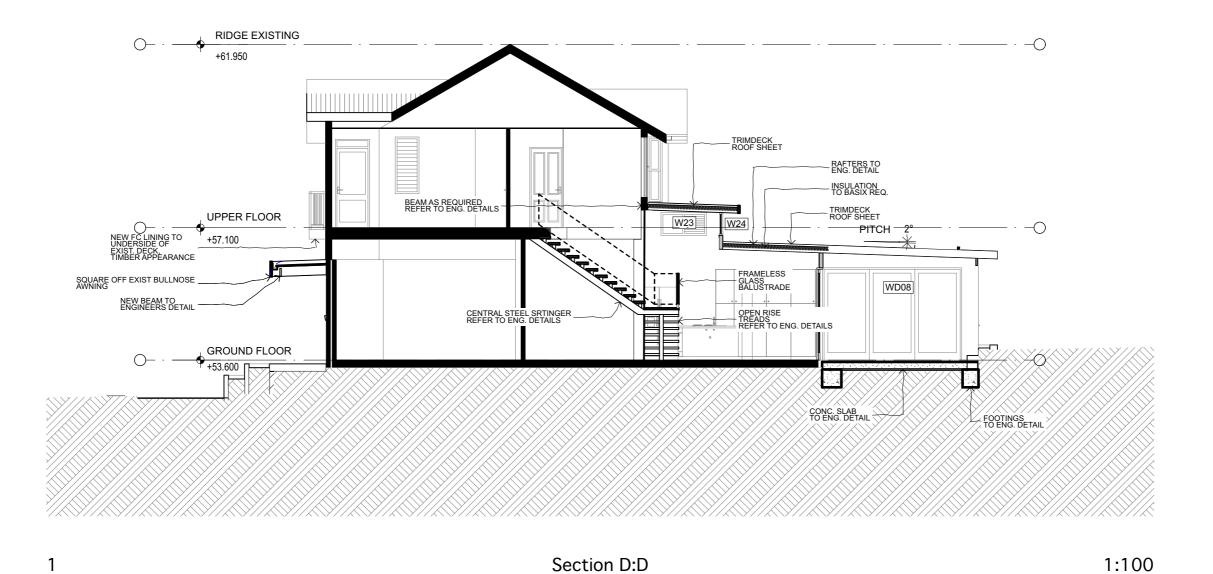
**SECTION C:C** 

1619

1:100@A3 PROJECT NO.

18/12/2024 Mod-09 B





NOTES:

ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN BASIX CERTIFICATE No. A307857\_03.

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for carification before proceeding with work project to commencement of all the project to the project to commencement of the project to the project to



Grant Seghers 0424 428 602 grant.seghers@bigpond.com www.grantseghers.com.au

SAKELLARIS RESIDENCE 3 Summit Avenue DEE WHY NSW 2097 Lot 19 DP 12667 grant**seghers**design 38 Huntly Road Bensville NSW 2251 0424 428 602

**SECTION D:D** 

18/12/2024 PROJECT NO. 1619 Mod-10 B