
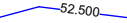


LEGEND

 SEDIMENT CONTROL FENCE (REF DETAIL 2)

 52.500 CONTOUR (AHD)

NOTES

EROSION CONTROL TO CONSIST OF STAKED GEOTECH FABRIC FENCES AND SOCKS.

CONSTRUCTION FENCING AND ACCESS GATES TO FULLY SECURE THE CONSTRUCTION SITE BETWEEN THE EXISTING SIDE BOUNDARY FENCES

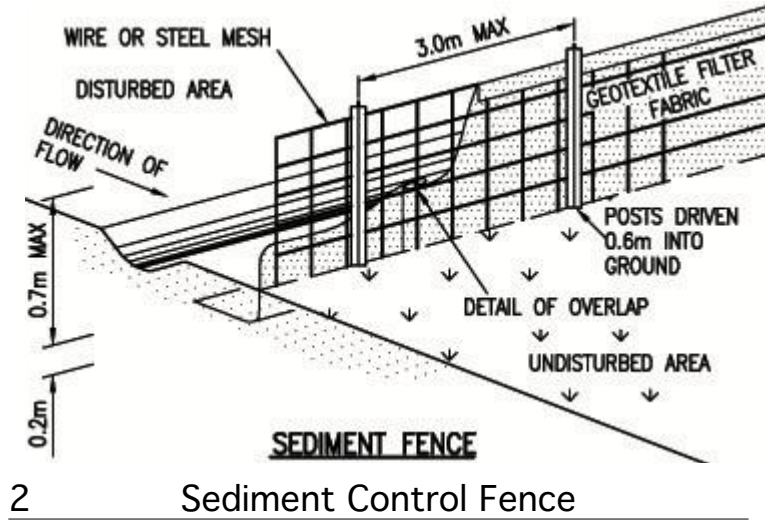
"WARNING CONSTRUCTION SITE- DO NOT ENTER" SIGNAGE TO BE FIXED TO SECURITY FENCING

ALL DOWNPIPES AND STORMWATER TO BE DIRECTED INTO THE EXISTING SUMMIT AVE STORMWATER NETWORK VIA GRAVITY

ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN BASIX CERTIFICATE No. A307857_03.

www.dialbeforeyoudig.com.au

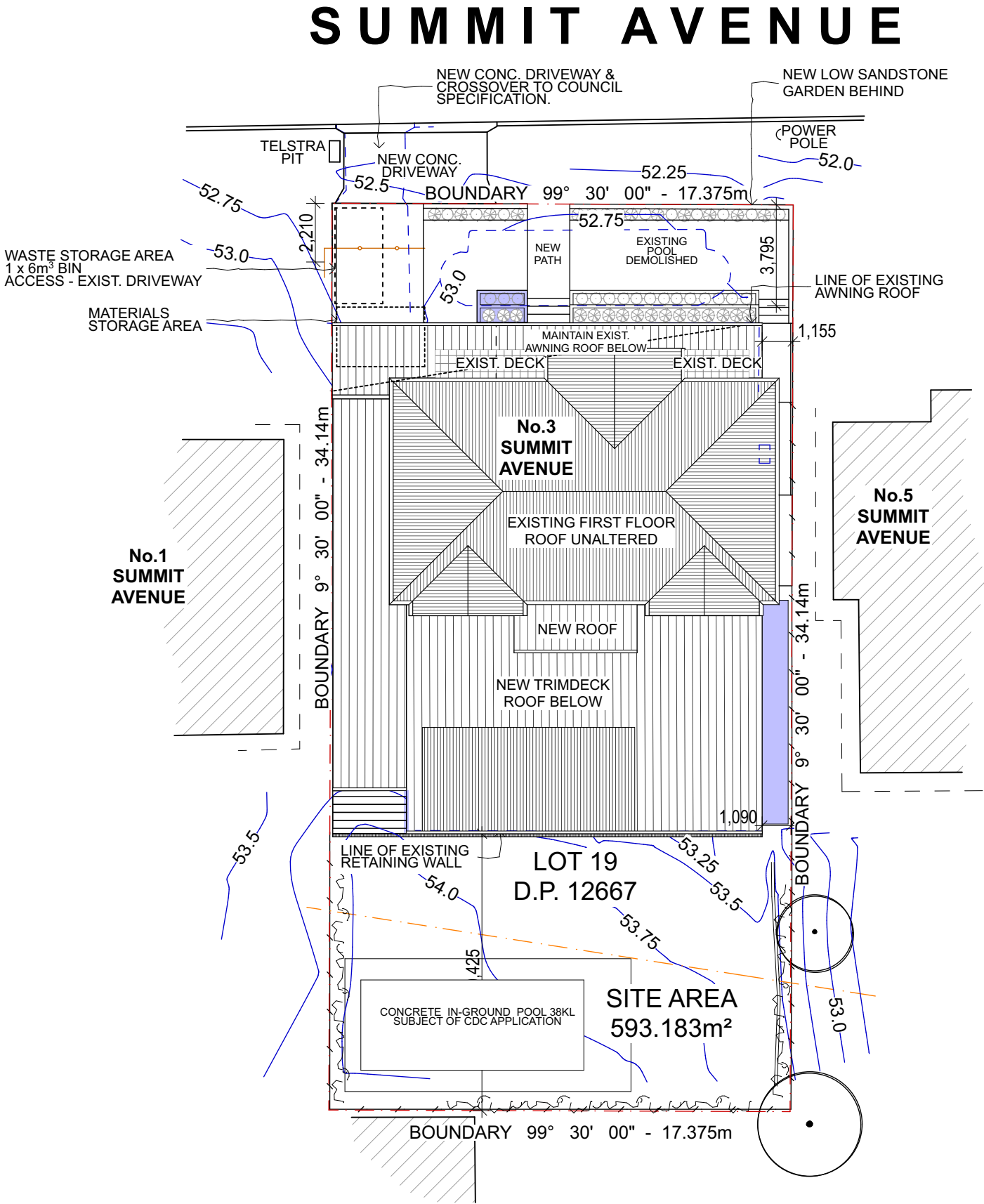
 **DIAL1100**
BEFORE YOU DIG



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2024/0700



NOTES	REV	DATE	AMENDMENT
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	B	DEC 2024	RESPONSE TO COUNCIL RFI - SECTION 4.55 MODIFICATION
CAD Ref: 3 Summit Ave_Sect4.55 Mod 3.pln Grant Seghers Design			

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PROJECT
SAKELLARIS RESIDENCE
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DRAWING TITLE			
SITE PLAN & SITE ANALYSIS PLAN			
SCALE	DRAWN BY	PLOT DATE	
1:200@A3	GS	18/12/2024	
PROJECT NO.	DRAWING NO.	REVISION	
1619	Mod-02	B	



DRAWING TITLE

FIRST FLOOR PLAN

LEGEND

W01 NEW WINDOW
WINDOW NUMBERS
SHOWN CORRESPOND
TO BASIX WINDOWS No's

Ex.W01 NEW WINDOW
IN EXISTING OPENING

Ex.WD01 NEW GLASS DOOR
IN EXISTING OPENING

Ex.W EXISTING WINDOW
UNALTERED

Ex.D EXISTING DOOR
UNALTERED

COLOUR SCHEME LEGEND

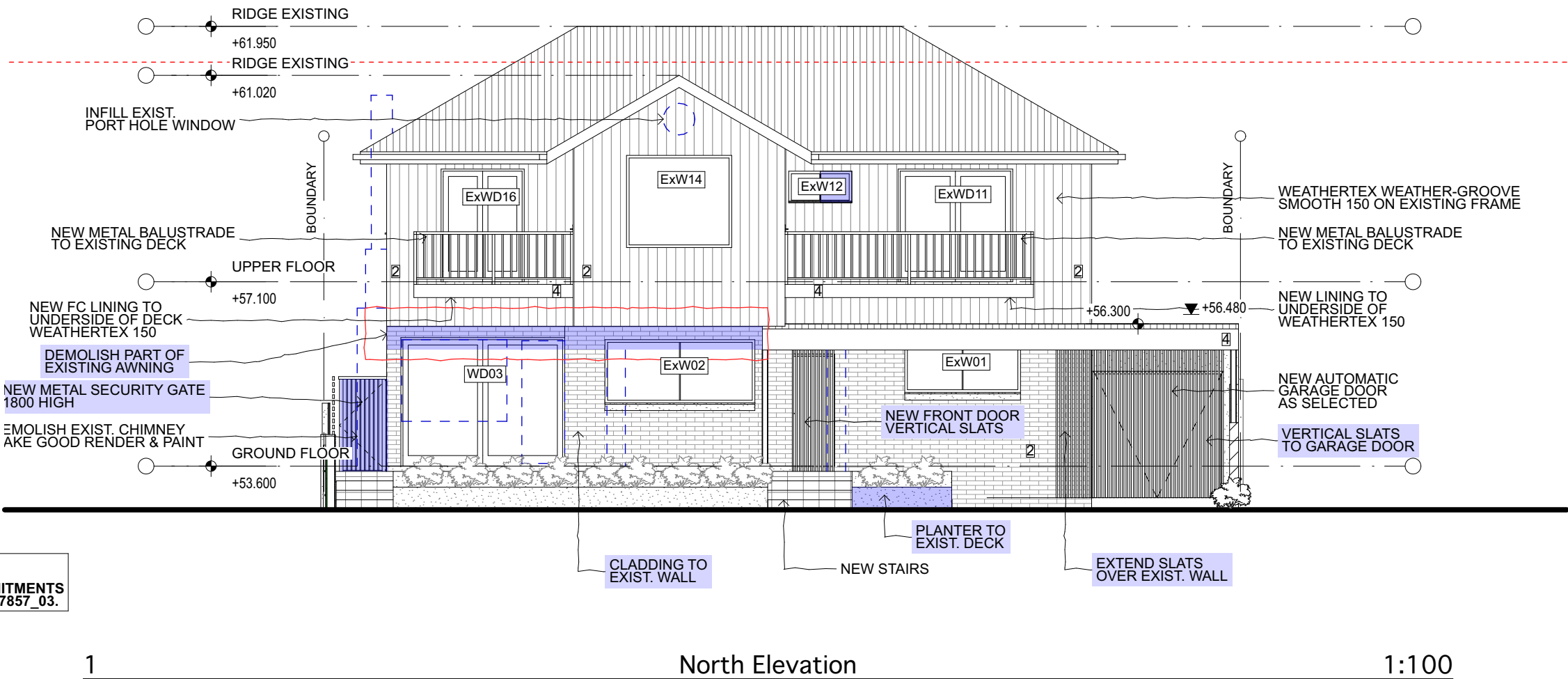
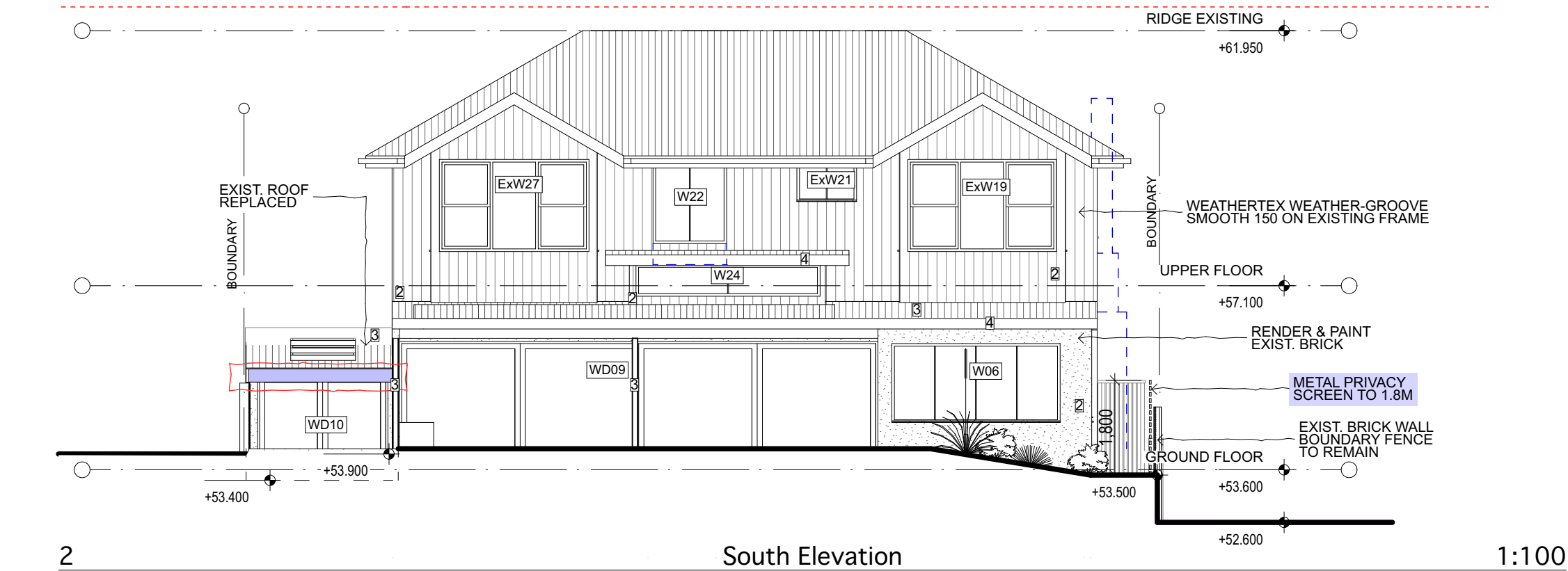
1 DELETED

2 DULUX - NATURAL WHITE - 15W

3 COLORBOND - SHALE GREY - C4

4 DULUX - LINDSEED

WINDOW FRAMES - BLACK



 **northern beaches council**

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MOD2024/0700

SECTION 4.55 AMENDMENTS
SHOWN CLOUDED & BLUE

NOTES:

ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN BASIX CERTIFICATE No. A307857_03.

REV	DATE	AMENDMENT
A	DEC 2024	SECTION 4.55 MODIFICATION APPLICATION
B	DEC 2024	RESPONSE TO COUNCIL RFI - SECTION 4.55 MODIFICATION

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DRAWING TITLE	SCALE	DRAWN BY	PLOT DATE
ELEVATIONS	1:100@A3	GS	18/12/2024
PROJECT NO.	1619	DRAWING NO.	Mod-05
		REVISION	B

LEGEND

PROPOSED NEW WORK

W01

NEW WINDOW
WINDOW NUMBERS
SHOWN CORRESPOND
TO BASIX WINDOWS No's

Ex.W01

NEW WINDOW
IN EXISTING OPENING

Ex.WD01

NEW GLASS DOOR
IN EXISTING OPENING

Ex.W

EXISTING WINDOW
UNALTERED

Ex.D

EXISTING DOOR
UNALTERED

COLOUR SCHEME LEGEND

1 DELETED


2 DULUX - NATURAL WHITE - 15W

3 COLORBOND - SHALE GREY - C4

4 DULUX - LINDSEED

WINDOW FRAMES - BLACK

NOTES:
ALL CONSTRUCTION TO MEET THE COMMITMENTS
OUTLINED IN BASIX CERTIFICATE No. A307857_03.

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Grant Seghers Design			

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PROJECT	DRAWING TITLE	SCALE	DRAWN BY	PLOT DATE
SAKELLARIS RESIDENCE 3 Summit Avenue DEE WHY NSW 2097 Lot 19 DP 12667 grantsegthersdesign 38 Huntly Road Bensville NSW 2251 0424 428 602	ELEVATIONS	1:100@A3	GS	18/12/2024
		PROJECT NO.	DRAWING NO.	REVISION
		1619	Mod-06	B

LEGEND

W01

NEW WINDOW
WINDOW NUMBERS
SHOWN CORRESPOND
TO BASIX WINDOWS No's

Ex.W01

NEW WINDOW
IN EXISTING OPENING

Ex.WD01

NEW GLASS DOOR
IN EXISTING OPENING

Ex.W

EXISTING WINDOW
UNALTERED

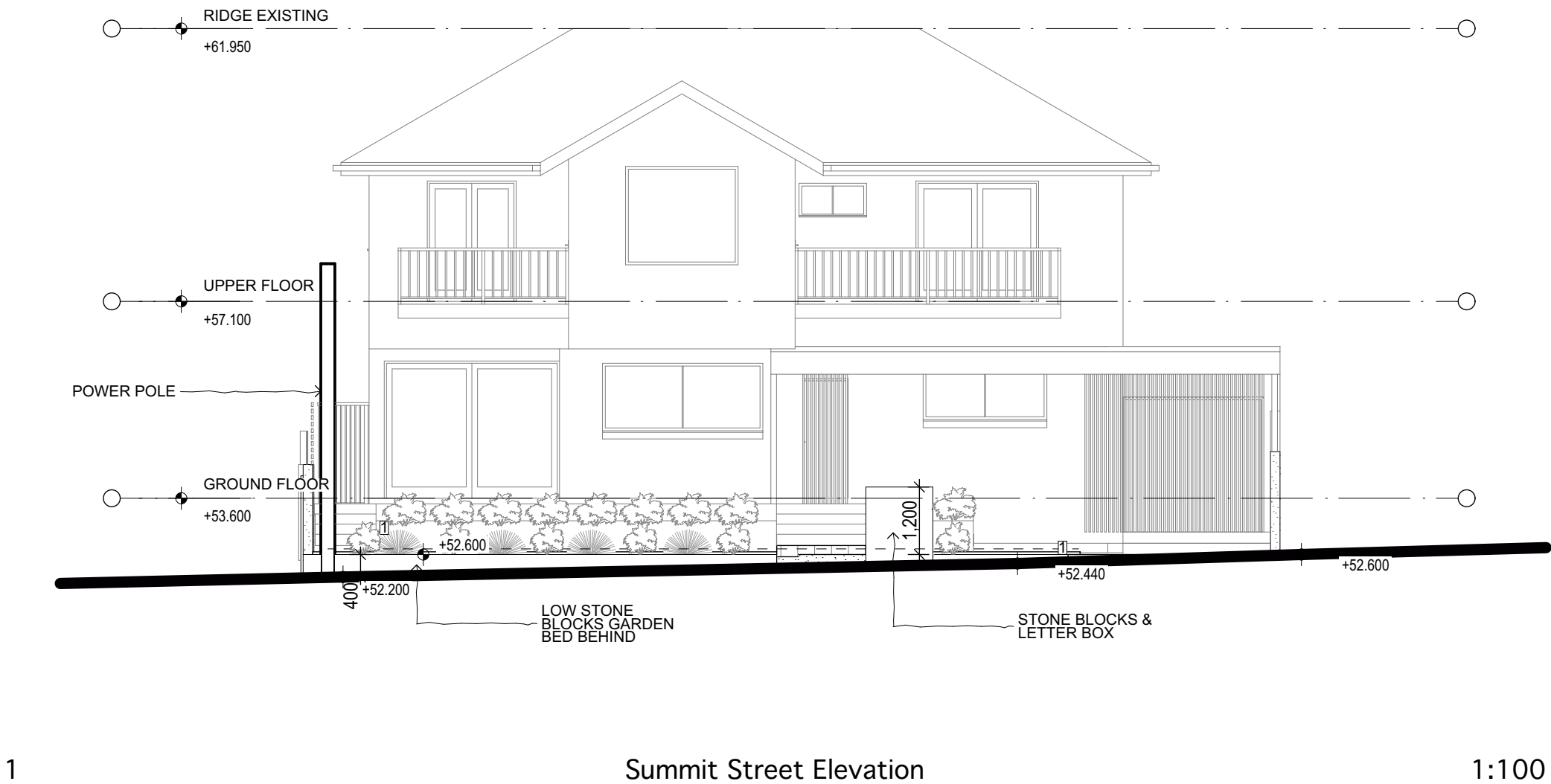
Ex.D

EXISTING DOOR
UNALTERED

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MOD2024/0700

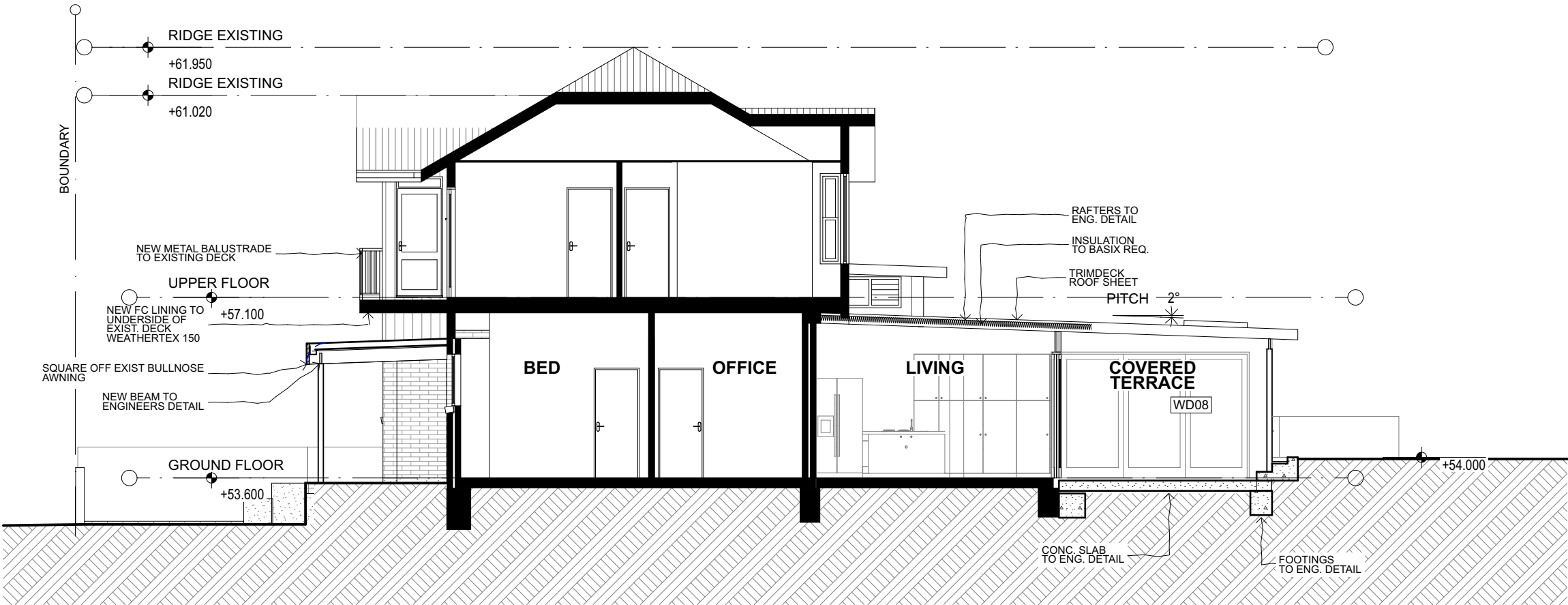
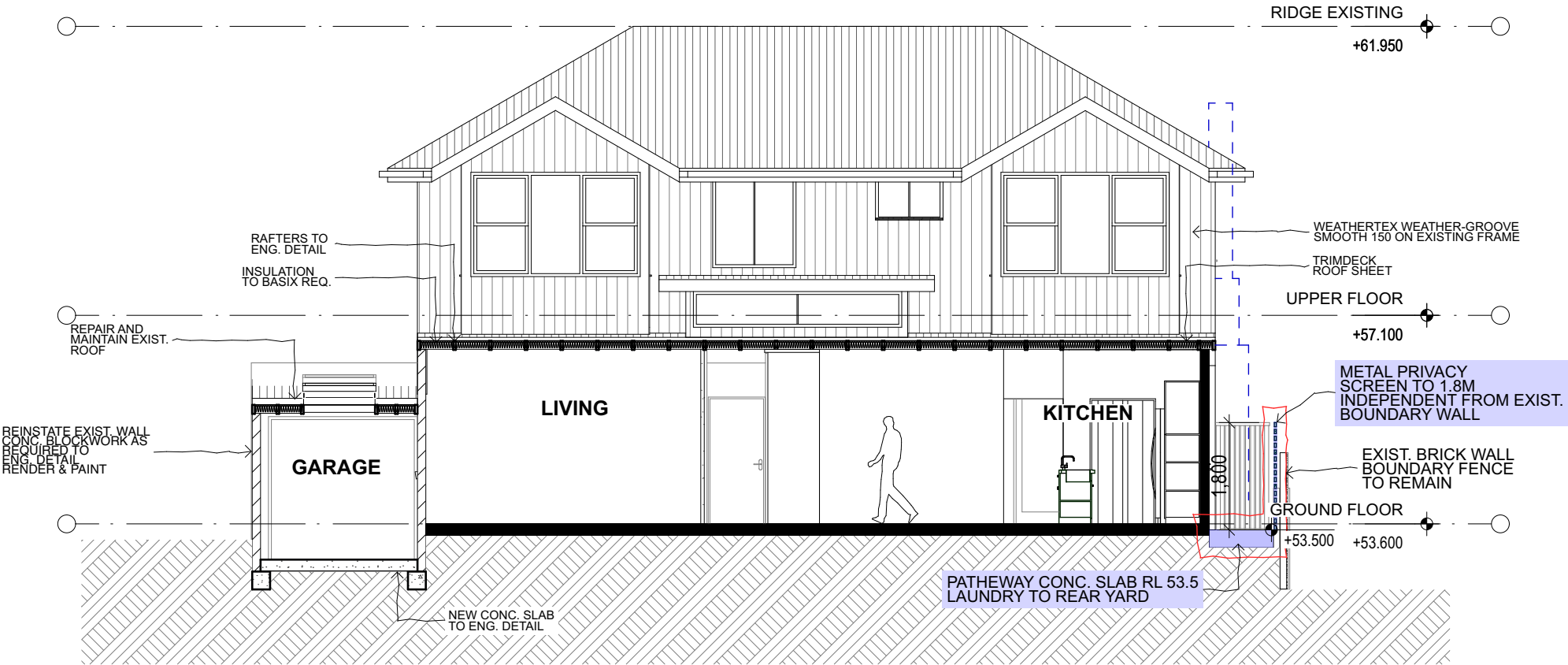


NOTES:
ALL CONSTRUCTION TO MEET THE COMMITMENTS
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MOD2024/0700



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SHOWN CLOUDED & BLUE

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REV DATE AMENDMENT
A DEC 2024 SECTION 4.55 MODIFICATION APPLICATION
B DEC 2024 RESPONSE TO COUNCIL RFI - SECTION 4.55 MODIFICATION

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DRAWING TITLE
SECTIONS

SCALE
1:100@A3

PROJECT NO.
1619

DRAWN BY
GS

PLOT DATE
18/12/2024

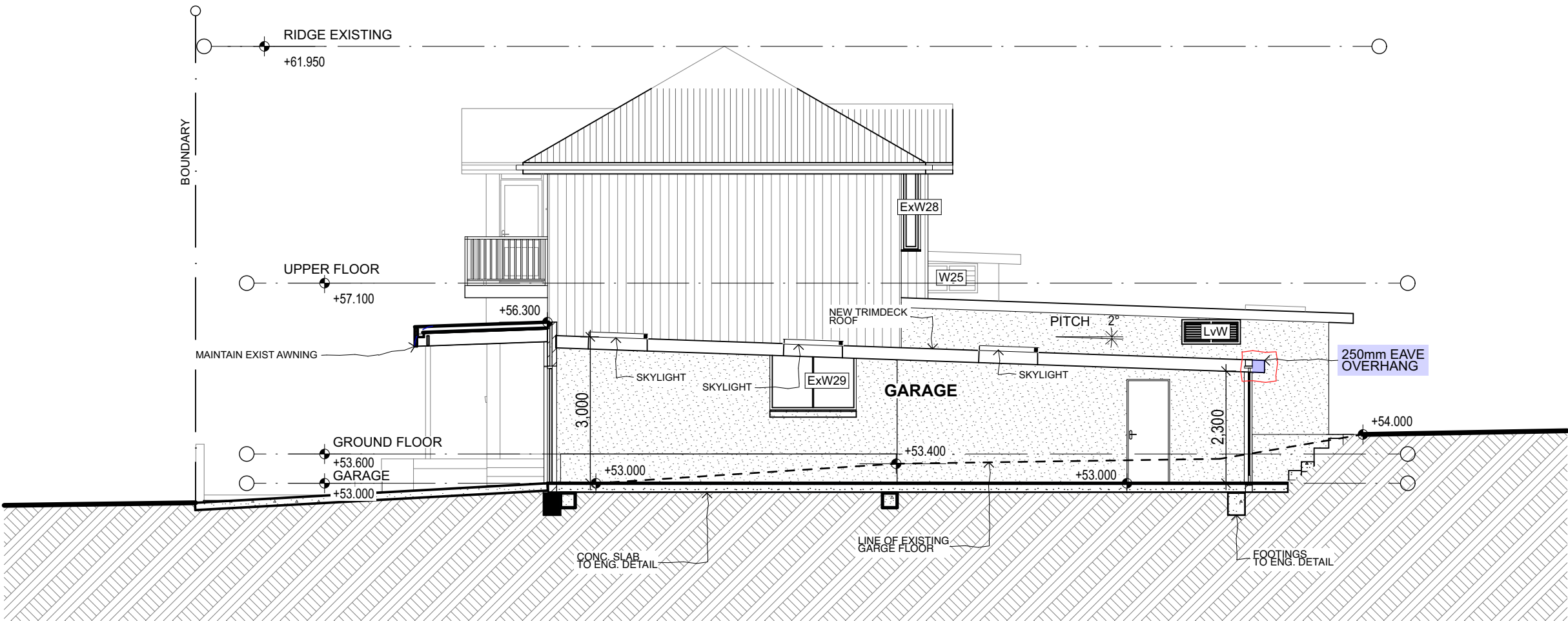
REVISION
Mod-08 B



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CONSENT

MOD2024/0700



Section C:C

1:100

NOTES:
ALL CONSTRUCTION TO MEET THE COMMITMENTS
OUTLINED IN BASIX CERTIFICATE No. A307857_03.

SECTION 4.55 AMENDMENTS
SHOWN CLOUDED & BLUE

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DRAWING TITLE
SECTION C:C

SCALE
1:100@A3
PROJECT NO.
1619

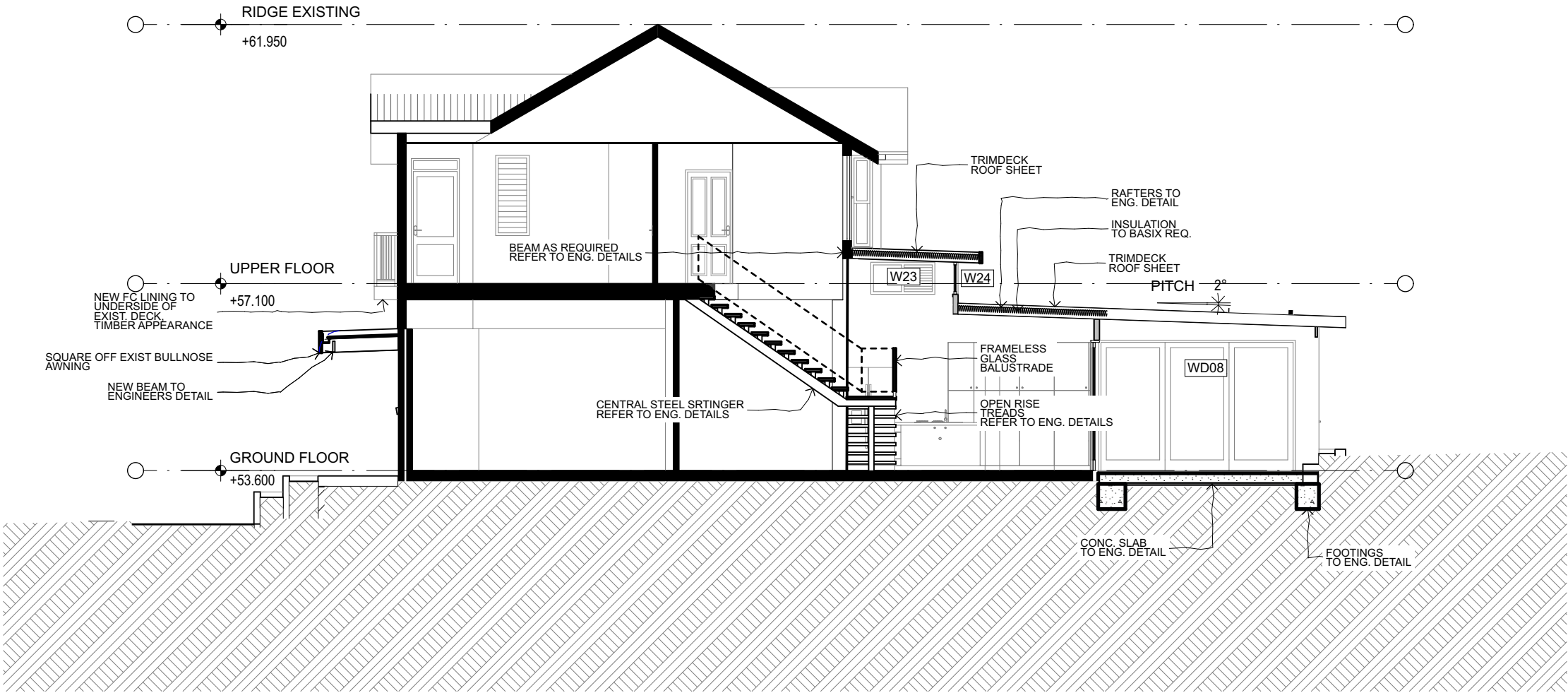
DRAWN BY
GS
PLOT DATE
18/12/2024
DRAWING NO.
Mod-09
REVISION
B



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CONSENT

MOD2024/0700



1

Section D:D

1:100

NOTES:
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OUTLINED IN BASIX CERTIFICATE No. A307857_03.

SECTION 4.55 AMENDMENTS
SHOWN CLOUDED & BLUE

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DRAWING TITLE
SECTION D:D

SCALE	DRAWN BY	PLOT DATE
	GS	18/12/2024
PROJECT NO. 1619	DRAWING NO. Mod-10	REVISION B