

28 Dobroyd Road, Balgowlah Heights

Alterations & Additions to Existing House

DRAWING SCHEDULE

DA00	Title Sheet
DA01	Site Plan / Site Analysis / Roof Plan 1:200
DA02	Existing Lower Ground Floor Plan / Demolition Plan 1:100
DA03	Existing Ground Floor Plan / Demolition Plan 1:100
DA04	Existing First Floor Plan
DA05	New Lower Ground Floor Plan 1:100
DA06	New Ground Floor Plan 1:100
DA07	South Elevation 1:100
DA08	East Elevation 1:100
DA09	West Elevation 1:100
DA10	North Elevation 1:100
DA11	Section 1:100
DA12	Area Calculations
DA13	Stormwater Concept Plan 1:200
DA14	Erosion & Sediment Control Plan 1:200
DA15	BASIX
DA16	Shadow Diagram
DA17	Shadow Diagram
DA18	Shadow Diagram
DA19	External Materials & Finishes

28 Dobroyd Road, Balgowlah Heights



LOCATION PLAN (NTS)
(Source: Google Maps)

Legend:

Issue:	Date:	For:
A	21/10/22	Client Review
B	30/1/23	Client Review
C	28/3/23	Development Application

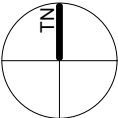
Project:
Alterations & Additions
Client:
Kirsty + Pascal Gautheron
Address:
28 Dobroyd Road, Balgowlah Heights

Drawing Title:
Title Sheet & Location Plan
Stage:
Development Application
Scale:
1:50 @ A1
1:100 @ A3

Drawn:
TW

Chkd:
JE

North:



Drawing No:
DA00

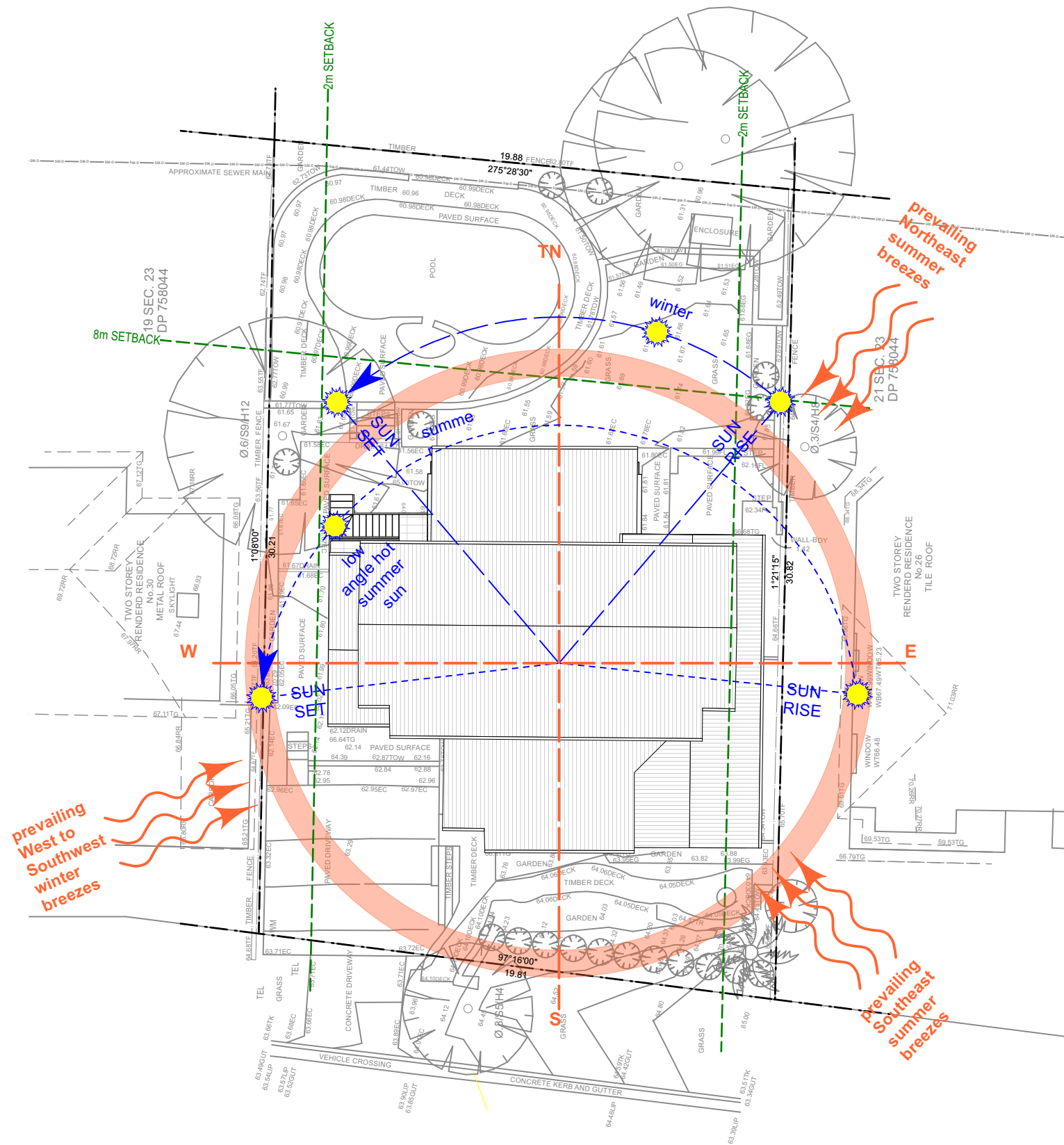
Rev:
C

CADENCE & CO Pty Ltd
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E info@cadenceandco.com.au
ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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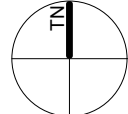


Legend:

Issue: A B C
Date: 21/10/22 30/1/23 28/3/23
For: Client Review Client Review Development Application

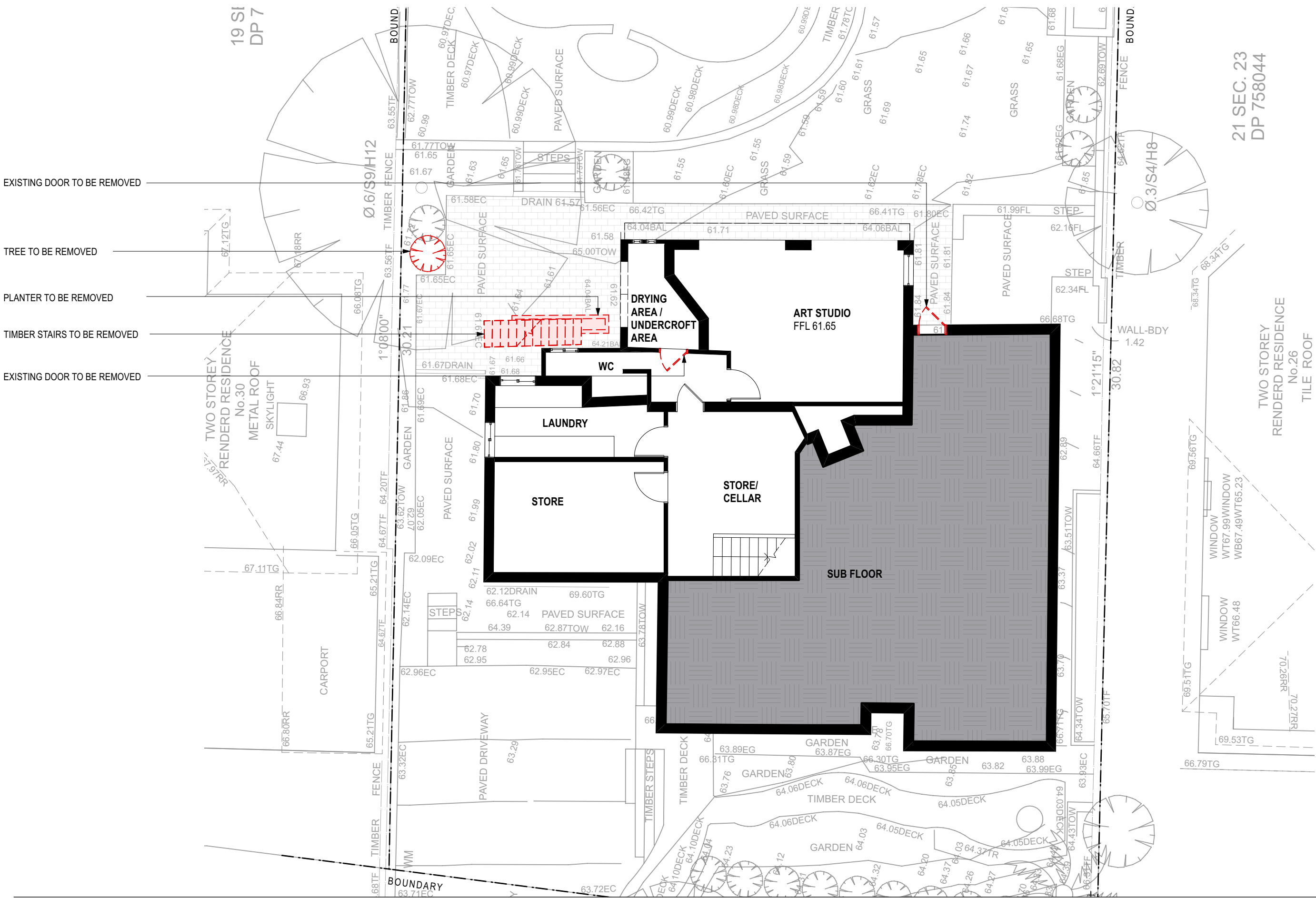
Project: Alterations & Additions
Client: Kirsty + Pascal Gautheron
Address: 28 Dobroyd Road, Balgowlah Heights

Drawing Title: Site Plan / Site Analysis / Roof Plan
Stage: Development Application
Scale: 1:100 @ A1 1:200 @ A3
Drawn: TW
Chkd: JE

North: 
Drawing No: DA01
Rev: C

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- EXISTING DOOR TO BE REMOVED
- TREE TO BE REMOVED
- PLANTER TO BE REMOVED
- TIMBER STAIRS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

Legend:

- Existing
- Demolition

Issue:

A 21/10/22 Client Review

B 30/1/23 Client Review

C 28/3/23 Development Application

Project:

Alterations & Additions

Client:

Kirsty + Pascal Gautheron

Address:

28 Dobroyd Road, Balgowlah Heights

Drawing Title:

Existing Lower Ground Floor Plan / Demolition Plan

Stage:

Development Application

Scale:

1:50 @ A1

1:100 @ A3

Drawn:

TW

Chkd:

JE

North:

Drawing No:

DA02

Rev:

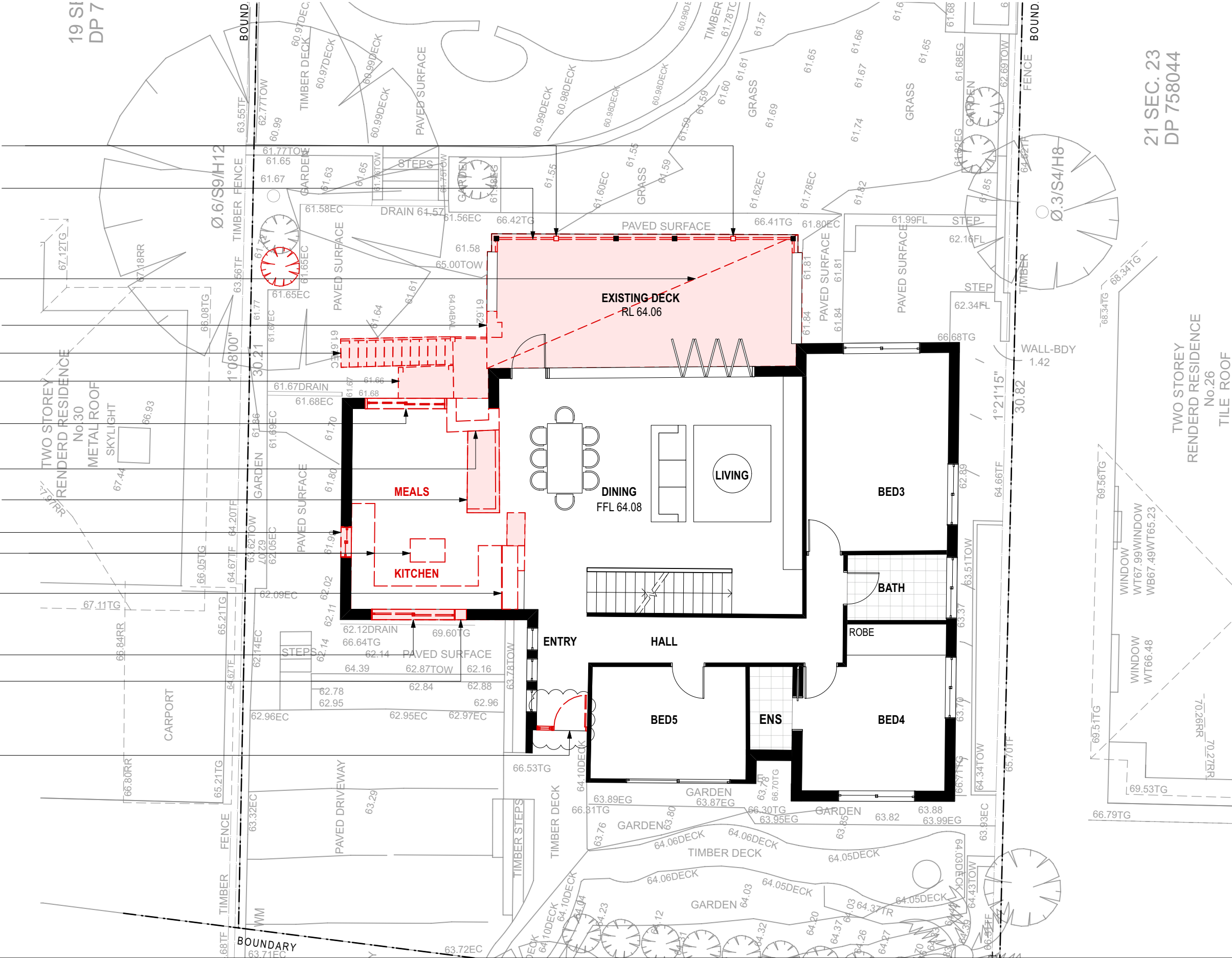
C

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- POSTS TO BE REMOVED
- WIRE BALUSTRADES AND TO BE REMOVED
- REMOVE TILES, RETAIN STRUCTURE
- PART OF LOW WALL TO BE REMOVED
- TIMBER STAIRS TO BE REMOVED
- TERRACE TO BE REMOVED
- SLIDING DOORS TO BE REMOVED
- EXTERNAL WALL TO BE REMOVED
- CABINETS AND INTERNAL WALL TO BE REMOVED
- WINDOW TO BE REMOVED
- KITCHEN BENCHES TO BE REMOVED
- INTERNAL STAIRS TO BE REMOVED
- WINDOW TO BE REMOVED
- EXTERNAL WALL TO BE REMOVED
- FRONT DOOR TO BE REMOVED



Legend:

Existing

Demolition

Issue:

A

B

C

Date:

21/10/22

30/1/23

28/3/23

For:

Client Review

Client Review

Development Application

Project:

Alterations & Additions

Client:

Kirsty + Pascal Gautheron

Address:

28 Dobroyd Road, Balgowlah Heights

Drawing Title:

Existing Ground Floor Plan / Demolition Plan

Stage:

Development Application

Scale:

1:50 @ A1

1:100 @ A3

Drawn:

TW

Chkd:

JE

North:

Drawing No:

DA03

Rev:

C

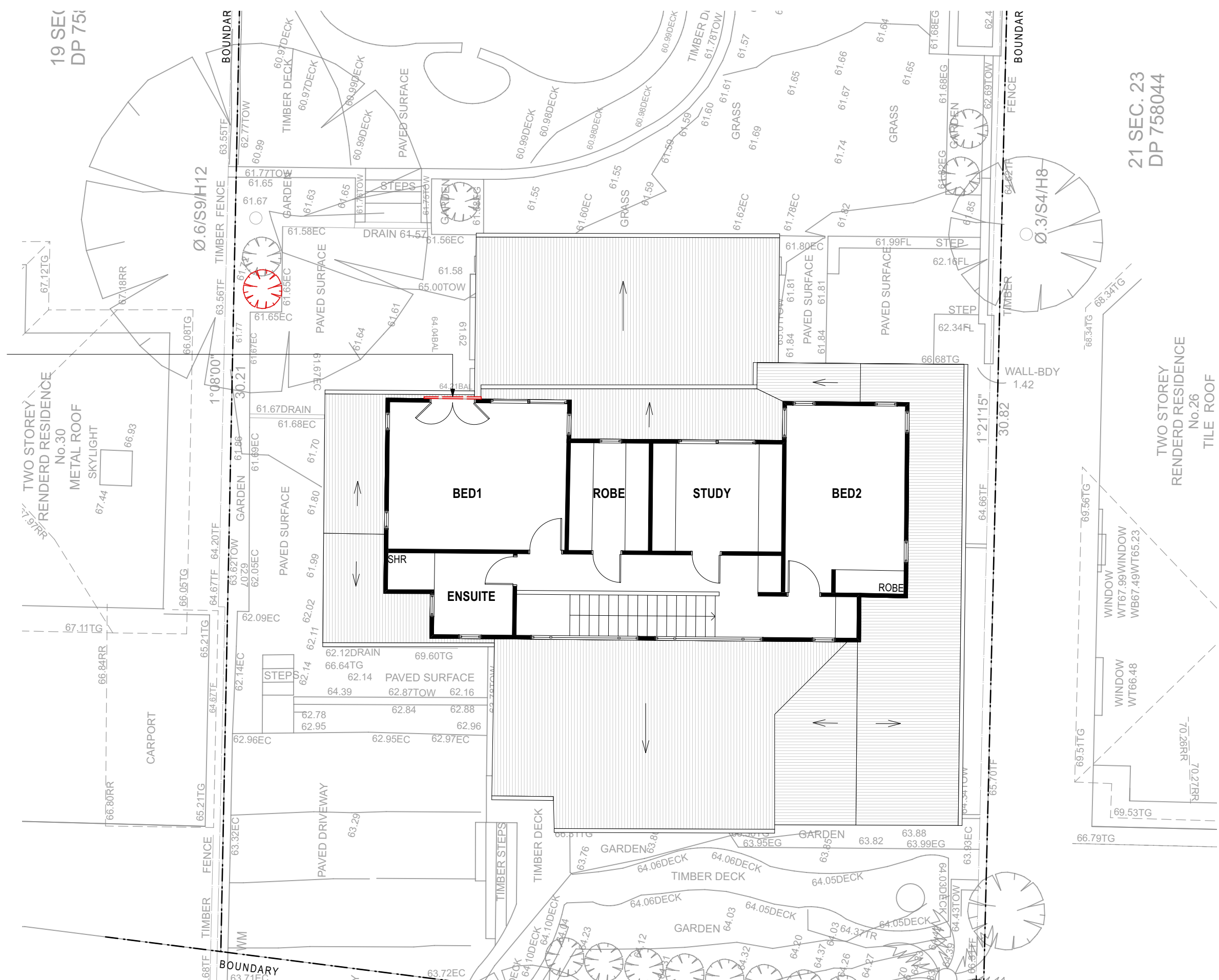
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EXISTING BALUSTRADE TO BE REMOVED



Legend:

Existing

Demolition

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Issue:

A
B
C

Date:

21/10/22
30/1/23
28/3/23

For:

Client Review
Client Review
Development Application

Project:

Alterations & Additions

Client:

Kirsty + Pascal Gautheron

Address:

28 Dobroyd Road, Balgowlah Heights

Drawing Title:

Existing First Floor Plan

Stage:

Development Application

Scale:

1:50 @ A1
1:100 @ A3

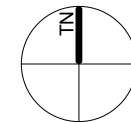
Drawn:

TW

Chkd:

JE

North:



Drawing No:

DA04

Rev:

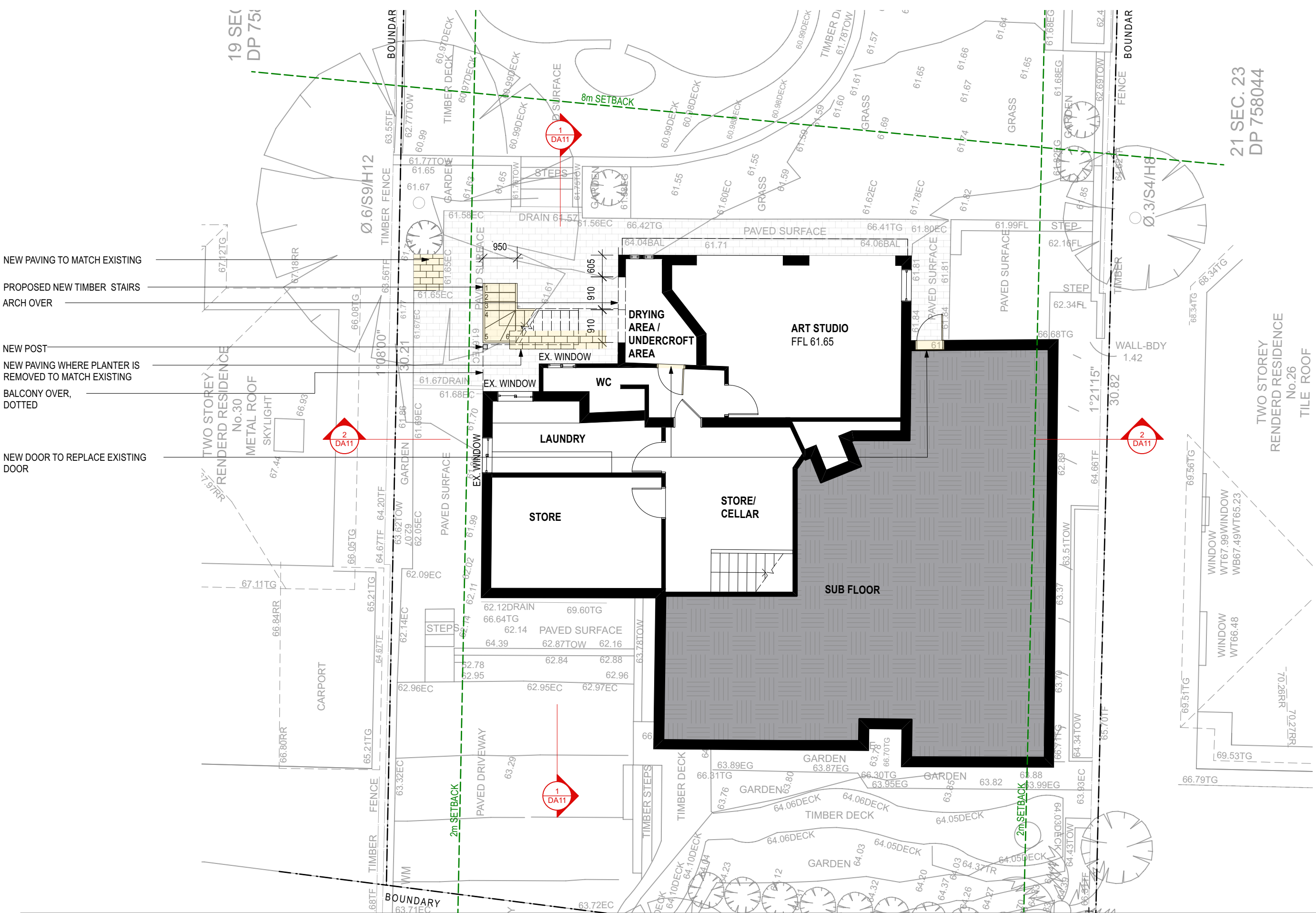
C

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NEW PAVING TO MATCH EXISTING

PROPOSED NEW TIMBER STAIRS

ARCH OVER

NEW POST

NEW PAVING WHERE PLANTER IS REMOVED TO MATCH EXISTING

BALCONY OVER, DOTTED

NEW DOOR TO REPLACE EXISTING DOOR

Legend:

Existing

Proposed New Works

Proposed

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Issue: A 21/10/22 Client Review
B 30/1/23 Client Review
C 28/3/23 Development Application
D 24/4/2023 Revised DA Issue

Project: Alterations & Additions

Client: Kirsty + Pascal Gautheron

Address: 28 Dobroyd Road, Balgowlah Heights

Drawing Title: New Lower Ground Floor Plan

Stage: Development Application

Scale: 1:50 @ A1
1:100 @ A3

Drawn: TW
Chkd: JE

North:

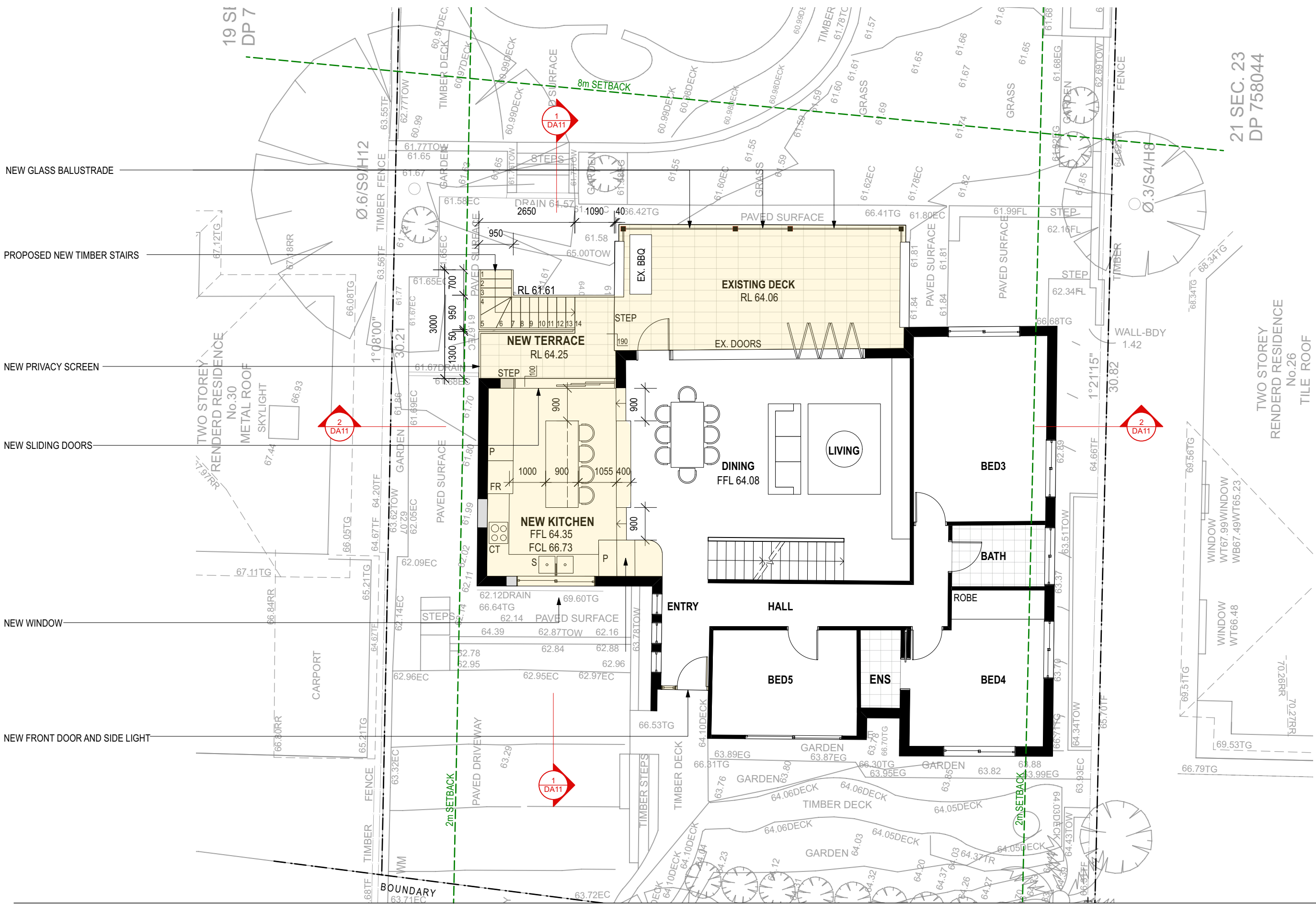
Drawing No: DA05
Rev: D

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NEW GLASS BALUSTRADE

PROPOSED NEW TIMBER STAIRS

NEW PRIVACY SCREEN

NEW SLIDING DOORS

NEW WINDOW

NEW FRONT DOOR AND SIDE LIGHT

21 SEC. 23
DP 758044

TWO STOREY
RENDERED RESIDENCE
No.26
TILE ROOF

Legend:

Existing

Proposed New Works

Proposed

Issue:	Date:	For:
A	21/10/22	Client Review
B	30/1/23	Client Review
C	28/3/23	Development Application
D	24/4/2023	Revised DA Issue

Project:
Alterations & Additions

Client:
Kirsty + Pascal Gautheron

Address:
28 Dobroyd Road, Balgowlah Heights

Drawing Title:
New Ground Floor Plan

Stage:
Development Application

Scale:
1:50 @ A1
1:100 @ A3

Drawn:
TW

Chkd:
JE

North:

Drawing No: **DA06**

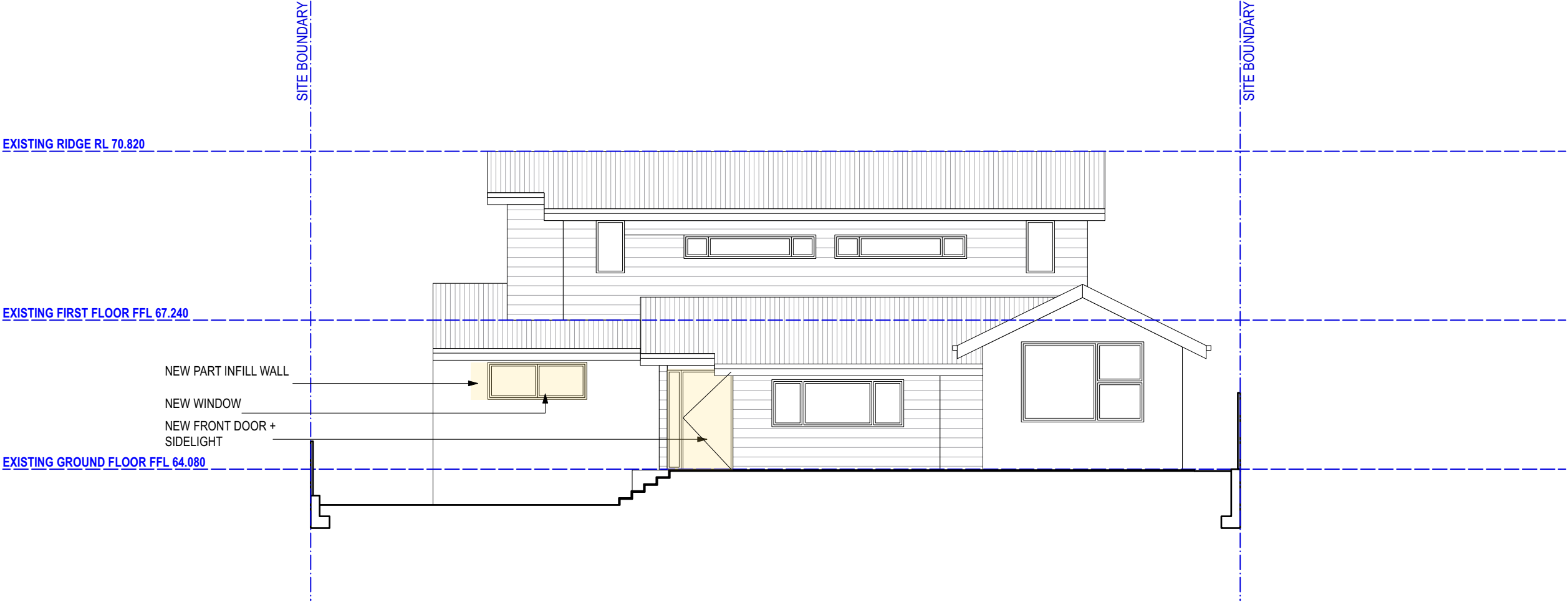
Rev: **D**

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Legend:

Existing

Proposed

Proposed New Works

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Issue:	Date:	For:
A	21/10/22	Client Review
B	30/1/23	Client Review
C	28/3/23	Development Application

Project:
Alterations & Additions

Client:
Kirsty + Pascal Gautheron

Address:
28 Dobroyd Road, Balgowlah Heights

Drawing Title:
South Elevation

Stage:
Development Application

Scale:
1:50 @ A1
1:100 @ A3

Drawn:
TW

Chkd:
JE

North:

Drawing No: **DA07**

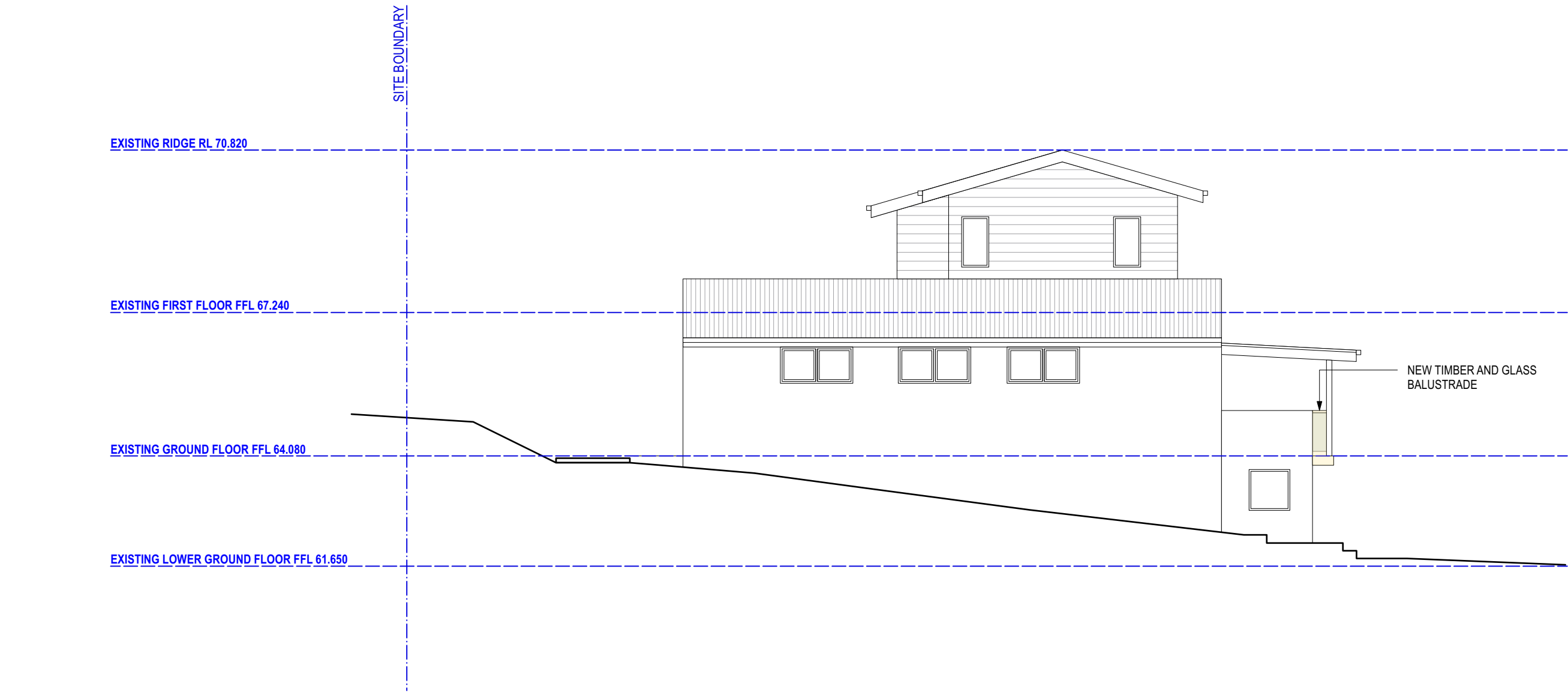
Rev: **C**

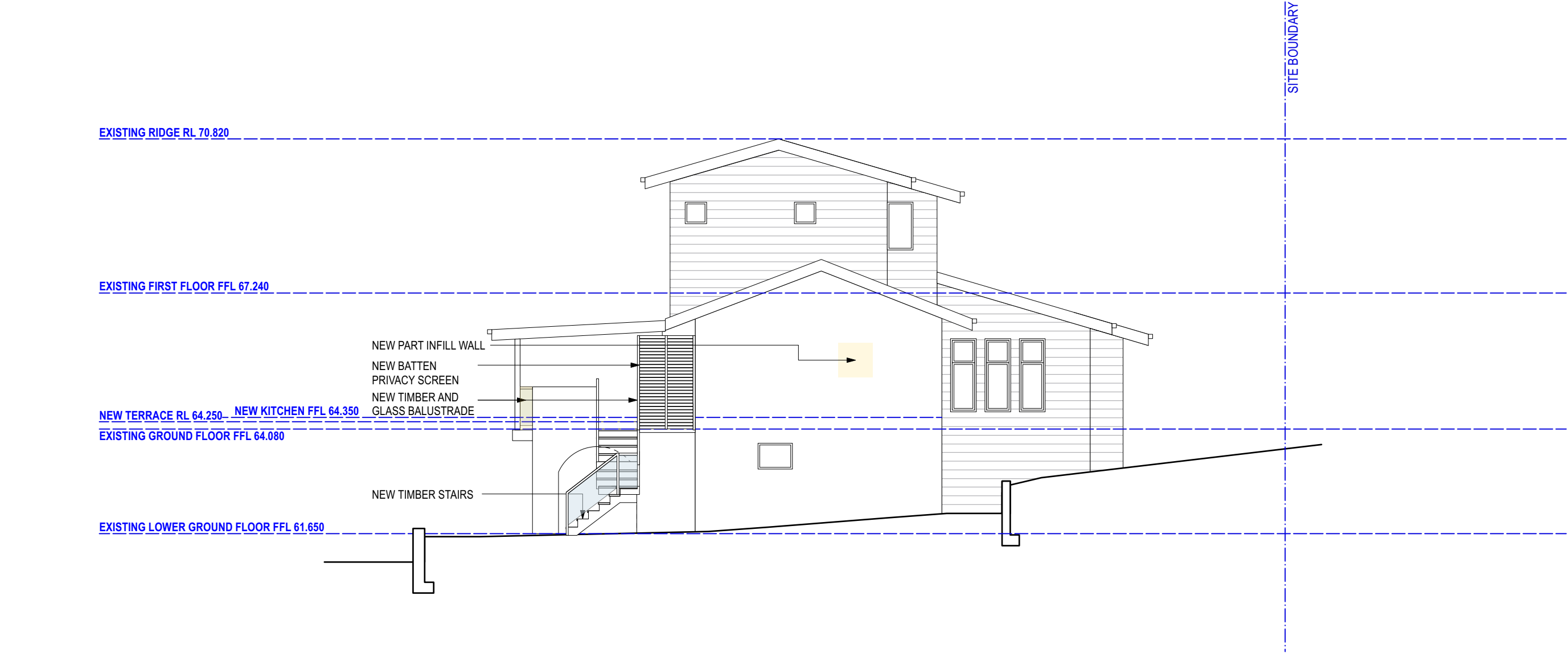
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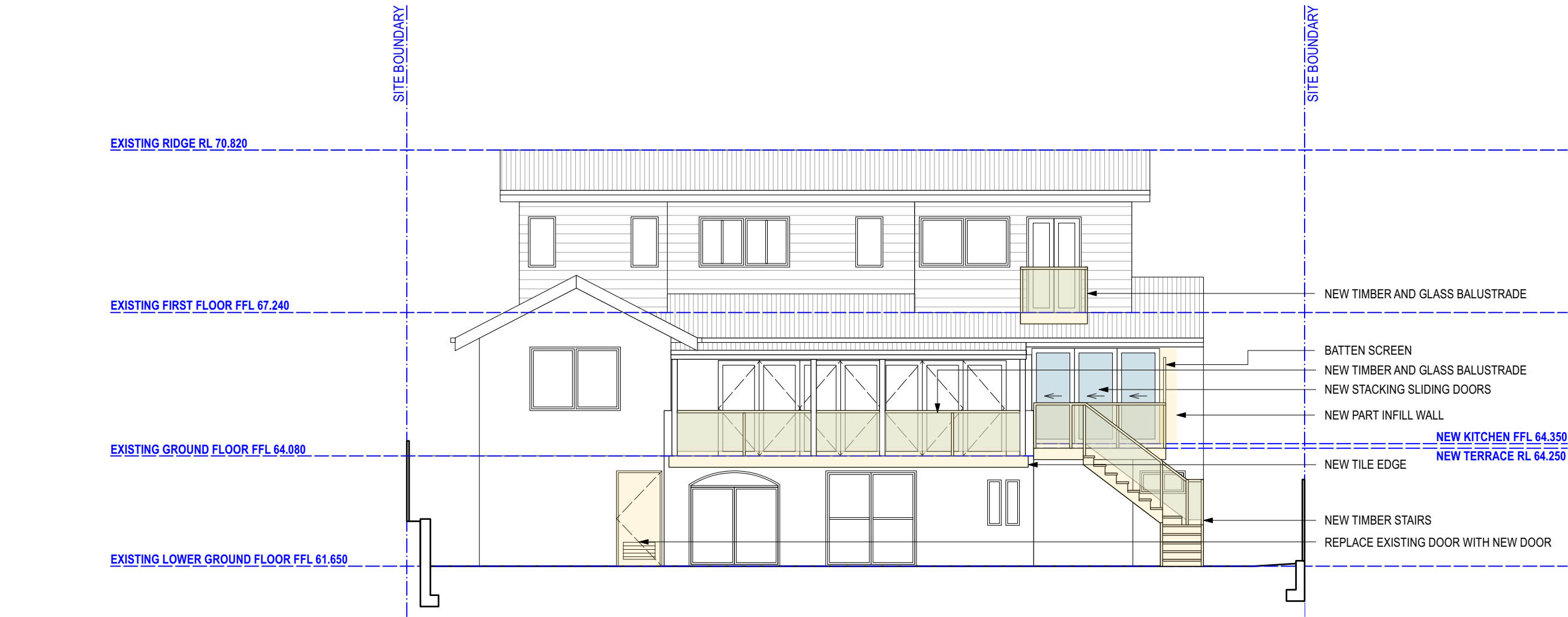
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EXISTING RIDGE RL 70.820

EXISTING FIRST FLOOR FFL 67.240

NEW TERRACE RL 64.250 NEW KITCHEN FFL 64.350

EXISTING GROUND FLOOR FFL 64.080

EXISTING LOWER GROUND FLOOR FFL 61.650

1 SECTION A
SCALE 1:100 @ A3

EXISTING RIDGE RL 70.820

EXISTING FIRST FLOOR FFL 67.240

NEW KITCHEN FFL 64.350

EXISTING GROUND FLOOR FFL 64.080

EXISTING LOWER GROUND FLOOR FFL 61.650

2 SECTION B
SCALE 1:100 @ A3

Legend:

Existing

Proposed New Works

Proposed

Issue: A
B
C
D

Date: 21/10/22
30/1/23
28/3/23
24/4/2023

For: Client Review
Client Review
Development Application
Revised DA Issue

Project: Alterations & Additions

Client: Kirsty + Pascal Gautheron

Address: 28 Dobroyd Road, Balgowlah Heights

Drawing Title: Section

Stage: Development Application

Scale: 1:50 @ A1
1:100 @ A3

Drawn: TW

Chkd: JE

North:

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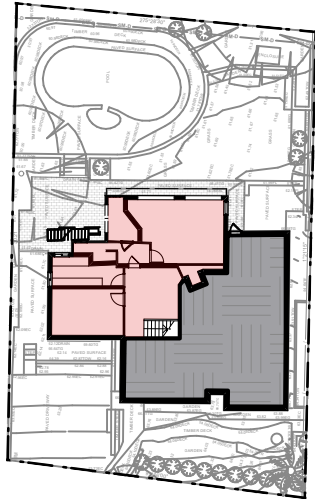


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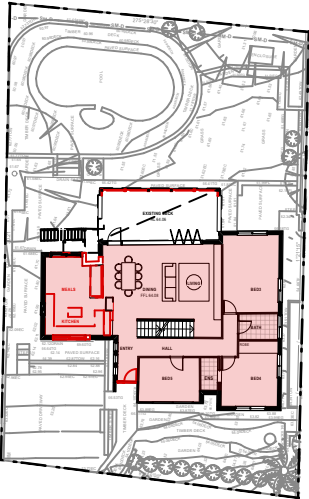
AREA CALCULATIONS
COMPLIANCE TABLE (m2)

	EXISTING	PROPOSED	CONTROL	COMPLIANCE
SITE AREA	602.9m2	602.9m2	N/A	N/A
TOTAL GFA	273.4m2	274.2m2	N/A	N/A
FSR	0.45 :1	0.45 :1	0.45:1	YES
TOTAL OPEN SPACE	402.7m2	394.0m2	min 55% of site area min 331.6m2	YES
SOFT LANDSCAPED AREA (total)	177.1m2	177.1m2	min 35% of total open space No changes	YES
SITE COVERAGE	149.6m2	150.1m2	max 33% of site area max 199.0m2	YES
IMPERVIOUS AREA	425.9m2	425.9m2	No changes	YES

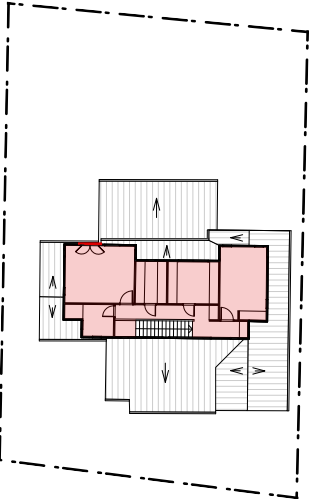
EXISTING GFA - LOWER GROUND FLOOR



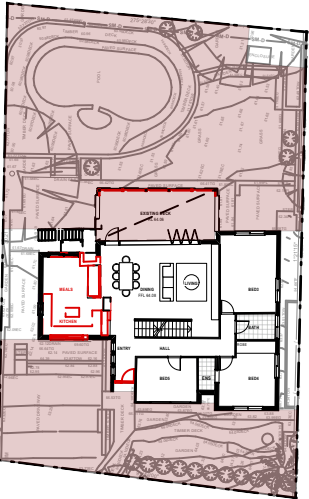
EXISTING GFA - GROUND FLOOR



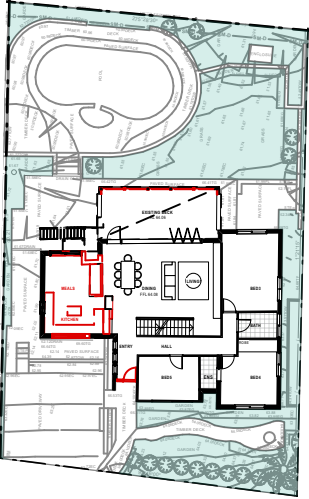
EXISTING GFA - FIRST FLOOR



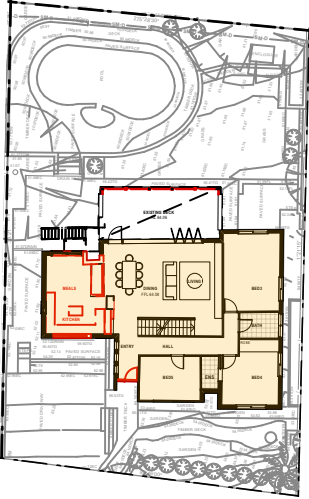
EXISTING TOTAL OPEN SPACE



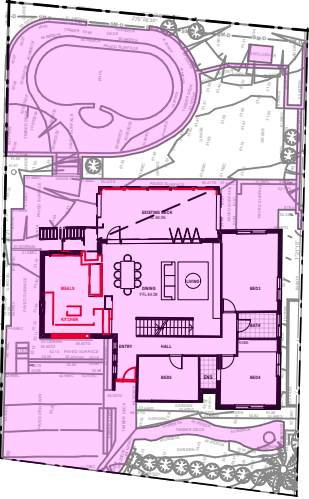
EXISTING LANDSCAPE AREA



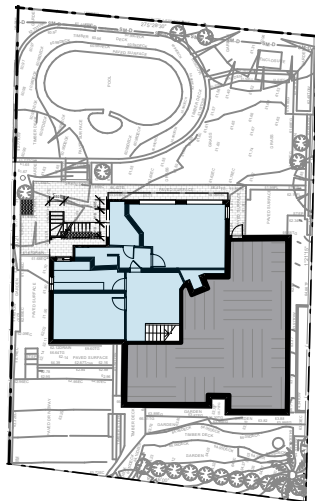
EXISTING SITE COVERAGE



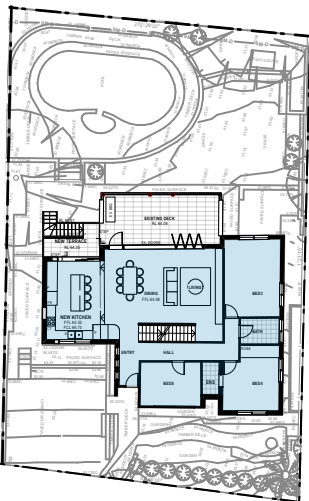
EXISTING IMPERVIOUS AREA



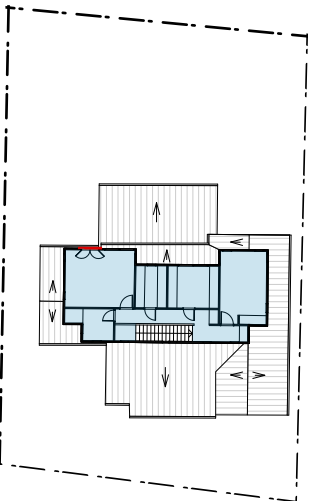
PROPOSED GFA - LOWER GROUND FLOOR



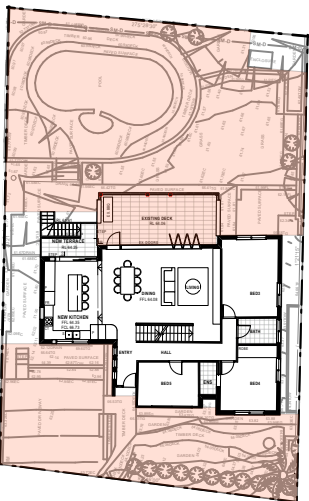
PROPOSED GFA - GROUND FLOOR



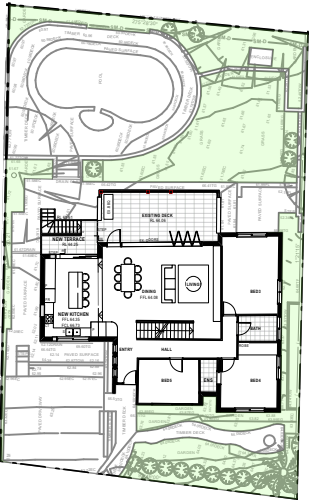
PROPOSED GFA - FIRST FLOOR



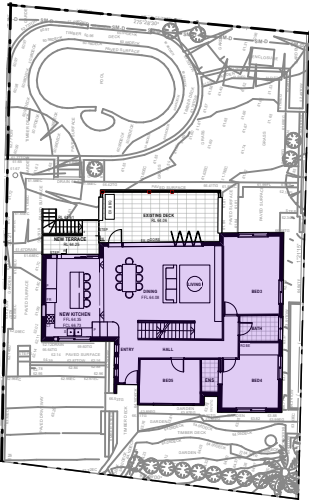
PROPOSED TOTAL OPEN SPACE



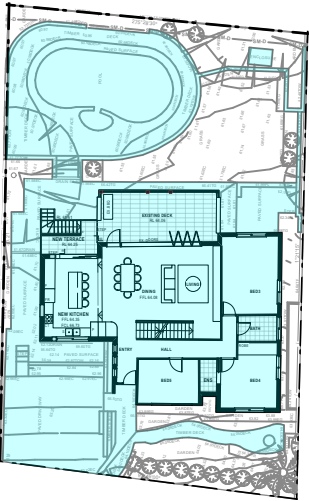
PROPOSED LANDSCAPE AREA



PROPOSED SITE COVERAGE



PROPOSED IMPERVIOUS AREA



Legend:

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Issue:

A
B
C

Date:

21/10/22
30/1/23
28/3/23

For:

Client Review
Client Review
Development Application

Project:

Alterations & Additions

Client:

Kirsty + Pascal Gautheron

Address:

28 Dobroyd Road, Balgowlah Heights

Drawing Title:

Area Calculations

Stage:

Development Application

Scale:

1:400 @ A3

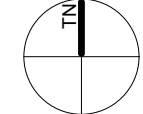
Drawn:

TW

Chkd:

JE

North:



Drawing No:

DA12

Rev:

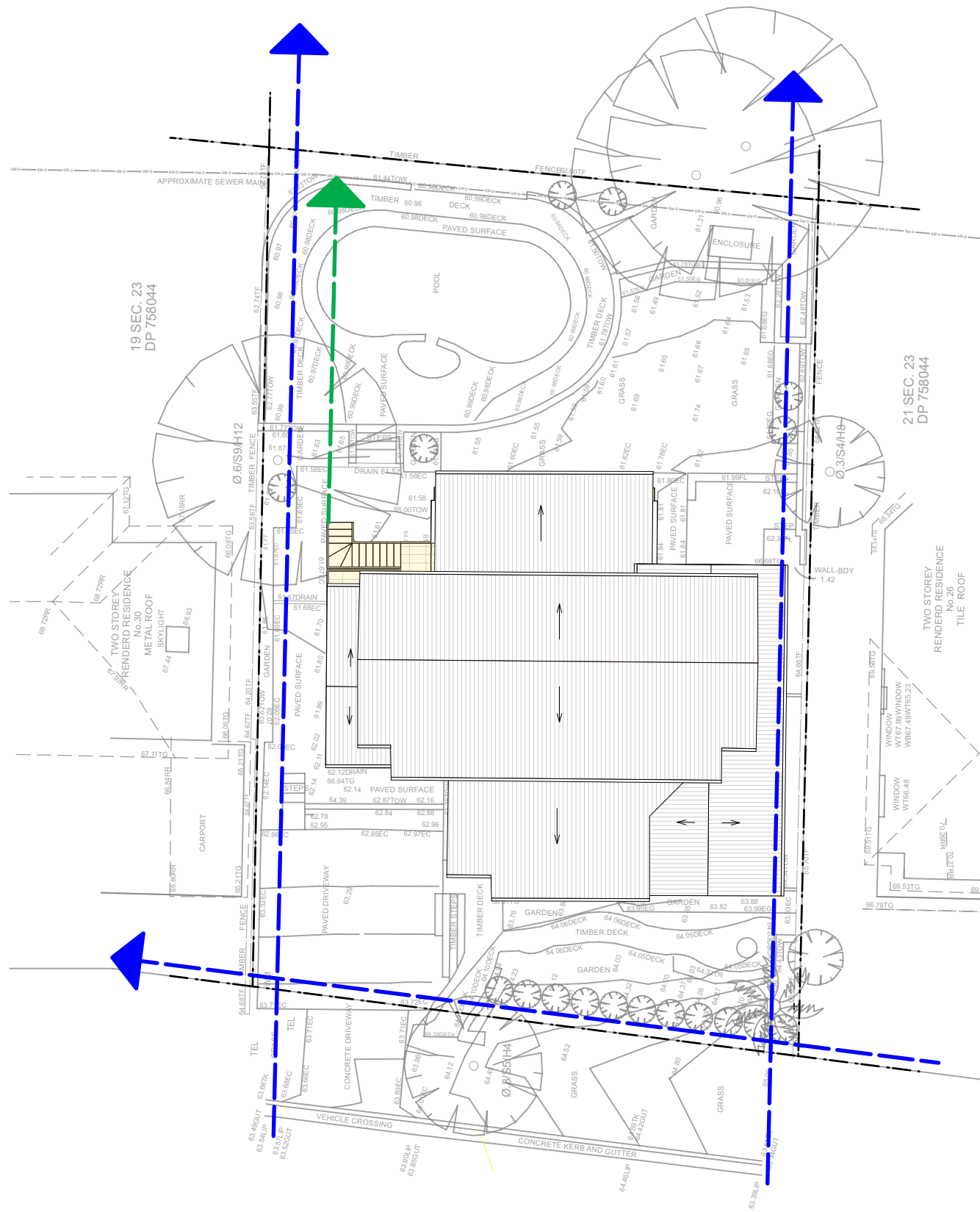
C

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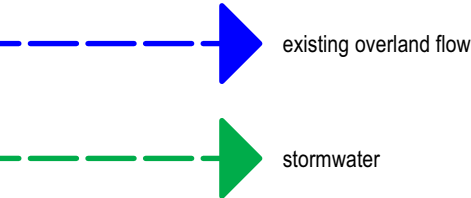
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Existing roof area is 203m2
No proposed roof area has been indentified. Proposed work has little impact on existing stormwater system.



- Legend:
- Existing
 - Proposed New Works
 - Proposed

Issue: A
Date: 21/10/22
For: Client Review
B
Date: 30/1/23
For: Client Review
C
Date: 28/3/23
For: Development Application

Project:
Alterations & Additions
Client:
Kirsty + Pascal Gautheron
Address:
28 Dobroyd Road, Balgowlah Heights

Drawing Title:
Stormwater Concept Plan
Stage:
Development Application
Scale:
1:100 @ A1
1:200 @ A3

Drawn:
TW
Chkd:
JE

North:
Drawing No:
DA13

Rev:
C

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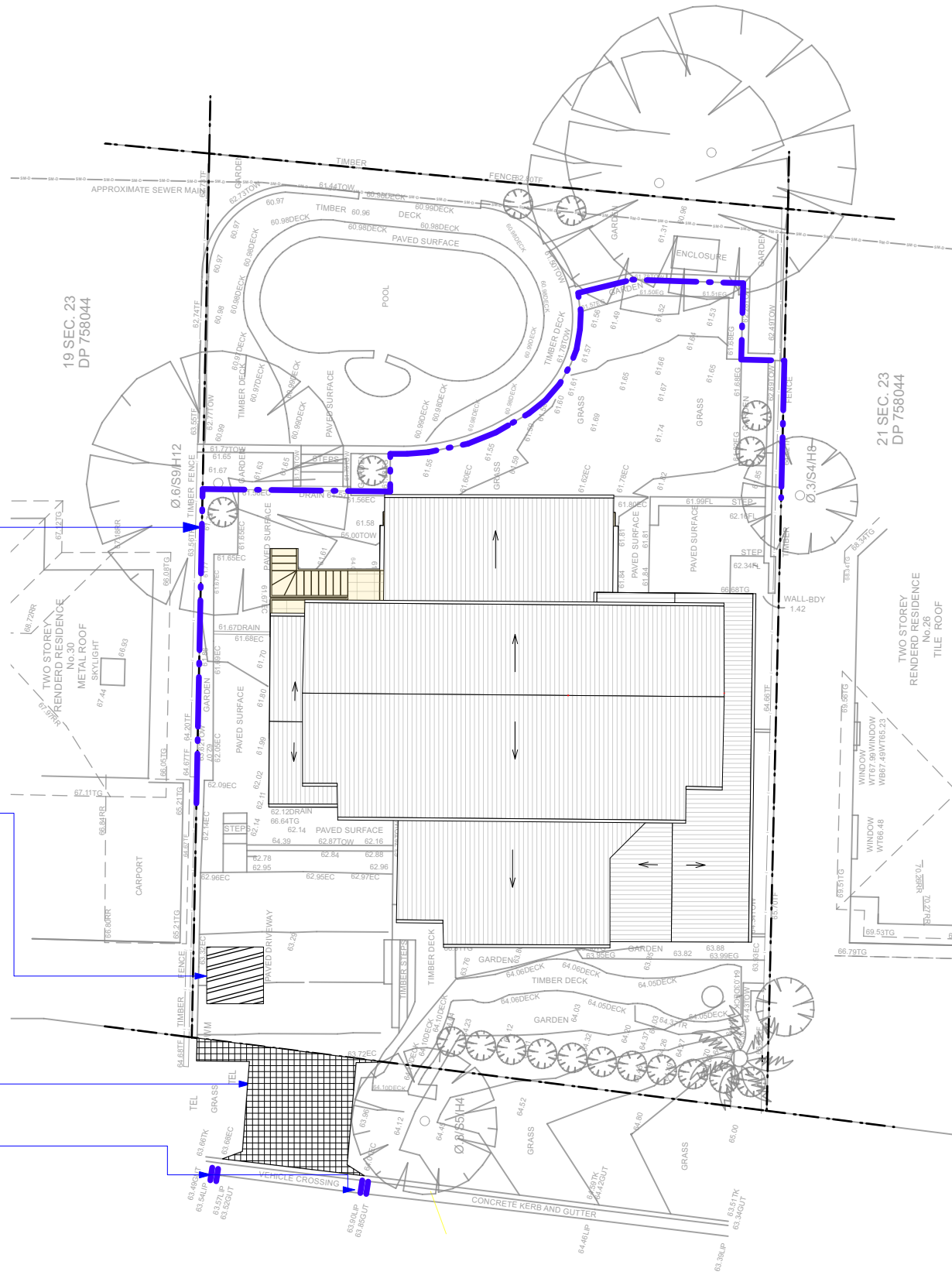


SEDIMENT CONTROL FENCE
AROUND EXTENT OF WORKS AS
REQUIRED, REF. DETAIL 2. FINAL
POSITION TO BE DETERMINED ON
SITE

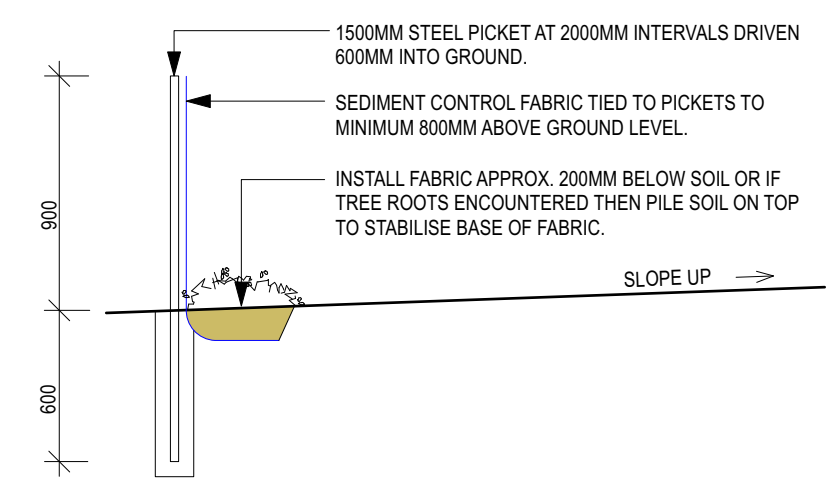
TEMPORARY AREA FOR STORAGE
OF DEMOLISHED MATERIALS FOR
RECYCLING PURPOSES AND PRIOR
TO REMOVAL FROM SITE. ANY
RESIDUAL WASTE UNABLE TO BE
RESUED OR RECYCLED WILL BE
REMOVED FROM SITE VIA
BUILDING WASTE
CONTAINERS(SKIPS) IN
ACCORDANCE WITH COUNCIL
CONDITIONS.

SITE ACCESS SHOWN HATCHED

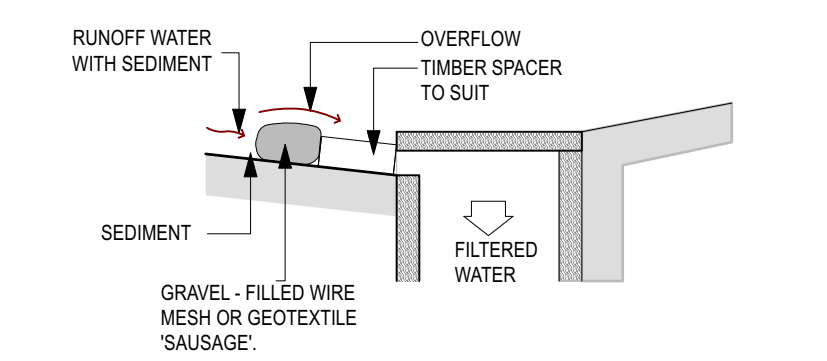
PROTECT STREET STORMWATER
SYSTEM WITH KERB INLET FILTERS
AS PER DETAIL 3 & 4



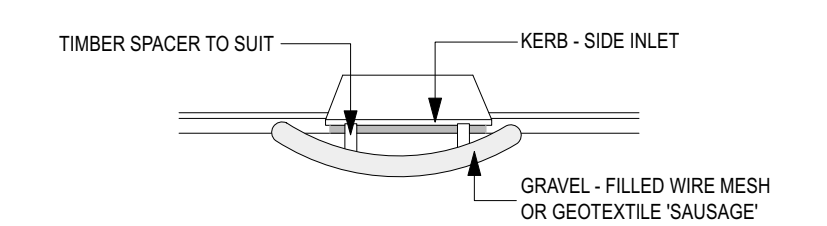
1 SEDIMENT CONTROL PLAN
Scale: 1:200



2 SEDIMENT CONTROL FENCE
Scale: Section NTS



3 MESH & GRAVEL INLET FILTER
Scale: Section NTS



4 MESH & GRAVEL INLET FILTER
Scale: Plan NTS

Legend:
Existing
Proposed New Works
Proposed

Issue: A 21/10/22 Client Review
B 30/1/23 Client Review
C 28/3/23 Development Application

Project: Alterations & Additions
Client: Kirsty + Pascal Gautheron
Address: 28 Dobroyd Road, Balgowlah Heights

Drawing Title: Erosion & Sediment Control Plan
Stage: Development Application
Scale: 1:100 @ A1
1:200 @ A3
Drawn: TW
Chkd: JE

North:
Drawing No: DA14
Rev: C

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Alterations and Additions

Certificate number: A482121

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 28, March 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	28 Dobroyd Rd
Street address	28 Dobroyd Road Balgowlah Heights 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 758044
Lot number	20
Section number	23
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Jane Anderson Architecture
ABN (if applicable): 79628347350

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
external wall: brick veneer	R1.16 (or R1.70 including construction)				

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:					
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓		
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓		
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓		
Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type
W1	N	6	0	0	eave/verandah/pergola/balcony >=600 mm timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	S	1	0	0	eave/verandah/pergola/balcony >=600 mm timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	S	0.6	0	0	eave/verandah/pergola/balcony >=600 mm timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

Legend:

Issue: A 21/10/22 Client Review
B 30/1/23 Client Review
C 28/3/23 Development Application

Project:
Alterations & Additions

Client:
Kirsty + Pascal Gautheron

Address:
28 Dobroyd Road, Balgowlah Heights

Drawing Title:
BASIX
Stage:
Development Application

Scale: 1:100 @ A1
1:200 @ A3
Drawn: TW
Chkd: JE

North:

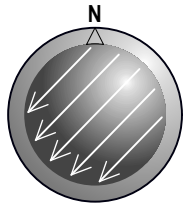
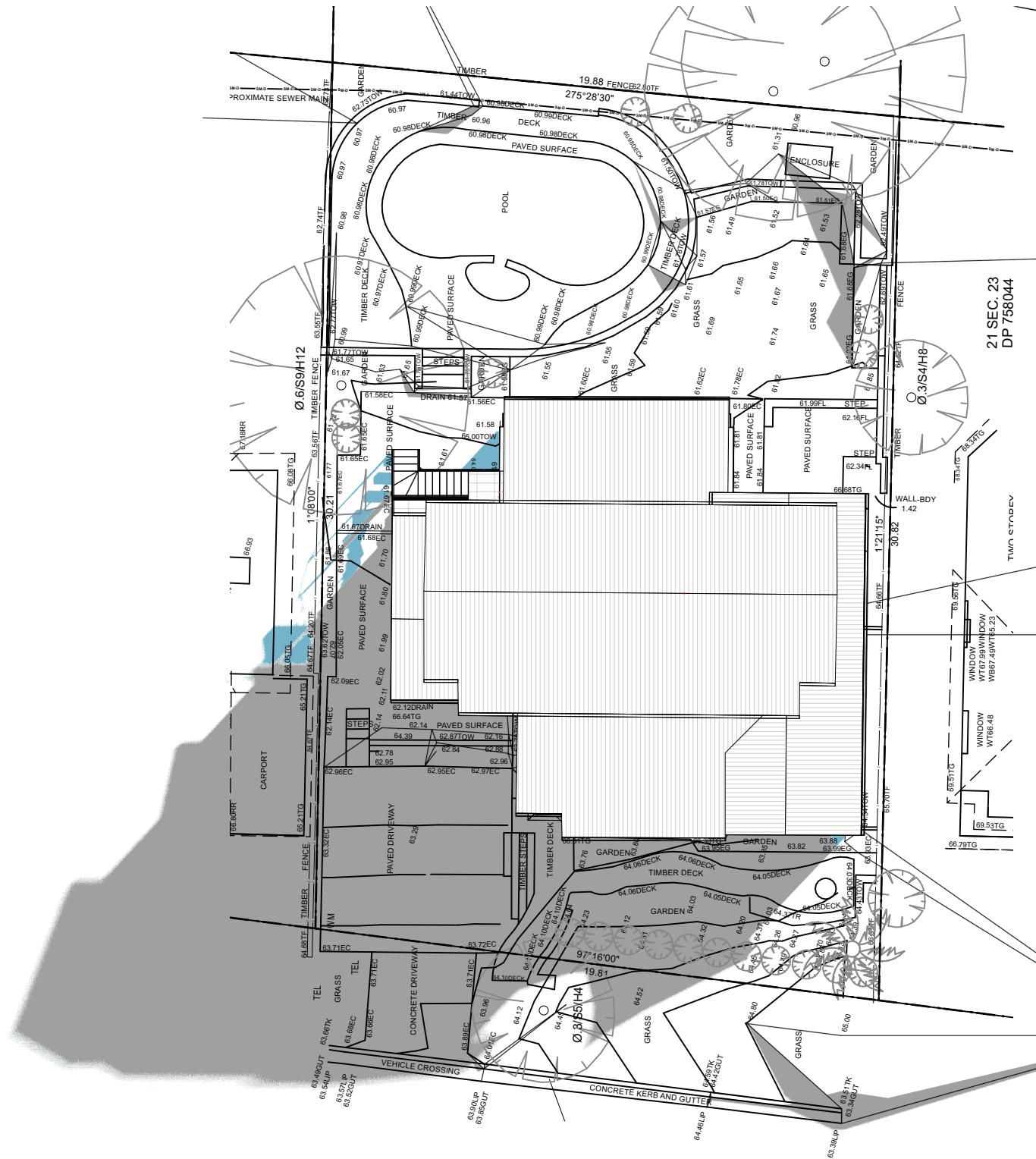
Drawing No: DA15
Rev: C

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ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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9:00 AM
Sydney
June 21
Azimuth: 42.5°[42.5° east]
Altitude: 18.9°
Solar Time: 9:00 AM

SHADOW BY EXISTING BUILDING

SHADOW BY PROPOSED BUILDING

Legend:

Issue: Date: For:

A 21/10/22 Client Review

B 30/1/23 Client Review

C 28/3/23 Development Application

Project:
Alterations & Additions

Client:
Kirsty + Pascal Gautheron

Address:
28 Dobroyd Road, Balgowlah Heights

Drawing Title:
Shadow Diagram

Stage:
Development Application

Scale:
1:100 @ A1
1:200 @ A3

Drawn: TW
Chkd: JE

North:

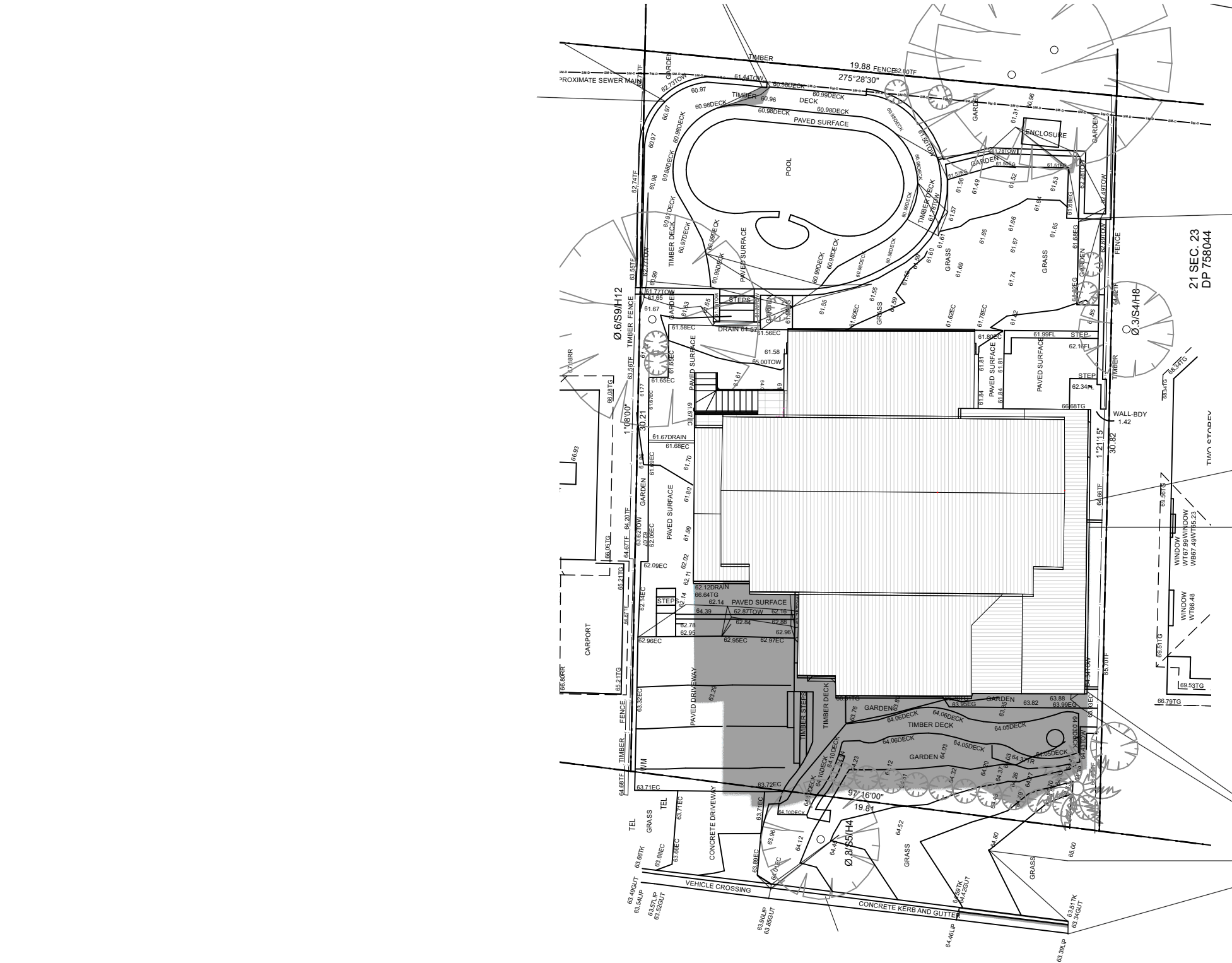
Drawing No: **DA16**
Rev: **C**

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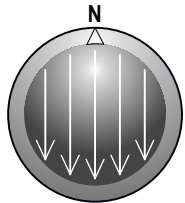
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ASB: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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21 SEC. 23
DP 758044



12:00 PM
Sydney
June 21
Azimuth: 359.1°[0.9° west]
Altitude: 32.7°
Solar Time: 12:00 PM

- SHADOW BY EXISTING BUILDING
- SHADOW BY PROPOSED BUILDING

Legend:

Do not scale off drawings, use figured dimensions only.
These drawings are not to be used for construction.

Issue: A B C
Date: 21/10/22 30/1/23 28/3/23
For: Client Review Client Review Development Application

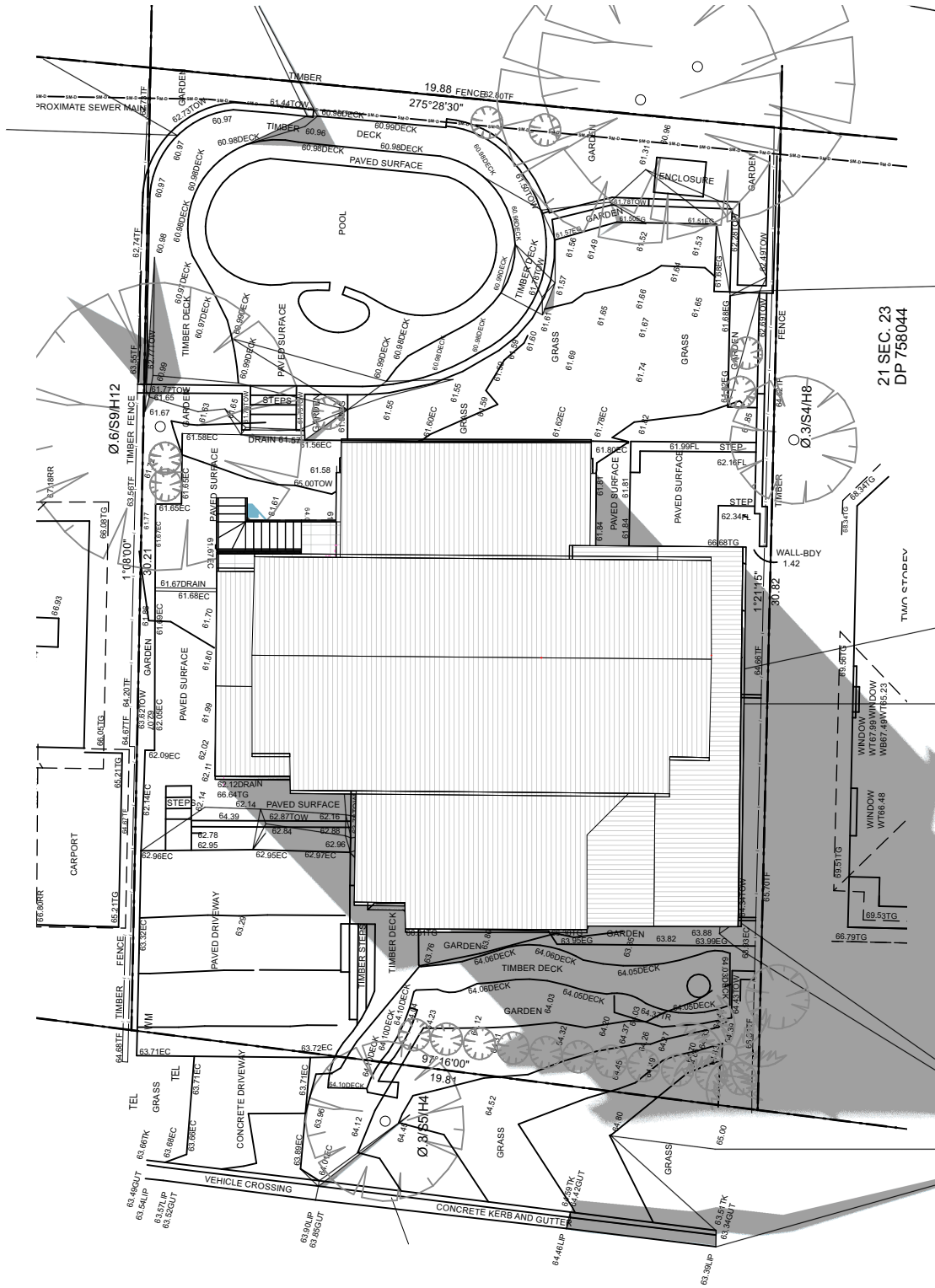
Project: Alterations & Additions
Client: Kirsty + Pascal Gautheron
Address: 28 Dobroyd Road, Balgowlah Heights

Drawing Title: Shadow Diagram
Stage: Development Application
Scale: 1:100 @ A1 1:200 @ A3
Drawn: TW
Chkd: JE

North:
Drawing No: DA17
Rev: C

CADENCE & CO Pty Ltd
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ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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3:00 PM
Sydney
June 21
Azimuth: 316.2°[43.8° west]
Altitude: 18°
Solar Time: 3:00 PM

SHADOW BY EXISTING BUILDING

SHADOW BY PROPOSED BUILDING

Legend:

Issue:

A

Date:

21/10/22

For:

Client Review

Issue:

B

Date:

30/1/23

For:

Client Review

Issue:

C

Date:

28/3/23

For:

Development Application

Project:

Alterations & Additions

Client:

Kirsty + Pascal Gautheron

Address:

28 Dobroyd Road, Balgowlah Heights

Drawing Title:

Shadow Diagram

Stage:

Development Application

Scale:

1:100 @ A1

Drawn:

TW

Chkd:

JE

1:200 @ A3

North:

Drawing No:

DA18

Rev:

C

CADENCE & CO Pty Ltd

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Nominated Architect: Sam Samarghandi NSW ARB 9112
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Do not scale off drawings, use figured dimensions only.
These drawings are not to be used for construction.





Light coloured tile to terrace



Timber batten privacy screen



Timber treads to external stair



Painted timber window to kitchen



Painted timber sliding doors to kitchen



Glass balustrade with timber handrail