



**24 TREVOR ROAD,  
NEWPORT**

**STATEMENT OF ENVIRONMENTAL EFFECTS  
FOR DEMOLITION OF AN EXISTING SINGLE STOREY DWELLING  
AND CONSTRUCTION OF A NEW TWO STOREY DWELLING**



Report prepared for  
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October 2020

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## **1. Introduction**

- 1.1** This is a statement of environmental effects for the demolition of an existing dwelling and the construction of a new two storey dwelling at 24 Trevor Road, Newport.
- 1.2** The report describes how the application addresses and satisfies the objectives and standards of relevant State Environmental Planning Policies, the Pittwater Local Environmental Plan 2014, the Pittwater 21 Development Control Plan 2014 and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).
- 1.3** This statement of environmental effects has been prepared with reference to the following:
- Site visit
  - Site survey prepared by YSCO Geomatics
  - DA Plans prepared by Action Plans
  - BASIX Certificate prepared by Action Plans
  - Stormwater Plans prepared by NB Consulting Engineers
  - Flood Report prepared by NB Consulting Engineers
  - Arborist Report prepared by Waratah ecoworks
  - Landscape Plan prepared by Jamie King Landscape Architect
- 1.4** The proposed development is compliant with the objectives of all Council controls, considerate of neighbouring residents and the streetscape and results in improved amenity for the residents of the site. It is an appropriate development worthy of Council consent.

## 2. The site and its locality

- 2.1** The subject site is located at 24 Trevor Road, Newport, approximately 225 metres east of its intersection with Barrenjoey Road. It is legally described as Lot 25 DP 19380. The site contains a sewer easement along the eastern side of the site.
- 2.2** It is a parallelogram shaped lot with front and rear boundaries of 18.29 metres and side boundary (west) of 32.09 metres and 32.065 metres (east). The site has an area of 556.4 m<sup>2</sup> and gently slopes from the front down to the rear (south to north).
- 2.3** The subject site is currently occupied by a single storey weatherboard dwelling with a metal roof.
- 2.4** The property is surrounded by detached residential dwellings in all directions and is in walking distance to public transport on Barrenjoey Rd to the west and Newport Beach to the east.



**Figure 1. The site and its immediate surrounds**



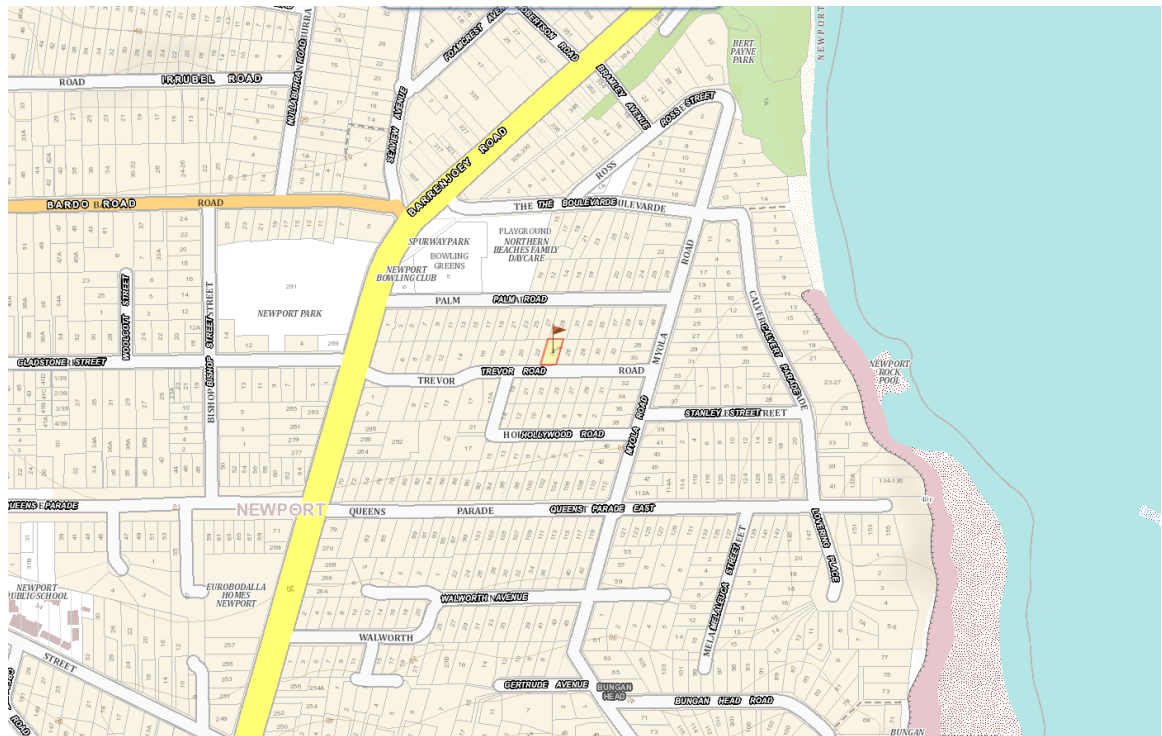


Figure 2. The site within the locality

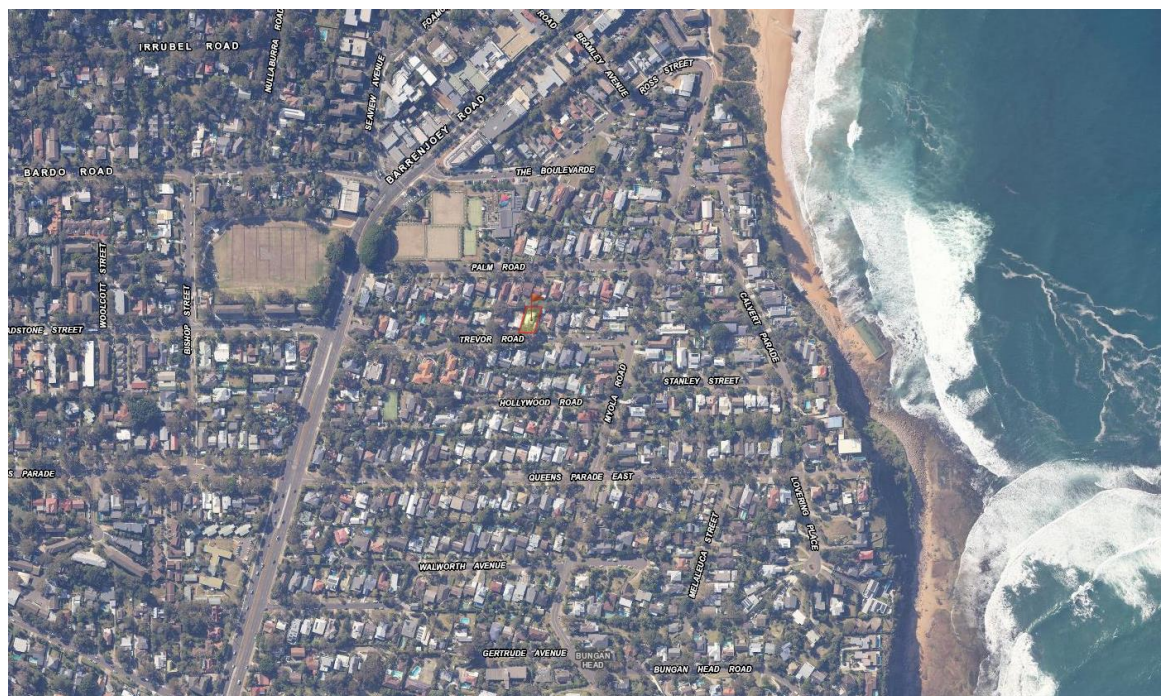


Figure 3. Aerial image of the site within the locality



### 3. Site Photos



Figure 4: The existing dwelling, looking north from Trevor Road



Figure 5: Rear of the existing dwelling, looking south west, towards Trevor Road





**Figure 6: The existing rear yard and paved area, looking north east**



**Figure 7: The front yard, looking west to the adjoining dwelling**

## **4. Proposed Development**

**4.1** The proposed development is for the demolition of the existing dwelling, and the construction of a new two storey dwelling.

**4.2** The proposed dwelling has been designed to ensure that it remains consistent with the existing streetscape. The proposed development maintains a scale consistent with dwellings in the locality and has been designed to remain compatible with the flood risk.

**4.3** The proposed will be made up as follows:

### **Existing dwelling**

- To be demolished

### **New dwelling**

#### **Ground floor**

- Open plan kitchen (with pantry), dining and living room
- Deck/alfresco area with outdoor kitchen – accessed from the living and dining areas
- Office
- Laundry
- Double garage with storage
- Entrance

#### **First floor**

- Master bedroom with walk in robe and ensuite
- Bedrooms 2 and 3 with built-in robes
- Bathroom
- Living room
- Staircase to access the ground floor
- Hallway and linen cupboard
- Study nook
- Balcony at the front of the dwelling from bedroom 3
- Balcony at the rear of the dwelling from the master bedroom and living room



**Site**

- A new driveway on the western side of the site to access the double garage
- New pedestrian access

**4.4** The proposed design has taken into consideration the location of neighbouring sites, existing eastern boundary easement, and the flood prone nature of the site.

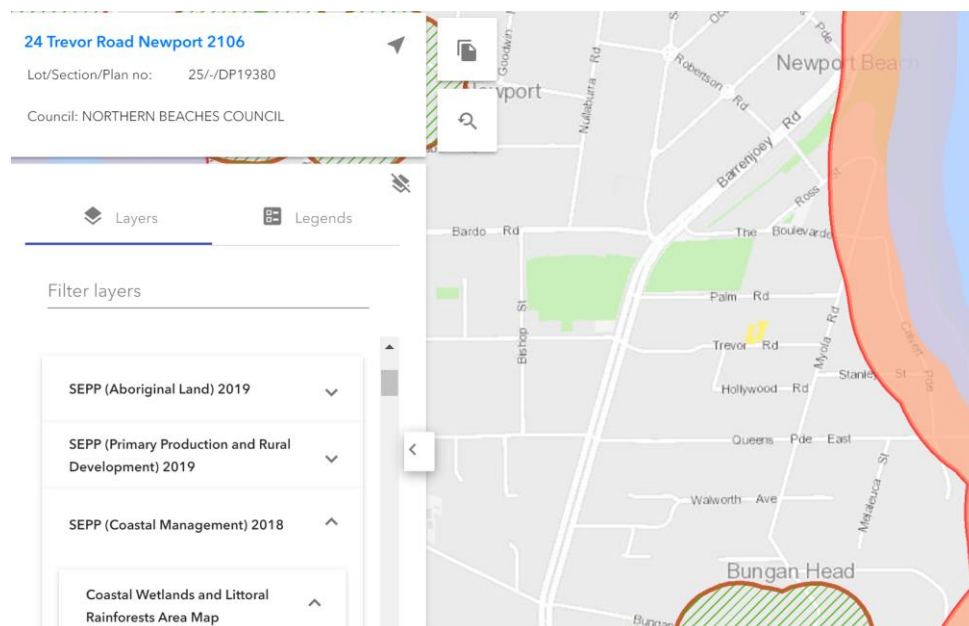
## 5. Statutory Framework

### 5.1 State Environmental Planning Policies

#### State Environmental Planning Policy (Coastal Management) 2018

The site is not mapped as 'Proximity to Coastal Wetlands' and 'Coastal Environment Area' by State Environmental Planning Policy (Coastal Management) 2018.

Accordingly, the consent authority is not required consider clauses 11 and 13 of the SEPP.



**Figure 8: Extract – SEPP (Coastal Management) 2018**

#### State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The development remains consistent with the provisions of the SEPP as it proposes to remove minimal vegetation which will have limited impact on the biodiversity of the area. Please refer to attached arborist report.

### **State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004**

Schedule 1 of the Environmental Planning and Assessment Regulation (2000) sets out the requirement for a BASIX certificate to accompany any BASIX affected building, being any building that contains one or more dwellings, but does not include a hotel or motel. SEPP BASIX applies to the proposal and a compliant BASIX certificate is provided with this application.

### **State Environmental Planning Policy No. 55 – Remediation of Land**

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.



## 5.2 Pittwater Local Environmental Plan 2014

The relevant clauses of the Pittwater Local Environmental Plan 2014 are addressed below.

### Zoning

The site is zoned R2 Low Density Residential pursuant to the provisions of the Pittwater Local Environmental Plan 2014. The proposed development is a permissible use in the R2 zone which permits dwelling houses with development consent.



Figure 9: Extract from Pittwater LEP 2014 Zoning Map

### Demolition

Demolition works are proposed, as described above and illustrated in the attached DA plan set, to allow for the construction of the new dwelling

### Minimum Lot Size

The site is mapped with a minimum lot size of 700m<sup>2</sup>. The subject site is an existing undersized parcel, comprising an area of 556.4m<sup>2</sup> and no subdivision is proposed.

### Height of Buildings

The LEP restricts the height of any development on the subject site to 8.5 metres. The proposed new dwelling will result in a compliant maximum building height of 7.962 metres measured from the FFL.

### Floor Space Ratio

The floor space ratio development standard has not been adopted for the subject site.

### Heritage Conservation

The site is not a heritage item or located within a heritage conservation area.

Heritage Item 2270489 Newport Bowling Club (6 Palm Road) is the closest Heritage Item. It is considered the proposed development will not impact upon the heritage item, as all works are proposed within the boundary of the existing residential lot.



**Figure 10: Extract from Pittwater LEP 2014 Heritage Map**

## Acid Sulfate Soils

The site is nominated as Class 5 Acid Sulfate soils. No additional information is required for the proposed development.

## Earthworks

Minimal earthworks are proposed to prepare the site for construction, with the majority of works proposed within the existing building footprint.

Standard erosion and sediment control measures will be implemented to ensure best practice procedures are followed.

## Flood Planning

The subject site is mapped as a medium and high-risk flood hazard precinct by the NBC Flood Hazard Map.

### NBC Flood Hazard Map

- High risk precinct
- Medium risk precinct
- Low risk precinct

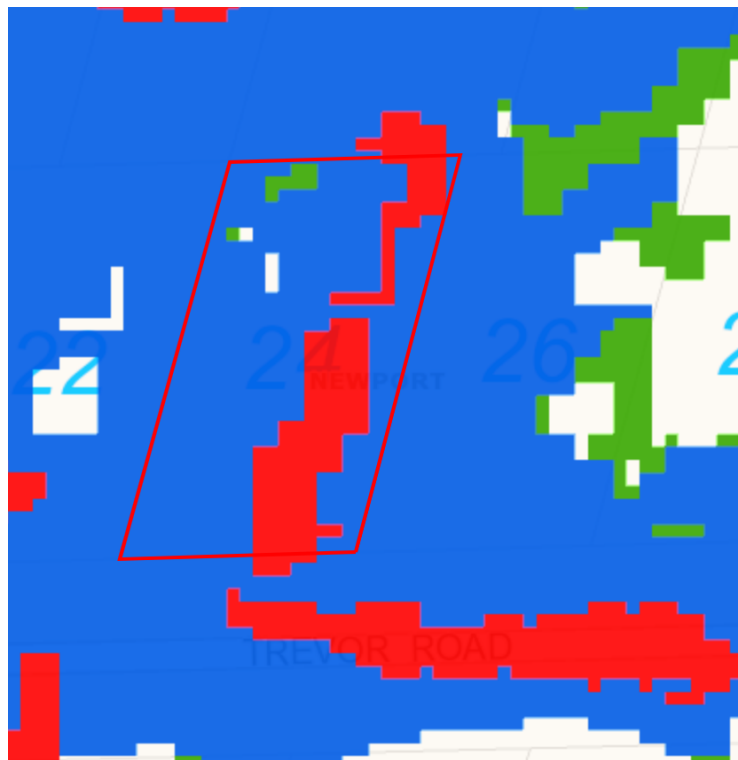


Figure 11: Extract NBC Flood Hazard Map



The site has a flood planning level (FPL) of 9.22 metres AHD and a probable maximum flood level (PMF) of 9.13 metres AHD. The proposed new dwelling is considered compatible with the flood hazard, as no change of use, or significant intensification of the existing approved use is proposed.

The proposal has been designed to ensure the flow of flood waters will not be impeded. The proposal will not increase the risk to life from flooding and is therefore considered appropriate for the site.

A flood report is provided with this application.

### **Geotechnical Hazard**

The site is not identified on the LEP geotechnical hazard map.

### **Essential services**

All essential services are existing on the site.

### 5.3 Pittwater 21 Development Control Plan

The relevant sections of the DCP are addressed below.

#### Objectives

The proposed development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The proposed development is appropriate to the site and the locality and has been designed with fulfilment of these objectives as essential criteria.

#### Section A4 Localities

##### Newport Locality

The site is located within the Newport Locality.

The desired character statement for Newport is:

*The Newport locality will remain primarily a low-density residential area with dwelling houses a maximum of two storeys in any one place in a natural landscaped setting, integrated with the landform and landscape. Secondary Dwellings can be established in conjunction with another dwelling to encourage additional opportunities for more compact and affordable housing with minimal environmental impact in appropriate locations. Any dual occupancy dwellings will be located on the valley floor and lower slopes that have less tree canopy coverage, species and habitat diversity and fewer other constraints to development. Any medium density housing will be located within and around commercial centres, public transport and community facilities. Retail, community and recreational facilities will serve the community.*

*Future development is to be located so as to be supported by adequate infrastructure, including roads, water and sewerage facilities, and public transport.*

*Future development will maintain a building height limit below the tree canopy and minimise bulk and scale. Existing and new native vegetation, including canopy trees, will be integrated with the development. Contemporary buildings will utilise facade modulation and/or incorporate shade elements, such as pergolas, verandahs and the like. Building colours and materials will harmonise with the natural environment. Development on slopes will be stepped down or along the slope to integrate with the landform and landscape and minimise site disturbance. Development will be designed to be safe from hazards.*

*A balance will be achieved between maintaining the landforms, landscapes and other features of the natural environment, and the development of land. As far as possible, the locally native tree canopy and vegetation will be retained and enhanced to assist development blending into the natural environment, to provide feed trees and undergrowth for koalas and other animals, and to enhance wildlife corridors.*

*Heritage items and conservation areas indicative of the Guringai Aboriginal people and of early settlement in the locality will be conserved.*

*Vehicular, pedestrian and cycle access within and through the locality will be maintained and upgraded. The design and construction of roads will manage local traffic needs, minimise harm to people and fauna, and facilitate co-location of services and utilities.*

*Newport's coastal setting is what contributes most to the distinctive character of the commercial centre. Responsive, energy efficient buildings will support and enhance this relaxed, beachfront character and its outdoor lifestyle, contributing to a unique sense of place. Contemporary design solutions within the commercial centre will respond to Newport's climate and setting, including providing shade and shelter to streets and entries, generous private outdoor spaces, openings that capture ocean breezes, and shade elements.*

The proposed development has been designed taking into consideration the desired character of the location. The proposal is well designed has appropriate scale and retains the character sought by Council.

## **Section B General Controls**

### **Heritage Controls**

The site is not a heritage item or located within a heritage conservation area and will not impact upon the closest heritage item being the Newport Bowls Club.

The site is not known or anticipated to be home to any aboriginal relics. Should any objects be discovered during construction, appropriate measures will be taken according to NSW Office of Environment and Heritage.

### **Hazard Controls**

#### **Landslip Hazard**

The site is not mapped as a geotechnical hazard zone.

#### **Bushfire Hazard**

The site is not mapped as Bushfire Prone Land.

#### **Coastline (Beach) Hazard**

The site is not mapped as Coastline (Beach) Hazard

#### **Contaminated and potentially contaminated lands**

The site is not known to be contaminated and to our best knowledge has only ever been used for low density residential purposes.



## **Flood Hazard**

As described above the subject site is mapped as a medium and high-risk flood hazard precinct by the NBC Flood Hazard Map.

The site has a flood planning level (FPL) of 9.22 metres AHD and a probable maximum flood level (PMF) of 9.13 metres AHD. The proposed dwelling is considered compatible with the flood hazard, as no change of use is proposed.

The proposal has been designed to ensure the flow of flood waters will not be impeded. The proposal will not increase the risk to life from flooding and is therefore considered appropriate for the site.

A flood report is provided with this application.

## **Controls relating to the natural environment**

The proposal will have no impact on the natural environment in the locality as the proposed development is located entirely within a disturbed portion of the site. The proposal includes the removal of one (1) tree, this is required to provide a new access to the site and ensure the sewer easement on the site is protected. The removal of the tree will have minimal impact on the biodiversity of the area and an arborist report is attached.

## **Water management**

The site is connected to the sewer system.

The proposed development will allow for the new dwelling to be connected to the existing dwelling drainage system.

## **Access and parking**

The development proposes a new driveway crossover from Trevor Road. The new access will provide access to a new double garage. There is currently no covered parking provided on the site. The garage is integrated into the dwelling to reduce bulk.

## **Site works and management**

All Council controls and conditions of consent will be complied with in the construction works. Appropriate devices will be used during the construction process to ensure no issues arise with regard to erosion and sedimentation.

## **Section C Development Type Controls**

### **Landscaping**

A landscaped area of 50% is required for residential developments. The existing landscaped area is 37.3% (207.65m<sup>2</sup>) and the proposed development has a landscaped area of 45.6% (including 4% impervious pathways etc). The proposal provides a significant increase in landscaped area. The deck areas/alfresco living adjoining the landscaped area will enhance the landscape and open space areas for the site.

The site is smaller than the minimum lot size and therefore the proposed landscape area is considered suitable for the site as it retains a significant and appropriate green area, usable outdoor space and is not to the detriment of the site amenity of the locality.

The proposal is not extensive in size and will result in a typical sized dwelling with improved vehicular access and amenity for the residents.

### **Safety and Security**

An ability to view the street frontage is retained allowing for casual surveillance, which is to the benefit of the safety and security.

### **View Sharing**

A site visit has been undertaken and it is considered that no views will be impacted as a result of the proposed development.

### **Solar Access**

The DCP requires 3 hours of solar access is maintained for the windows of principal living areas, solar collectors and private open space of the site and adjoining properties on 21 June.

The subject site enjoys a north to rear aspect with excellent solar access. The following observations are made of the shadow diagrams included with this application:

**9am** – The development will result in a minor increase in shadowing to the subject site and a small portion of the front yard and dwelling of No. 22 Trevor Road.

**12pm** – The development will result in a minor increase in shadowing to the front yard of the subject site.

**3pm** – The development will result in a minor increase in shadowing to the front yard of the subject site and a small portion of the side/rear yard of No. 26 Trevor Road.

It is concluded that the subject site and adjoining properties easily maintain compliant solar access.

### **Visual Privacy**

Privacy will be retained for neighbours as the proposal results in no direct overlooking into any key living areas.

A number of privacy measures have been incorporated into the design including orienting windows to the front and rear of the lot, offset windows, high sill heights and privacy glazing.

### **Acoustic Privacy**

The development is appropriate and will not result in noise levels inappropriate to a residential area.

### **Private Open Space**

The minimum private open space requirement of 80sqm for the existing dwelling is easily accommodated on the site. The existing dwelling has 58m<sup>2</sup> of private open space. The proposal provides an increase to 105.91m<sup>2</sup> and easily complies with the control.

### **Waste and Recycling Facilities**

Appropriate waste management will be undertaken during the demolition and construction process. All demolished materials will be recycled where possible. This is detailed further in the accompanying Waste Management Plan.

The existing dwelling has appropriate waste storage areas which will be retained with the additions proposed.

### **Eaves**

A minimum 450mm eaves are incorporated on all elevations in accordance with this clause.

### **Part D – Newport Locality**

The site is located in the Newport Locality and will be appropriate with the desired character, built form and natural environment criteria as specified in the DCP. The proposed new dwelling is appropriate within the residential setting.

### **Character**

The proposed development is an appropriate architectural design for the locality. Materials and colours complement the existing dwelling and surrounding development, while sitting comfortably in the locality.

### **Scenic Protection**

The proposed new dwelling will result in an aesthetically pleasing addition to Trevor Road. The development will not result in any negative visual impacts when viewed from public places.

### **Building colours, materials and construction**

The proposed materials include weatherboard cladding, metal roofing, stone and timber deck. A full schedule of materials and colours are provided with the DA plan set.

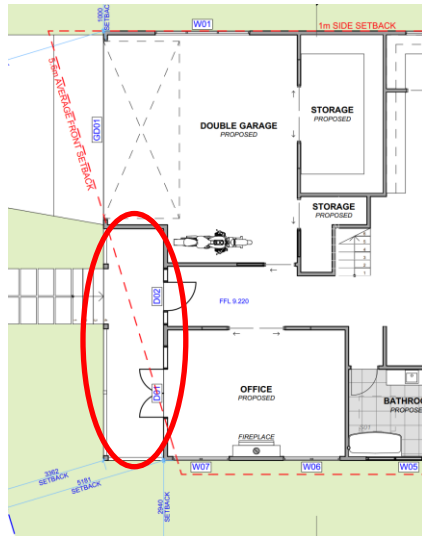
### **Front Building Line**

The DCP requires a front setback of 6.5 metres or the established building line on the subject site. The average building line for the street is 5.6m which is also consistent with the existing dwelling setback.

Minimal change is proposed to the existing front setback with the majority of the dwelling located behind the required setback. The variance is minor and will have minimal impact on the bulk and scale of the dwelling and provides an articulated



and open entry to the dwelling. The proposed dwelling is consistent with the streetscape, and highly appropriate to the site.



**Figure 12: Location of front setback variance**

### Side and Rear setbacks

Side setbacks of 2.5 metres on 1 side and 1 metre for the other side are required by the DCP.

The development will result in compliant side setbacks of 2.94 metres (east) and 1 metres (west).

A rear setback of 6.5 metres is required by the DCP. The existing setback is 4.924m. The proposal has a rear setback of 6.339 metres to the house. This is only a minor variance and is setback further than the existing dwelling. The minor variance is considered acceptable as it will have minimal impact on the amenity and privacy of the adjoining site. Additionally, the unusual lot shape also results in a significant rear setback at the eastern side of the rear.

The rear deck has a lesser setback of 3.36 metres, which is for a very limited portion of the open structure and accordingly will have negligible impact, with ample rear yard retained. The neighbour to the rear shares an angular rear boundary, and consideration of averaging would demonstrate a “compliant” distance between dwellings. See aerial photograph below.

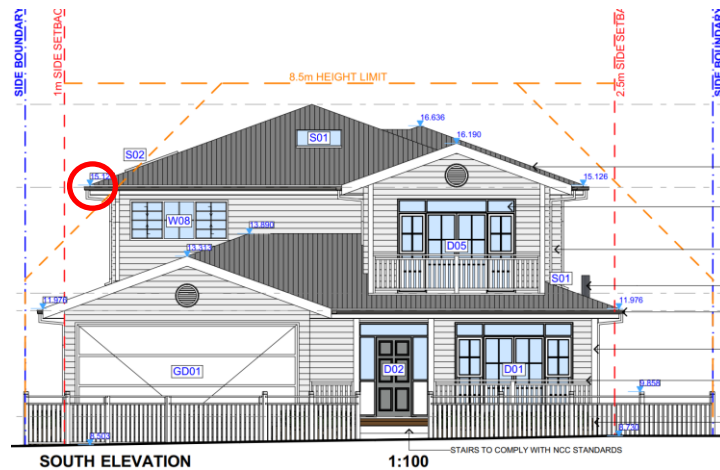


**Figure 13: Angled rear setbacks allow for averaged distance between squared dwellings**

### Building envelope

A building envelope of 45° measured at a height of 3.5 metres applies to the site and is measured from the Flood planning level. The development complies on the eastern elevation and proposes a very minor variation on the western elevation, incorporating the eave only, as permitted by the DCP.

A variation is considered appropriate, in this case, as the building setbacks in this location exceed the minimum required and the variation applies to the eave only. The building is a minimal scale, complies with building height controls and does not present with excessive bulk when viewed from the street or neighbouring properties. The proposed variation will have no impacts on neighbours and the development remains consistent with the objectives of this clause, despite the non-compliance.



**Figure 14: Location of building envelope variance**

### **Landscaped Area – Environmentally Sensitive Land**

A landscaped area of 50% is required for residential developments. The existing landscaped area is 37.3% (207.65m<sup>2</sup>) and the proposed development has a landscaped area of 47.5% (including 6% impervious pathways etc). The proposal provides a significant increase in landscaped area. The deck areas/alfresco living adjoining the landscaped area will enhance the landscape and open space areas for the site.

The site is smaller than the minimum lot size and therefore the proposed landscape area is considered suitable for the site as it retains a significant and appropriate green area, usable outdoor space and is not to the detriment of the site amenity of the locality.

The proposal is not extensive in size and will result in a typical sized dwelling with improved vehicular access and amenity for the residents.

### **Fences - Flora and Fauna Conservation Areas**

A new timber front fence is proposed, compatible with the character of the street.

## 6. Numerical Control Table

The following table provides a summary of the development proposal, in accordance with the relevant numerical planning controls contained in the Pittwater LEP 2014 and the Pittwater 21 DCP 2014.

	Standard	Proposed	Compliance
<b>Pittwater LEP 2014</b>			
Lot Size	700m <sup>2</sup>	556.4 m <sup>2</sup>	Deemed to satisfy – no change to existing.
Building Height	8.5 metres	7.962metres	Yes
Floor Space Ratio	Not identified	-	-
Flood Planning Level (FPL) Probable Maximum Flood (PMF)	FPL: 9.22 m AHD PMF: 9.13 m AHD	New work first floor 5.57m AHD	Yes
<b>Pittwater 21 DCP 2014</b>			
Parking	2 spaces	2 spaces	Yes
Solar Access	3 hours sunlight to windows of principal living areas, solar collectors and POS of both subject site and adjoining properties between 9am and 3pm on June 21.	Compliant at 9am, 12pm and 3pm.	Yes
Private Open Space	80m <sup>2</sup>	105.91m <sup>2</sup>	Yes
Front Boundary Setback	5.6 metres (average)	5.181 metres	Deemed to satisfy – minor variance
Side Boundary Setbacks	E. 2.5 metres W. 1 metre	E. 2.94metres W. 1 metres	Yes
Rear Boundary Setbacks	6.5 metres	6.339 metres	Deemed to satisfy – minor variance greater setback than existing dwelling
Building Envelope	3.5 metres / 45 degrees		Yes – eave encroachment permitted
Landscaped Area	50% of lot area (278.2m <sup>2</sup> for site area of 556.4m <sup>2</sup> )	46.6 %	Deemed to satisfy – significant increase to the existing landscape open space.



## 7. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

### **The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations**

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Pittwater LEP and DCP.

The development is permissible in the R2 zone.

### **The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality**

#### 7.1 Context and Setting

*What is the relationship to the region and local context in terms of:*

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement, appendices and attached specialist reports.

*What are the potential impacts on adjacent properties in terms of:*

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed new dwelling has been designed to complement the site and its surrounds. The proposed dwelling is appropriate and will have negligible impact on adjacent properties.

## **7.2 Access, transport and traffic**

*Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:*

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

No conflict or issues will arise as a result of the proposed development. The proposal will provide two undercover parking spaces and a new access to the site.

## **7.3 Public domain**

The proposed development will have a positive impact on the public domain as the proposal is consistent with the character and streetscape of the area.

## **7.4 Utilities**

There will be no impact on the site, which is already serviced.

## **7.5 Flora and fauna**

One (1) tree is proposed to be removed. This will have limited impact on the biodiversity of the area. Please refer to attached arborist report.

## **7.6 Waste**

There will be no impact.

### **7.7 Natural hazards**

The natural hazards of flooding have been considered within this report and it is concluded that the risks are appropriately mitigated to allow the development to proceed.

### **7.8 Economic impact in the locality**

There will be no impact, other than the possibility of a small amount of employment during construction.

### **7.9 Site design and internal design**

*Is the development design sensitive to environmental conditions and site attributes including:*

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed new dwelling is highly appropriate to the site, with regard to all of the above factors. The development fits well within the context of the residential surrounds and the existing building on the site.

*How would the development affect the health and safety of the occupants in terms of:*

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the provisions of the Building Code of Australia. Additionally, finishes, building materials and all facilities will be compliant with all relevant Council controls.

## **7.10 Construction**

*What would be the impacts of construction activities in terms of:*

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

### **The suitability of the site for the development**

*Does the proposal fit in the locality?*

- *are the constraints posed by adjacent developments prohibitive?*
- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The adjacent development does not impose any unusual development constraints.

*Are the site attributes conducive to development?*

The site is appropriate for the alterations and additions proposed.

### **Any submissions received in accordance with this Act or the regulations**

It is envisaged that the consent authority will consider any submissions made in relation to the proposed development.

### **The public interest**

It is considered that the proposal is in the public interest as it allows for appropriate use of the residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.



## **8. Conclusions**

- 8.1** The proposed development for the demolition of an existing dwelling and construction of a new two storey dwelling at 24 Trevor Road in Newport, is appropriate considering all State and Council controls.
- 8.2** When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.
- 8.3** Considering all the issues, the development is considered worthy of Council's consent.