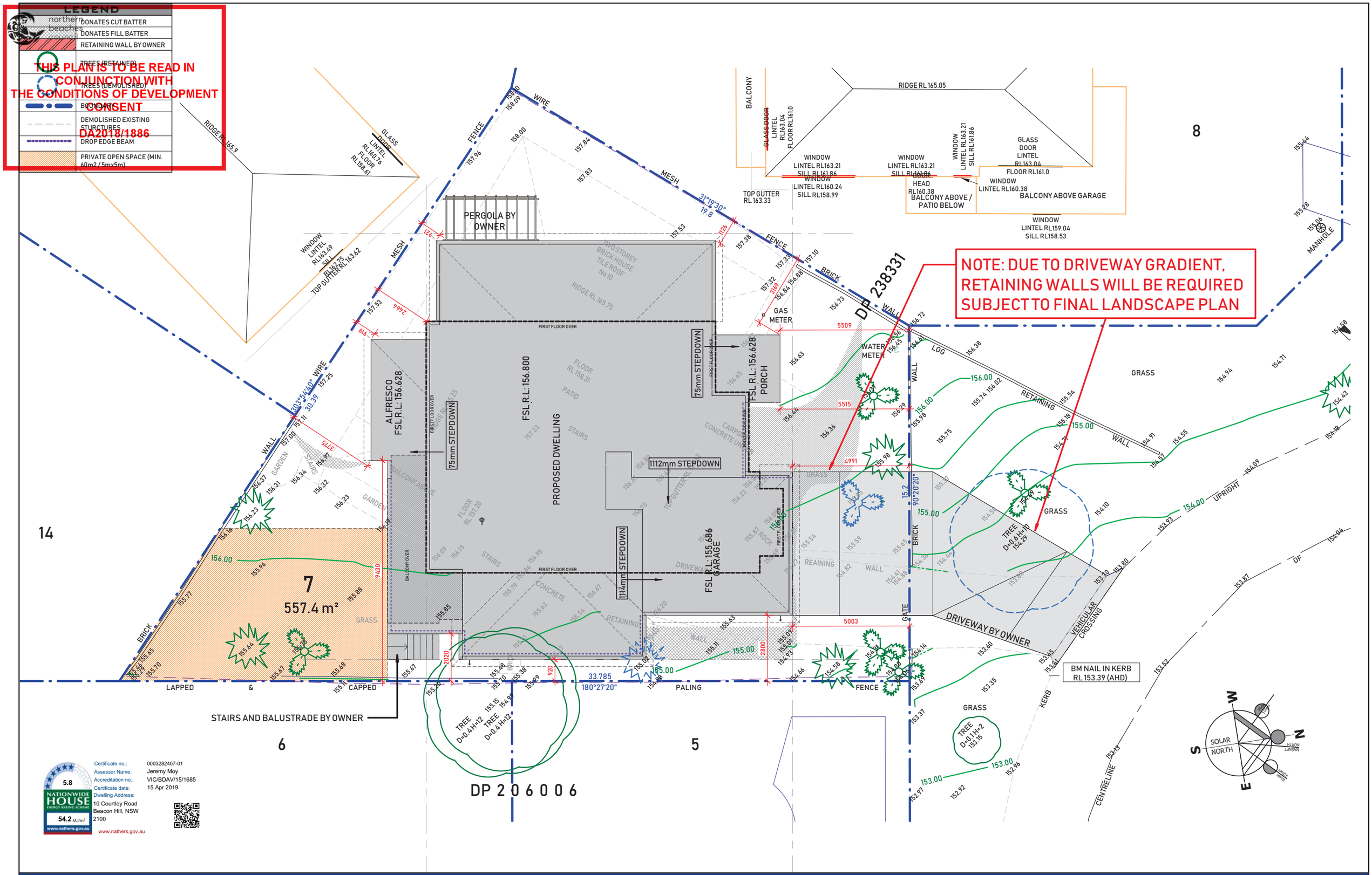

SITE PLAN

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Ph: (02) 9620 0000 Fax: (02) 9620 0099
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ABN: 57 050 836 843 BLD LIC: 443940C

AMENDMENTS

Rev.	Issued by	Date	Description
I	RB	14.11.18	Adjustments for Compliance
J	CC	18.01.19	Room Details
K	RB	18.03.19	Variation #06 / #07
L	RB	25.03.19	Variation #08

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DESIGN	Trinity (Modified)	DATE:	-
CLIENT	Rev. Hon. Fred Nile	SCALE:	As indicated
		DRAWN BY:	Robert Bacic
ADDRESS	10 Courtley Road, Beacon Hill	COUNCIL:	Northern Beaches Council
		D.A OR CDC:	D.A.
LOT/ D.P	Lot 7 / D38331	JOB NO:	NIL53618

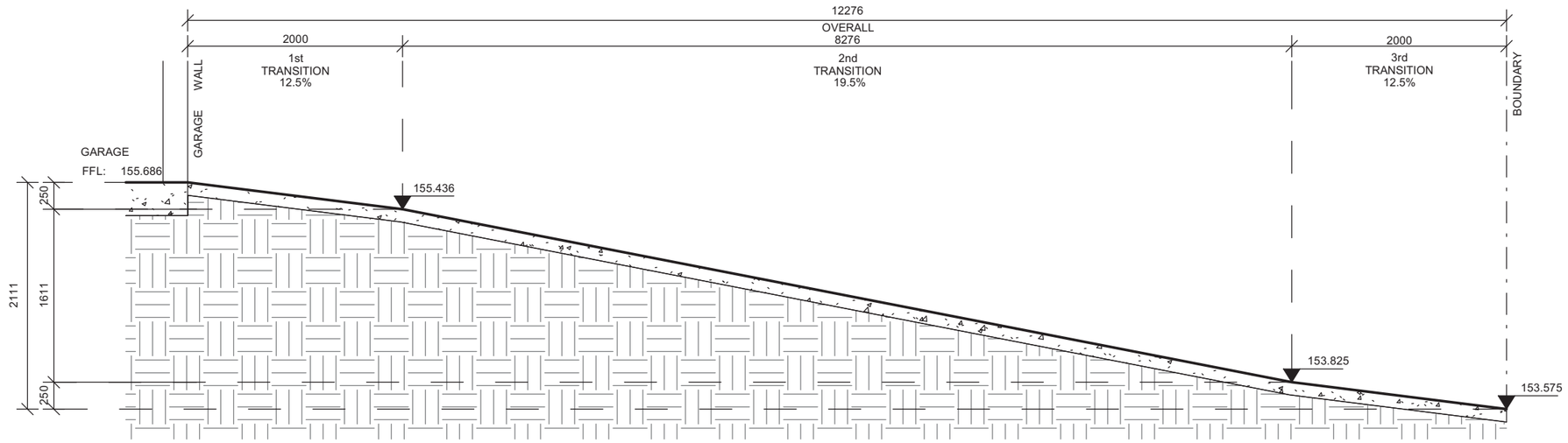
DWG No. 01

REV. L

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2018/1886



DRIVEWAY GRADIENT

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CLIENT	Rev. Hon. Fred Nile	SCALE:	1 : 50
		DRAWN BY:	Robert Bacic
ADDRESS	10 Courtley Road, Beacon Hill	COUNCIL:	Northern Beaches Council
		D.A OR CDC:	D.A.
LOT/ D.P	Lot 7 / D38331	JOB NO:	NIL53618

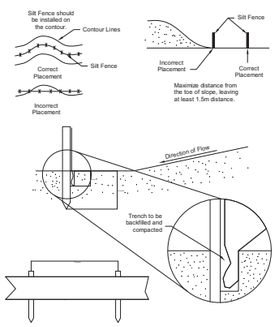
DWG No. **01A**

REV. **L**

LEGEND

	BUILDERS WC
	BUILDERS TOOL STORAGE
	ALL WEATHER SITE ACCESS
	BUILDERS WASTE ENCLOSURE
	SEDIMENT CONTROL FENCE
	TEMPORARY FENCE

SPECIFICATIONS FOR SILT FENCE

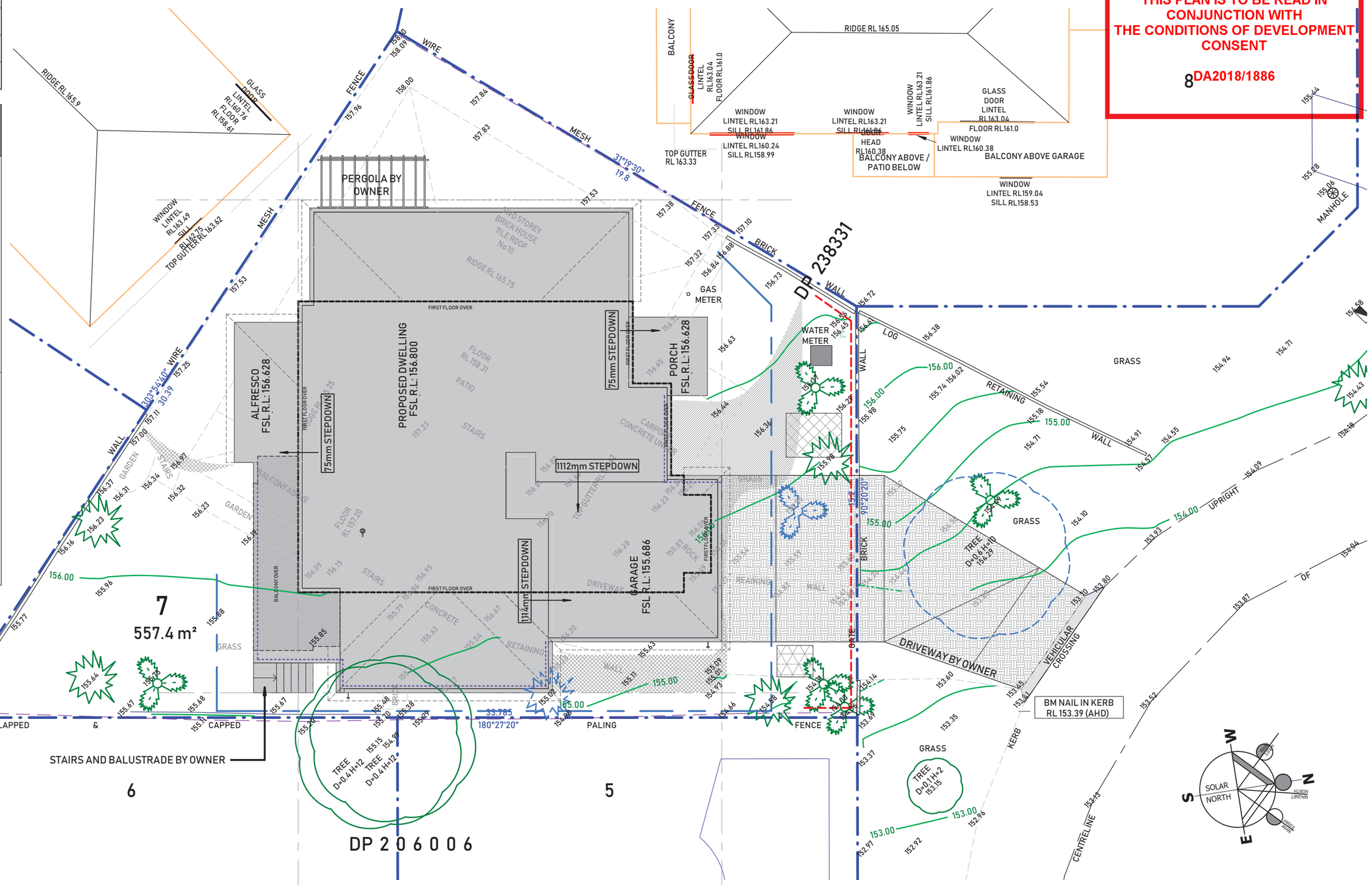


1. Silt fence shall be constructed before upslope land disturbance begins.
2. All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small swales or depressions which may carry small concentrated flows to the silt fence are dissipated along its length.
3. To prevent water ponded by the silt fence from flowing around the ends, each end shall be constructed upslope so that the ends are at a higher elevation.
4. Where possible, silt fence shall be placed on the flattest area available.
5. Where possible, vegetation shall be preserved for 1.5m. (or as much as possible) upslope from the silt fence. If vegetation is removed, it shall be reestablished within 7 days from the installation of the silt fence.
6. The height of the silt fence shall be a minimum of 400mm. above the original ground surface.
7. The silt fence shall be placed in a trench cut a minimum of 150mm. deep. The trench shall be cut with a trencher, cable laying machine, or other suitable device which will ensure adequate uniform trench depth.
8. The silt fence shall be placed with the stakes on the downslope side of the geotextile and so that the 200mm of cloth are below the ground surface. Excess material shall lay on the bottom of the trench. The trench shall be backfilled and compacted.
9. Seams between sections of silt fence shall be overlapped with the end stakes of each section wrapped together before driving into the ground.
10. Maintenance - Silt fence shall allow runoff to pass only as diffuse flow through the geotextile. If runoff overtops the silt fence, flows under or around the ends, or in any other way becomes a concentrated flow, one of the following shall be performed, as appropriate: 1) The layout of the silt fence shall be changed, 2) Accumulated sediment shall be removed, or 3) Other practices shall be installed.

1. Criteria for Silt Fence Materials

Fence Posts - The length shall be a minimum of 800mm. long. Wood posts will be 50mm/50mm hardwood of sound quality. The maximum spacing between posts shall be 2.0m

14



EROSION AND SEDIMENT CONTROL PLAN

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AMENDMENTS

Rev.	Issued by	Date	Description
I	RB	14.11.18	Adjustments for Compliance
J	CC	18.01.19	Room Details
K	RB	18.03.19	Variation #06 / #07
L	RB	25.03.19	Variation #08

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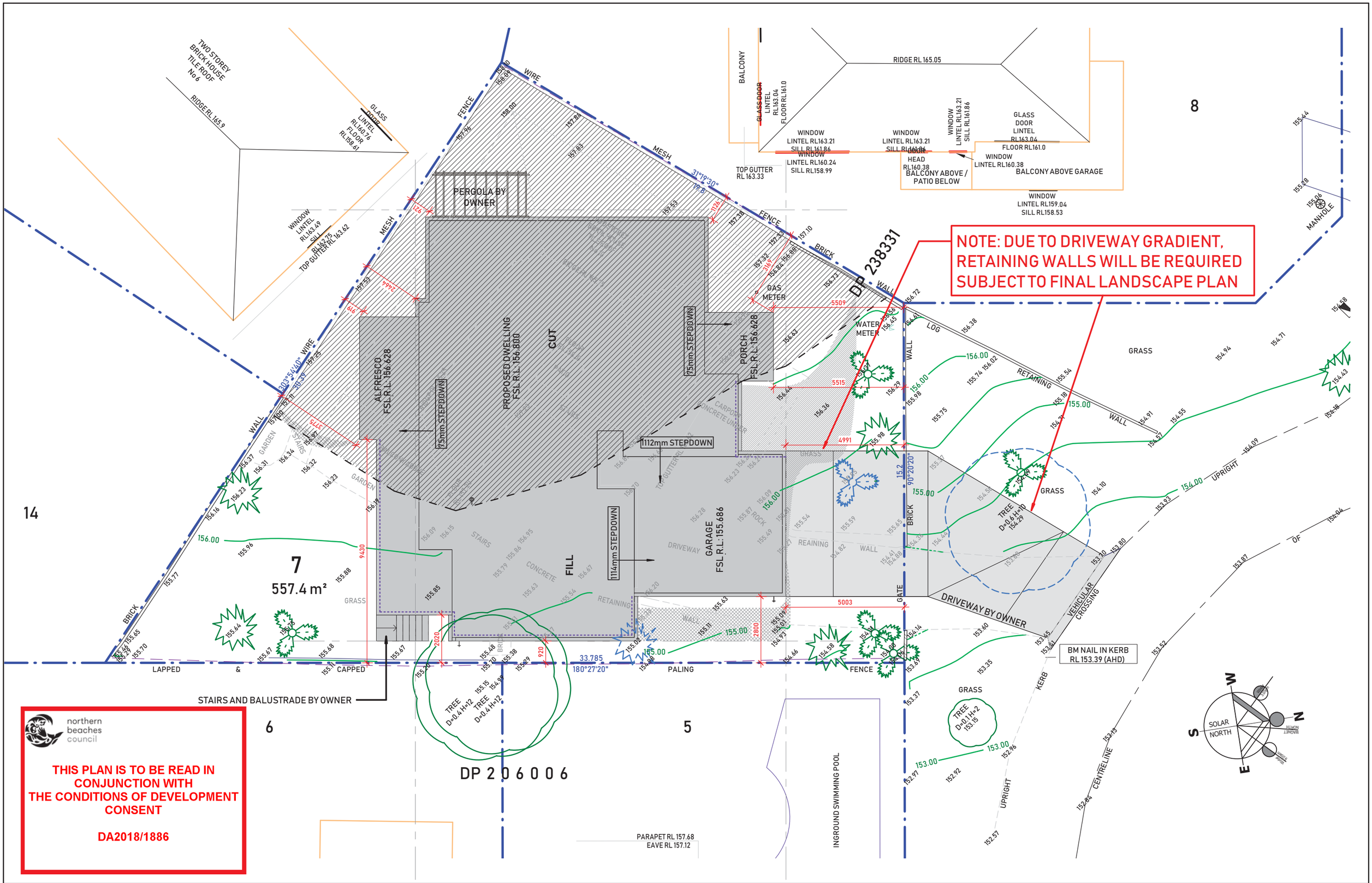
		DRAWN BY:	Robert Bacic
ADDRESS	10 Courtley Road, Beacon Hill	COUNCIL:	Northern Beaches Council
		D.A OR CDC:	D.A.
LOT/ D.P	Lot 7 / D38331	JOB NO:	NIL53618

DWG No. 01B

REV. L



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CUT/FILL PLAN

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		D.A OR CDC:	D.A.
LOT/ D.P	Lot 7 / D38331	JOB NO:	NIL53618

DWG No. **01C**

REV. **L**

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COLOUR FINISHES SCHEDULE

ROOF (BORAL ROOFING)	FASCIA/ GUTTER	DOWNPIPES (TAUBMANS)	EXTERNAL RENDERED WALLS (TAUBMANS)
MACQUARIE CLASSIC RED	COLORBOND MANOR RED	GOLDEN FABLE	GOLDEN FABLE
WINDOW FRAMES	DRIVEWAY PAVING	MOULDINGS	GARAGE DOOR
WHITE BIRCH	TBA	BOHEMIAN	WHITE BIRCH

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DA2018/1886

NOTE: COLOURS ARE SUBJECT TOALTER AT DIFFERENT TIMES OF THE DAY AND WEATHER CONDITIONS. ALL COLOURS O PLANS ARE SHOWNAS A SIMPLE ESTIMATION. TRUE COLOUR VALUESARE SUBJECT TO SUPPLIER

COLOUR SELECTION

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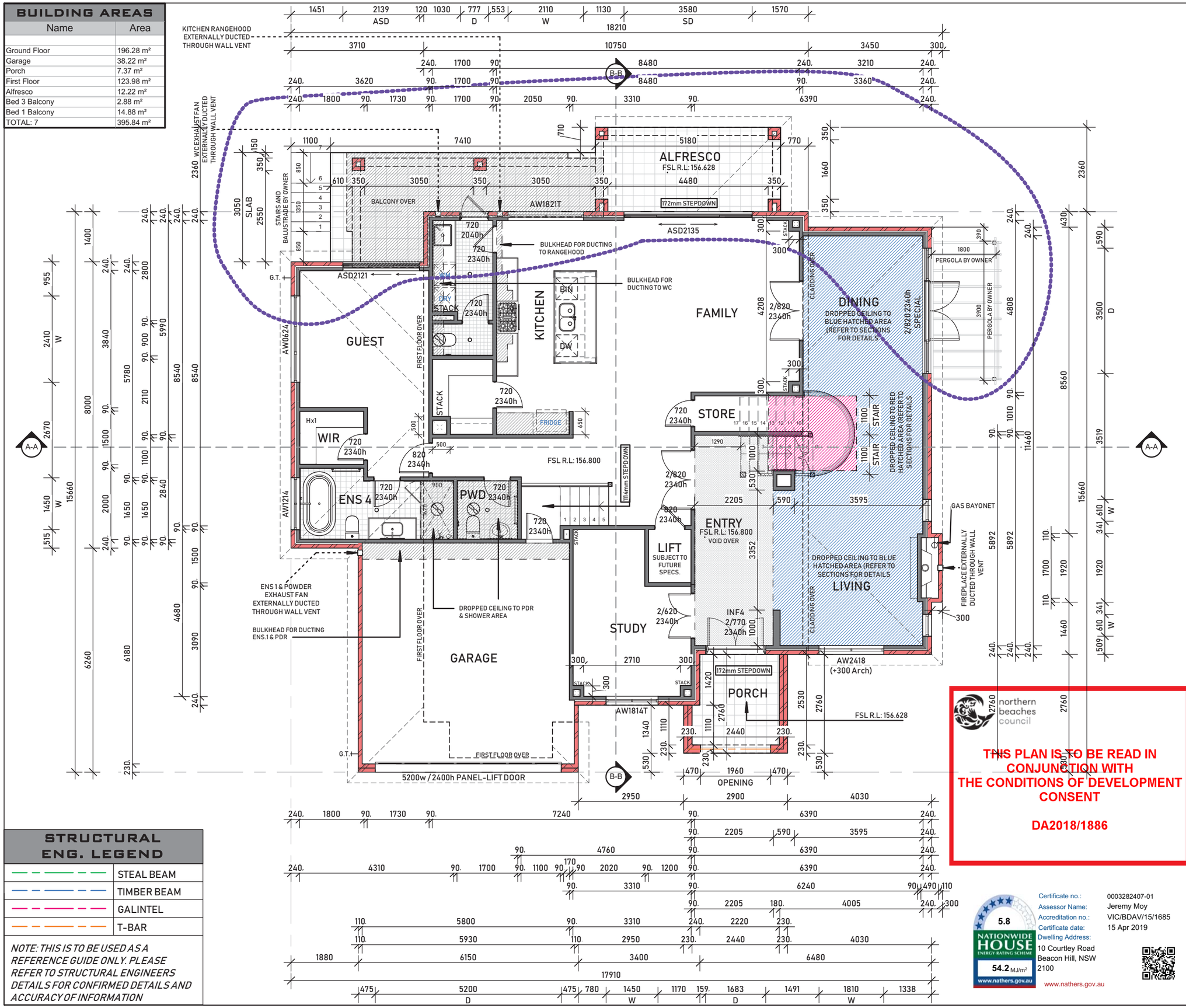
		D.A OR CDC:	D.A.
LOT/ D.P	Lot 7 / D38331	JOB NO:	NIL53618

DWG No. **01H**

REV. **L**

BUILDING AREAS

Name	Area
Ground Floor	196.28 m²
Garage	38.22 m²
Porch	7.37 m²
First Floor	123.98 m²
Alfresco	12.22 m²
Bed 3 Balcony	2.88 m²
Bed 1 Balcony	14.88 m²
TOTAL: 7	395.84 m²



STRUCTURAL ENG. LEGEND

	STEAL BEAM
	TIMBER BEAM
	GALINTEL
	T-BAR

NOTE: THIS IS TO BE USED AS A REFERENCE GUIDE ONLY. PLEASE REFER TO STRUCTURAL ENGINEERS DETAILS FOR CONFIRMED DETAILS AND ACCURACY OF INFORMATION

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2018/1886

5.8 NATIONWIDE HOUSE ENERGY RATING SCHEME 54.2 MJ/m² www.nathers.gov.au

Certificate no.: 0003282407-01
Assessor Name: Jeremy Moy
Accreditation no.: VIC/BDAV/15/1685
Certificate date: 15 Apr 2019
Dwelling Address: 10 Courtley Road Beacon Hill, NSW 2100

www.nathers.gov.au

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GROUND FLOOR PLAN

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AMENDMENTS

Rev.	Date	Description
A		Amended Tender
B	03.05.18	Variation #01
C	Date 3	Variation #01 Revised
D	19.06.18	New Survey Received
E	02.07.18	Variation #02
F	24.07.18	Balcony Size and Door Adjustment
G	14.08.18	Variation #04
H	08.10.18	Compliance Check
I	14.11.18	Adjustments for Compliance
J	18.01.19	Room Details
K	18.03.19	Variation #06 / #07
L	25.03.19	Variation #08

DESIGN
Trinity (Modified)

CLIENT
Rev. Hon. Fred Nile

ADDRESS
10 Courtley Road, Beacon Hill

LOT/ D.P
Lot 7 / D38331

DATE:	-
SCALE:	As indicated
DRAWN BY:	Robert Bacic
COUNCIL:	Northern Beaches Council
D.A OR CDC:	D.A.

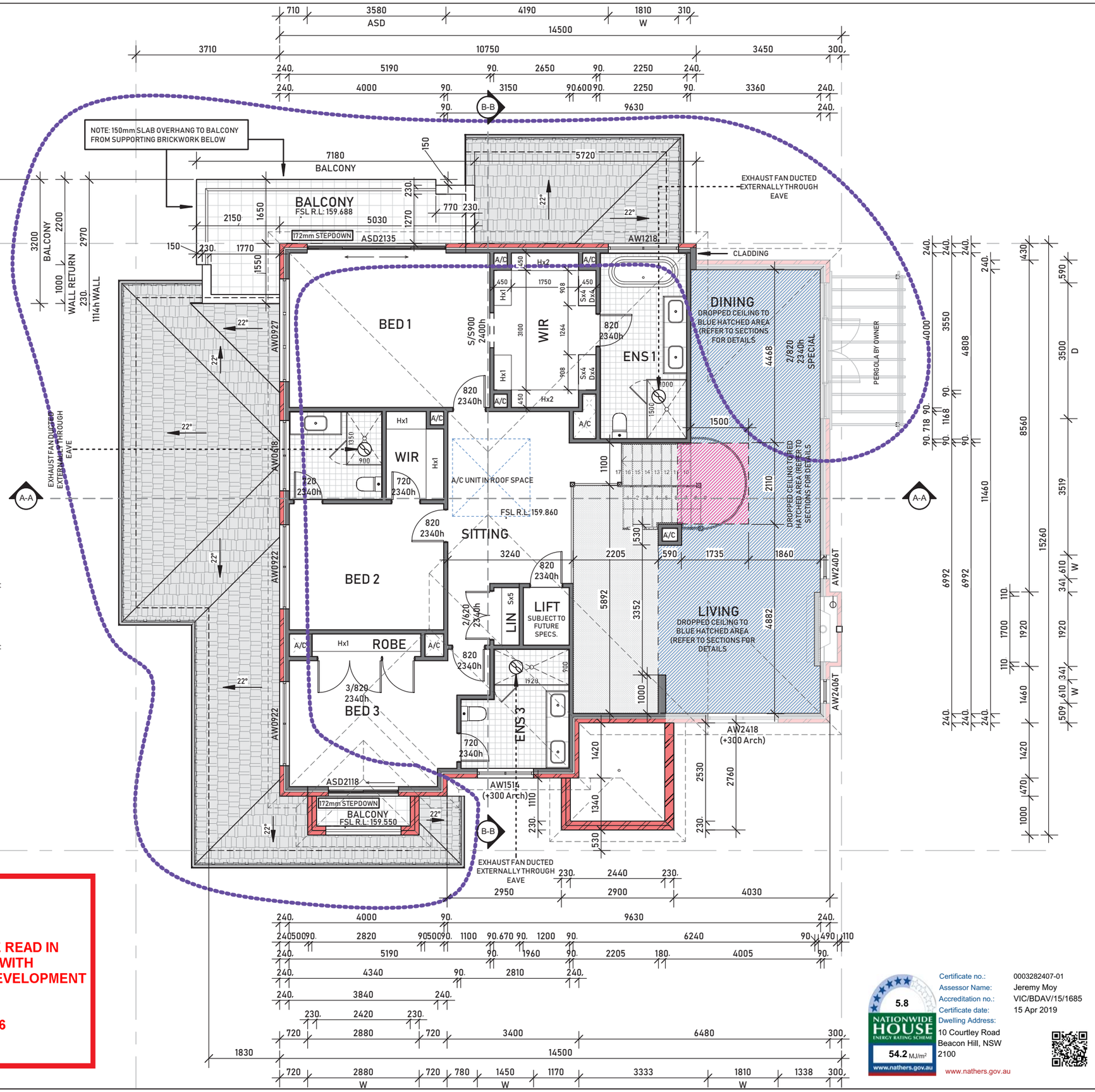
JOB NO:
NIL53618

DRAWING No.
02

REVISION
L

BUILDING AREAS

Name	Area
Ground Floor	196.28 m²
Garage	38.22 m²
Porch	7.37 m²
First Floor	123.98 m²
Alfresco	12.22 m²
Bed 3 Balcony	2.88 m²
Bed 1 Balcony	14.88 m²
TOTAL: 7	395.84 m²



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DA2018/1886

Certificate no.: 0003282407-01
Assessor Name: Jeremy Moy
Accreditation no.: VIC/BDAV/15/1685
Certificate date: 15 Apr 2019
Dwelling Address: 10 Courtley Road Beacon Hill, NSW 2100

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FIRST FLOOR PLAN

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F	24.07.18	Balcony Size and Door Adjustment
G	14.08.18	Variation #04
H	08.10.18	Compliance Check
I	14.11.18	Adjustments for Compliance
J	18.01.19	Room Details
K	18.03.19	Variation #06 / #07
L	25.03.19	Variation #08

DESIGN
Trinity (Modified)

CLIENT
Rev. Hon. Fred Nile

ADDRESS
10 Courtley Road, Beacon Hill

LOT/ D.P
Lot 7 / D38331

DATE:	-
SCALE:	1 : 100
DRAWN BY:	Robert Bacic
COUNCIL:	Northern Beaches Council
D.A OR CDC:	D.A.

JOB NO:
NIL53618

DRAWING No.
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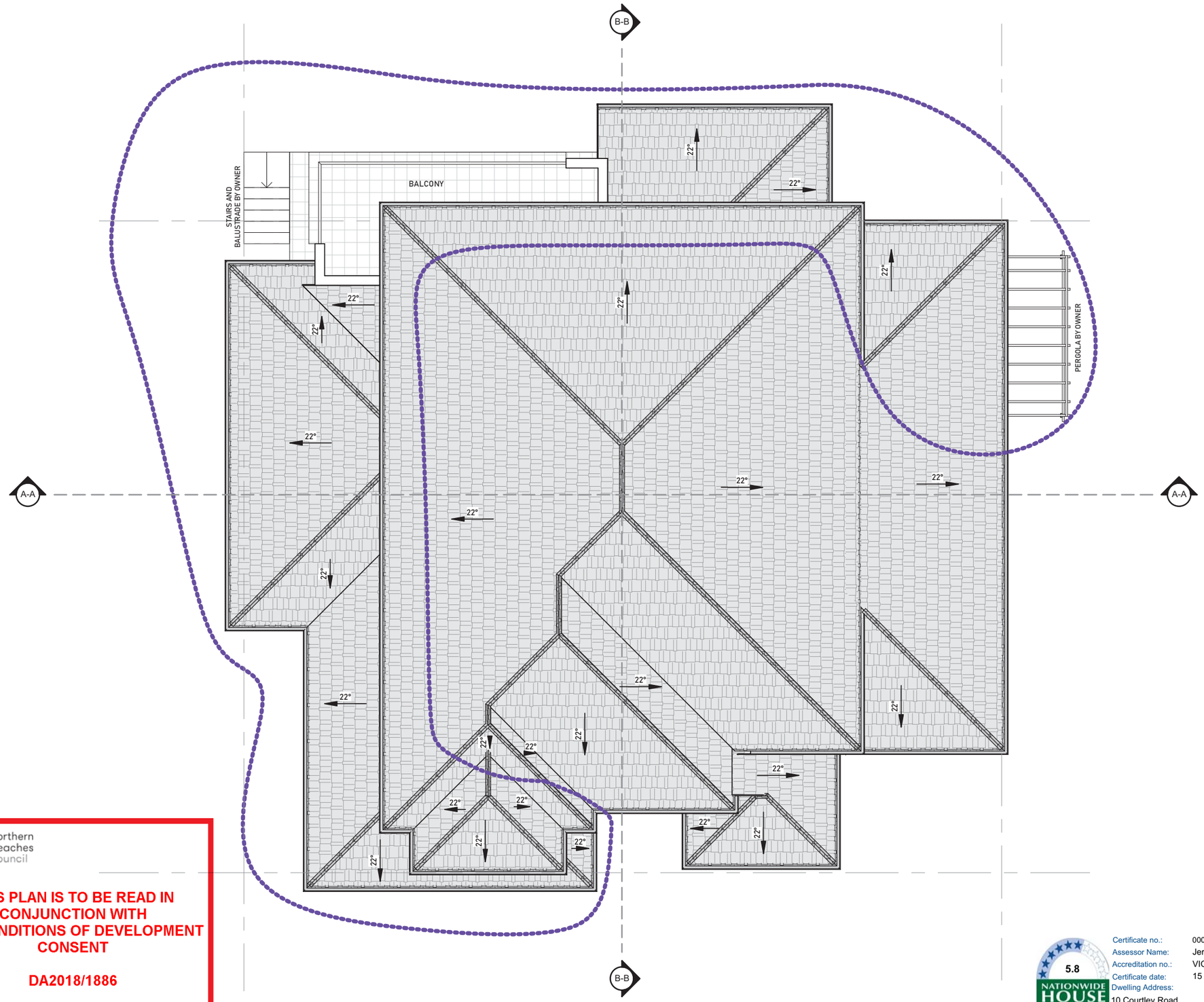

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ROOF PLAN

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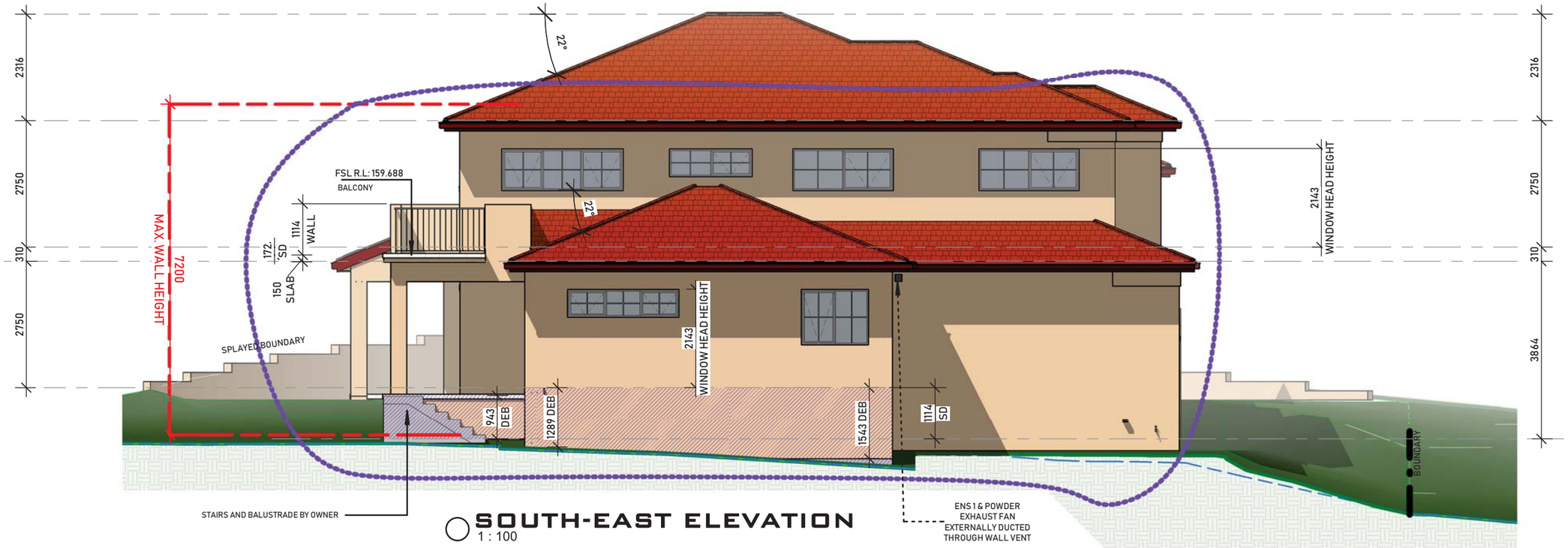
Certificate no.: 0003282407-01
Assessor Name: Jeremy Moy
Accreditation no.: VIC/BDAV/15/1685
Certificate date: 15 Apr 2019
Dwelling Address: 10 Courtley Road Beacon Hill, NSW 2100

www.nathers.gov.au

NORTH-EAST ELEVATION
1 : 100



SOUTH-EAST ELEVATION
1 : 100

LEGEND

	EXISTING GROUND LEVEL
	PROPOSED FGL BY BUILDER
	RETAINING WALL BY OWNER
	DROP EDGE BEAM
	REQ. BUILDING ENVELOPE

northern beaches council

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ELEVATION 1 & 2

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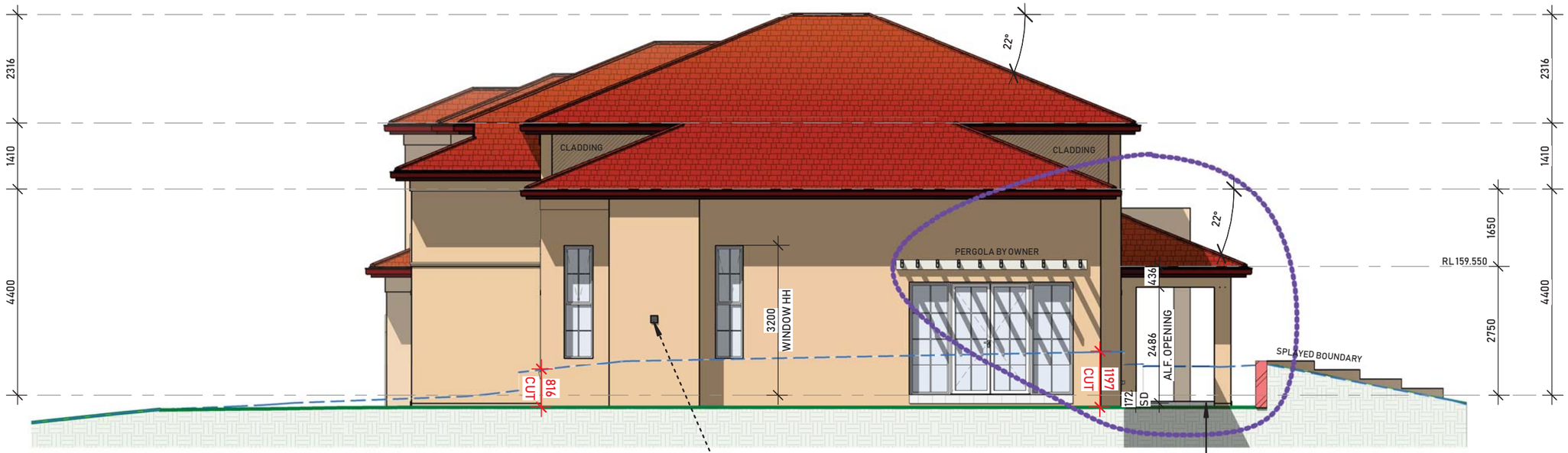
- LIGHTING FIXTURES ARE NOT INCLUDED AS A STANDARD ITEM AND THEY ARE ONLY SHOWN IN THIS VIEW AS A REFERENCE

DESIGN	Trinity (Modified)	DATE:	-
CLIENT	Rev. Hon. Fred Nile	SCALE:	As indicated
		DRAWN BY:	Robert Bacic
ADDRESS	10 Courtley Road, Beacon Hill	COUNCIL:	Northern Beaches Council
		D.A OR CDC:	D.A.
LOT/ D.P	Lot 7 / D38331	JOB NO:	NIL53618

DWG No. **04**

REV. **L**

SOUTH-WEST ELEVATION
1 : 100



NORTH-WEST ELEVATION
1 : 100

LEGEND

	EXISTING GROUND LEVEL
	PROPOSED FGL BY BUILDER
	RETAINING WALL BY OWNER
	DROP EDGE BEAM
	REQ. BUILDING ENVELOPE

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2018/1886

5.8 NATIONWIDE HOUSE ENERGY RATING SCHEME 54.2 MJ/m² www.nathers.gov.au

Certificate no.:	0003282407-01
Assessor Name:	Jeremy Moy
Accreditation no.:	VIC/BDAV/15/1685
Certificate date:	15 Apr 2019
Dwelling Address:	10 Courtley Road Beacon Hill, NSW 2100

www.nathers.gov.au

ELEVATION 3 & 4

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www.charlestonhomes.com.au
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AMENDMENTS

Rev.	Issued by	Date	Description
I	RB	14.11.18	Adjustments for Compliance
J	CC	18.01.19	Room Details
K	RB	18.03.19	Variation #06 / #07
L	RB	25.03.19	Variation #08

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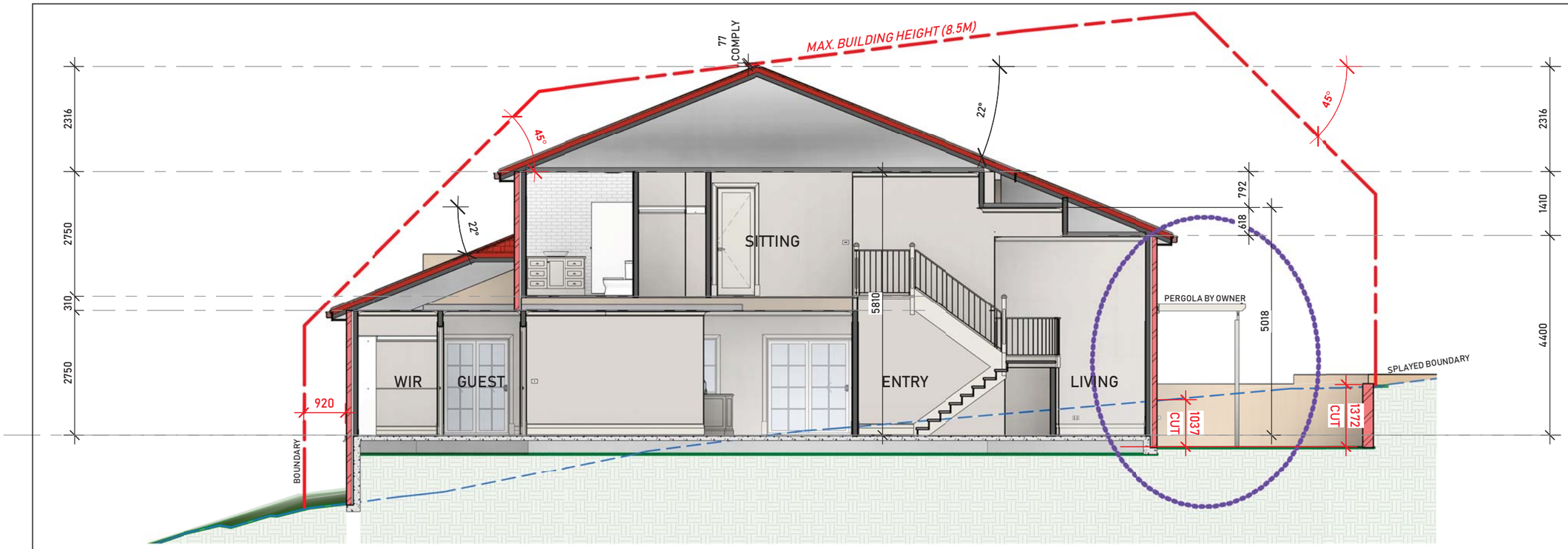
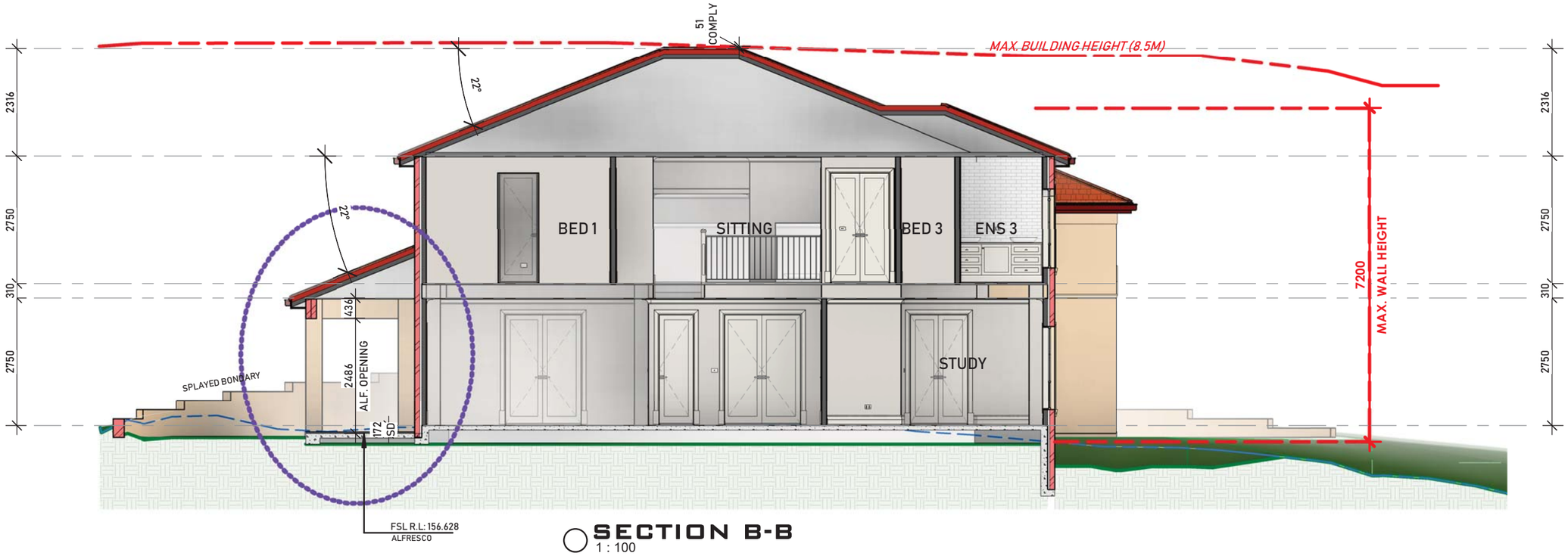
LOT/ D.P	Lot 7 / D38331	JOB NO:	NIL53618

DWG No. **04A**

REV. **L**



SECTION A-A
1 : 100



SECTION B-B
1 : 100

LEGEND
EXISTING GROUND LEVEL
PROPOSED FGL BY BUILDER
RETAINING WALL BY OWNER
DROP EDGE BEAM
REQ. BUILDING ENVELOPE

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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SECTIONS

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DWG No. **06A**

REV. **L**