

# PROPOSED NEW DWELLING

AT

10 SPRING ROAD

NORTH CURL CURL

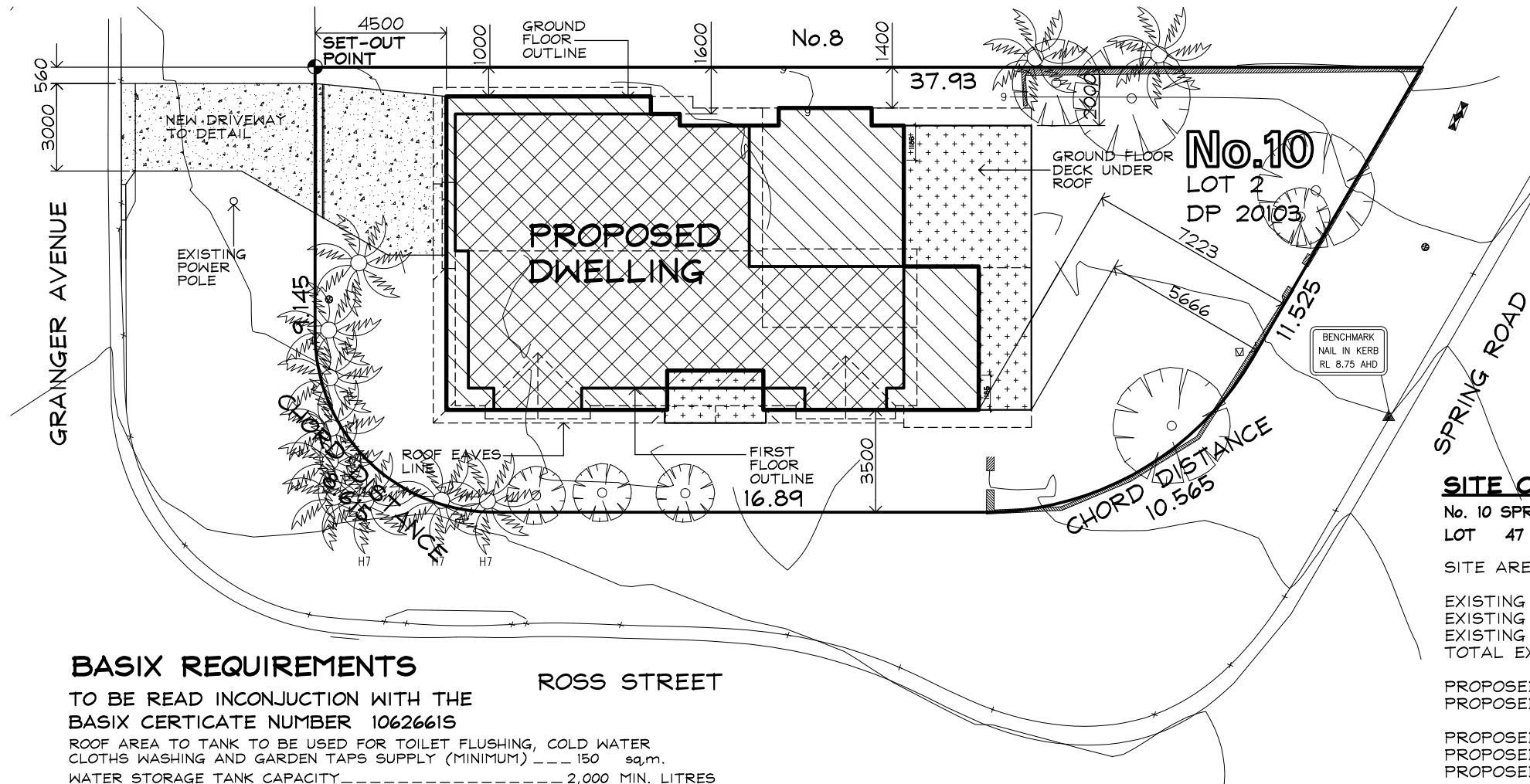
FOR

Mr. C. & Mrs. L. WATSON

DECEMBER 2019



CLASSIC  
COUNTRY  
COTTAGES



#### NOTES:-

1. ALL GLAZING TO WINDOWS & DOORS SHALL BE IN ACCORDANCE WITH THE BASIX REPORT.
2. EXTERNAL WALL CLADDING SHALL BE SELECTED PLANK CLADDING WITH A SPECIFIED PAINTED COLOUR FINISH.
3. AN APPROVED RATED INSULATION TO ALL EXTERNAL TIMBER FRAMED WALLS IN ACCORDANCE WITH THE BASIX REPORT.
4. AN APPROVED RATED INSULATION MATERIAL TO BE PLACED IN THE CEILING SPACE WITHIN THE PERIMETER OF ALL EXTERNAL WALLS IN ACCORDANCE WITH THE BASIX REPORT.
5. AN APPROVED RATED CONDENSATION BLANKET PLACED UNDER ROOF SHEETING THRU-OUT IN ACCORDANCE WITH THE BASIX REPORT.
6. ROOF FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
7. EXTERNAL WALL FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
8. ALL WINDOWS AND DOORS TO HAVE WEATHER STRIPPING.
9. ALL WINDOWS & DOORS AS NOTED ON PLAN WITH SPECIFIED COLOUR FINISH.
10. ALL PAINTING TO OWNERS REQUIREMENTS.
11. ALL POWER OUTLETS & SWITCHES TO OWNERS REQUIREMENTS.
12. ALL GLAZING TO CODE AS1288
13. ALL PEST TREATMENT TO CODE AS3660.1-2000
14. SMOKE DETECTOR DENOTED SD ON PLAN TO BCA/39
15. ALL WATERPROOFING TO WET AREAS TO CODE AS3740
16. ALL TIMBER FRAMING TO CODE AS1684
17. ALL WORK CARRIED OUT TO BE IN ACCORDANCE WITH THE BCA.

#### SITE CRITERIA

No. 10 SPRING RPAD NORTH CURL CURL N.S.W 2099  
LOT 47 D.P. 20103

SITE AREA ..... = 495.1 sq. m.

EXISTING SOFT OPEN SPACE ..... = 206.7 sq. m.  
EXISTING HARD OPEN SPACE ..... = 163.3 sq. m.  
EXISTING HARDSTAND ..... = 125.1 sq. m.  
TOTAL EXISTING HARDSTAND ..... = 288.4 sq. m.

PROPOSED DRIVEWAY AREA ..... = 23.7 sq. m.  
PROPOSED GARAGE FLOOR AREA ..... = 41.4 sq. m.

PROPOSED TOTAL GROUND FLOOR AREA ..... = 170.0 sq. m.  
PROPOSED GROUND FLOOR FRONT DECK AREA ..... = 6.0 sq. m.  
PROPOSED GROUND FLOOR REAR DECK AREA ..... = 29.9 sq. m.

PROPOSED TOTAL FIRST FLOOR AREA ..... = 117.9 sq. m.

DWELLING ROOF AREA ..... = 227.4 sq. m.

POST LANDSCAPE AREA < 2.0 WIDE ..... = 51.7 sq. m. (10.5 %)  
POST LANDSCAPE AREA > 2.0 WIDE ..... = 249.7 sq. m. (50.4 %)  
POST HARDSTAND ..... = 193.7 sq. m. (39.1 %)

TOTAL OSD AREA POST DEVELOPEMENT ..... = 248.4 sq. m. (50.2 %)

2 CAR PARKING SPACES PROVIDED IN GARAGE

#### BASIX REQUIREMENTS

TO BE READ INCONJUNCTION WITH THE  
BASIX CERTIFICATE NUMBER 1062661S

ROOF AREA TO TANK TO BE USED FOR TOILET FLUSHING, COLD WATER  
CLOTHS WASHING AND GARDEN TAPS SUPPLY (MINIMUM) --- 150 sq.m.  
WATER STORAGE TANK CAPACITY --- 2,000 MIN. LITRES

NEW SHOWER HEAD MINIMUM RATING ..... 3 STAR RATING  
NEW TOILET MINIMUM RATING ..... 3 STAR RATING  
ALL NEW TAP FITTINGS MINIMUM RATING ..... 3 STAR RATING  
ROOF COLOUR ..... MEDIUM SA 0.475 - 0.70  
ROOF SHEETING ON INSULATION ..... R1.0 RATING  
EXTERNAL WALLS INSULATION ..... R2.5 RATING  
CEILING INSULATION ..... R4.0 RATING  
INTERNAL WALL (GARAGE, POWDER, LAUNDRY) ..... R2.0 RATING  
INTERNAL INSULATION (FLOOR ABOVE GARAGE) ..... R4.0 RATING  
SUBFLOOR INSULATION ..... R2.0 RATING

DOOR AND WINDOWS TO HAVE WEATHER STRIPPING

ALL FIXED AND SLIDING WINDOWS TO HAVE UW 4.5 & SHGCw 0.61

ALL DOUBLE HUNG WINDOWS AND SLIDING DOORS TO HAVE UW 4.3 & SHGCw 0.53

INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THRU-OUT 0 sq.m.  
OF THE SITE TO BE PLANTED REFER LANDSCAPE PLAN.

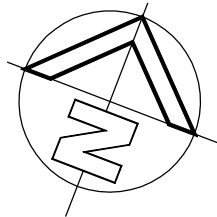
HOT WATER SERVICE TO BE GAS INSTANTANEOUS WITH A PREFORMANCE OF  
5 STARS OR BETTER.

COOLING SYSTEM TO BE IN AT LEAST 1 LIVING AREA & 1 BEDROOM  
TO BE A SINGLE PHASE AIR CONDITIONING WITH AN ENERGY RATING OF  
3.0 STAR ( NEW RATING) PLUS A CEILING FAN. THE COOLING SYSTEM MUST  
MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING & BEDROOM AREAS.

HEATING SYSTEM IN AT LEAST 1 LIVING AREA GAS FIXED FLUE FIRE PLACE  
WITH A 3.5 STAR RATING.  
HEATING SYSTEM IN AT LEAST 1 LIVING AREA & 1 BEDROOM PLUS 3-PHASE  
AIR CONDITIONING WITH AN ENERGY RATING OF 3 STAR (NEW RATING)  
FIXED OUTDOORS CLOTHES DRYING LINE TO BE INSTALLED  
GAS COOKER WITH ELECTRIC OVEN.

APPLICANT MUST ENSURE THAT THE "PRIMARY TYPE OF ARTIFICIAL LIGHTING"  
IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) LIGHTING IN EACH OF THE  
FOLLOWING ROOMS, AND WHERE THE "DEDICATEWD" APPEARS, THE FITTINGS  
FOR THOSE LIGHTS MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR  
LIGHT EMITTING DIODE (LED) LAMPS:

. THE LAUNDRY, AT LEAST 5 OF THE BEDROOMS / STUDY, ALL HALLWAYS  
ALL BATHROOMS/TOILETS & AT LEAST 3 LIVING/DINING ROOMS - ALL DEDICATED



#### GENERAL NOTES AND BCA COMPLIANCE

- EARTHWORKS METHOD OF EXCAVATION AND FILL TO COMPLY WITH PART 3.1.1. B.C.A.
- TERMITE RISK MANAGEMENT TO COMPLY WITH PART 3.1.3 OF THE B.C.A. AND AS3660-1
- FOOTINGS AND SLABS TO COMPLY WITH PART 3.2 OF THE B.C.A. , AS2870 AND ENGINEERS DETAILS
- MASONARY CONSTRUCTION TO COMPLY WITH PART 3.3 OF THE B.C.A. AND AS3700
- TIMBER FRAMING TO COMPLY WITH PART 3.4 OF THE B.C.A. AND AS1684
- GLAZING TO COMPLY WITH PART 3.6 OF THE B.C.A. AND AS1288
- SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF THE B.C.A. AND AS3786
- STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 OF THE B.C.A.
- BALUSTRADES AND OTHER BARRIERS TO COMPLY WITH PART 3.9.2 OF THE B.C.A.
- NATURAL LIGHT TO COMPLY WITH PART 3.8.4 OF THE B.C.A.
- VENTILATION TO COMPLY WITH PART 3.8.5 OF THE B.C.A.
- ALL DAMP AND WEATHERPROOFING TO COMPLY WITH PART 3.8 OF THE B.C.A.
- ROOFING TO COMPLY WITH PART 3.5.1 OF THE B.C.A. AND AS/NZ1562
- FLOOR SURFACES OF WATER CLOSETS, SHOWER COMPARTMENTS AND THE A LIKE TO BE OF MATERIALS IMPERVIOUS TO MOISTURE AND WALLS FINISHED WITH AN APPROVED IMPERVIOUS FINISH TO COMPLY WITH THE REQUIREMENTS OF PART 3.8 OF THE B.C.A. AND AS3740
- CLOTHS WASHING, DRYING AND COOKING FACILITIES TO BE PROVIDED TO COMPLY WITH PART 3.8.3 OF THE B.C.A.

ABOVE NOTES TO BE READ IN-CONJUNCTION  
WITH THE ARCHITECTURAL PLANS AND THE  
STRUCTURAL ENGINEERS DETAILS

IF IN  
DOUBT  
ASK

## CLASSIC COUNTRY COTTAGES

OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259  
P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261  
Tel : (02) 4352 1189 Fax : (02) 4352 1198  
Builders Lic. 158741C ABN 65 687 862 151

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PROJECT

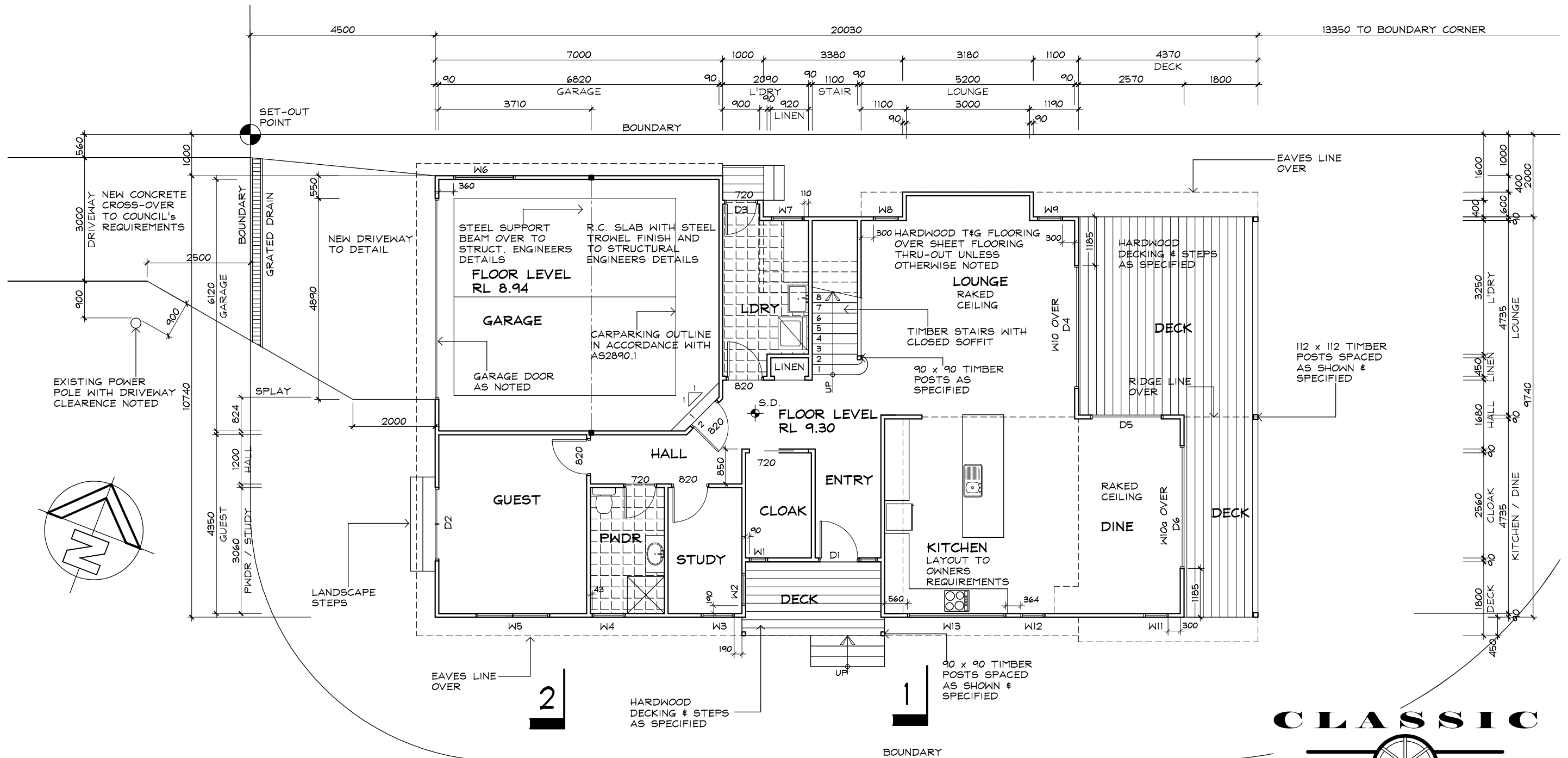
**PROPOSED NEW DWELLING  
10 SPRING ROAD  
NORTH CURL CURL**

**FOR  
Mr. C. & Mrs. L. WATSON**

DATE **DEC. 2019** SCALE **1:200**

JOB No. DWG. No. REV

**CC161 01 A**



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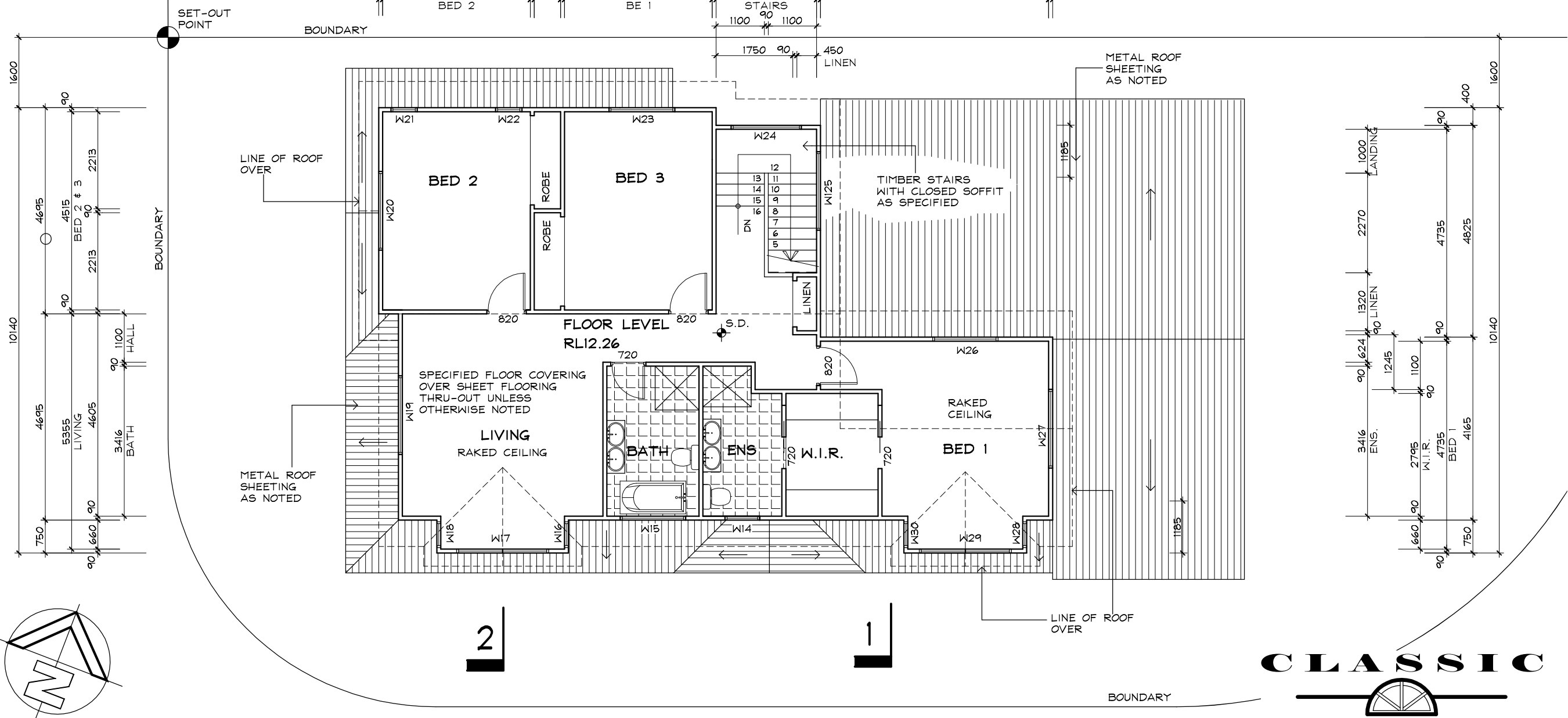
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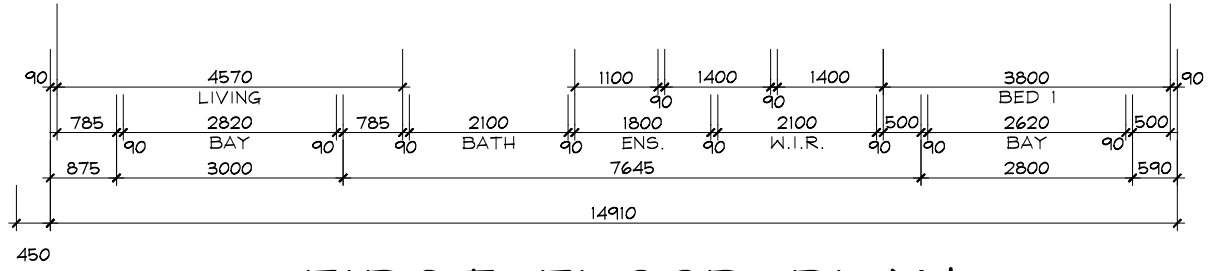
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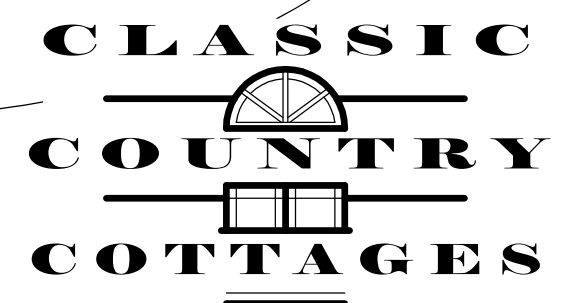




**ENSUITE, LAUNDRY & BATH**  
 SELECTED FLOOR TILES OVER SELECTED  
 WATER RESISTANT FLOOR SHEETING  
 GRADED TO FLOOR WASTE.  
 SELECTED WALL TILES IN SHOWER RECESS TO  
 BE AS SPECIFIED.  
 CEILING & WALLS TO BE AS SPECIFIED



**FIRST FLOOR PLAN**



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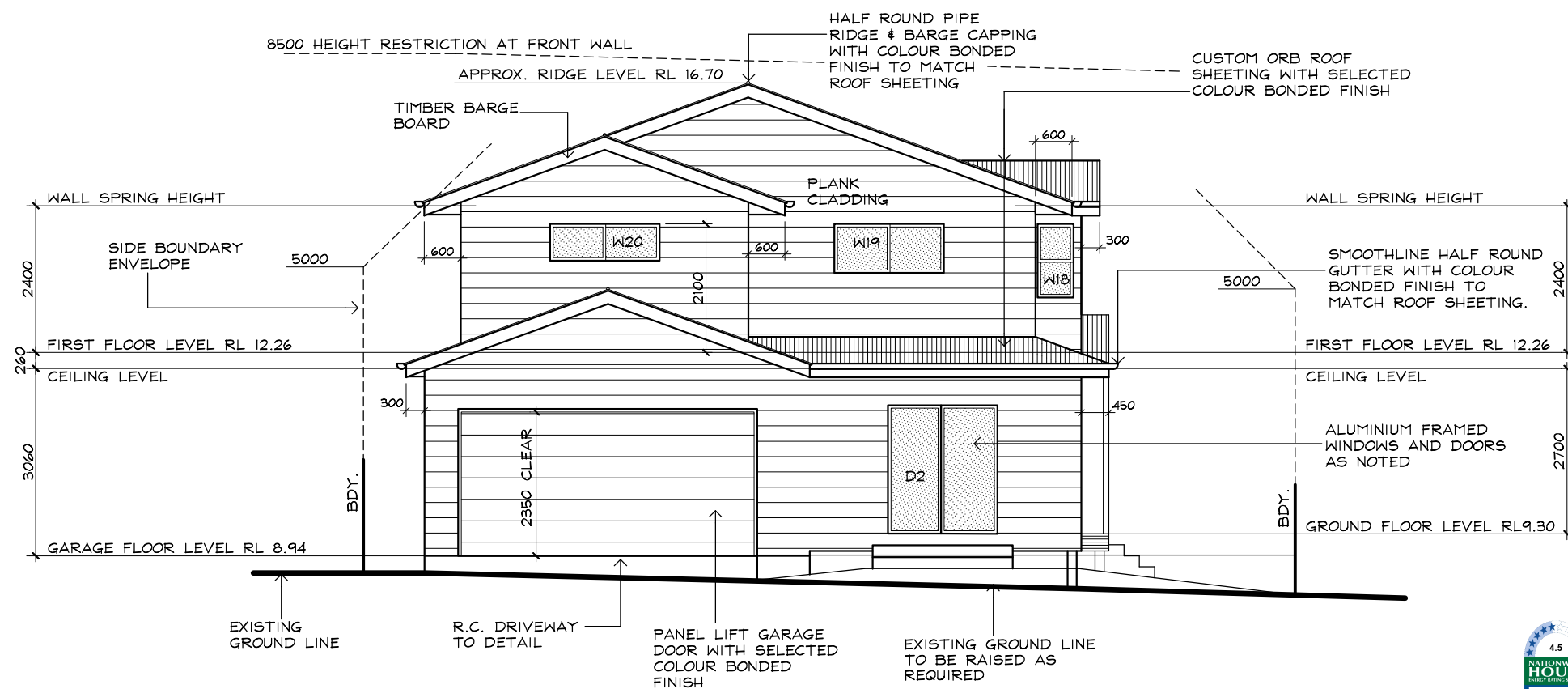
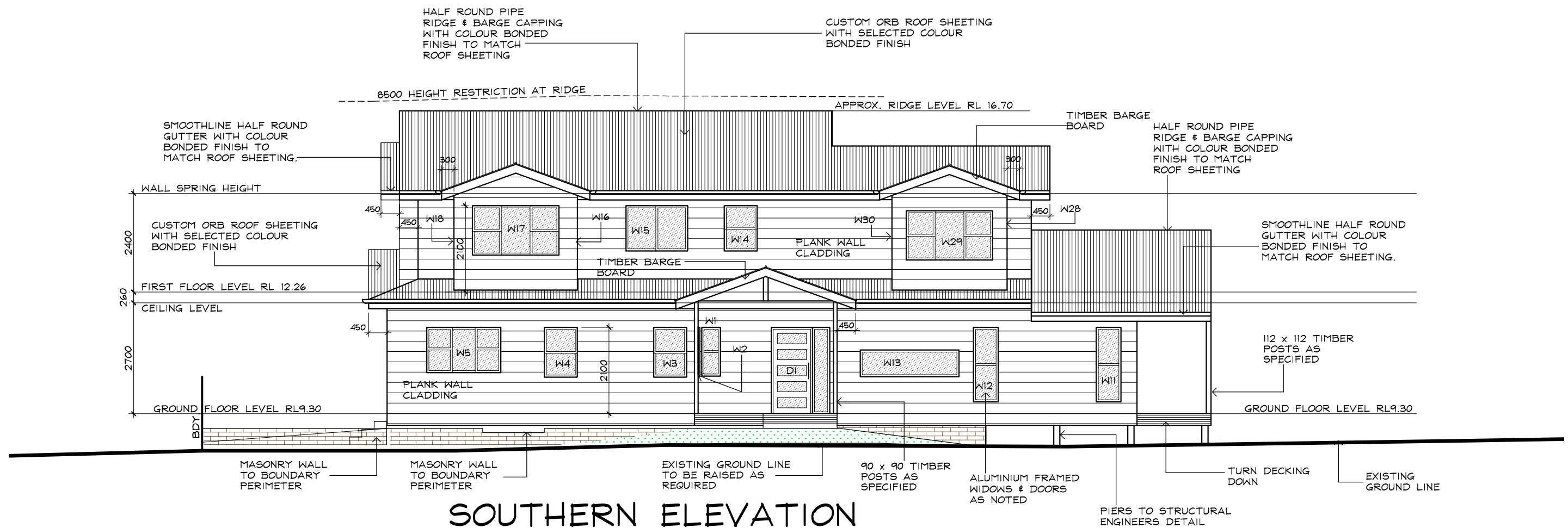
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**C L A S S I C**  
  
**C O U N T R Y**  
  
**C O T T A G E S**

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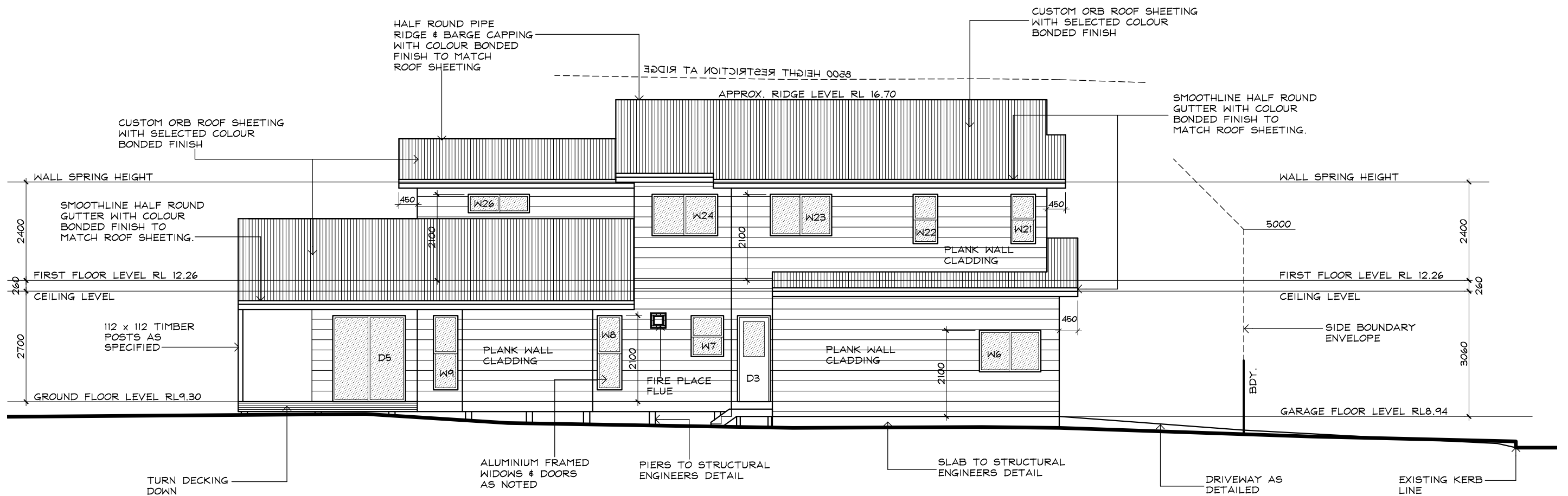
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**10 SPRING ROAD**  
**NORTH CURL CURL**  
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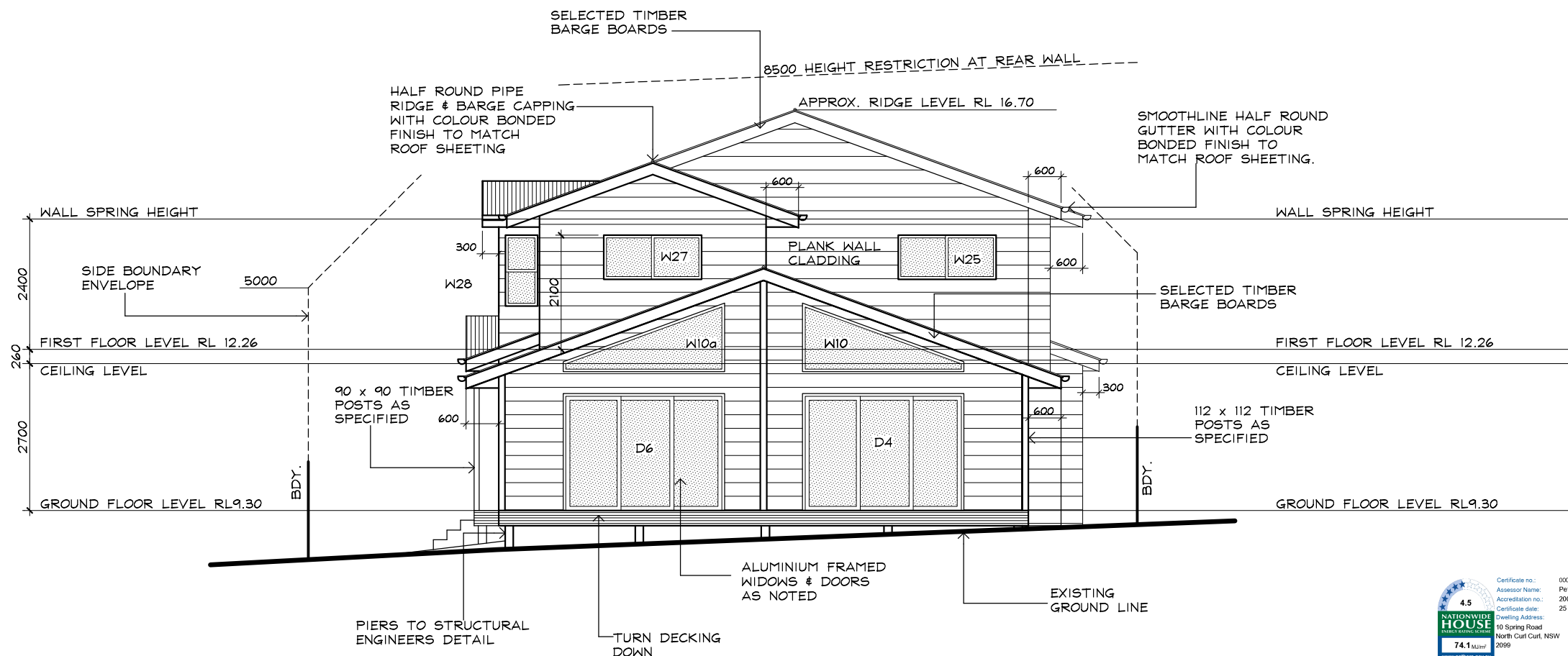
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NORTHERN ELEVATION



EASTERN ELEVATION

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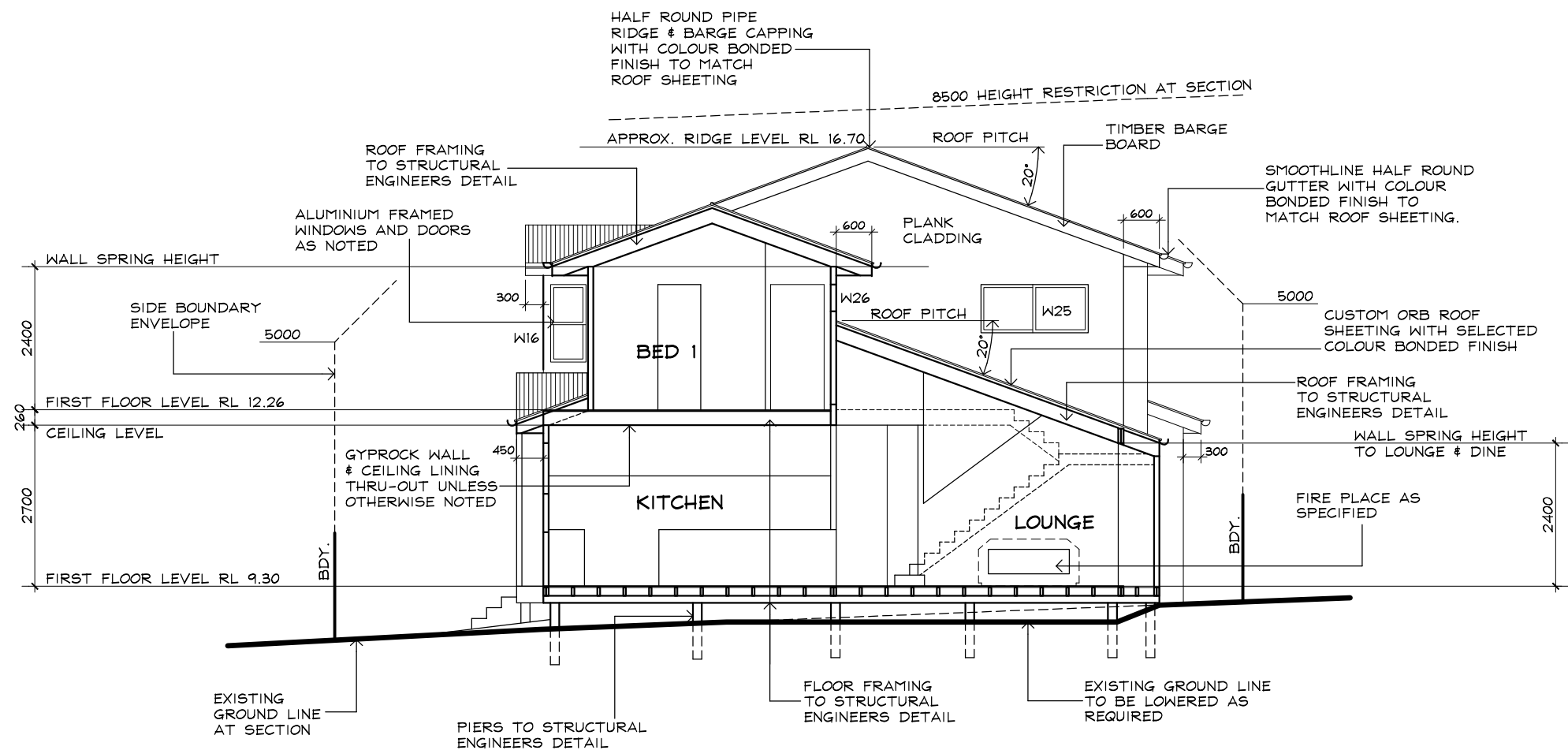
Certificate no.: 0004618468  
Assessor Name: Peter Barlow  
Accreditation no.: 20045  
Certificate date: 25 Feb 2020

Building Address:  
10 Spring Road  
North Curl Curl, NSW  
2099  
www.nashers.gov.au

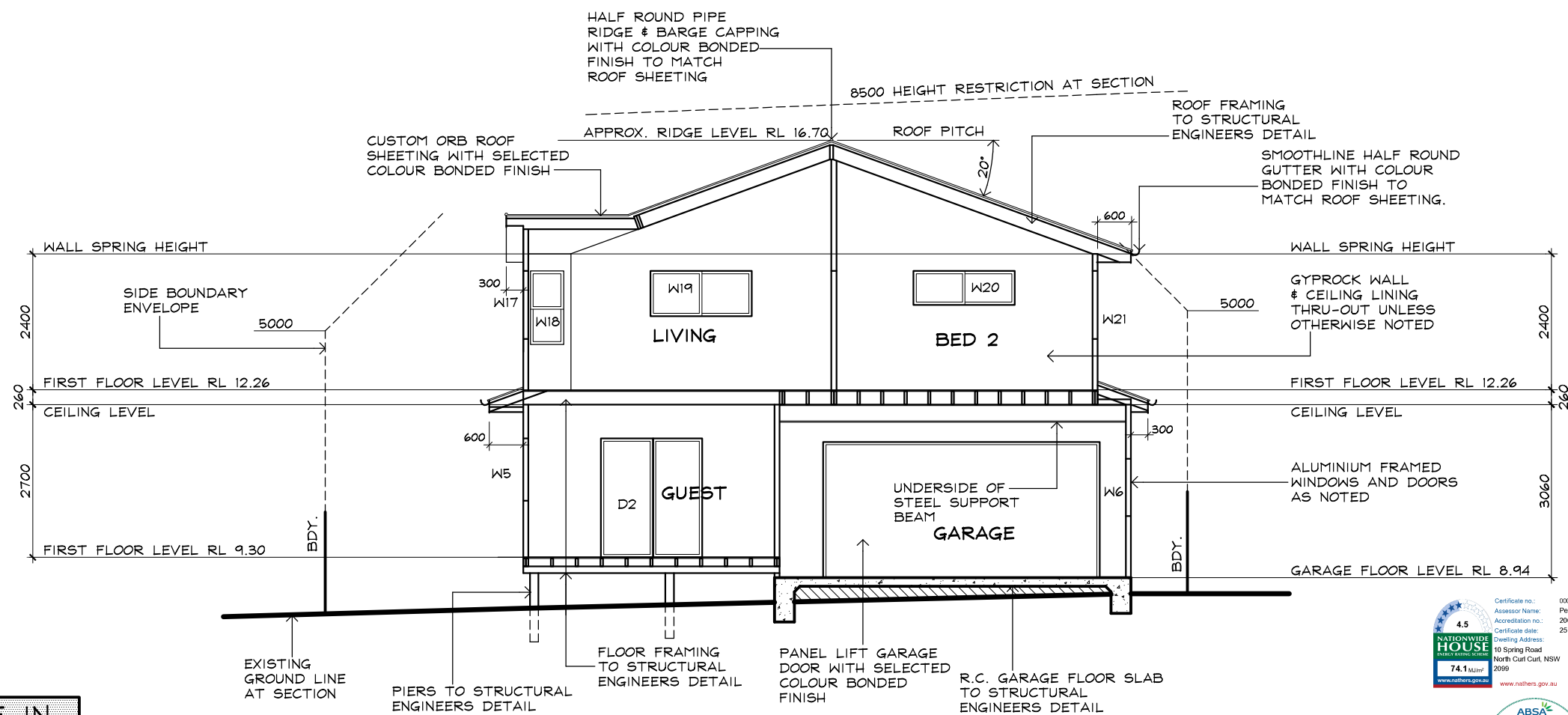


Accreditation no.: 010419-31032020  
Assessor Name: Peter Barlow  
Assessor No.: 20045  
Assessor Signature: [Signature]

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## SECTION 1



## SECTION 2

# CLASSIC COUNTRY COTTAGES

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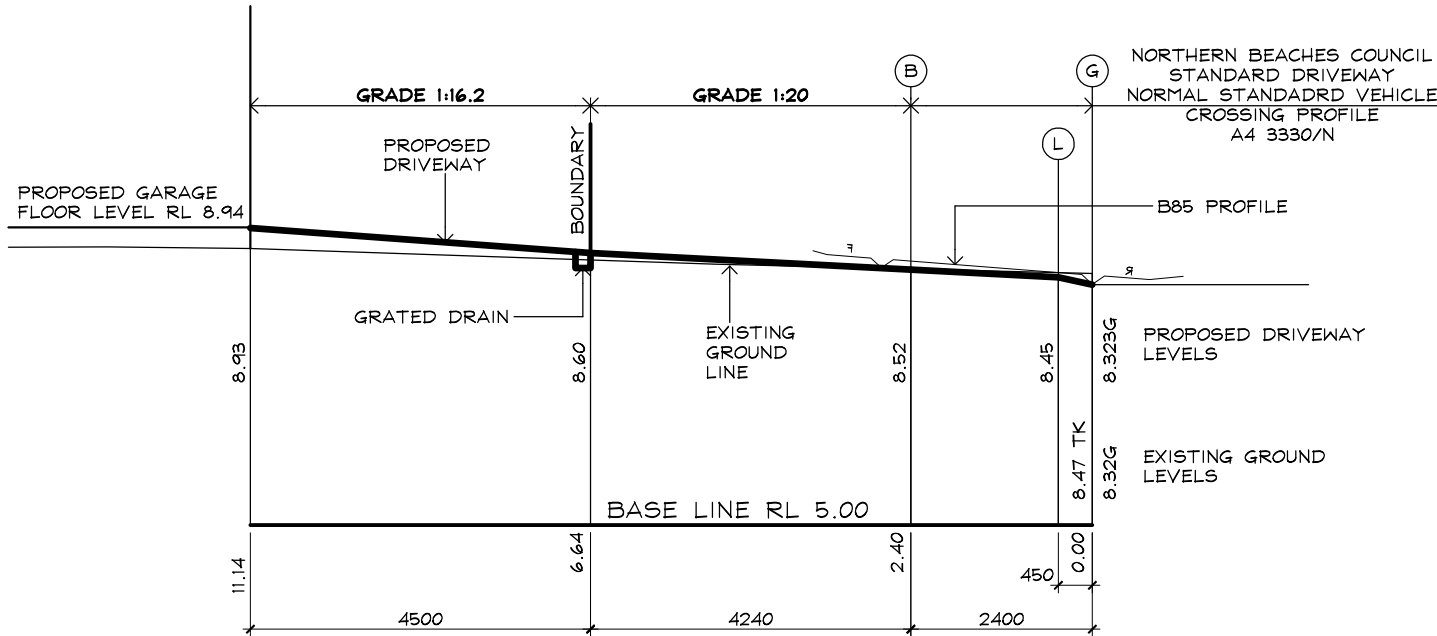
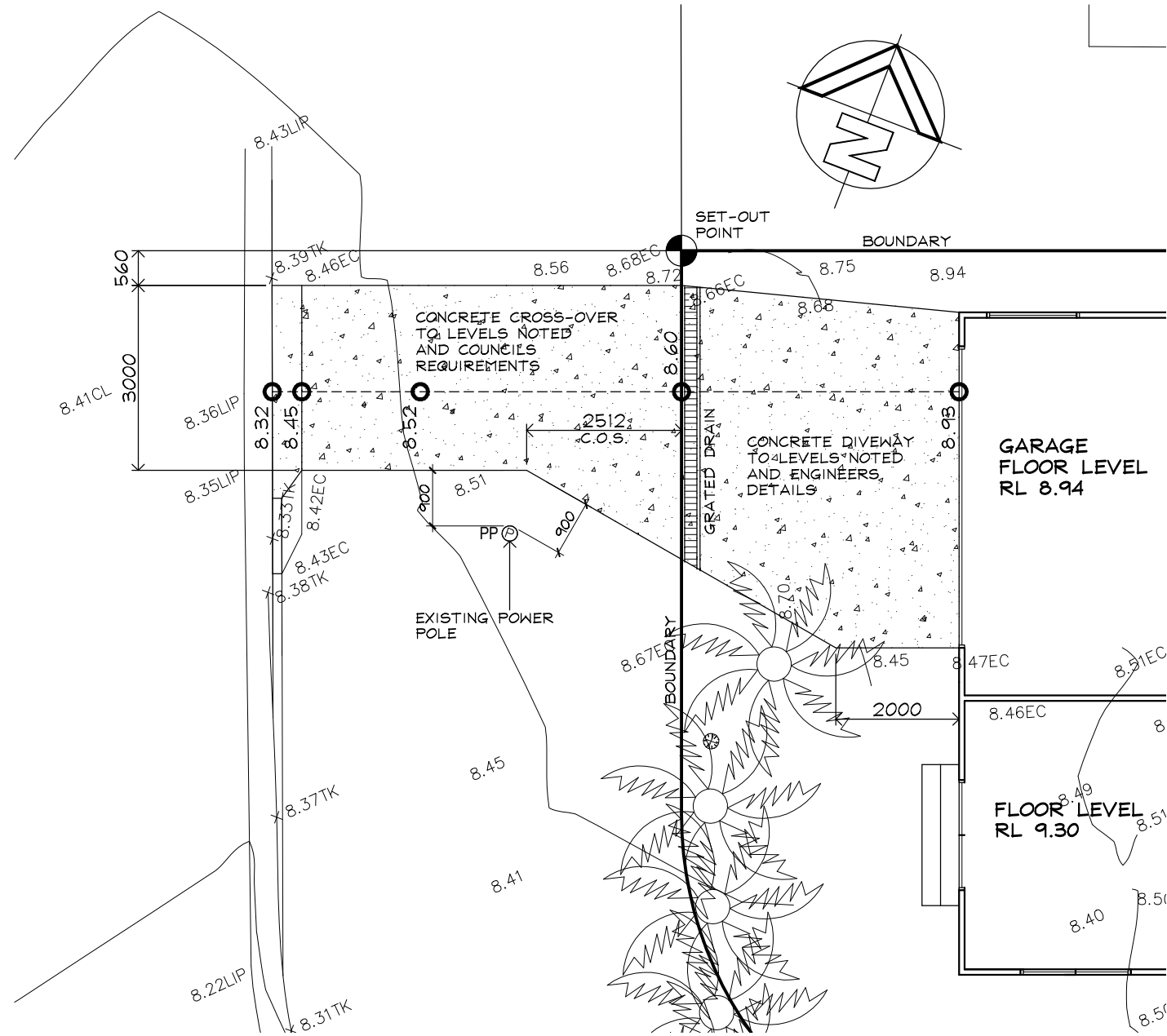
Certificate no.: 0004818488  
Assessor Name: Peter Barlow  
Accreditation no.: 20045  
Certificate date: 25 Feb 2020  
Dwelling Address: 10 Spring Road  
North Curl Curl, NSW  
2099  
www.nathouse.gov.au



**NOTE:-**  
DRIVEWAY & CROSS-OVER HAS BEEN  
DESIGNED  
TO BE IN ACCORDANCE WITH THE  
COUNCIL'S  
NORMAL STANDARD VEHICLE CROSSING  
PROFILE A4 - 3330/1 N

**NOTE:-**  
DRIVEWAY CROSS-OVER TO BE IN  
ACCORDANCE WITH THE COUNCIL'S  
SPECIFICATION AND AUSTRALIAN STANDARD  
AS1428.1:2001-DESIGN FOR ACCESS AND  
MOBILITY.

CROSS-OVER TO BE IN ACCORDANCE WITH  
COUNCILS CIVIL INFRASTRUCTURE WORKS,  
DEVELOPEMENT & SUBDIVISION 2003 &  
AS1428.1 2001. TO PROVIDE FOR FUTURE  
FOOTPATH



## DRIVEWAY SET-OUT PLAN

Scale 1:100

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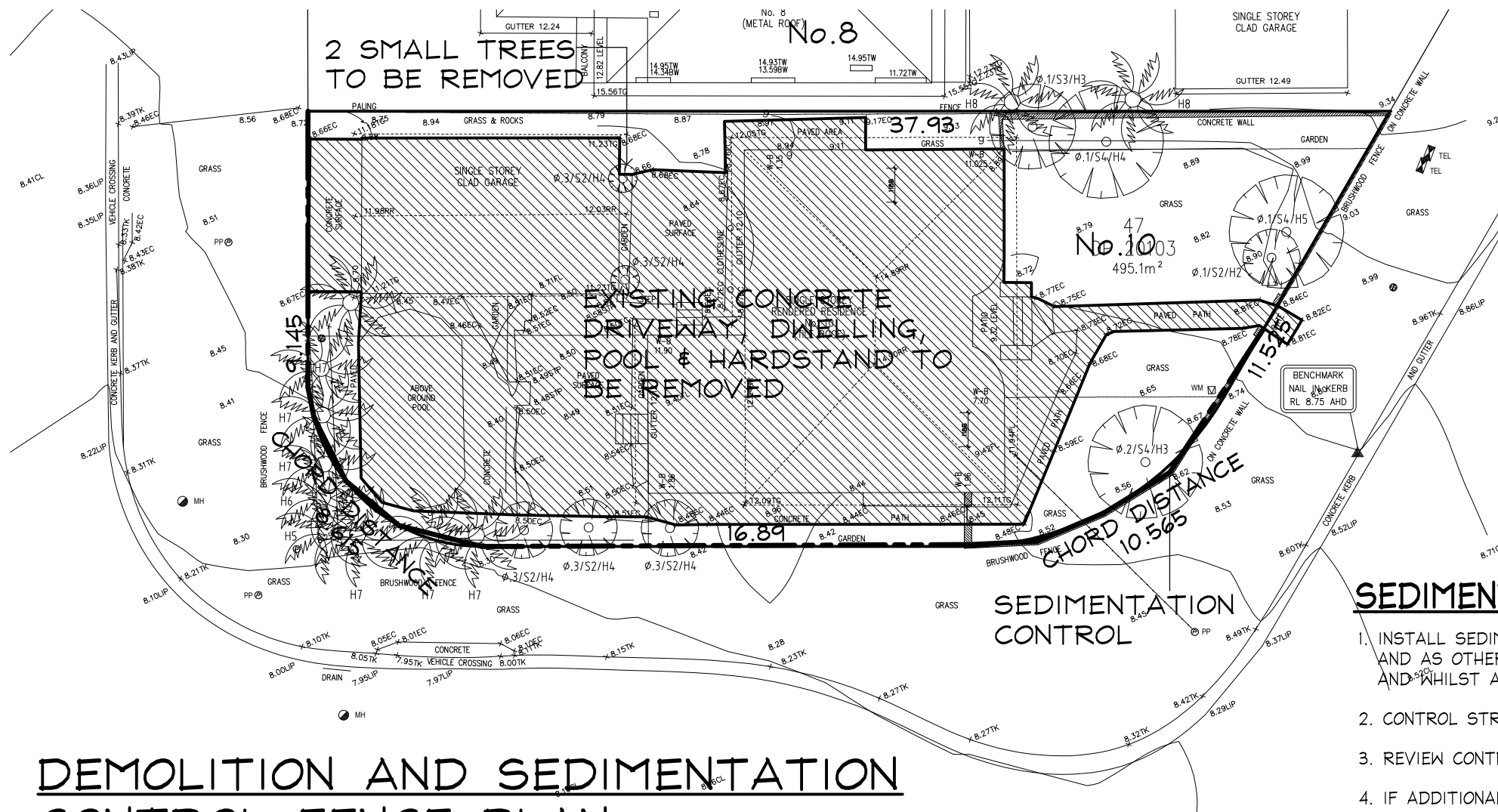
FOR  
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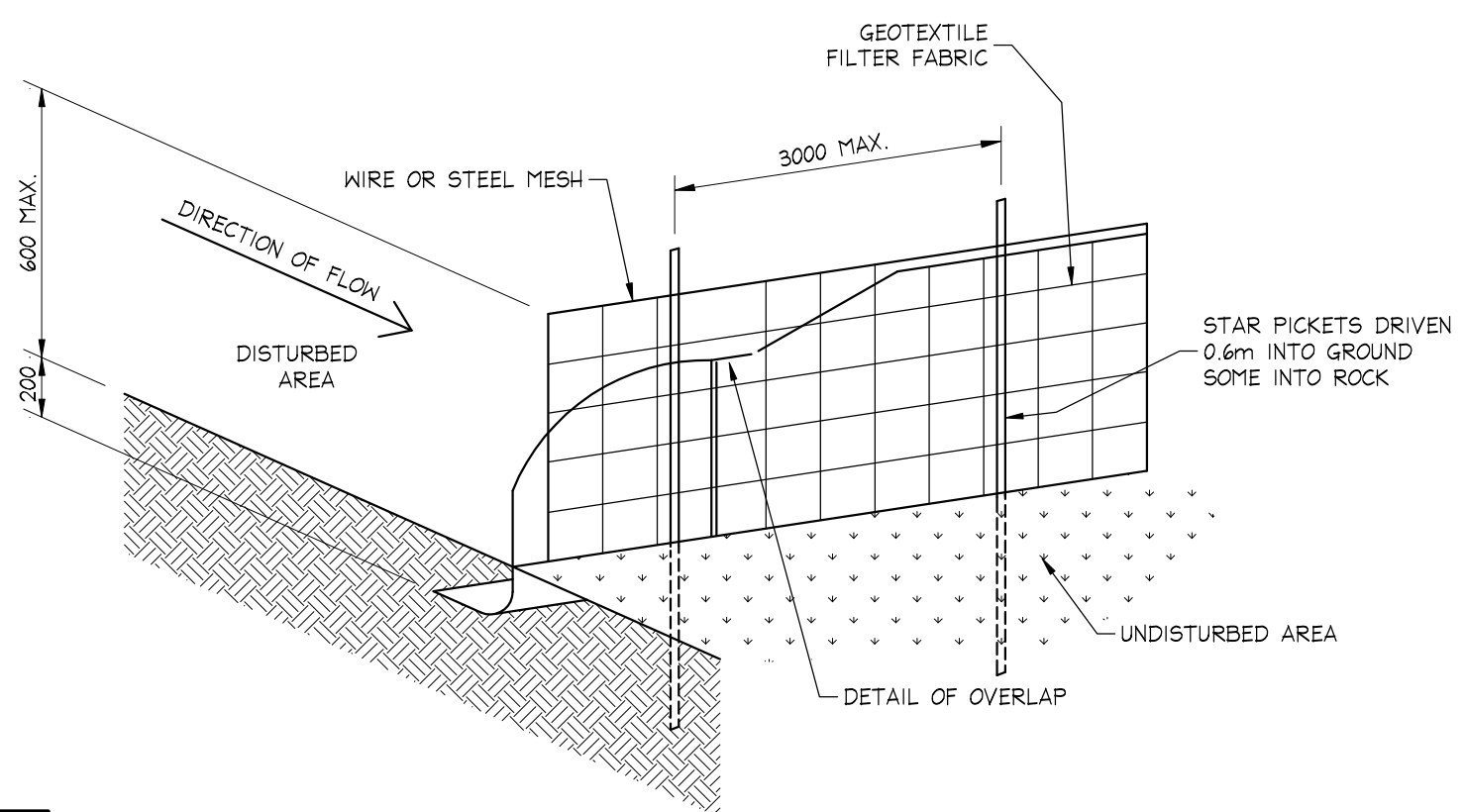




# DEMOLITION AND SEDIMENTATION CONTROL FENCE PLAN

## SEDIMENT CONTROL:

1. INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON DRAWINGS AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION.
2. CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED.
3. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.
4. IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



## SEDIMENTATION CONTROL FENCE DETAIL

SCALE = N.T.S.

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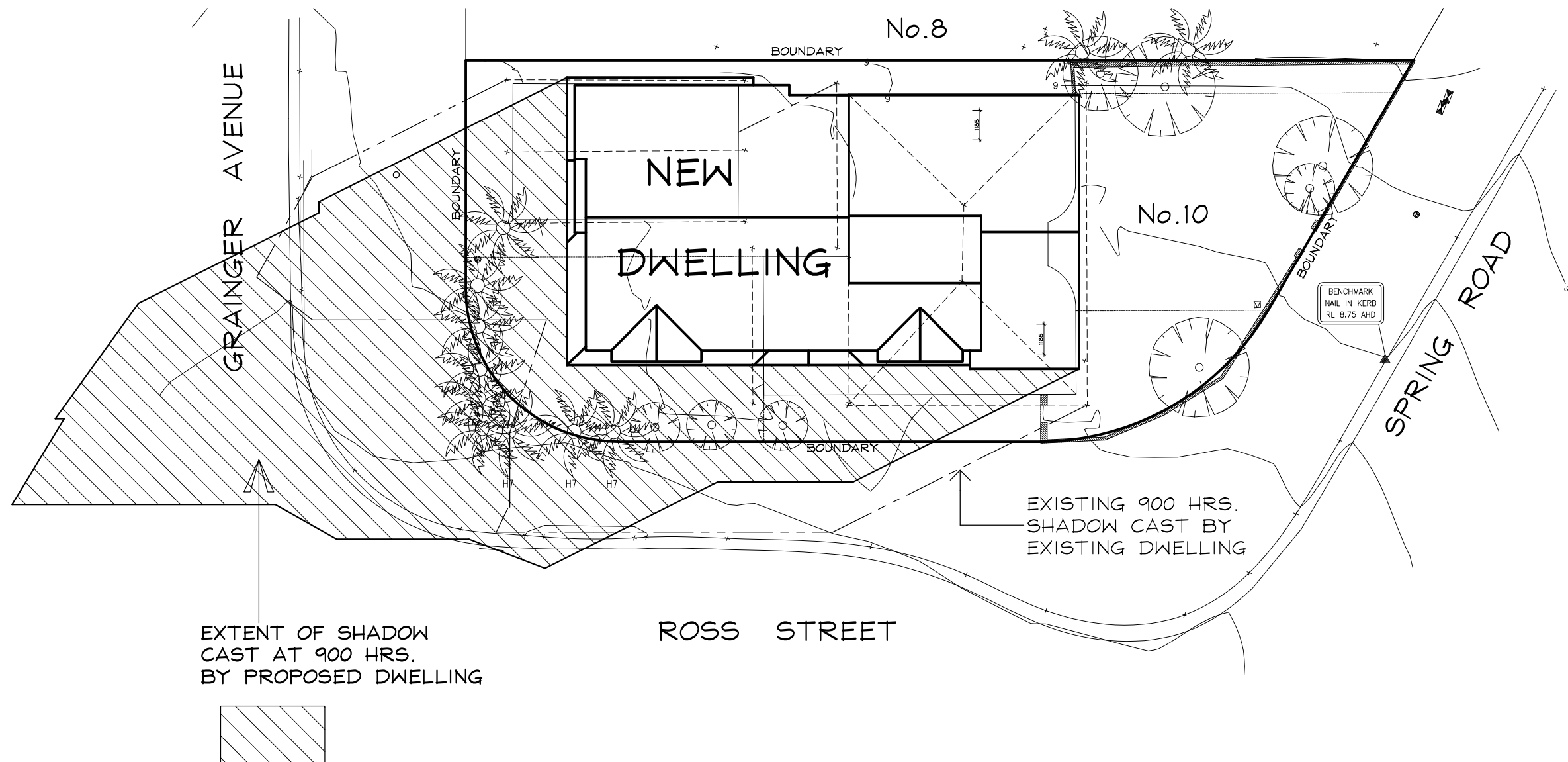
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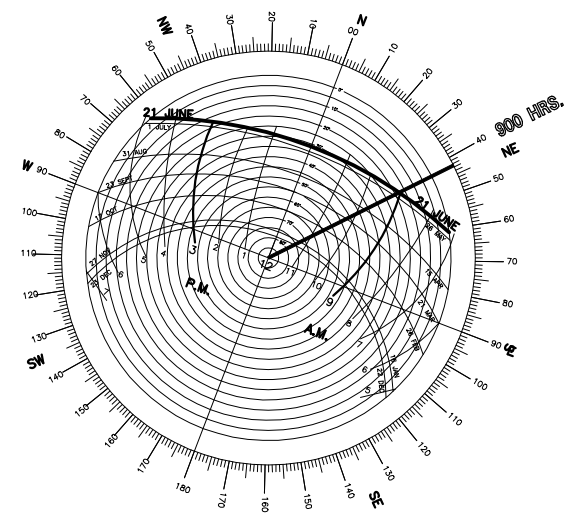
DATE **DEC. 2019** SCALE **1:200**

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## 900 HRS. SOLAR ANALYSIS PLAN

Scale 1:200



SOLAR ROSE  
21 st. JUNE

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CC161

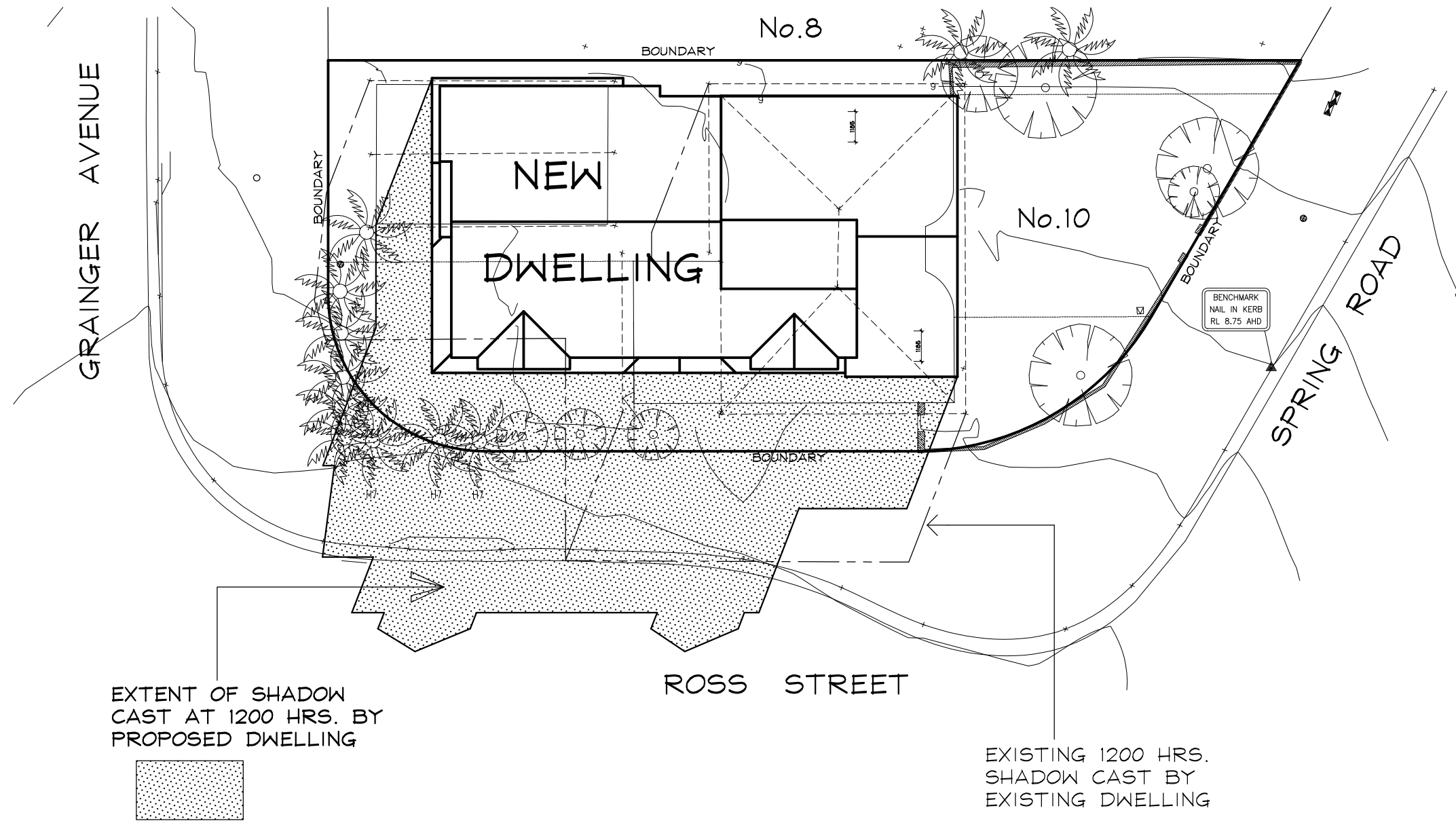
DWG. No.

09

REV

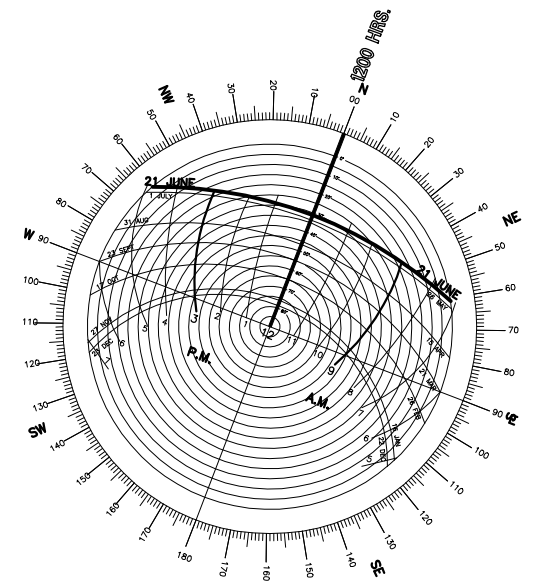
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## 1200 HRS. SOLAR ANALYSIS PLAN

Scale 1:200



SOLAR ROSE  
21 st. JUNE

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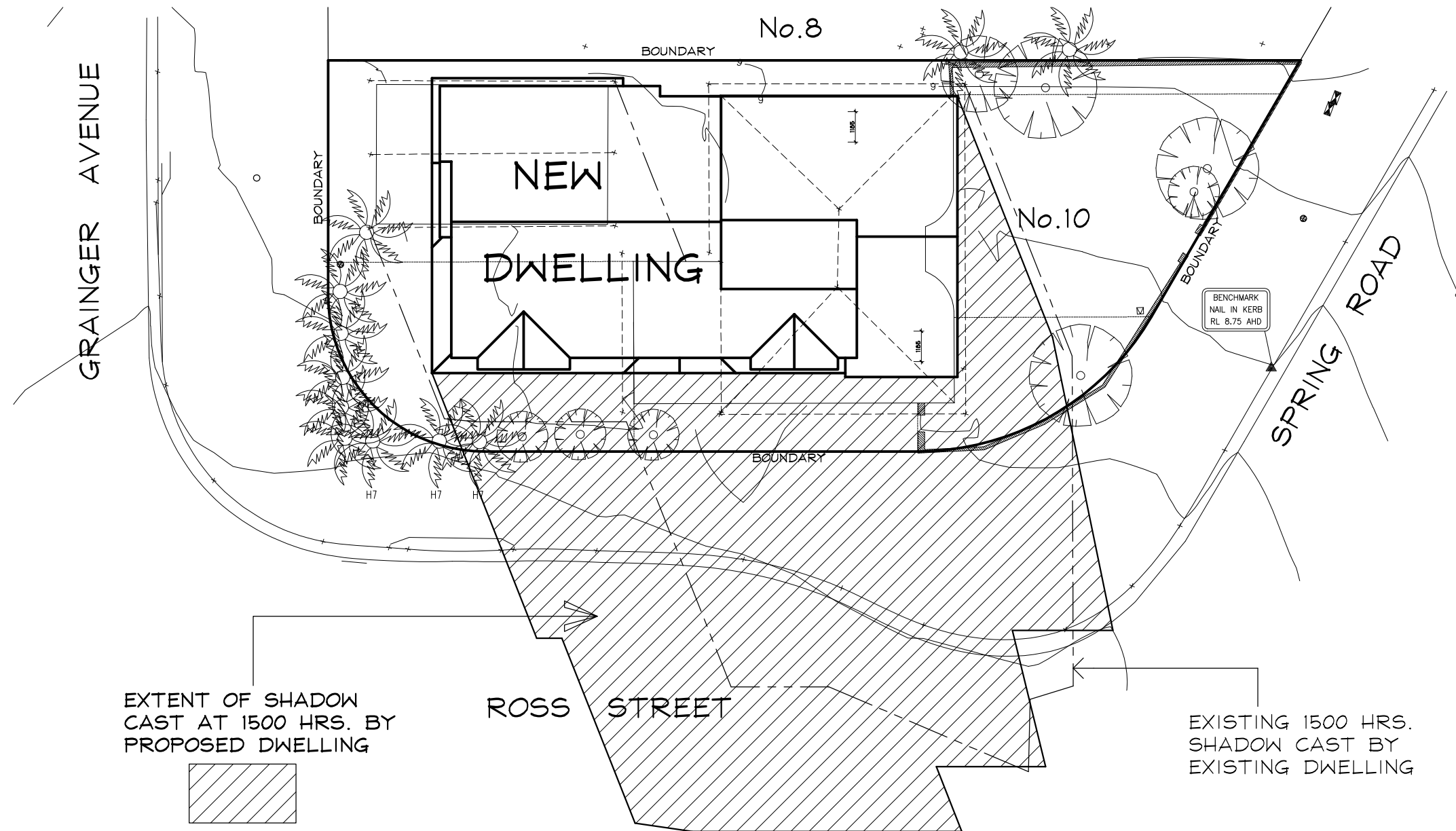
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**10**

REV

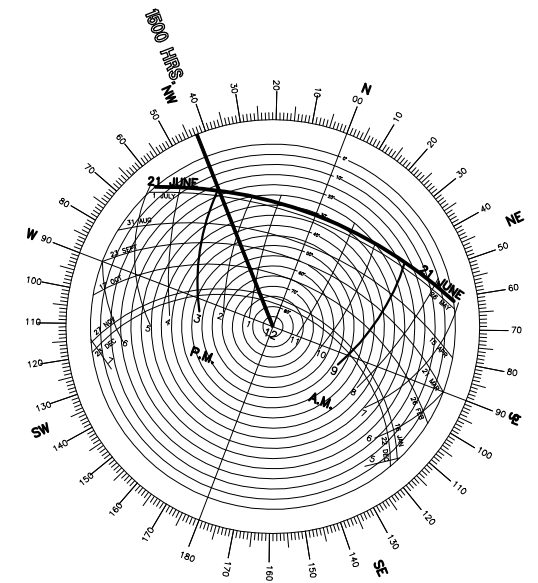
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## 1500 HRS. SOLAR ANALYSIS PLAN

Scale 1:200



## SOLAR ROSE 21 st. JUNE

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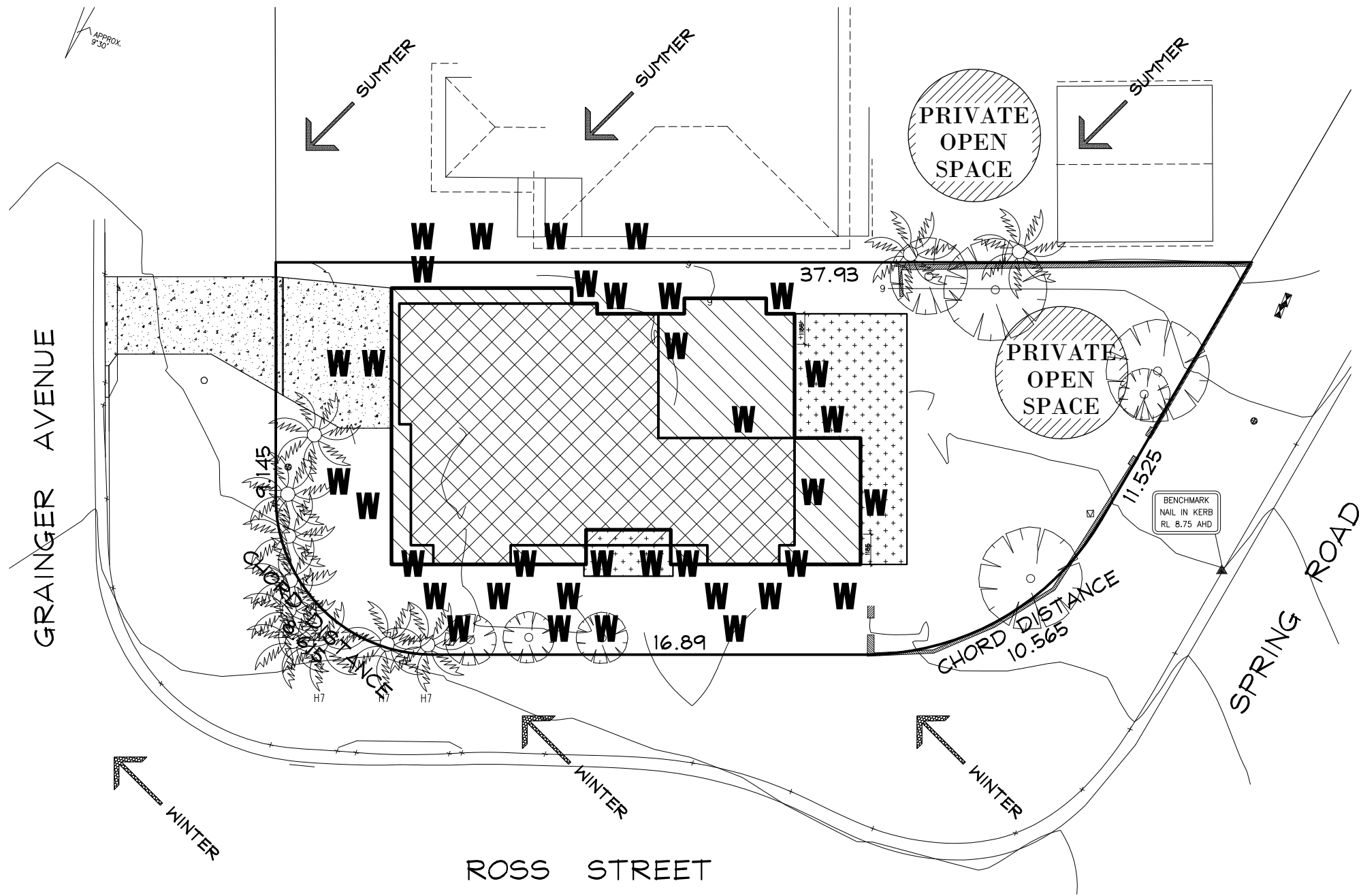
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REV

**A**

IF IN  
DOUBT  
ASK





ROSS STREET  
**SITE ANALYSIS PLAN**  
 Scale 1:200

KEY			
<b>W</b>	WINDOWS		PRIVATE OPEN SPACE
	CONTOURS		GROUND FLOOR COMPONENT
	BOUNDARY		FIRST FLOOR COMPONENT
	BOUNDARY LINE		DECK AREA COMPONENT
	VIEWS		
	SUMMER		SUMMER PREVAILING WINDS
	WINTER		WINTER PREVAILING WINDS

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DOUBT  
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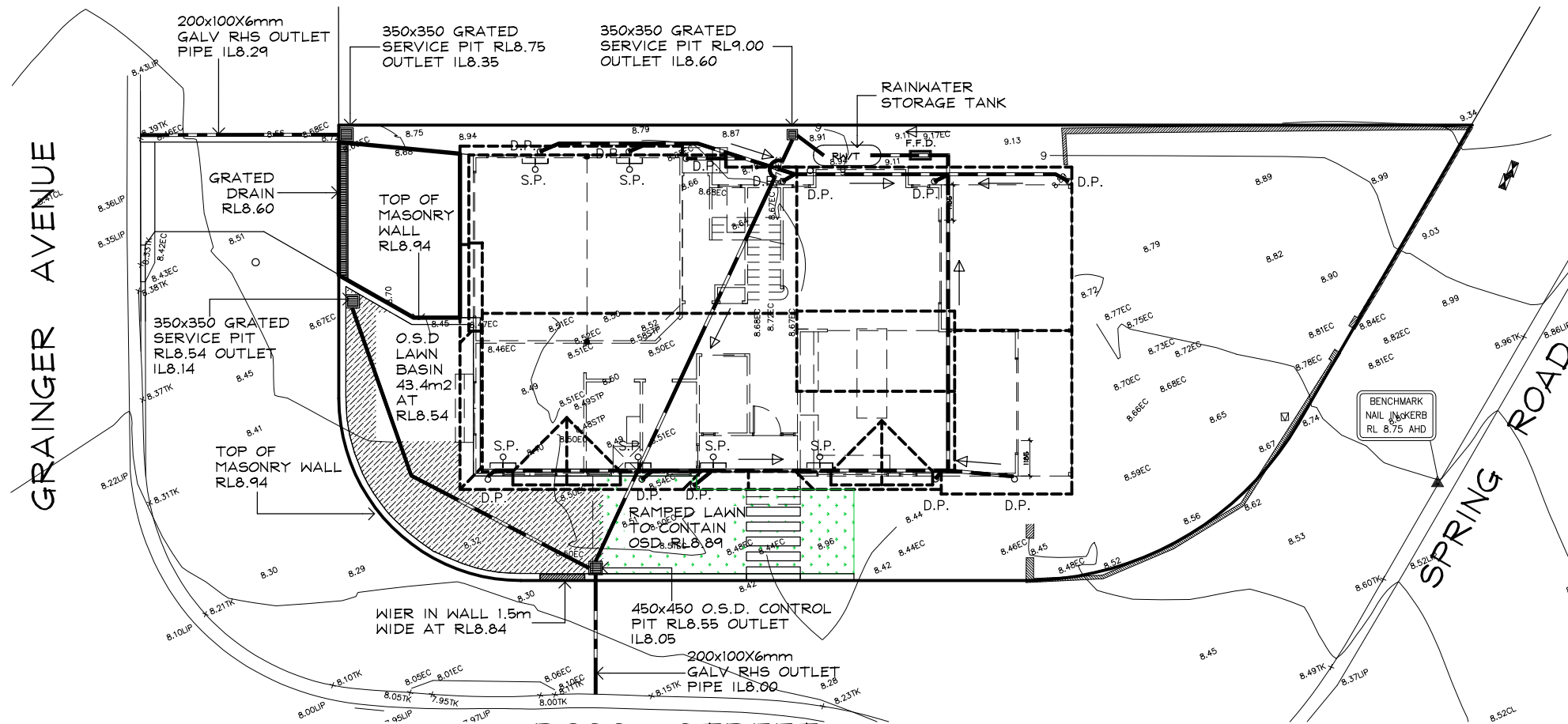
# CLASSIC COUNTRY COTTAGES

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PROJECT  
**PROPOSED NEW DWELLING**  
**10 SPRING ROAD**  
**NORTH CURL CURL**  
 FOR  
**Mr. C. & Mrs. L. WATSON**

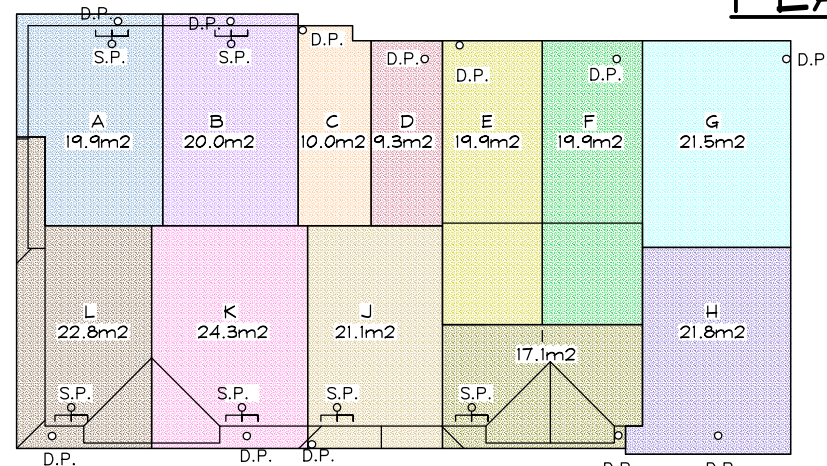
DATE **DEC. 2019** SCALE **1:200**

JOB No. **CC161** DWG. No. **12** REV **A**



# STORMWATER MANAGEMENT PLAN

Scale 1:200



# STORMWATER ROOF PLAN

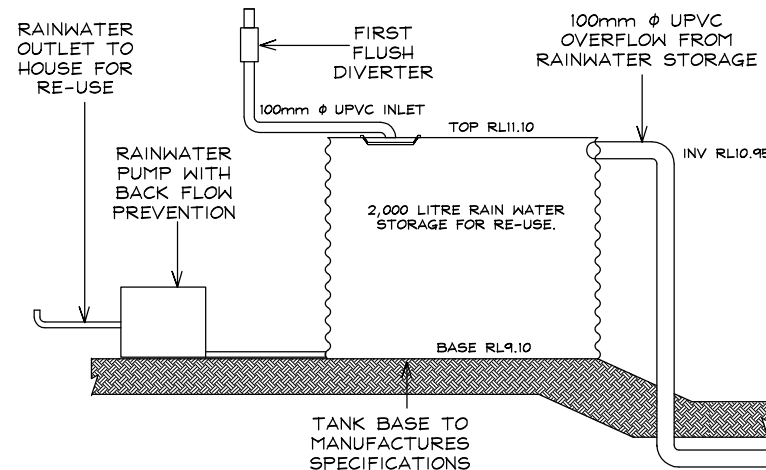
Scale 1:200

TABLE 1					
CATCHMENT AREAS FOR INDIVIDUAL DOWNPIPES AND GUTTERS					
	PLAN VIEW AREA m <sup>2</sup>	AREA INC SLOPE	GUTTER mm <sup>2</sup> (CROSS SECTION)	DOWNPIPE SIZE	AVERAGE RECURRENCE INTERVAL 1 IN 20 YEARS
A	19.9	21.2	7700	90mm	200mm/hr
B	20	21.3	7700	90mm	200mm/hr
C	10	10.6	7700	90mm	200mm/hr
D	9.3	9.9	7700	90mm	200mm/hr
E	19.9	21.2	7700	90mm	200mm/hr
F	19.9	21.2	7700	90mm	200mm/hr
G	21.5	22.9	7700	90mm	200mm/hr
H	21.8	23.2	7700	90mm	200mm/hr
I	17.1	18.2	7700	90mm	200mm/hr
J	21.1	22.5	7700	90mm	200mm/hr
K	24.3	25.9	7700	90mm	200mm/hr

IF IN DOUBT ASK

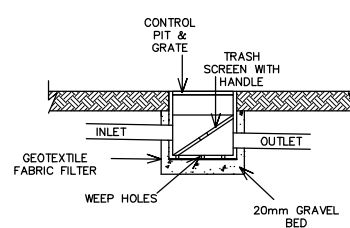
## SITE CALCULATIONS

TOTAL SITE AREA: 495.1 m<sup>2</sup>  
 ROOF CATCHMENT AREA: 227.4 m<sup>2</sup>  
 OTHER PAVED AREAS (Refer to Site Plan): 21.2 m<sup>2</sup>  
 TOTAL: 248.6 m<sup>2</sup> 50.2%  
 RAIN WATER TANK STORAGE (MINIMUM): 2,000 LITRES  
**ON-SITE DETENTION IS REQUIRED AS 248.6 m<sup>2</sup> IS > 198.1 m<sup>2</sup> OR 40% OF SITE AREA.**  
O.S.D. VOLUME CALCULATIONS  
 TOTAL POST DEVELOPMENT IMPERVIOUS AREA = 248.6 m<sup>2</sup>  
 O.S.D. VOLUME (SITE AREA 495.1m<sup>2</sup> x 0.02 (2%)) = 9.9 m<sup>3</sup>  
 ADDITIONAL O.S.D. VOLUME FOR LAWN BASIN PLUS 20% = 1.98 m<sup>3</sup>  
 TOTAL O.S.D. VOLUME REQUIRED = 11.88 m<sup>3</sup>  
 TOTAL O.S.D. VOLUME (43.4m<sup>2</sup> x 0.28mm H) = 12.15m<sup>3</sup>



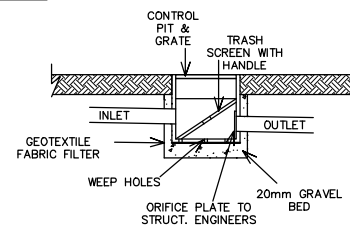
## SECTION 1 RAINWATER TANK

N.T.S



## SECTION CONTROL PIT

N.T.S.



## SECTION O.S.D. PIT

N.T.S.

## HYDRAULIC NOTES

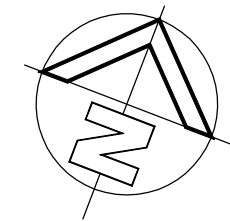
1. THE CONTRACTOR SHALL GIVE NOTICE TO COUNCIL'S ENGINEER IN ACCORDANCE WITH COUNCIL'S SPECIFICATIONS WHEN INSPECTIONS ARE REQUIRED.
2. WHERE DEPTH OF STORMWATER DRAINAGE PITS EXCEEDS 1.2m, HOT DIPPED GALVANISED STEEL STEP IRONS SHALL BE PROVIDED.
3. ALL PITS SHALL BE PRECAST CONCRETE WITH GRATE OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
4. STORMWATER CONNECTION TO COUNCIL'S DRAINAGE SYSTEM SHALL BE DONE UNDER THE SUPERVISION OF COUNCIL'S ENGINEER.
5. ALL STORMWATER PIPES BELOW AND INCLUDING 225Ø SHALL BE UPVC OR APPROVED EQUIV. UNLESS NOTED OTHERWISE.
6. ALL PIPES ABOVE 225Ø SHALL BE REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
7. MINIMUM PIPE COVER TO BE 700mm UNLESS NOTED OTHERWISE.
8. ALL PIPES TO BE LAID AND COVERED WITH SAND TO A MINIMUM DEPTH EQUAL TO THE PIPE DIAMETER, BUT NOT LESS THAN 300mm.
9. IN SANDY SOILS THE EXCAVATED SOIL MAY BE REUSED.
10. ALL 100Ø SUBSOIL DRAINAGE TO BE PLACED A MINIMUM OF 650mm BELOW FINISHED SURFACE LEVELS AND COVERED WITH A
11. MINIMUM OF 500mm GRAVEL.
12. PIPE BEDDING SUPPORT SHALL BE H1 UNLESS NOTED OTHERWISE.
13. STORMWATER GRATES AND MANHOLE CLASSES SHALL BE IN ACCORDANCE WITH AS3996.
14. WITH AS3996.
15. WHERE PIPE GRADES ARE NOT SHOWN ON DRAWINGS, MINIMUM PIPE GRADES SHALL BE 1% UNO.
16. PIPE GRADES INDICATED ON DRAWINGS ARE MINIMUM GRADES. IF MINIMUM GRADES CANNOT BE ACHIEVED CONTACT
17. THE DESIGN ENGINEER PRIOR TO PLACEMENT.

## RAINWATER TANK NOTES

1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS. 3500.3.2.
2. THIS PLAN TO BE READ IN CONJUNCTION WITH THE BASIX CERTIFICATE NUMBER LISTED IN BASIX/NATHERS NOTES.
3. A TOTAL RAINWATER TANK STORAGE CAPACITY OF 2,000 LITRES IS PROVIDED VIA ONE SLIMLINE TANK CONSISTING OF AN APPROX SIZE 685mm WIDE X 2,260mm L X 1,905mm H WATER TANK CONNECTED TO THE FOLLOWING:
  - ALL TOILETS IN THE DEVELOPEMNT.
  - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT.
  - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (NOTED: NSW HEALTH DOES NOT RECOMMEND THAT RAINWATER BE USED FOR HUMAN CONSUMPTION.)
4. ALL PIPE AND DOWN PIPES TO BE PRESUSSURE GRADE PIPES TO 500mm ABOVE MAXIMUM WATER LEVEL OF RAIN WATERTANKS.

## GUTTER NOTES

1. ALL GUTTERS TO HAVE A MINIMUM CROSS SECTION AS OUTLINED IN TABLE 1.
2. ALL GUTTER GRADIENTS TO BE NOT LESS THAN 1:500
3. TOP OF FASCIA TO BE A MINIMUM OF 15mm ABOVE GUTTER SLOTTED OVERFLOW
4. DOWNPIPE SIZES TO BE IN ACCORDANCE WITH TABLE 1.



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## PROPOSED NEW DWELLING 10 SPRING ROAD NORTH CURL CURL

FOR **Mr. C. & Mrs. L. WATSON**

DATE **DEC. 2019** SCALE **1:200**

JOB No. DWG. No. 13 REV

**CC161** **13** **A**