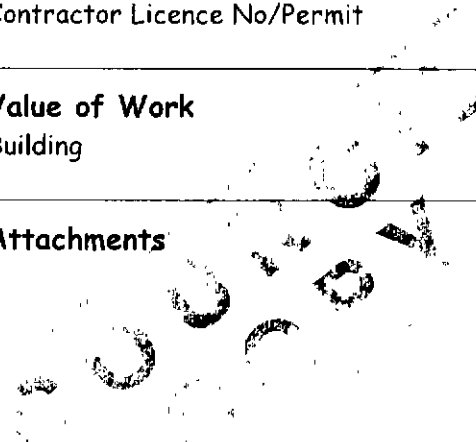


# Construction Certificate Determination

issued under the Environmental  
Planning and Assessment Act 1979  
Section 109C (1) (c), 81A (2) and 81A (4)

**Certificate No. 2006/1401**

<b>Council</b>	Pittwater
<b>Determination</b> date of determination	Approved 13 July 2006
<b>Subject land</b> Address Lot No, DP No.	36 Monterey Road, Bilgola Plateau Lot 70 DP 27578
<b>Applicant</b> Name Address Contact No. (phone)	Mr C & Mrs J Lakeman 36 Monterey Road, Bilgola Plateau NSW 2107 9918 0446
<b>Owner</b> Name Address Contact No. (phone)	Mr Chris & Mrs Julie Lakeman 36 Monterey Road, Bilgola Plateau NSW 2107 9918 0446
<b>Description of Development</b> Type of Work	Swimming Pool & Timber Deck
<b>Builder or Owner/Builder</b> Name Contractor Licence No/Permit	Peter Ryan Pools 114724C
<b>Value of Work</b> Building	\$42,686.00
<b>Attachments</b>	 <ol style="list-style-type: none"><li>1. Copy of completed Construction Certificate Application Form</li><li>2. Pittwater Council receipt no. 195470 for payment of Long Service Levy</li></ol>

Pay \$30.00 PRUE \$ 13/7/06

Receipt 195574

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**Plans & Specifications  
certified**

List plans no(s) & specifications  
Reference

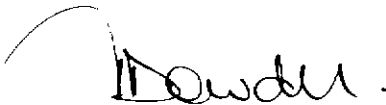
1. Site Plan & Pool Plan including Structural Details,  
reference no. RYA0605 Drawing nos. SP1 & SP2,  
prepared & endorsed by Geoff Ninnis, Fong &  
Partners Pty Ltd, dated March 2006

---

## Certificate

I certify that the work if completed in accordance with these plans  
and specifications will comply with the requirements of S81A(5) of  
the Environmental Planning and Assessment Act 1979.

Signed



Date of endorsement  
Certificate No.

2006/1401

---

**Certifying Authority**

Name of Accredited Certifier  
Accreditation No.  
Accreditation Authority

Tom Bowden  
93  
Dept of Infrastructure, Planning & Natural Resources  
(NSW Accreditation Scheme)  
(02) 9999 0003  
13/90 Mona Vale Road, Mona Vale NSW 2103

Contact No.  
Address

---

**Development Consent**

Development Application No.  
Date of Determination

NO146/06  
27 June 2006

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**BCA Classification**

10b

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**Pittwater Council**

REPRINTED

**OFFICIAL RECEIPT**

11/07/2006 Receipt No 195470

To PETER RYAN POOLS

57 HILLCREST AVENUE  
MONA VALE 2103

Applic Reference	Amount
GL Re QLSL-Buil	\$149.00
NO146/06 36 MONTEREY ROAD	

Total: \$149.00

Amounts Tendered

Cash	\$0.00
Cheque	\$0.00
Db/Cr Card	\$149.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$149.00
Rounding	\$0.00
Change	\$0.00
Nett	\$149.00

Printed 11/07/2006 1:55:55

Cashier FTaske

## APPLICATION FOR A CONSTRUCTION CERTIFICATE

RECEIVED  
10/10/2009  
COUNCIL

### 1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible

Mr ☒ Mrs ☒ Ms ☐ Dr ☐ Other ☐

Given Names (or ACN)

Family Name (or Company)

Chris + Julie

Lakeman

Postal Address (we will post all mail to this address)

36 Monterey Rd

Bilgola Plateau

Post Code 2107

Daytime telephone

Alternate no.

Mobile no.

9918 0446

0414 43 72 85

### 2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Body Corporate or the appointed managing agent.

Owner(s)

Mr + Mrs C. Lakeman

Address

36 Monterey Rd

Bilgola Plateau

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

Chris Lakeman

Julie Lakeman

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg, power of attorney, executor, trustee, company director, etc).

### 3. Location of property

Unit/Street no.

Street name

36

Monterey Rd

Suburb

Bilgola Plateau

Post code

2107

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no.

DP no.

70

27578

COUNCIL

#### 4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved.

Construction of concrete pool + decking

#### 5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review.

Estimated cost of work \$ 42,686

#### 6. Development Consent

Council Consent no. NO. 146/06

Date of Determination 27/6/2006

#### 7. Building Code of Australia classification

This can be found on the development consent

BCA Classification 10b

#### 8. Builder's details

If known, to be completed in the case of residential building work.

Name Peter Ryan Pools

License no. 114724C

Owner/builder permit no.

#### 9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that all the information in this application and checklist is, to the best of my knowledge, true and correct.

Signature

Date

Chibson Peter

## **SUBMISSION REQUIREMENTS**

### **A. GENERAL**

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes ☒ No ☐

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes ☒ No ☐

**If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION.**

### **B. ALL PROPOSALS** (has the following required information been submitted?)

Yes No Not  
Applicable

#### **In the case of an application for a Construction Certificate for building work:**

☒ ☐ ☐  
☐ ☐ ☐

Three (3) copies of detailed architectural plans and specifications

The plan for the building must consist of a general plan drawn to a scale not less than 1:100 and a site plan drawn to a scale not less than 1:200. The general plan of the building is to:

- show a plan of each floor section
- show a plan of each elevation of the building
- show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- indicate the height, design, and full construction details
- indicate the provision for fire safety and fire resistance (if any)

☒ ☐ ☐

Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building, all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration, addition or rebuilding with a separate letter listing the proposed changes being submitted.

☒ ☐ ☐  
☐ ☐ ☐

3 copies of a specification:

- to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give particular

☒ ☐ ☐

Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification

☒ ☐ ☒

If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent, has the original Development Consent been modified by Council?

☐ ☐ ☒

Except in the case of an application for, or in respect of domestic building work.

- a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and
- if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. This list must specify the standard of design of each of those fire safety measures to which they were originally installed.
- This list must describe the extent, capability and basis of design of each of the measures concerned.

☐ ☐ ☒

Copy of BASIX Certificate & Report.

☐ ☐ ☒

All other documentation to satisfy conditions of Development Consent.

### **HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS**

Applicants for work at a residential property with a value of work over \$12,000 require insurance as specified in the Home Building Act 1989.

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5,000. In addition to this permit all projects valued in excess of \$12,000 may also require a contract of insurance under the provisions of the Home Building Act 1989 as amended. This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21, Astra House, 227 Elizabeth Street, Sydney (ph. 133220).

**LONG SERVICE LEVY (applies to all classes of buildings)**

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25,000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be address to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID, OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

**PARTICULARS OF THE PROPOSAL**

What is the area of the land (m <sup>2</sup> )?  689.2	Gross floor area of building (m <sup>2</sup> ) as proposed:
What are the current uses of all or parts of the building(s)/land?  residential	Location: Rear yard  Use: swimming
Does the site contain a dual occupancy?  no	What is the gross floor area of the proposed addition or new building (sq metres)?
What are the proposed uses of all parts of the building(s) land?  residential + swimming.	Number of pre-existing dwellings:  1
Number of dwellings to be demolished:  —	How many dwellings proposed?  —
How many storeys will the building consist of?  —	Will the new building be attached to the existing building?  —
	Will the new building be attached to any new building?

**MATERIALS TO BE USED**

The following information must be supplied for the Australian Bureau of Statistics:

Place a tick (✓) in the box which best describes the materials the new work will be constructed of:

<b>WALLS</b>		<b>FLOOR</b>		<b>ROOF</b>		<b>FRAME</b>	
Brick veneer	<input type="checkbox"/>	Concrete	<input checked="" type="checkbox"/>	Aluminium	<input type="checkbox"/>	Timber	<input type="checkbox"/>
Full brick	<input type="checkbox"/>	Timber	<input type="checkbox"/>	Concrete		Steel	<input type="checkbox"/>
Single brick	<input type="checkbox"/>	Other	<input type="checkbox"/>	Concrete tile	<input type="checkbox"/>	Other	<input type="checkbox"/>
Concrete block	<input type="checkbox"/>	Unknown	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Concrete/masonry	<input type="checkbox"/>			Fibreglass	<input type="checkbox"/>		
Concrete	<input checked="" type="checkbox"/>			Masonry/terracotta shingle	<input type="checkbox"/>		
Steel	<input type="checkbox"/>			Tiles	<input type="checkbox"/>		
Fibrous cement	<input type="checkbox"/>			Slate	<input type="checkbox"/>		
Hardiplank	<input type="checkbox"/>			Steel	<input type="checkbox"/>		
Timber/weatherboard	<input type="checkbox"/>			Terracotta tile	<input type="checkbox"/>		
Cladding-aluminium	<input type="checkbox"/>			Other	<input type="checkbox"/>		
Curtain glass	<input type="checkbox"/>			Unknown	<input type="checkbox"/>		
Other	<input type="checkbox"/>						
Unknown	<input type="checkbox"/>						

## NOTICE OF COMMENCEMENT OF BUILDING WORK AND APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

### 1. Subject land details

No. 36 Lot No. 70 DP No. 27578  
Street Name Monterey Rd Suburb Bilgola Plateau Post Code 2107  
Description of Approved Development  
Concrete pool, spa + decking

### 2. Other consent(s)

Council DA ☒ or Complying Development ☐ Consent No. NO 146/06 Date of Determination 27/6/06

### 3. Construction Certificate or Complying Development Certificate details

Certificate No. 2006/1401 Date of Issue 13 JUL 2006

### 4. Principal Certifying Authority details

Accredited Certifier: Tom Bowden Accreditation No: 93  
~~Accredited Certifier: Stephen Pinn Accreditation No: P0048~~

### 5. Home Building Act 1989 requirements

Principal certifying authority has been advised of the requirements of Cl 7BC of the Regulation:

Yes ☒ No ☐

### 6. Date building work is to commence

Date 14/7/06

### 7. Applicant's declaration & signature

I/We are the persons having the benefit of the Development Consent or Complying Development Certificate for the proposed building works. I/we confirm that I/we am/are not the principal building contractor(s) for this project.

Have all conditions been satisfied prior to the commencement of work?

Yes ☒ No ☐

(Conditions may include payment of security deposits, Section 94 Contributions, endorsement of building work plans by Water Supply Authority, LGA Contributions)

Name

Mr + Mrs C Lakeman

Signature

C Lakeman

Robert

Date 16/7/06



## SERVICE AGREEMENT

I, the undersigned, declare that I have the legal authority (express or implied) to engage a Principal Certifying Authority (PCA) for the building works described in this document and verify that all information pertaining to such work is correctly stated on this form.

I understand that this Notice must be given to the relevant Local Council two (2) days prior to the intention to commence building work in accordance with S81A (2)(c) of the EP&A Act and verify that no building work will commence prior to the date given in the "Date the Building Work is to Commence" section of this document.

As a condition of appointing the Principal Certifying Authority (PCA) stipulated on this form, I agree to undertake the following responsibilities: to contact the PCA for all **critical** stage inspections (as listed below) and all other inspections required as a condition of Development Consent, not less than 48 hours prior to the commencement of that stage of work to carry out building work in accordance with a current development consent; to notify the PCA of any intent to depart from the issued development consent as soon as the intention arises; and to verify all documents provided to the Private Certifying Authority are bona fide and correct in detail.

I agree to contact the PCA at the following **critical** stages of development, but not limited to these stages, for the purpose of satisfying The requirements of Clause 162A of the Environmental Planning and Assessment Regulations 2000.

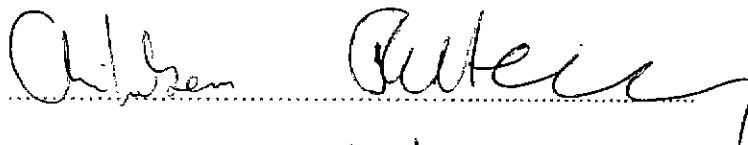
- \* At the commencement of building work
- \* After an excavation for, and prior to the placement of any footing
- \* Prior to pouring any in-site reinforced concrete building element
- \* Prior to covering of any framework for any floor, wall, roof or other building element
- \* Prior to covering waterproofing in any wet areas
- \* Prior to covering any stormwater drainage connections
- \* After the building work has been completed and prior to any occupation certificate being issued in relation to the building
- \* Any other stage as specified by the PCA

I also agree to maintain all required onsite PCA identification signage until the completion of all building works.

I fully understand that failure to satisfy the above statutory requirements may result in a Final Occupation Certificate not being issued in relation to the subject building.

*Note: Non-compliance with these requirements may necessitate in the PCA issuing a Notice of Intention to Serve an Order. I/We confirm that I/we am/are not the principal building contractor(s) for this project.*

Signature:



Print Name:

Chris & Julie Lakeman

Date:

10/7/06

*Note: I/We are the persons having the benefit of the Development Consent or Complying Development Certificate for the proposed building works.*



Level 1, 369 High Street, Kew VIC 3101  
Telephone: 1300 300 115 Fax: 1300 300 115  
A Division of Australian Underwriting Services Pty Ltd  
ABN: 25 074 071 676 AFSL No: 133520

06/07/2006

## Policy Schedule / Certificate of Insurance

Underwritten by Australian International Insurance Ltd (ABN 29 006 544 690) (Insurer)

**TAX INVOICE**

### HOME WARRANTY - JOB SPECIFIC POLICY (NSW)

This certificate, when read in conjunction with the Policy of Insurance is a contract of insurance complying with: Section 92 in respect of CONTRACT WORK, or Section 93 in respect of SUPPLY OF A KIT HOME, or Section 95 in respect of OWNER BUILDER Work, or Section 96 in respect of WORK BY DEVELOPERS AND OTHERS, of the Home Building Act 1989 ('The Act') and/or the Home Building Regulation 1997 ('The Regulations') issued by the Insurer in respect of Residential Building Work performed by the Contractor in line with the Residential Building Work Contract detailed below. Subject to the Act, the Regulation and the conditions of the Contract of Insurance, cover will be provided to the person named as Beneficiary below and Successors in Title to the Beneficiary.

**POLICY No.:** AAIL - 001 **CERTIFICATE No.:** 108227 **POLICY ISSUED:** 06/07/2006

#### INSURED

**The Building Owner ('Beneficiary'):** Mr & Mrs Lakeman  
**Postal Address:** 36 Monterey Road, Bilgola Plateau NSW 2107

#### RESIDENTIAL BUILDING WORK

**Residential Building Work Covered by this Policy:** Construction of concrete swimming pool - as per application dated 05/07/2006  
**At (Site Address):** 36 Monterey Road, Bilgola Plateau NSW 2107  
**Municipality:** Pittwater **Contract Date:** 23/02/2006  
**Project Manager:** Peter Mark Ryan **Contract Price:** \$57,648.00  
**Est. Start Date:** 12/07/2006 **Est. Completion Date:** 30/10/2006

#### CONTRACTOR

**Carried out by (Trading Name):** PM & DM Ryan trading as Peter Ryan Pools  
**Business Address:** 57 Hillcrest Avenue Mona Vale NSW 2103  
**ABN / ACN No.:** 94 619 089 289  
**Licence/Contractor No.:** 114724c  
**Phone No.:** 02 9999 1444

#### MAXIMUM AMOUNT OF COVER AND CLAIMS

The limit of liability is \$200,000.00 in aggregate in relation to each Dwelling, or such amount as is determined by the Regulations pursuant to the Act. The period in respect of which Claims may be made commences on the date of the relevant Residential Building Work Contract or date of issue of the Construction Certificate for the relevant work (whichever is the earlier); and expires on the date defined by Section 4 of the Contract of Insurance, provided that the Insured shall have 90 days from expiry of the Period of Insurance in which to notify the Insurer of any matter of which the Insured became aware during the Period of Insurance as existence of grounds for a Claim.

#### CLAIMS EXCESS

The Insured shall bear at his/her/its own risk five hundred dollars (\$500) in respect of each Claim made under this Policy.

#### PREMIUM

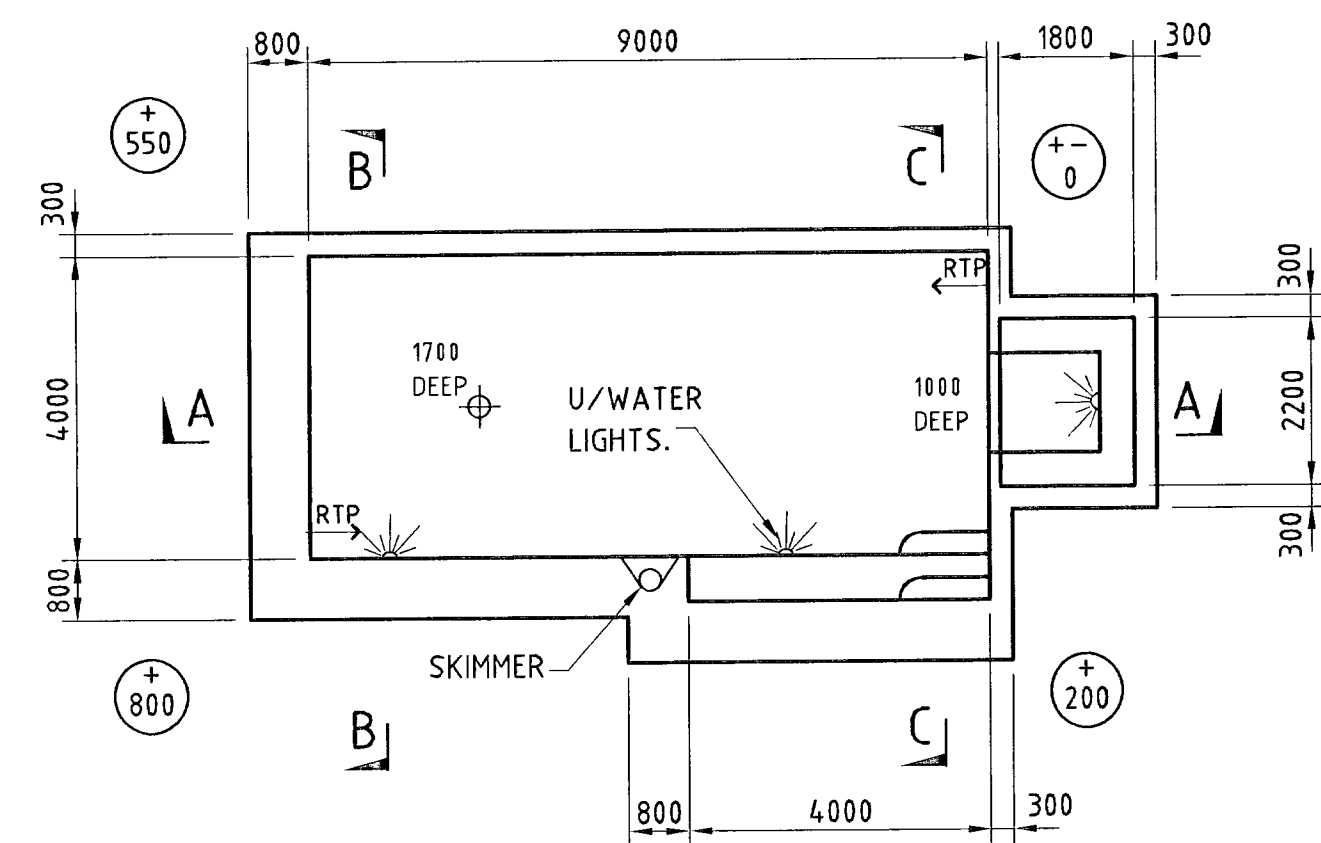
<b>Net Premium</b>	\$617.81	(includes agent fees of \$110.00 and GST on fees)
<b>GST:</b>	\$50.78	
<b>SD:</b>	\$50.27	
<b>Total Premium and Charges:</b>	\$718.86	

#### SIGNED BY A PERSON AUTHORISED BY THE INSURER

Australian International Insurance Ltd, Level 1, 369 High Street, Kew VIC 3101 (ABN 29 006 544 690)

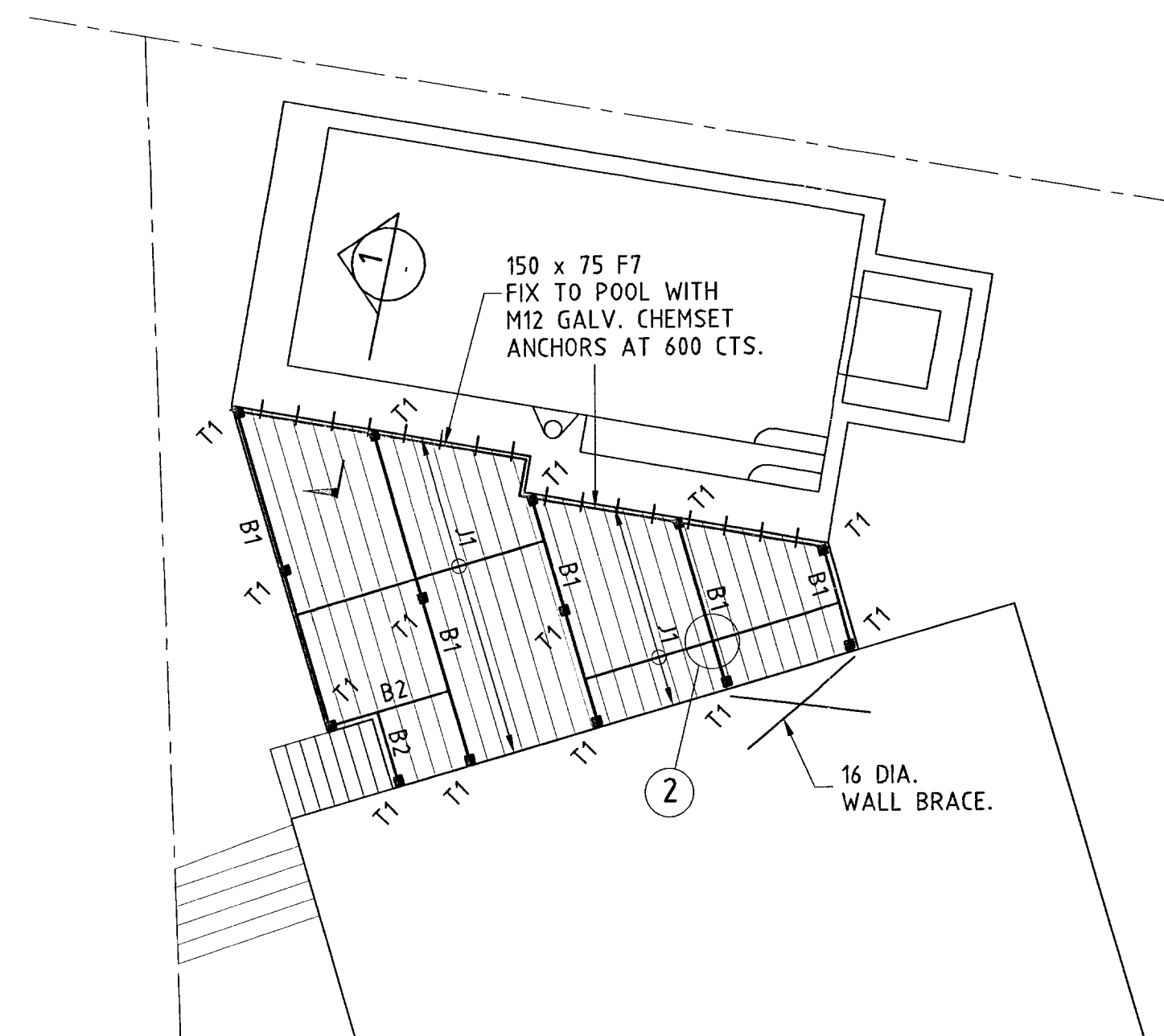
*Murphy T. Nugent*

Director of the Insurer for Australian Home Warranty,  
a Division of Australian Underwriting Services Pty Ltd



### POOL PLAN

○ DENOTES APPROX. HEIGHT OF POOL ABOVE EXISTING GROUND LEVEL.  
THIS POOL IS NOT DESIGNED FOR DIVING



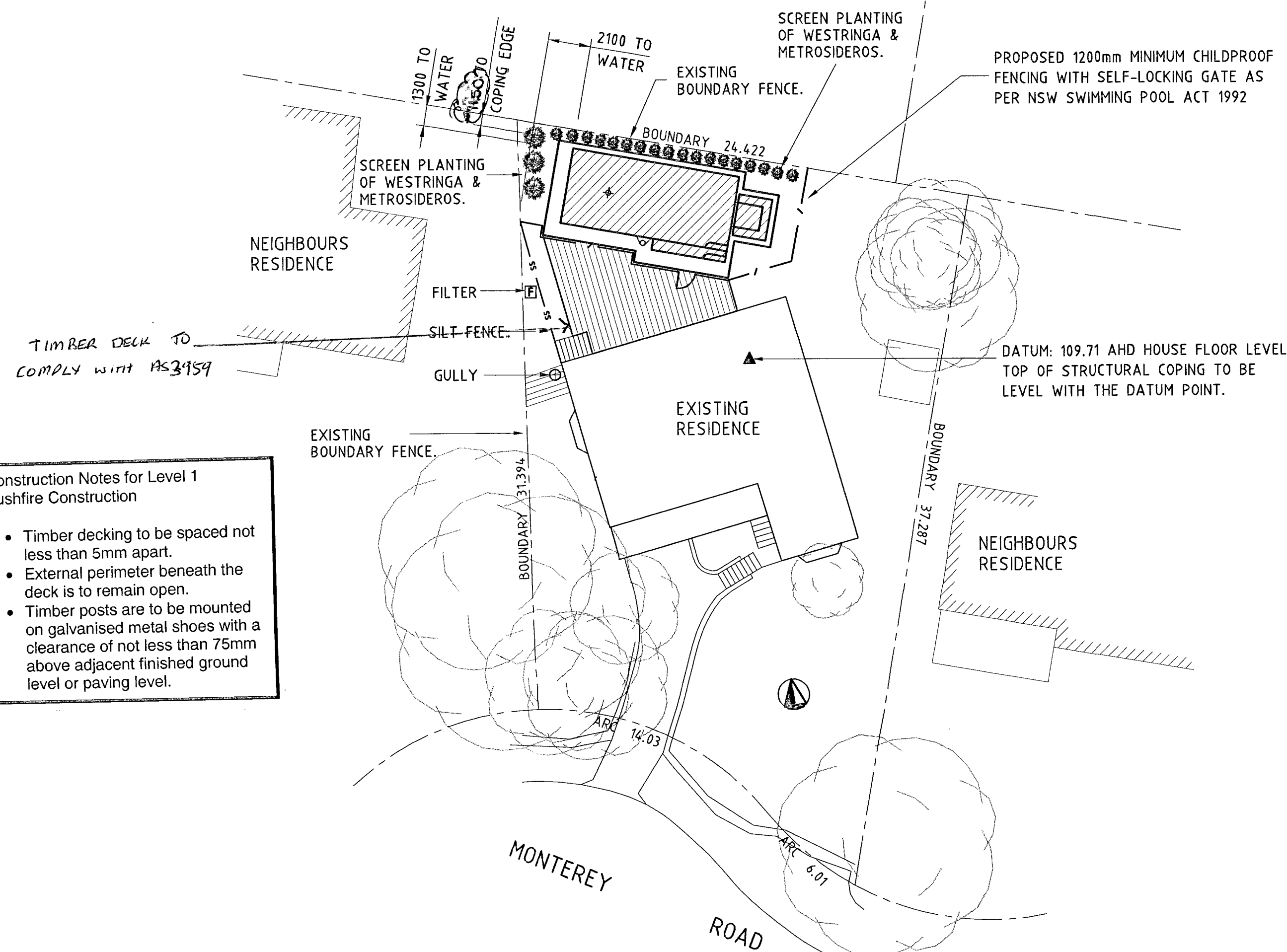
### PLAN ON TIMBER DECK.

#### MEMBER SCHEDULE :

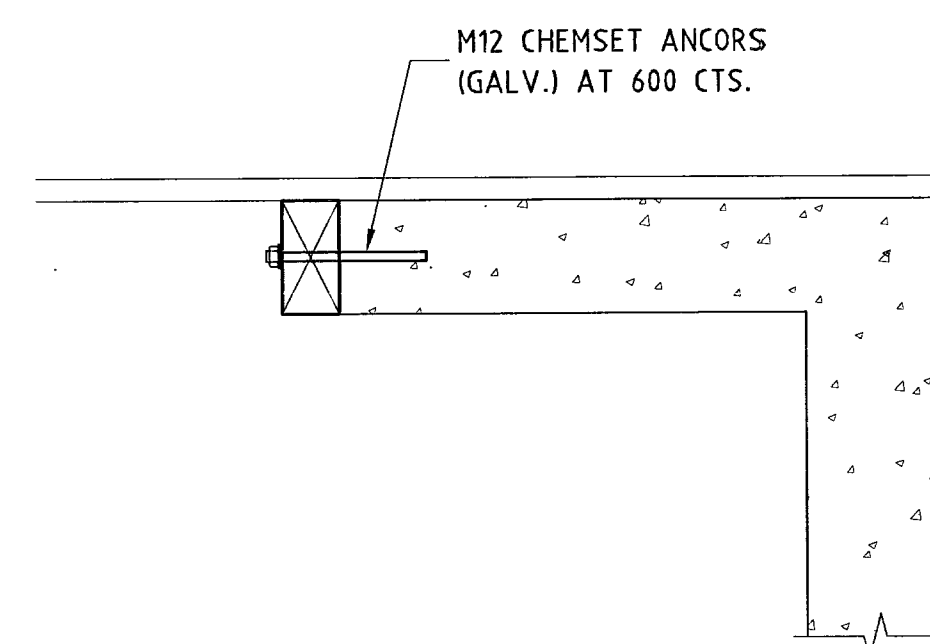
- T1 - 125 x 125 TIMBER POSTS AT 2400 MAX. CTS.
- B1 - 250 x 75 F7 (TREATED PINE)
- B2 - 200 x 75 F7 (TREATED PINE)
- J1 - 150 x 50 F7 AT 450 CTS. (TREATED PINE)
- ALL TIMBER TO BE TREATED PINE F7.

#### Construction Notes for Level 1 Bushfire Construction

- Timber decking to be spaced not less than 5mm apart.
- External perimeter beneath the deck is to remain open.
- Timber posts are to be mounted on galvanised metal shoes with a clearance of not less than 75mm above adjacent finished ground level or paving level.

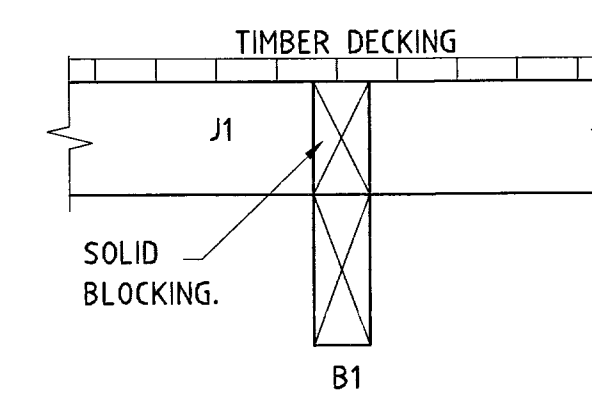


### SITE PLAN



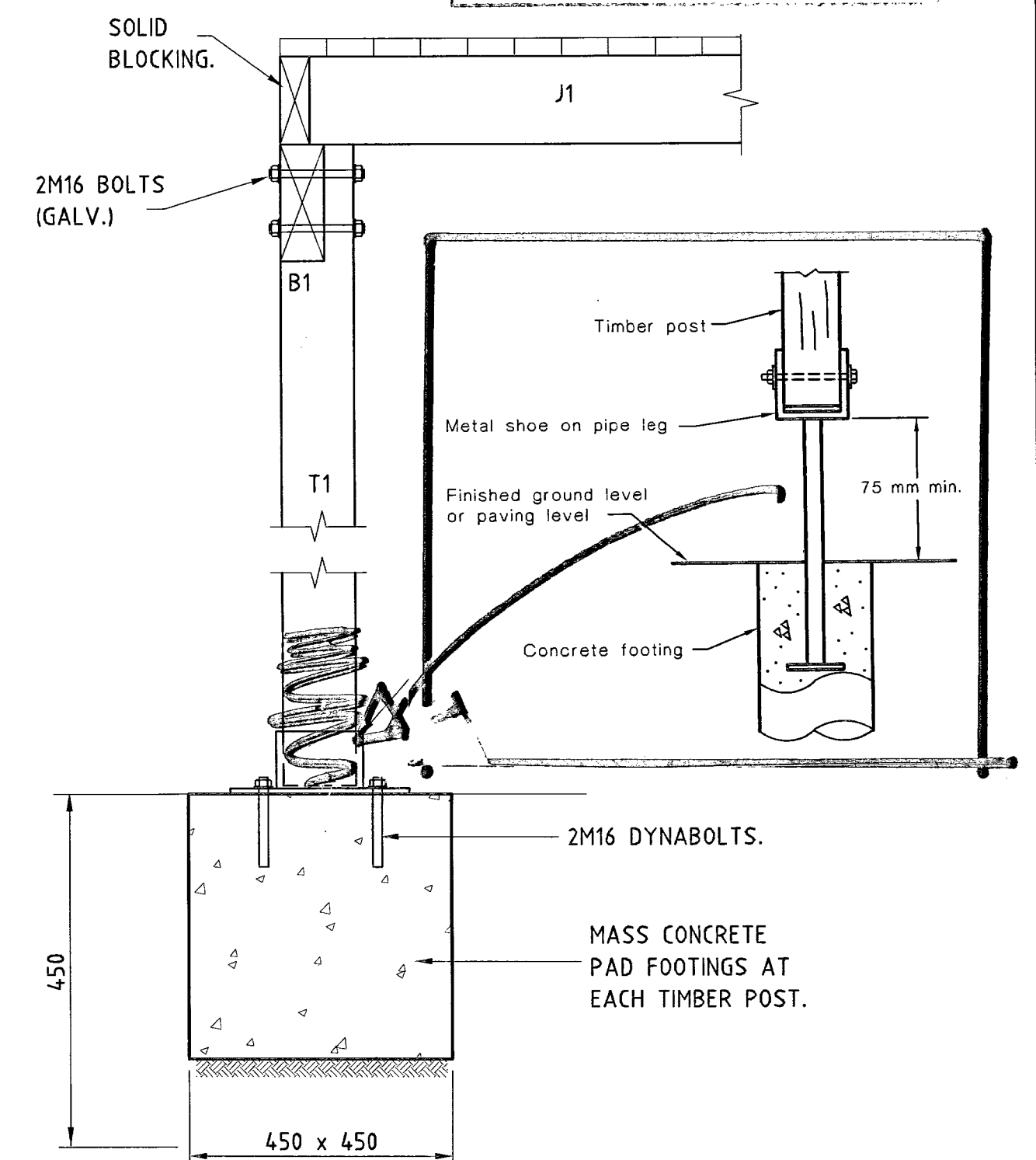
### SECTION 1

1:10



### DETAIL 2

1:10



### TYPICAL TIMBER POST DETAIL.

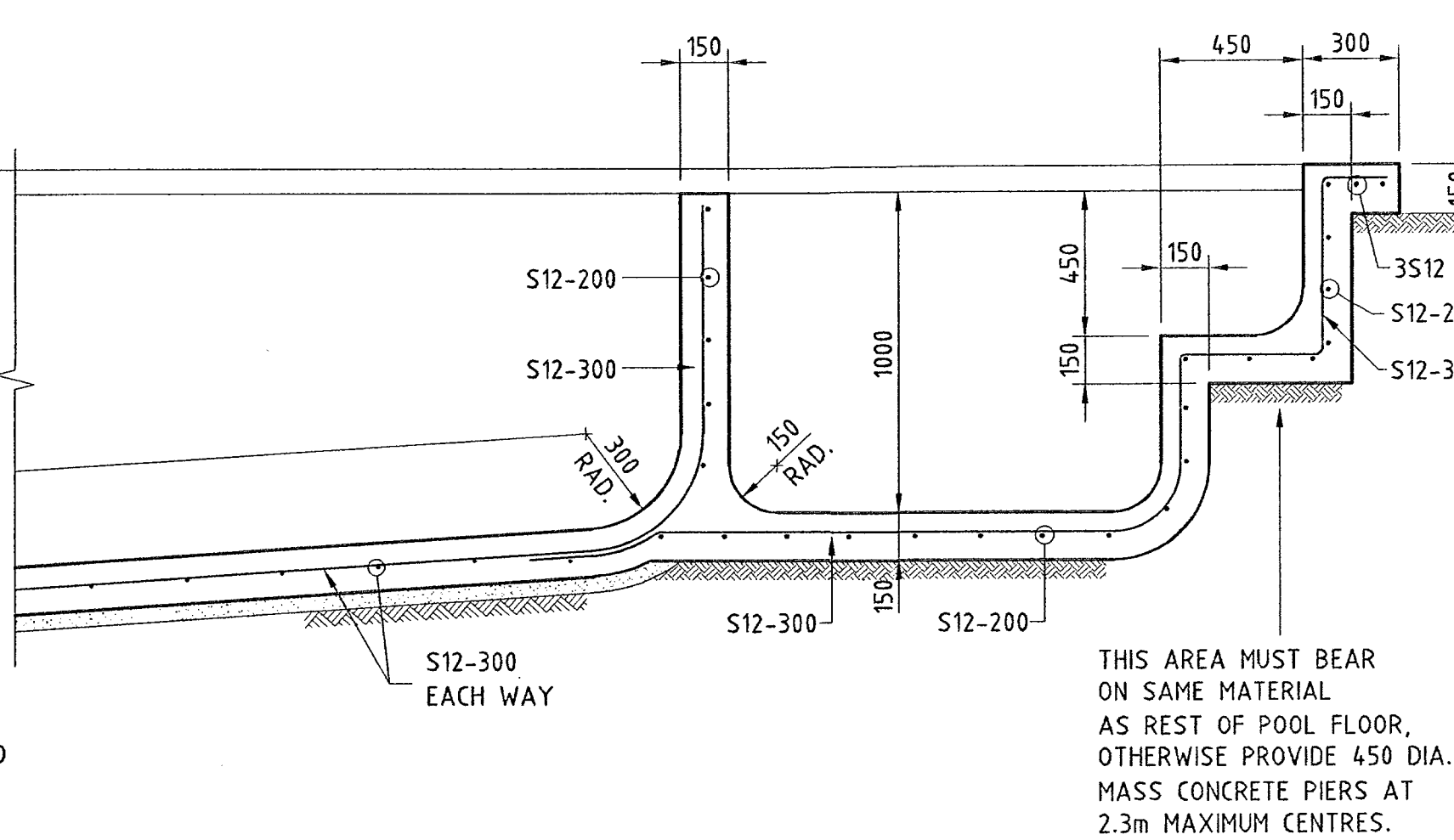
**WARNING**  
The stamping of this plan by Insight Building Certifiers Pty Ltd does not constitute an approval of the design or construction of the pool or the pool's safety. The applicant's responsibility to obtain approval from Sydney Water or other utilities. The Structural Engineer of their responsibility to ensure the structural adequacy of this project. The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the relevant Construction Certificate Architectural Details.

**insight** building certifiers pty ltd  
CONSENT NO. **NO 146/06** DATE **27/6/06**  
CONSTRUCTION CERT. NO. **2006/146**  
**CONSTRUCTION CERTIFICATE PLANS**  
**bowden** 13 JUL 2006  
T. Bowden Accreditation No. 93

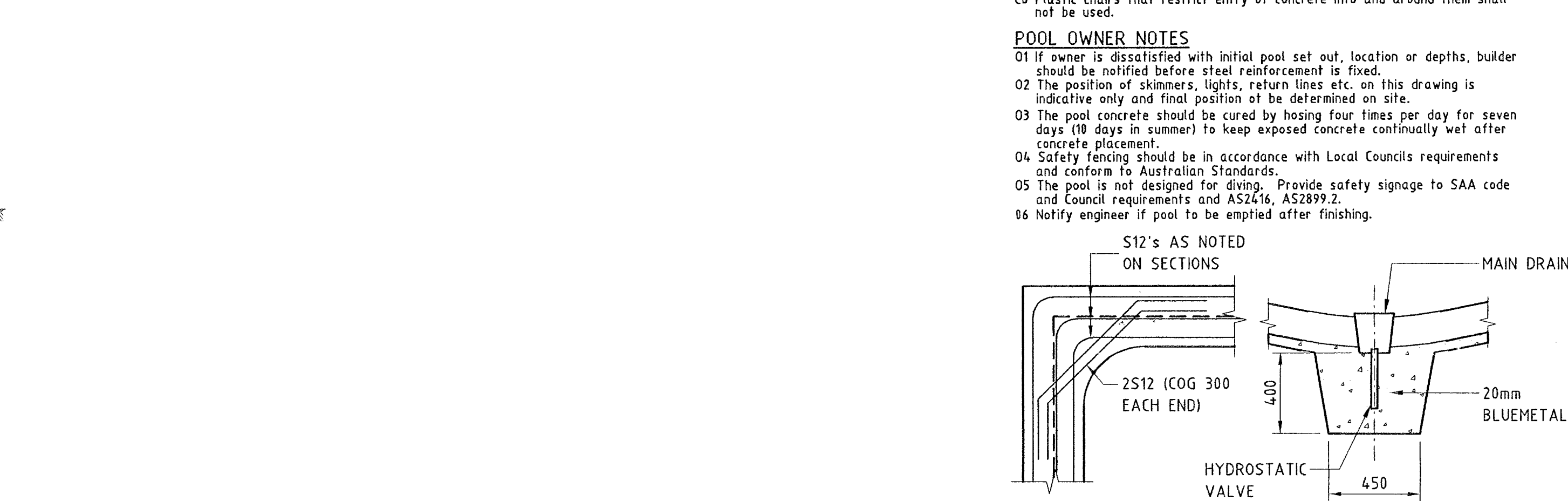
**P.M RYAN**  
**BUILDER FOR PETER RYAN POOLS**  
**LICENSED BUILDER No 114724C**  
**57 HILLCREST AVE MONA VALE 2103**  
**Phone 9999 1444**

Rev No	Eng	Revision Description	Amended By	Approval Date
<b>GEOFF NINNES, FONG &amp; PARTNERS PTY. LTD. - Trading as SWIMMING POOL CONSULTANTS</b> ACN No. 001 849 289 Consulting Engineers Civil Structural Stormwater Level 1, 68-70 Crown Street, Woollahra, N.S.W. 2011 Phone 9332 5100 Fax 9331 2963 Email: sydney@gnfp.com.au				
Project <b>PROPOSED NEW SWIMMING POOL FOR JULIE &amp; CHRIS LAKEMAN LOT 70, DP. 27578 36 MONTEREY ROAD, BILGOLA PLATEAU.</b>				
Title <b>STRUCTURAL DETAILS</b>				
Drawn K.S.	Checked B.F.	Drwg. No. <b>RYA0605 SP1</b>		
Scale 1:200 1:100 1:20	Approved B.F.			
Date MARCH 2006				

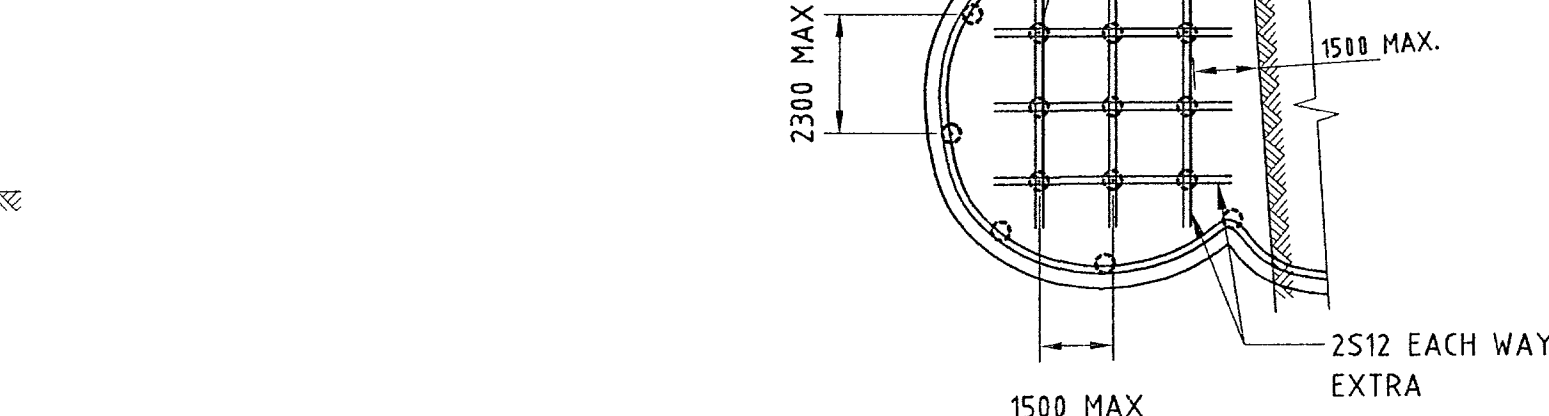
THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF GEOFF NINNES FONG & PARTNERS PTY. LTD. AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF GEOFF NINNES FONG & PARTNERS PTY. LTD.



SECTION A  
1:20



SECTION B  
1:20 -



NOTE: WHERE POOL PARTIALLY ON ROCK SUSPEND THE REMAINDER  
OF THE POOL ON 450Ø MASS CONCRETE PIERS TO ROCKS.  
PIERS UNDER WALLS @ 2300 MAX. CTRS.  
PIERS UNDER FLOOR @ 1500 MAX. CTS.  
PIERS LONGER THAN 1000 TO BE  
REINFORCED WITH 6S12 & R10-300 TIES.

### ALTERNATIVE SUPPORT DETAIL

NOTE: ANY PAVING LAID ADJACENT TO POOL COPING MUST HAVE 15mm WIDE CONSTRUCTION OR EXPANSION JOINTS.  
IF PAVING LAID IN MORTAR, EXPANSION JOINT MUST BE INSERTED BETWEEN PAVING AND POOL COPING.  
LEAVE 3mm GAPS BETWEEN PAVERS LAID ON SAND.

WIRE CHAIRS (PLASTIC TIPPED) TO BE USED IN ALL OUT OF GROUND WALLS AND COPINGS. PLASTIC CHAIRS SHALL NOT BE USED. WHERE PLASTIC CHAIRS ARE USED ELSEWHERE IN POOL, PARTICULAR CARE TO BE TAKEN TO ENSURE CONCRETE IS COMPACTED AROUND AND UNDER CHAIR.

THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF GEOFF NINNES FONG & PARTNERS PTY. LTD. AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF GEOFF NINNES FONG & PARTNERS PTY. LTD.

POOL BUILDER: GENERAL NOTES

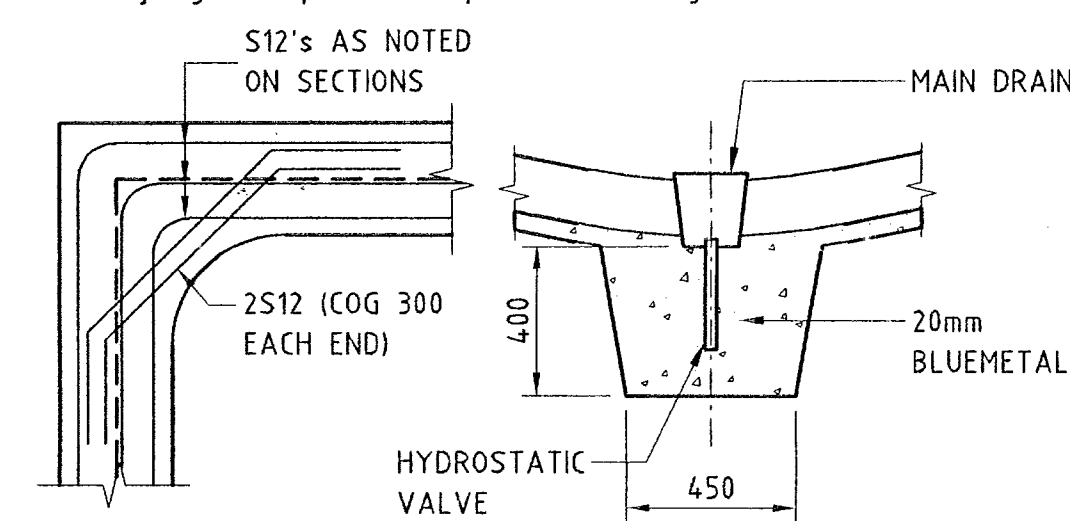
- G1 This design applies only for ground levels as shown.  
G1 All workmanship and materials shall comply with relevant current SAA codes,  
G1 By-laws and ordinances of the local Building Authority.  
G1 The design dimensions shown are for the concrete dimensions shown are for  
G1 concrete sizes and do not include finishes. These drawings are to be read  
G1 in conjunction with the Contract but do not form part of the Contract. Do not  
G1 proceed from this drawing. Any discrepancies shall be notified to the  
G1 Engineer.  
G4 The foundation material must be stable, in natural ground, and uniform and shall  
G4 have a minimum bearing capacity of 100 kPa. If the bearing capacity varies, the  
G4 variation from the design shall be immediately referred to the Engineer.  
G4 Excavations shall not be permitted within 2 metres of an existing structure  
G4 without prior approval or recommendations for shoring or underpinning  
G4 approved by the Engineer.  
G4 Walkways have been designed for a distributed load of 3KPa. Batulstrate load  
G4 is 30 kg/m<sup>2</sup> UND. No additional loads shall be permitted without prior  
G4 approval from the Engineer. N.B. Engineer shall be notified of masonry walls,  
G4 brick piers or other loads that shall be placed on walkways.  
G4 Provide temporary drain holes in both shallow and deep ends of pool  
G4 shell. Hydro valve to be cleared of debris on the completion of concreting.  
G4 Upgrade of pool shell to be completed by placing and compacting material by 75mm  
G4 layer of crushed stone draining to hydrostatic valve.  
G4 Place membrane between pool shell and blumetal.  
G4 Upgrade of iron alternative to the existing iron drain sump with blue metal.  
G4 Notify Engineer if pool more than 900 above N.G.L.

CONCRETE NOTES

- 1) The mix shall be proportioned to produce a minimum 28 day compressive strength of 25MPa, when tested in accordance with AS1012 and suitable for pneumatic application. All workman-ship and materials shall be in accordance with AS2783:1994.
- 2) Include calcium chloride. Max aggregate size 10mm. Max slump 80mm. Cement type A.
- | Reinforcement cover - Soil Face                         | Air Face | Water Face |
|---|----------|------------|
| Walkway   | 65       | 40         |
| Floor   | 65       | 60         |
| Walls   | 65       | 60         |
| Beams   | 50       | -          |
| Piers   | 65       | 65         |
| Vibrate concrete in piers longer than 2m and all beams. |          |            |
- 3) Plumbing piping to be behind reinforcement and to have minimum 65 clear cover from soil or air.
- 4) Reinforcement to comply with SAA Standards and be supported on non-rusting chairs at approximately 1m centres.
- 5) Reinforcement to be adequately wire tied with wire ends flattened into plane of bars. Separate lap bars by 75mm.
- 6) All splices to bars and fabric to be 450.  
S = Grade 230 structural grade deformed  
Y = Grade 410 tempcore deformed  
R = Grade 230 plain grade round.
- 7) Plastic chairs 450 hard drawn wire fabric.
- 8) Plastic chairs that restrict entry of concrete into and around them shall not be used.

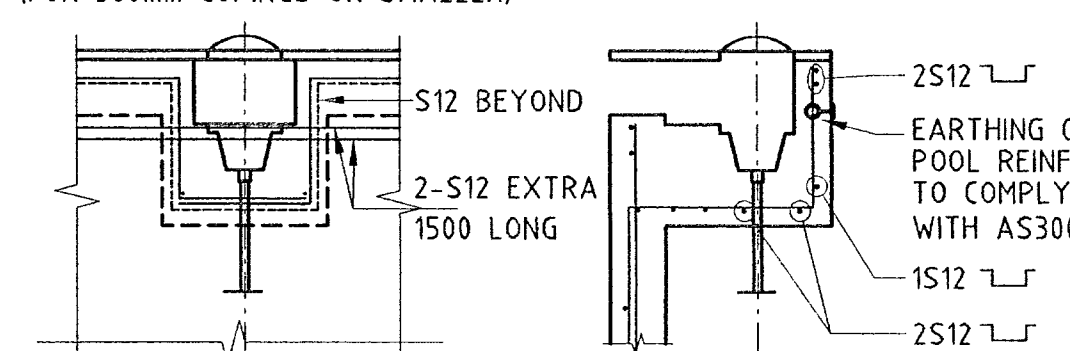
POOL OWNER NOTES

- 01 If owner is dissatisfied with initial pool set out, location or depths, builder should be notified before steel reinforcement is fixed.
- 02 The position of skimmers, lights, return lines etc. on this drawing is indicative only and final position to be determined on site.
- 03 The pool concrete should be cured by hosing four times per hour for seven days (10 days in summer) to keep exposed concrete continuously wet after concrete placement.
- 04 Safety fencing should be in accordance with Local Councils requirements and conform to Australian Standards.
- 05 The pool is not designed for diving. Provide safety signage to SAA code and Council requirements. S2416, S2899.
- 06 Notify engineer if pool to be emptied after finishing.



COPING CORNER DETAIL  
(FOR 300mm COPINGS OR SMALLER)

### MAIN DRAIN DETAIL



ELEVATION

### SKIMMER DETAIL

**P.M RYAN**  
**BUILDER FOR PETER RYAN POOLS**  
**LICENSED BUILDER No 114724C**  
A.B.N. 04 010 009 209  
**57 HILLCREST AVE MONA VALE 2103**  
**Phone 9999 1444**

Rev No	Eng	Revision Description	Amended By	Appro Date
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**GEOFF NINNES, FONG  
& PARTNERS PTY. LTD. - Trading as  
SWIMMING POOL CONSULTANTS**

ACN No. 001 849 289  
Consulting Engineers  
Civil Structural Stormwater

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68-70 Crown Street,  
Woolloomooloo, N.S.W. 2011  
Phone 9332 5100 Fax 9331 296  
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Project PROPOSED NEW SWIMMING POOL FOR  
JULIE & CHRIS LAKEMAN LOT 70, DP. 27578  
36 MONTEREY ROAD, BILGOLA PLATEAU.

## STRUCTURAL DETAILS

Drawn K.S.	Checked B.F.	Drwg. No.  RYA0605 SP2
Scale 1:200 1:100 1:20	Approved BE. ME Aust	
	Date MARCH 2006	