

Rapid Plans www.rapidplans.com.au
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Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION

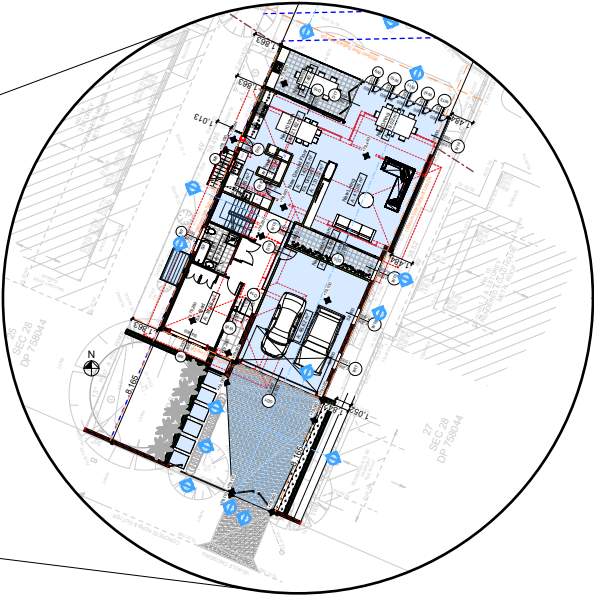
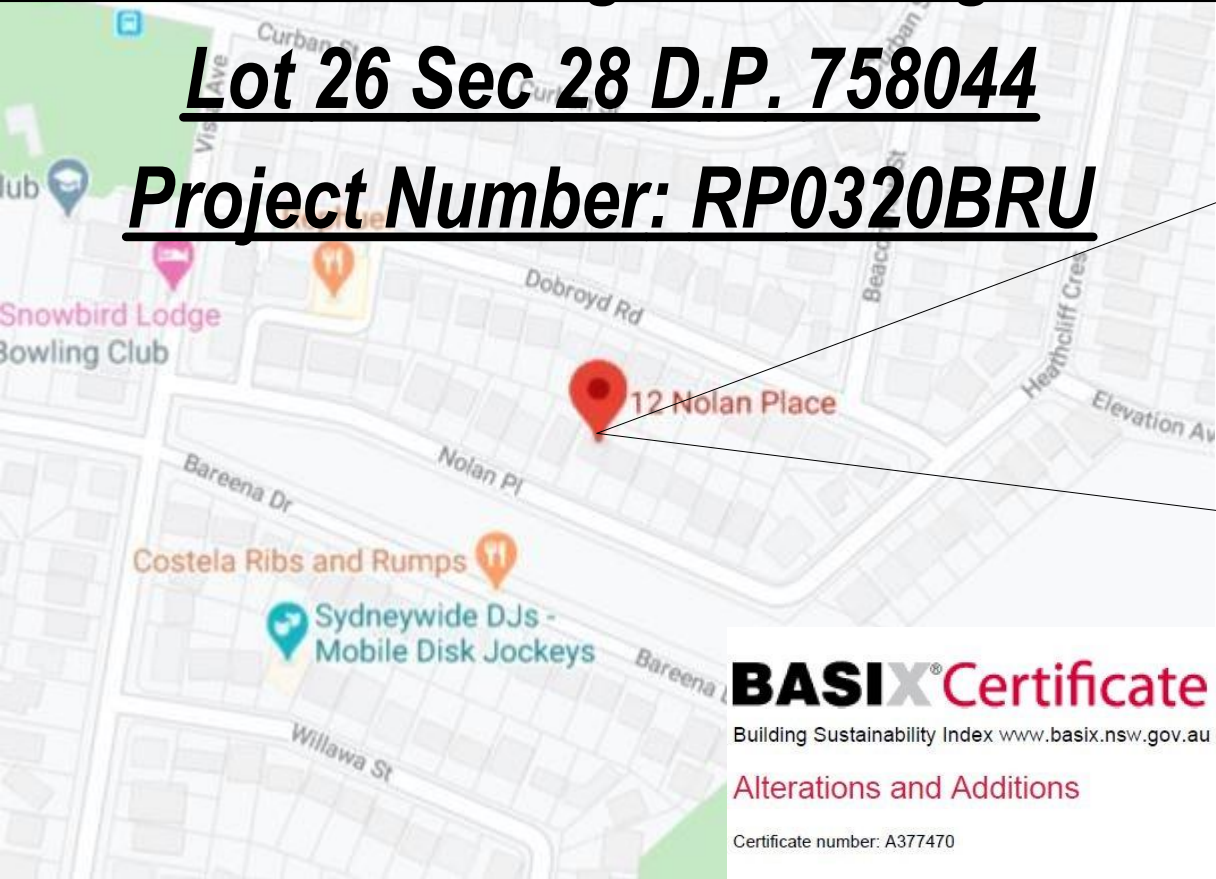
Alterations & Additions To Existing Residence

For Fe Design Interiors

12 Nolan Place, Balgowlah Heights 2093

Lot 26 Sec 28 D.P. 758044

Project Number: RP0320BRU



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	1	- 14-7-2020
DA1001	A4 NOTIFICATION PLAN	1	- 14-7-2020
DA1002	SITE SURVEY	1	- 14-7-2020
DA1003	SITE PLAN	1	- 14-7-2020
DA1004	Existing Lower Ground Floor Plan	1	- 14-7-2020
DA1005	Existing Ground Floor Plan	1	- 14-7-2020
DA1006	Existing First Floor Plan	1	- 14-7-2020
DA1007	Demolition Lower Ground Floor Plan	1	- 14-7-2020
DA1008	Demolition Ground Floor Plan	1	- 14-7-2020
DA1009	Demolition First Floor Plan	1	- 14-7-2020
DA1010	Excavation & Fill Plan	1	- 14-7-2020
DA1011	Landscape Open Space Plan Existing	1	- 14-7-2020
DA1012	Landscape Open Space Plan Proposed	1	- 14-7-2020
DA1013	Landscape Plan	1	- 14-7-2020
DA1014	Sediment & Erosion Plan	1	- 14-7-2020
DA1015	Waste Management Plan	1	- 14-7-2020
DA1016	Stormwater Plan	1	- 14-7-2020
DA1017	Floor Space Ratio Plan	1	- 14-7-2020
DA2001	LOWER GROUND FLOOR	1	- 14-7-2020
DA2002	GROUND FLOOR	1	- 14-7-2020
DA2003	FIRST FLOOR	1	- 14-7-2020
DA2004	ROOF	1	- 14-7-2020
DA3000	SECTION 1	1	- 14-7-2020
DA3001	SECTION DRIVE	1	- 14-7-2020
DA3002	SECTION POOL	1	- 14-7-2020
DA4000	ELEVATIONS 1	1	- 14-7-2020
DA4001	ELEVATIONS 2	1	- 14-7-2020
DA4002	ELEVATIONS 3	1	- 14-7-2020
DA4003	ELEVATION FRONT FENCE	1	- 14-7-2020
DA5000	PERSPECTIVE	1	- 14-7-2020
DA5001	MATERIAL & COLOUR SAMPLE BOARD	1	- 14-7-2020
DA5002	SHADOW PLAN 21 JUN at 0900h	1	- 14-7-2020
DA5003	SHADOW PLAN 21 JUN at 1200h	1	- 14-7-2020
DA5004	SHADOW PLAN 21 JUN at 1500h	1	- 14-7-2020
DA5005	WALL ELEVATION SHADOWS 1	1	- 14-7-2020

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A377470

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 15, May 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

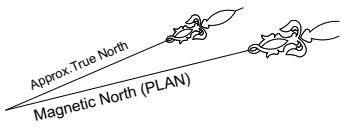
Description of project

Project address	
Project name	Bruzzano
Street address	12 Nolan Place Balgowlah Heights 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 758044
Lot number	26
Section number	28
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592



PLACE

(BITUMEN FORMATION)

NOLAN

25
SEC 28
DP 758044

26
SEC 28
DP 758044

27
SEC 28
DP 758044

8
SEC 28
DP 758044

7
SEC 28
DP 758044

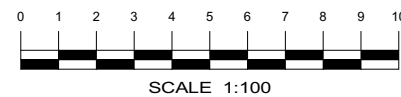
TITLE INDICATES THAT LOT 26 SEC 28 IN D.P.758044 IS SUBJECT TO:

- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- EXCEPTING THE LAND BELOW A DEPTH FROM THE SURFACE OF 15.24 METRES BY THE CROWN GRANT
- J384460 EASEMENT FOR DRAINAGE AFFECTING THE PART OF THE LAND ABOVE DESCRIBED SHOWN AS SITE OF PROPOSED DRAINAGE EASEMENT IN PLAN WITH J384460

1

SURVEY PLAN
1:200

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION



LEGEND:

BAL = BALCONY
BLD = EXTERNAL BUILDING
BW = BOTTOM WALL
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DS = DOOR STEP
FOE = FENCE
FL = FLOOR LEVEL
GAFL = GARAGE FLOOR LEVEL
GRT = GRATE
HL = HEAD LEVEL
LIN = LINTEL
NS = NATURAL SURFACE
PAV = PAVING

TREE
SPREAD-DIAMETER-HEIGHT

POOL = POOL
RF = TOP OF ROOF
RR = ROOF RIDGE
SIP = SEWER INSPECTION PIT
SL = SILL LEVEL
STR = STAIRS
TER = TERRACE
TFCE = TOP OF FENCE
TG = TOP OF GUTTER
TIL = TILE
TKB = TOP OF KERB
TPIT = TELSTRA PIT
TR = TREE
TW = TOP OF WALL
VER = VERANDAH
WM = WATER METER
= ELECTRICITY OVERHEAD
- - - - - = SEWER UNDERGROUND

- NOTES**
- BOUNDARIES HAVE BEEN DEFINED
 - IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED
 - AREA HAS BEEN CALCULATED BY TITLE DIMENSIONS.
 - TREE SIZES ARE ESTIMATES ONLY.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ROB & ALEXIS POOLE
 - RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 - EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
 - ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (91 100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
 - SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
 - CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
 - THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
 - CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
 - CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
 - POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
 - THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
 - DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
 - COPYRIGHT © CMS SURVEYORS 2019.
 - NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
 - ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
 - THIS NOTICE MUST NOT BE ERASED.

REGISTERED SURVEYOR
BOSSI NUMBER 1605

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 1109
R.L. 76.233 (ORDER L2)
SOURCE: S.C.I.M.S. (04/12/19)

1 FIRST ISSUE 18/12/19

CLIENT:
ROB & ALEXIS POOLE
c/- FE DESIGN
3/22 FAIRLIGHT CRESCENT
FAIRLIGHT NSW 2094

SURVEY PLAN
SHOWING DETAIL & LEVELS
OVER LOT 26 SEC 28 IN D.P.758044
12 NOLAN PLACE
BALGOWLAH NSW 2093

**C.M.S. Surveyors
Pty Limited**
SURVEYORS
ACN: 096 240 201
PO Box 463 Dee Why
NSW 2099
299A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES **SHEET 1 OF 1**

SURVEYED HC	DRAWN MC	CHECKED HC	APPROVED AF
SURVEY INSTRUCTION 19011			SCALE 1:100 @ A1 1:200 @ A3
DATE OF SURVEY 09/12/19			ISSUE 1
DRAWING NAME 19011detail			
CAD FILE 19011detail 1.dwg			



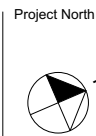
Rapid Plans
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NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
15/07/2020
RP0320BRU
DA Rev1

Client
Site:
Sheet Size: A3

Fe Design Interiors
12 Nolan Place, Balgowlah
Heights 2093

DRAWING TITLE :
SITE AND LOCATION
SITE SURVEY

PROJECT NAME :
Alterations & Additions

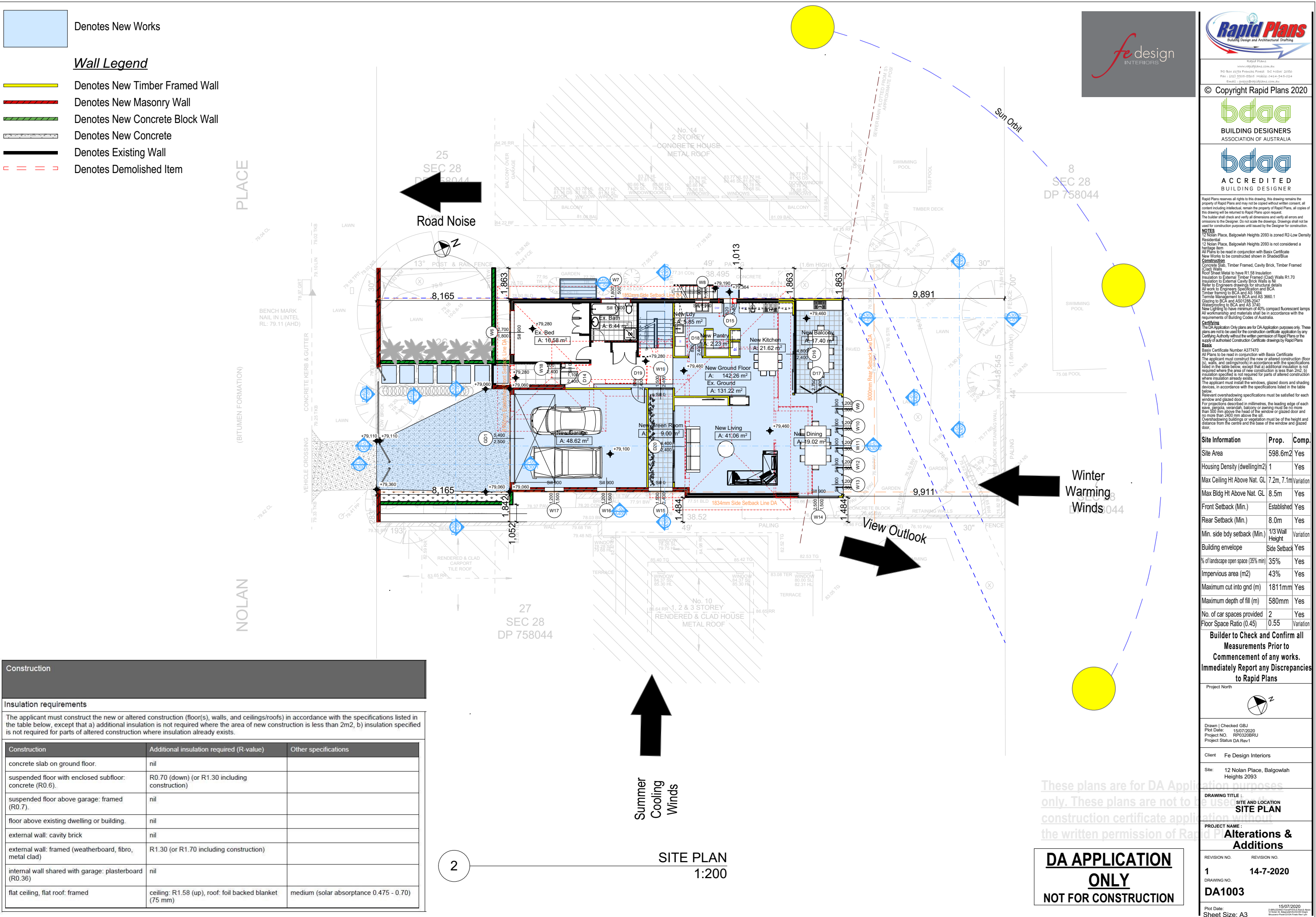
REVISION NO.
1
DATE:
14-7-2020
DRAWING NO.
DA1002



Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: cavity brick	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Building Design and Architectural Drafting

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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NOTES

12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential.

Nolan Place, Balgowlah Heights 2093 is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue Construction.

Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls.

Road Sheet Metal to have R1.58 Insulation.

Insulation to External Timber Framed (Clad) Walls R1.70.

Insulation to External Cavity Brick Walls is Nil.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS 2208.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Caravanning

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for construction certificate application by any Caravanning Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A377470.

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO.: RP03208RU
Project Status DA Rev1

Client Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE: SITE PLAN

PROJECT NAME: Alterations & Additions

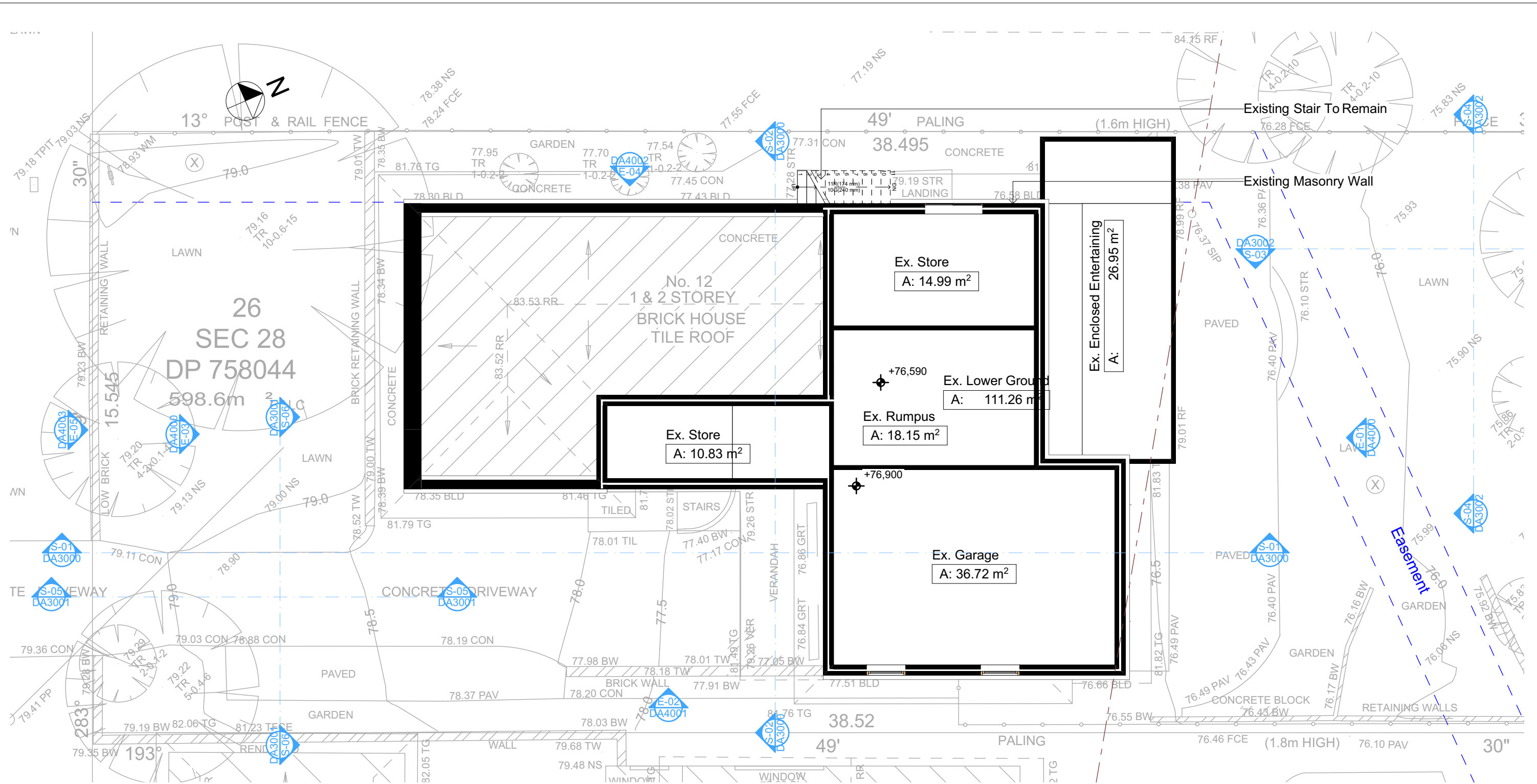
REVISION NO.	REVISION NO.
1	14-7-2020

DRAWING NO. DA1003

Plot Date: 15/07/2020
Sheet Size: A3

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION



1 EXISTING BASEMENT/LOWER GROUND 1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

Wall Legend
Denotes Existing Wall

NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber
Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to Cavity Brick is Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A377470
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than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

**DA APPLICATION
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m ²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation



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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

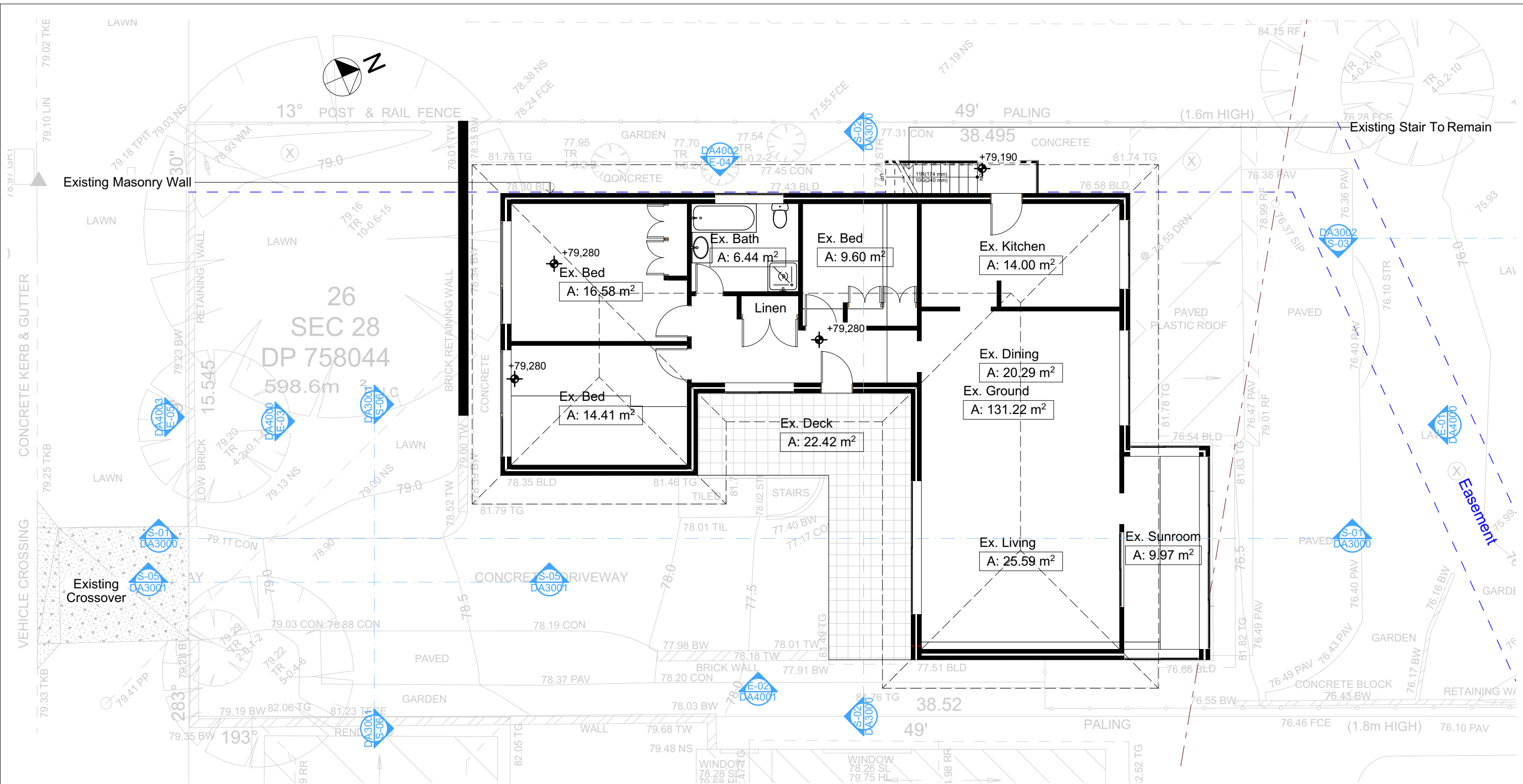
bdaa
ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Project North
Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing Lower Ground
Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
14-7-2020
DRAWING NO.
DA1004



Wall Legend
Denotes Existing Wall

2
EXISTING GROUND FLOOR
1:100

Builder To Check & Confirm Existing
Measurements Prior to Commencement

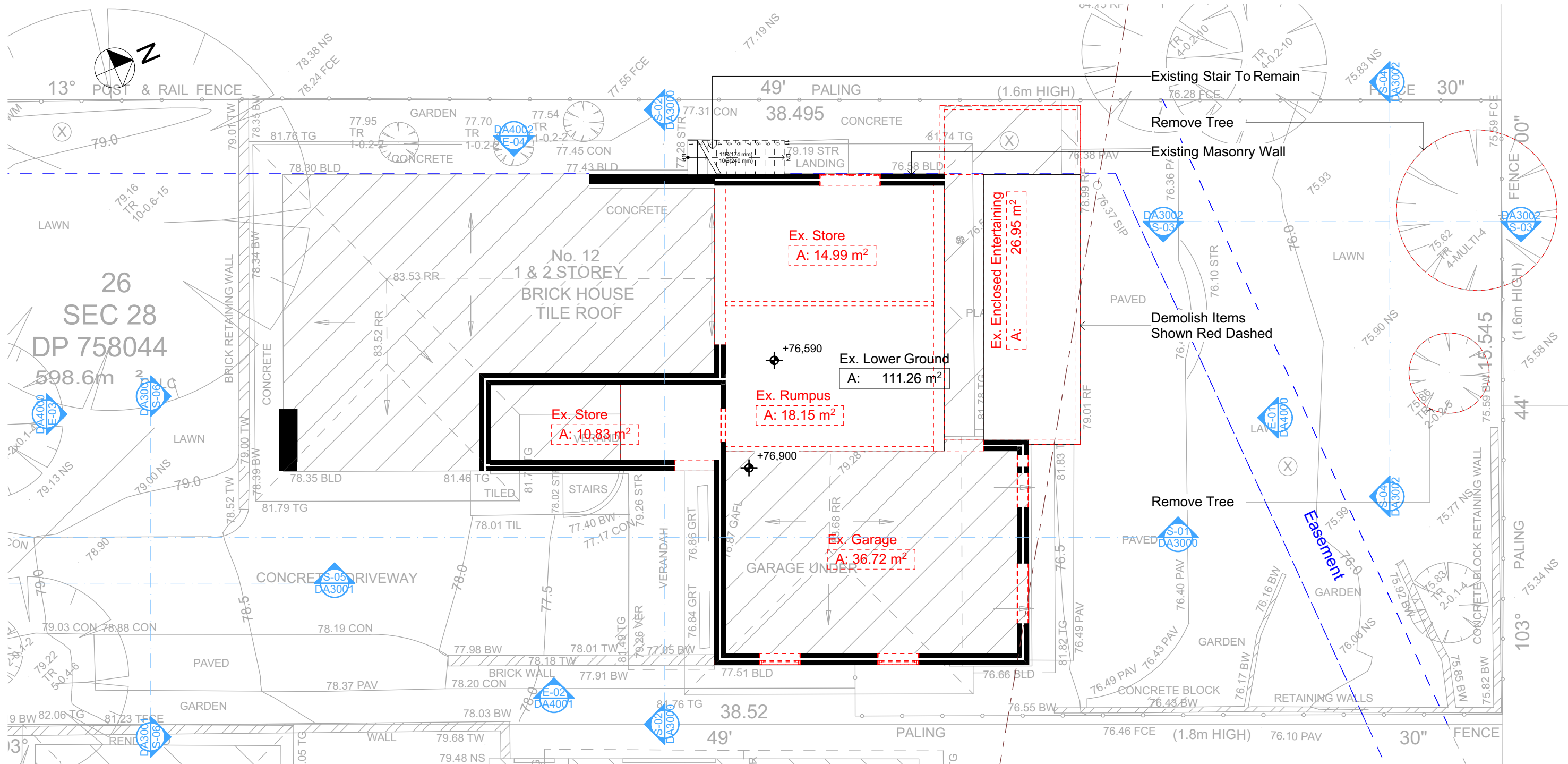
NOTES
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Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber
Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to Cavity Brick is Nil
Refer to Engineers drawings for structural details
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Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

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**DA APPLICATION
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m ²)	43%	Yes
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Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation



1 DEMOLITION BASEMENT/LOWER GROUND
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Wall Legend
— Denotes Existing Wall
- - - Denotes Demolished Item

NOTES
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m ²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation

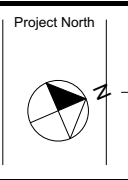


Rapid Plans
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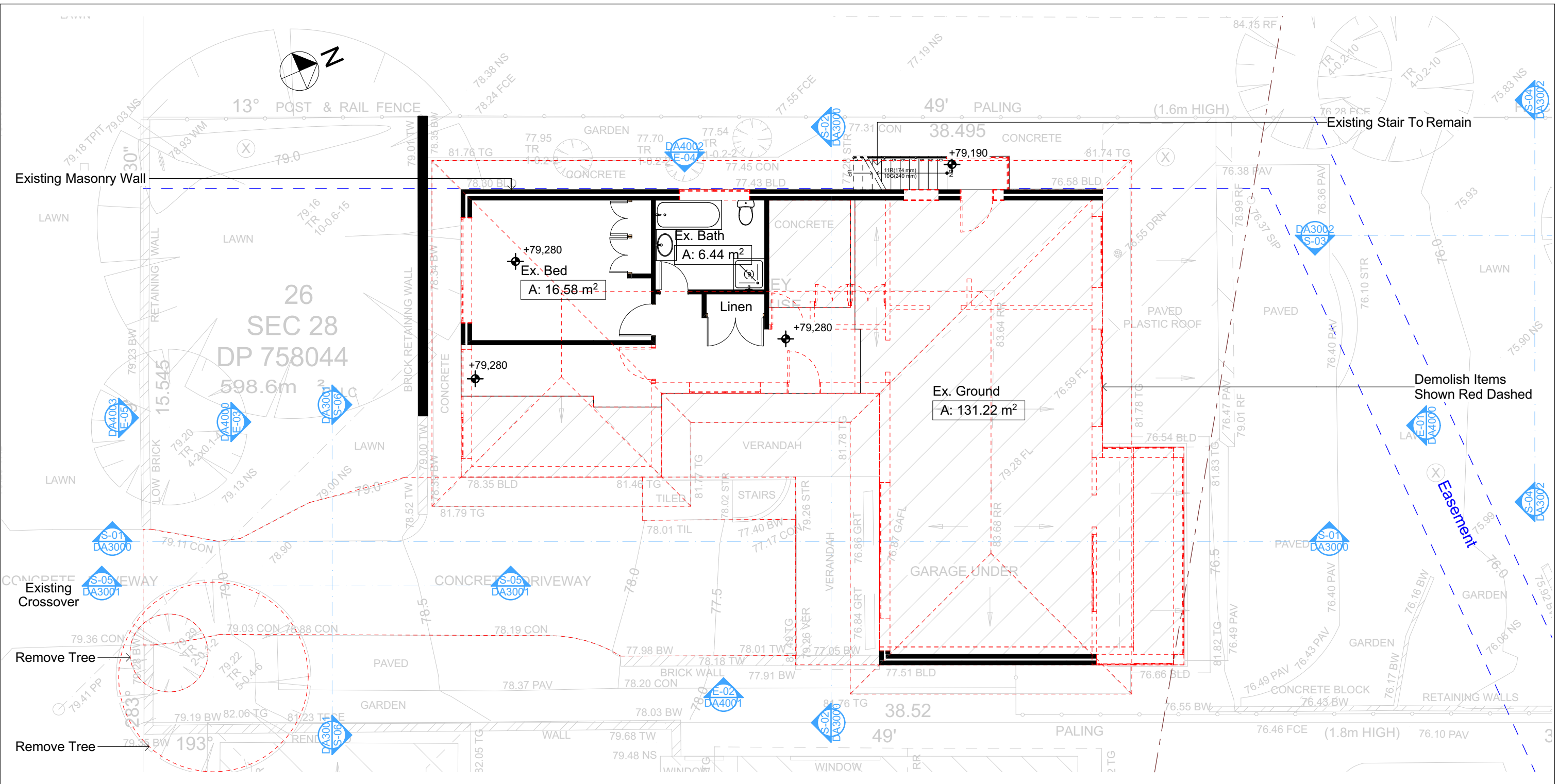
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 15/07/2020
Project NO: RP03208RU
Project Status: DA Rev1
Client: Fe Design Interiors
Site: 12 Nolan Place, Balgowlah
Heights 2093
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Lower Ground
Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
14-7-2020
DRAWING NO.
DA1007



2 DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Wall Legend
— Denotes Existing Wall
- - - - Denotes Demolished Item

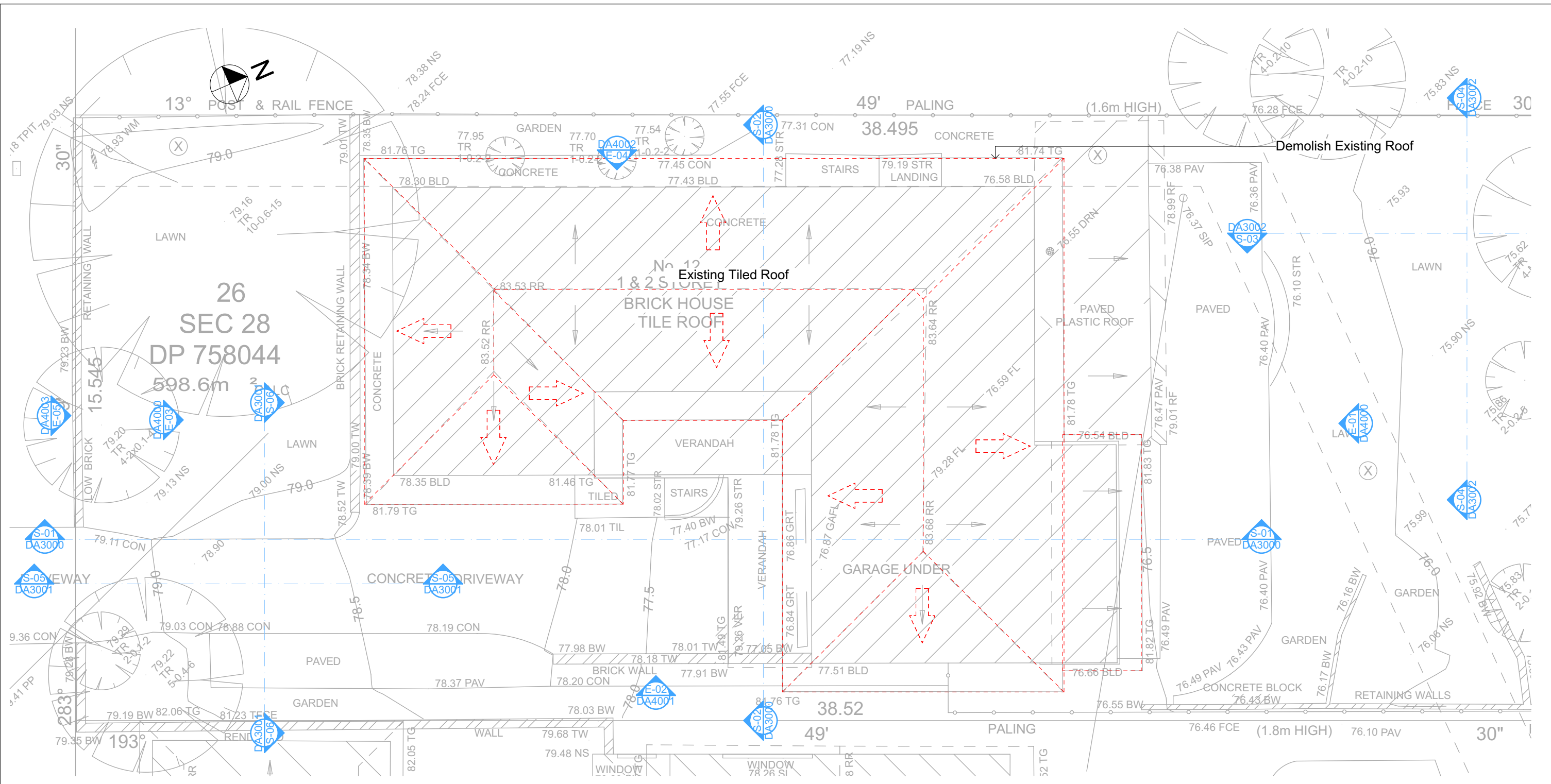
NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to Cavity Brick is Nil
Refer to Engineers Drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A377470
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m ²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation



3 DEMOLITION ROOF PLAN
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Wall Legend

- Denotes Existing Wall
- - - Denotes Demolished Item

NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber
Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Refer to Engineers Drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A377470
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more
than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m ²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation



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drawings. Drawings shall not be used for construction
purposes until issued by the Designer for construction.

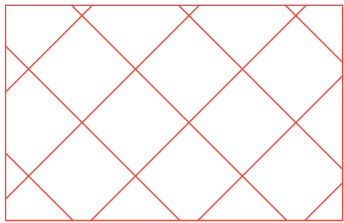


Builder to Check and Confirm
all Measurements Prior to
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Immediately Report any
Discrepancies to Rapid Plans

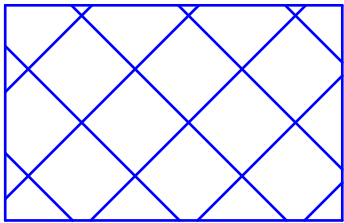
Project North
Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
14-7-2020
DRAWING NO.
DA1009



Denotes Excavation Area



Denotes Fill Area



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NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded Blue.
Construction:
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls.
Roof Sheet Metal to have R1.50 Insulation.
Insulation to External Timber Framed (Clad) Walls R1.70.
Insulation to External Cavity Brick Walls is Nil.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS/NZS 2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A37470.
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	181mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO.: RP03208RU
Project Status DA Rev1

Client Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

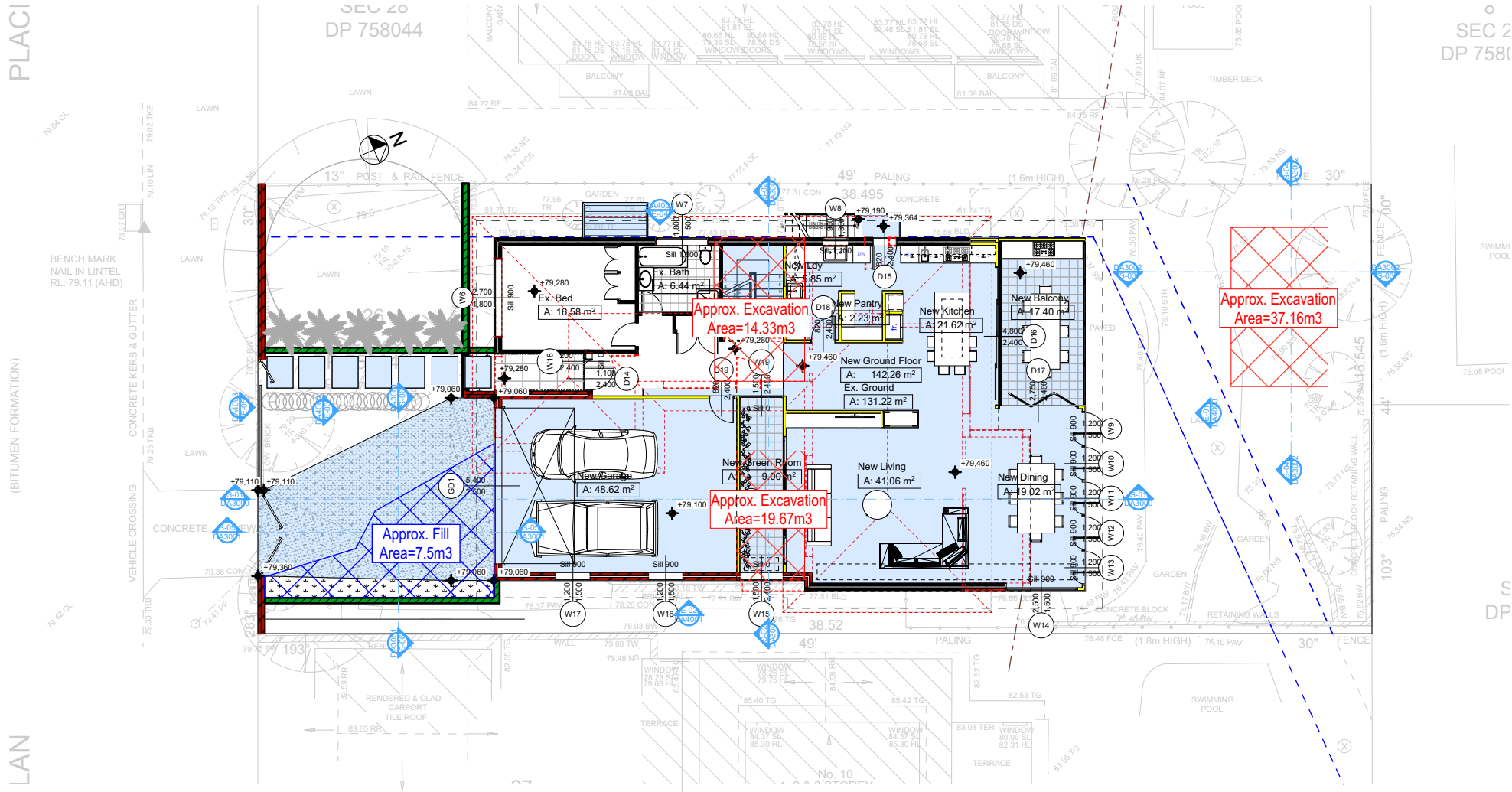
DRAWING TITLE:
SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. REVISION NO.
1 14-7-2020

DRAWING NO.
DA1010

Plot Date: 15/07/2020
Sheet Size: A3



EXCAVATION & FILL PLAN
1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Denotes Impervious Area



Denotes Open Space Area



Denotes Pervious Area



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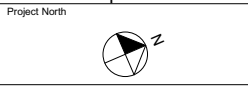
NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential.
Heritage Item
Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue Construction.
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls.
Roof Sheet Metal to have R1.50 Insulation.
Insulation to External Timber Framed (Clad) Walls R1.70 Insulation to External Cavity Brick Walls is Nil.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS 2208.2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A377470
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m Variation	
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	181mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO.: RP0320BRU
Project Status DA Rev1

Client Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
Alterations & Additions

REVISION NO. REVISION NO.
1 14-7-2020

DRAWING NO.
DA1011

Plot Date: 15/07/2020
Sheet Size: A3

PLACE

(BITUMEN FORMATION)

NOLAN

25
SEC 28
DP 758044

8
SEC 28
DP 758044

7
SEC 28
DP 75804

27
SEC 28
DP 758044

Description	Area (m ²)	Percentage
Site Area	598.6m ²	100%
Exist. Impervious Area	341.24m ²	57%
Exist. Open Space Area	257.36m ²	43%
Proposed Impervious Area	257.26m ²	43%
Proposed Open Space Area	341.34m ²	57%

Note:
Total Open Landscape Area for the property will be Maintained
Total Open Space Area for the property will be Increased by 14%
Exist. Landscape Area= 116.84m² + 140.52 of Open Space Area
Proposed Landscape Area= 114.41 + 226.93 of Open Space Area

1 LANDSCAPE OPEN SPACE EXISTING
1:200

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Denotes Impervious Area

Denotes Open Space Area

Denotes Pervious Area



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NOTES

12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential.

Nolan Place, Balgowlah Heights 2093 is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue Construction.

Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls.

Road Sheet Metal to have R1.59 Insulation.

Insulation to External Timber Framed (Clad) Walls R1.70.

Insulation to External Cavity Brick Walls is Nil.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS 1906-2017.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A377470.

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO.: RP0320BRU
Project Status DA Rev1

Client Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO.	REVISION NO.
1	14-7-2020
DRAWING NO.	DA1012

Plot Date: 15/07/2020
Sheet Size: A3

PLACE

NOLAN

LANDSCAPE OPEN SPACE PROPOSED

1:200

Description	Area (m2)	Percentage
Site Area	598.6m2	100%
Exist. Impervious Area	341.24m2	57%
Exist. Open Space Area	257.36m2	43%
Proposed Impervious Area	257.26m2	43%
Proposed Open Space Area	341.34m2	57%

Note:

Total Open Landscape Area for the property will be Maintained

Total Open Space Area for the property will be Increased by 14%

Exist. Landscape Area= 116.84m² + 140.52 of Open Space Area

Proposed Landscape Area= 114.41 + 226.93 of Open Space Area

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Building Designers Association of Australia

ACCREDITED BUILDING DESIGNER

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NOTES

12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential.

Nolan Place, Balgowlah Heights 2093 is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue Construction.

Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls.

Road Sheet Metal to have R1.59 Insulation.

Insulation to External Timber Framed (Clad) Walls R1.70.

Insulation to External Cavity Brick Walls is Nil.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS 2208.2047.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A377470.

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	181mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO.: RP03208RU
Project Status DA Rev1

Client Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE: SITE AND LOCATION
Landscape Plan

PROJECT NAME: **Alterations & Additions**

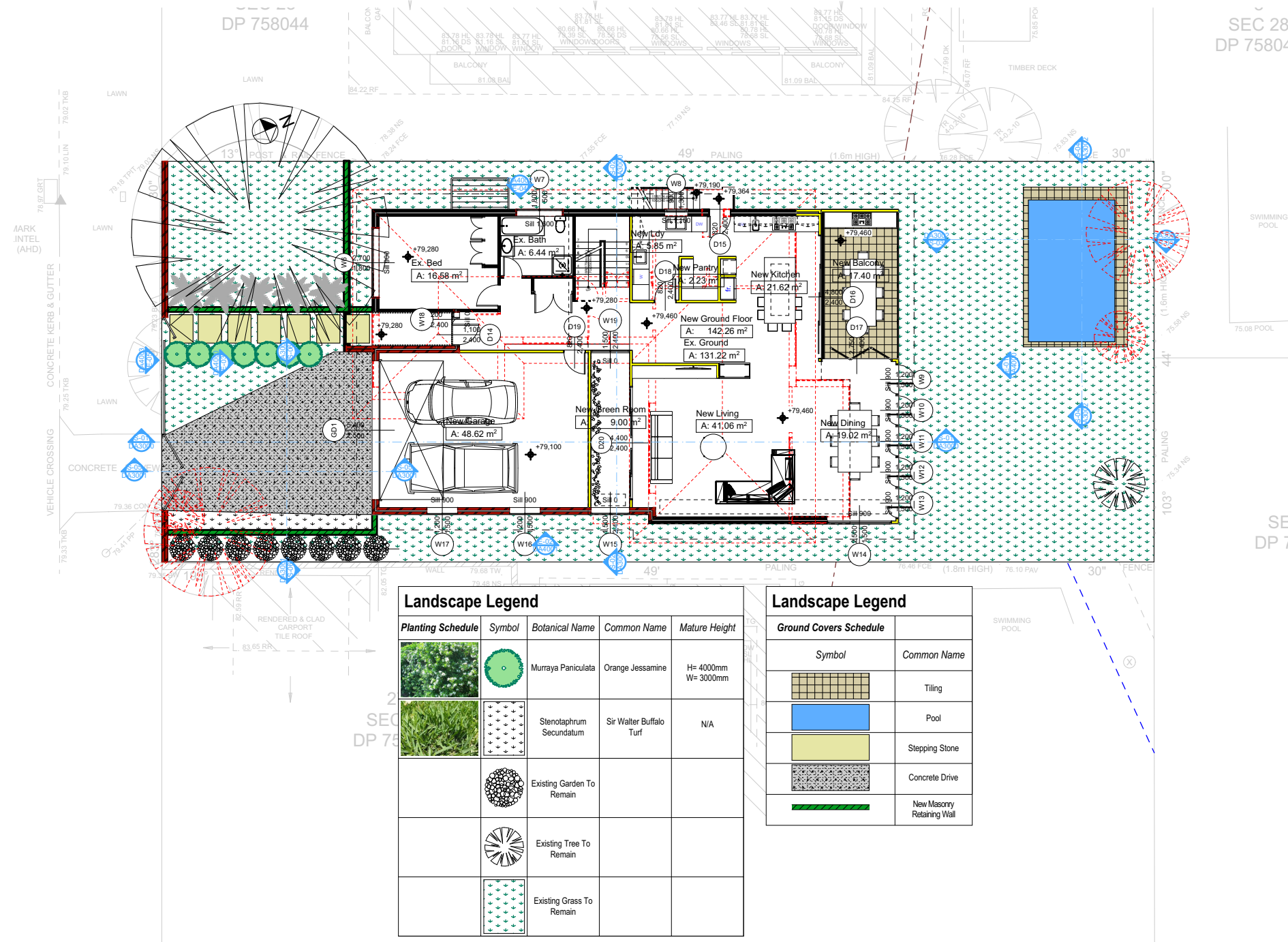
REVISION NO.	REVISION NO.
1	14-7-2020
DRAWING NO.	
DA1013	

Plot Date: 15/07/2020
Sheet Size: A3

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DA APPLICATION ONLY

NOT FOR CONSTRUCTION



Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Murraya Paniculata	Orange Jessamine	H= 4000mm W= 3000mm
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A
		Existing Garden To Remain		
		Existing Tree To Remain		
		Existing Grass To Remain		

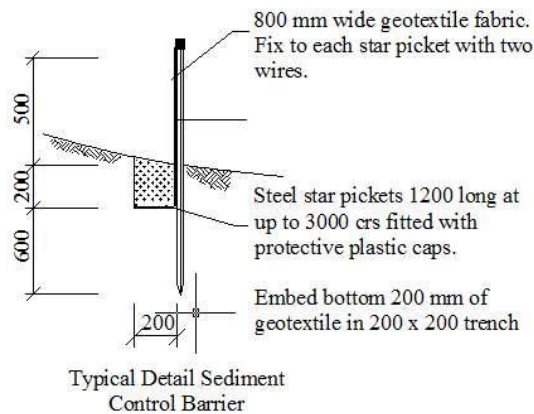
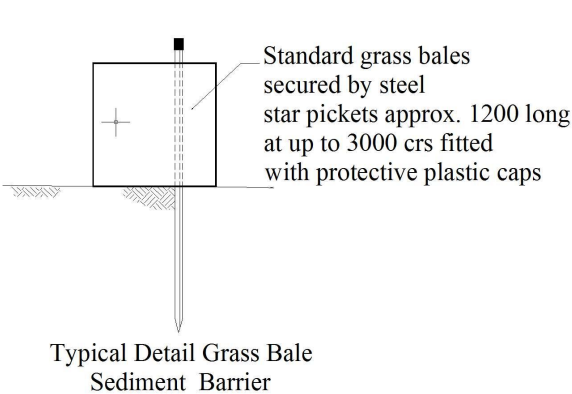
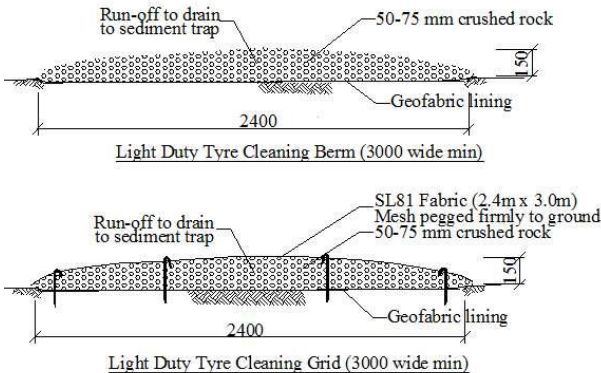
Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Tiling
	Pool
	Stepping Stone
	Concrete Drive
	New Masonry Retaining Wall

Sediment Control Fence

Site Safety Fence

SEDIMENT & EROSION CONTROL PLAN

1:200



Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	181mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North	
Drawn Checked GBJ	
Plot Date: 15/07/2020	
Project NO: RP0320BRU	
Project Status DA Rev1	
Client: Fe Design Interiors	
Site: 12 Nolan Place, Balgowlah Heights 2093	
DRAWING TITLE: SITE AND LOCATION	
PROJECT NAME: Sediment & Erosion Plan	
REVISION NO. 1	REVISION NO. 14-7-2020
DRAWING NO. DA1014	
Plot Date: 15/07/2020	
Sheet Size: A3	

Site Safety Fence

Approximate Location
Of Building Waste &
Recycling Area

Sediment Control Fence

Vehicle Access For
Removal Of Waste
By Builder During
Work Hours



Residential Garbage Bin Storage

Material Storage Area



Denotes New Works



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes New Concrete Block Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item

Wall Legend



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue Construction

Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls

Road Sheet Metal to have R1.59 Insulation

Insulation to External Timber Framed (Clad) Walls R1.70 Insulation to External Cavity Brick Walls is Nil

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288.2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A377470

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

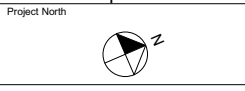
Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO.: RP03208RU
Project Status DA Rev1

Client Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. REVISION NO.
1 14-7-2020

DRAWING NO.
DA1015

Plot Date: 15/07/2020
Sheet Size: A3

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The applicant must install the following heating system for the swimming pool that is part of this development: solar (gas boosted).

Denotes Demolished Item



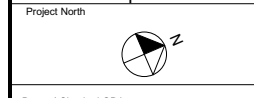
NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential.
2 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item.
All work to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls
Roof Steel Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to External Cavity Brick Walls is Nil
Refer to Engineers drawing for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1894
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS2088-2004
Waterproofing to BCA and AS 3740
Refer to Engineers drawing for minimum of 40% compact fluorescent lan
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

Certification
The applicant must certify that all plans are for the construction application purposes only. The plans are not to be used for the DA application purposes only. The applicant must certify that the applicant has obtained the written permission of Rapi Plans of the applicant's authorized Construction Certificate drawings by Rapi Plans of the applicant.

Basic Certificate Number 3347740
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or additional construction (the new or additional construction) in accordance with the specifications listed in the table below, except that if a additional insulation is required where the area of new construction is less than 2m² and the applicant is not required to provide for the insulation where the insulation already exists.
The applicant must install the windows, glazed doors and shutters in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each case.
For projections extending in millimetres, the leading edge of each wall, parapet, balcony, verandah or awning must be of the height and extend no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comments
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Varied
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Varied
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Varied

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancy
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO. RP0320BRU
Project Status DA Rev1

Client	Fe Design Interiors
Site:	12 Nolan Place, Balgowlah Heights 2093

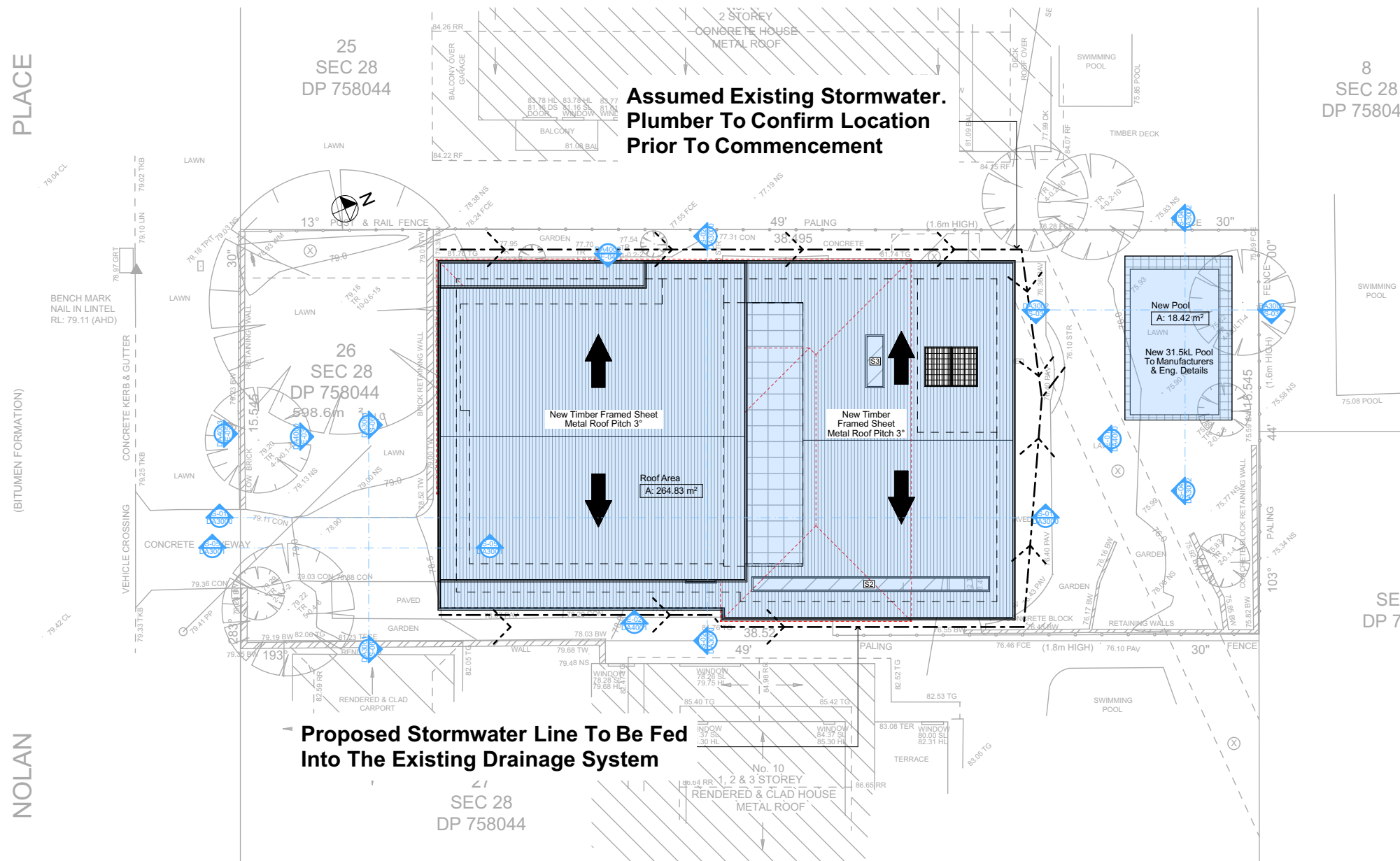
DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME: **Alterations & Additions**

REVISION NO.	REVISION NO.
1	14-7-2020

DRAWING NO.
DA1016

Plot Date: 15/07/2020
Sheet Size: A3

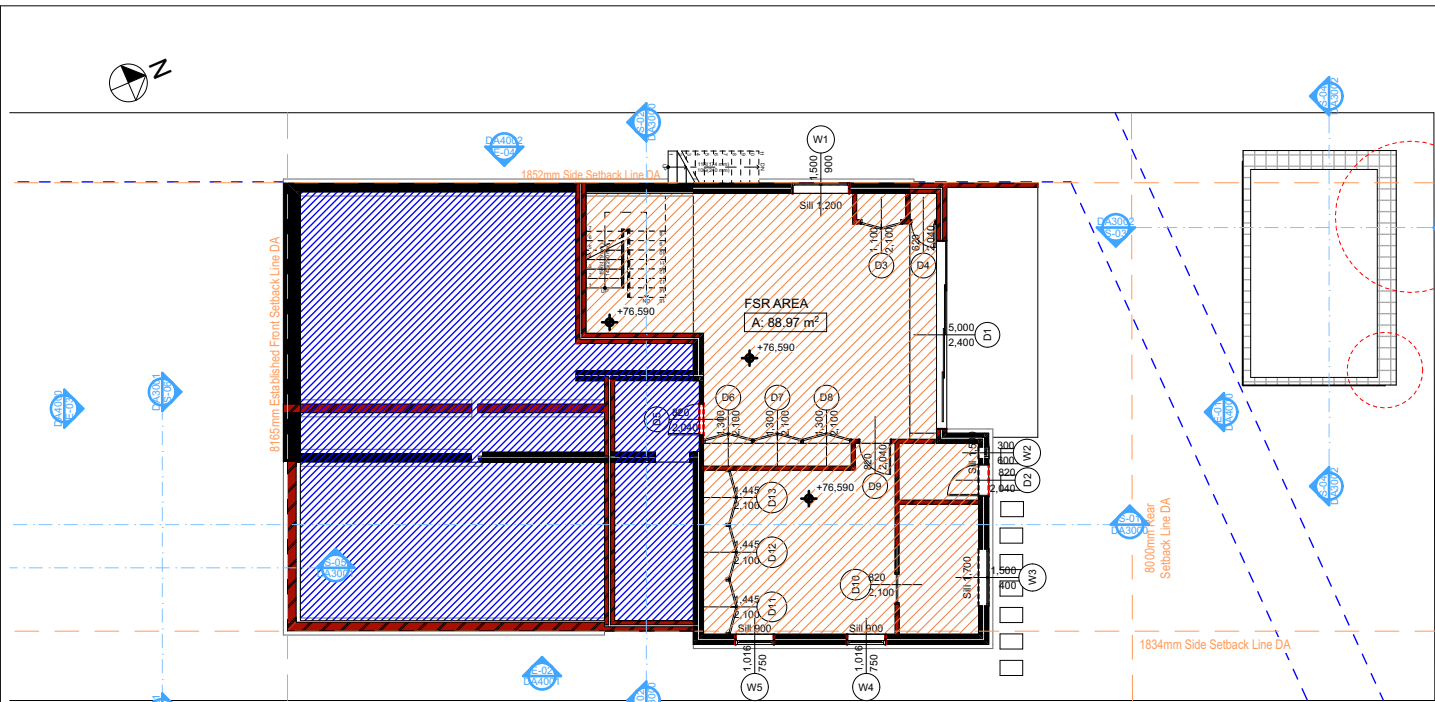


STORMWATER PLAN
1:200

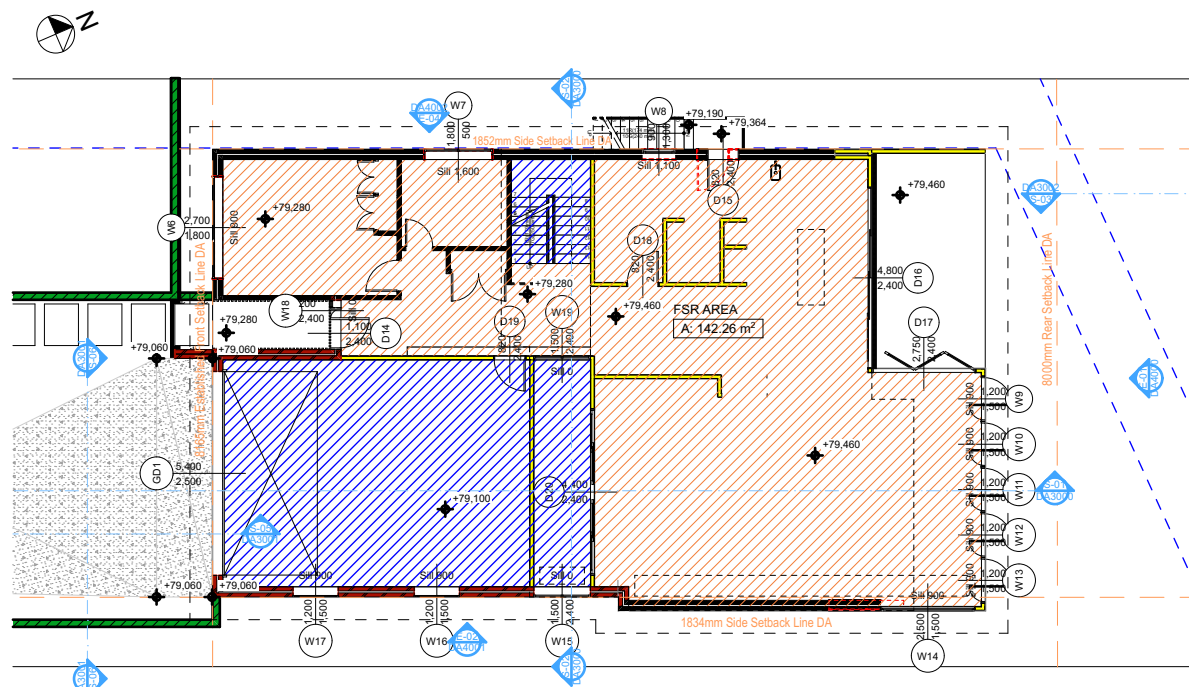
Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

DA APPLICATION
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	<p>DRAWING TITLE : SITE AND LOCATION Stormwater Plan</p>
	<p>PROJECT NAME : Alterations &</p>



1
-
LOWER GROUND FSR
1:200



2
-
GROUND FLOOR FSR
1:200



NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
Certifying
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These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber
Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to Cavity Brick is Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A377470
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more
than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

**DA APPLICATION
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NOT FOR CONSTRUCTION**

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m2	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m2)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation



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Email: greg@rapidplans.com.au
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Immediately Report any
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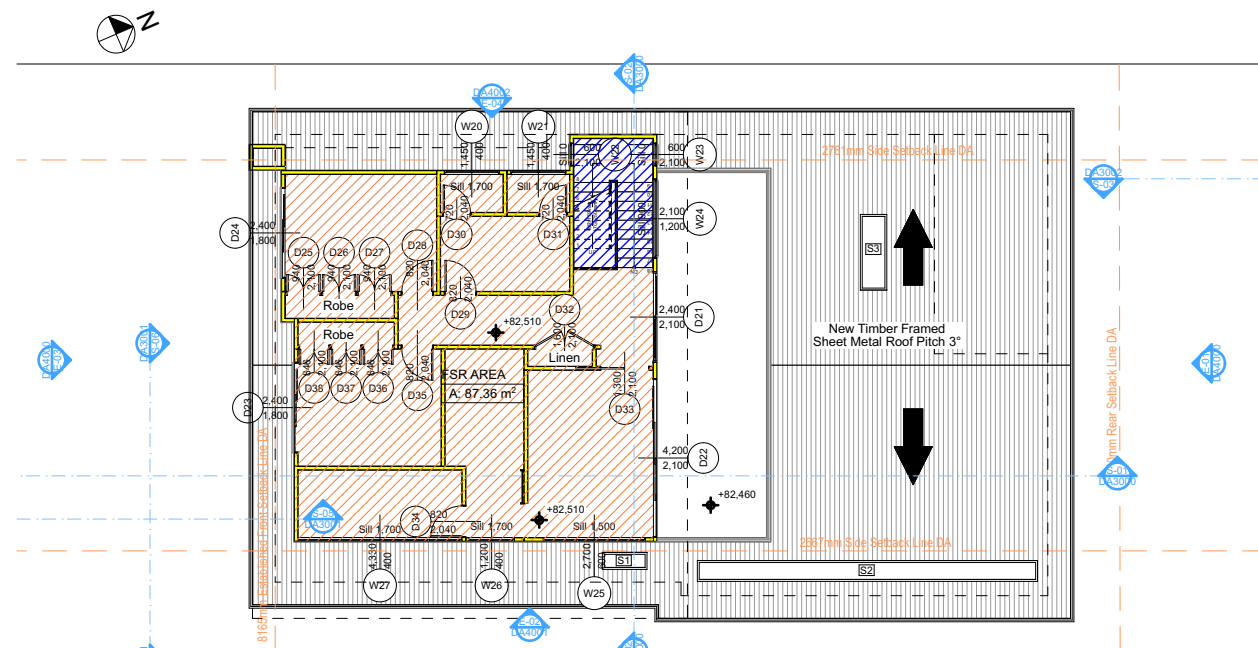
Project North
Checked
Plot Date: GBJ
Project NO: 15/07/2020
Project Status: RP03208RU
DA Rev1
Client: Fe Design Interiors
Site: 12 Nolan Place, Balgowlah
Heights 2093
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Floor Space Ratio Plan
PROJECT NAME :
Alterations & Additions

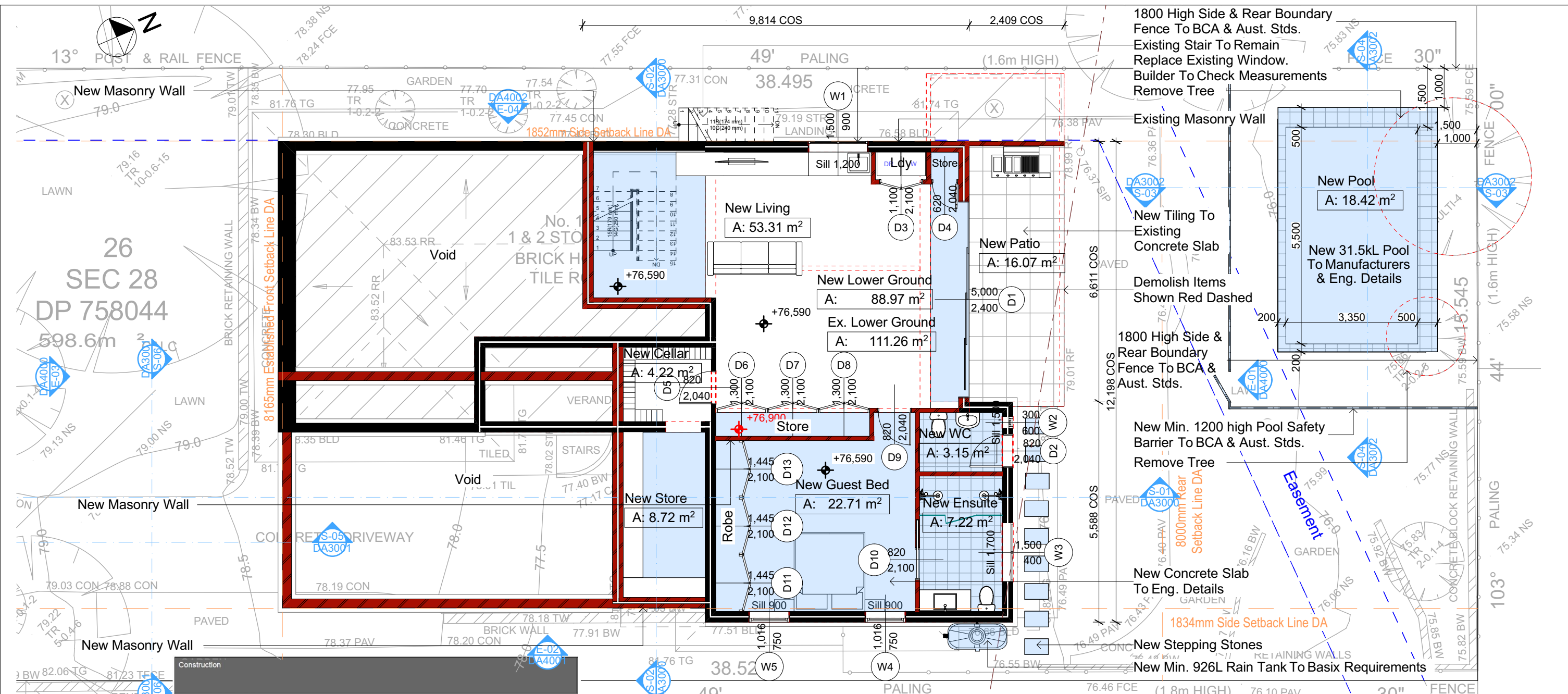
REVISION NO.
1
DATE: 14-7-2020
DRAWING NO.
DA1017

Denotes Proposed FSR
Denotes Void, Storage, Garage

Floor Space Ratio (FSR) Calculations:
Lower Ground Floor= 88.97m2
Ground Floor= 142.26m2
First Floor= 85.99m2
Total Floor Area= 317.22m2
FSR Ratio= 0.529:1 (53%)



3
-
FIRST FLOOR FSR
1:200



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: cavity brick	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to Cavity Brick is Nil
Refer to Engineers Drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A377470
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m²	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m²)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation



NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



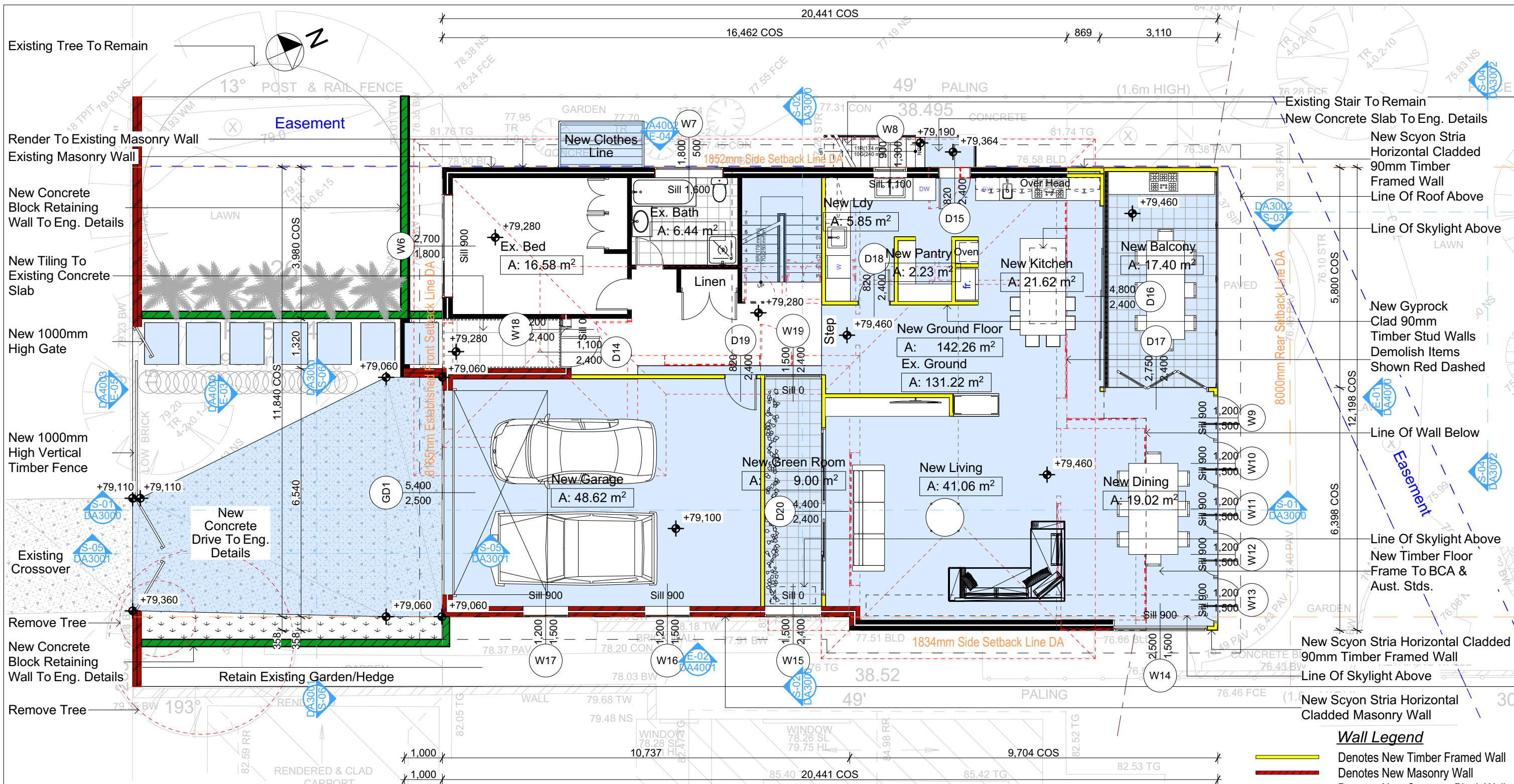
Builder to Check and Confirm
all Measurements Prior to Commencement of any works.
Immediately Report any Discrepancies to Rapid Plans

Project North
Checked
Plot Date: 15/07/2020
Project NO: RP0320BRU
Project Status: DA Rev1
Client Site: Fe Design Interiors
12 Nolan Place, Balgowlah Heights 2093
Sheet Size: A3

DRAWING TITLE :
PLANS
LOWER GROUND FLOOR
PROJECT NAME :
Alterations & Additions

Denotes New Works
Wall Legend
Denotes New Masonry Wall
Denotes Existing Wall
Denotes Demolished Item

REVISION NO.
1
DATE:
14-7-2020
DRAWING NO.
DA2001



2 GROUND FLOOR 1:100

Denotes New Works

NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber
Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to Cavity Brick is Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A377470
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more
than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Fixtures and systems

Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or
light-emitting-diode (LED) lamps.

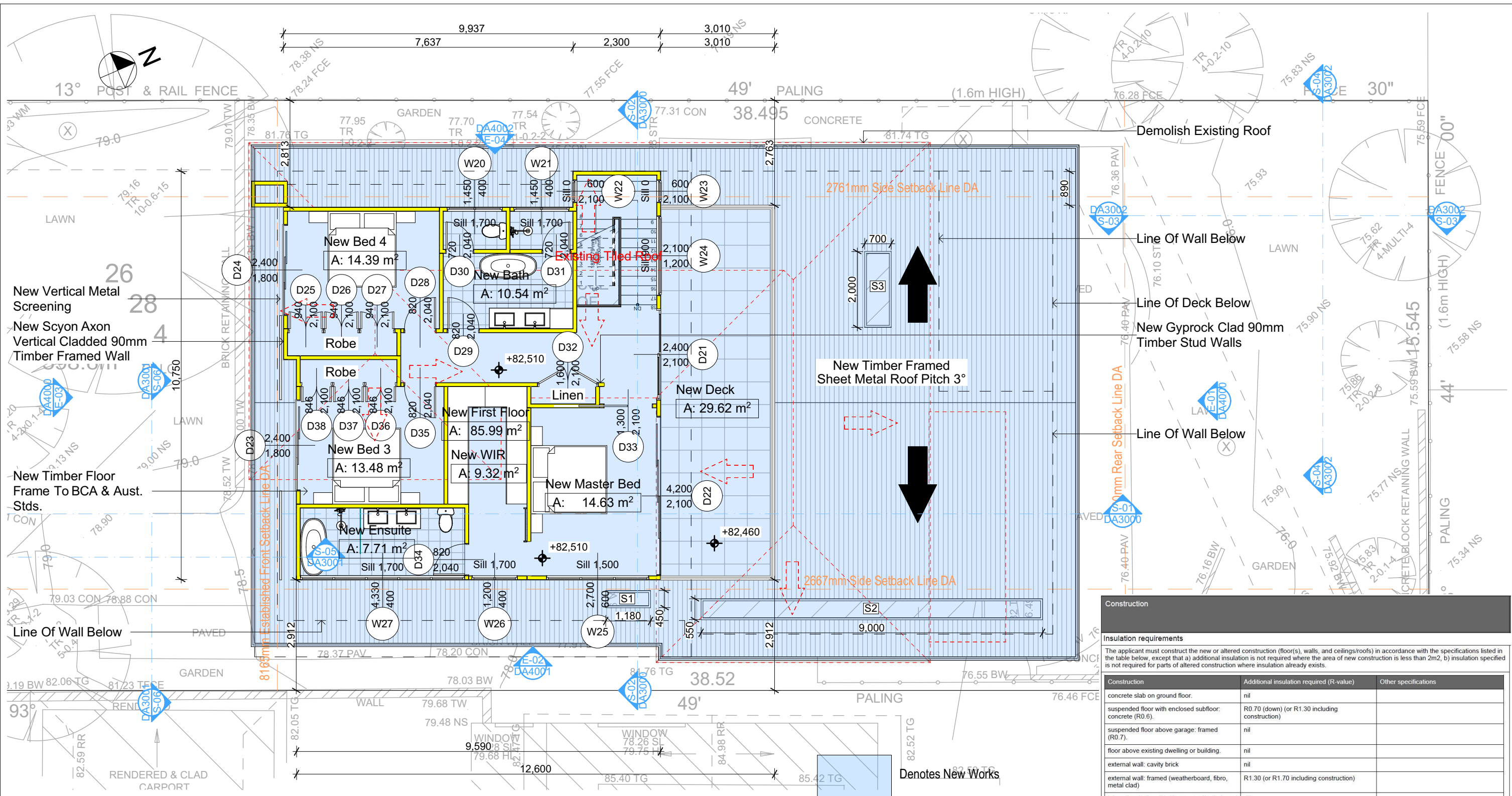
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m2	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m2)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: cavity brick	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m2	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m2)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to Cavity Brick is Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A377470
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Demolished Item



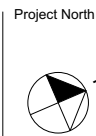
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BUILDING DESIGNER

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all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
15/07/2020
RP0320BRU
DA Rev1
Client
Site:
Sheet Size: A3

DRAWING TITLE :

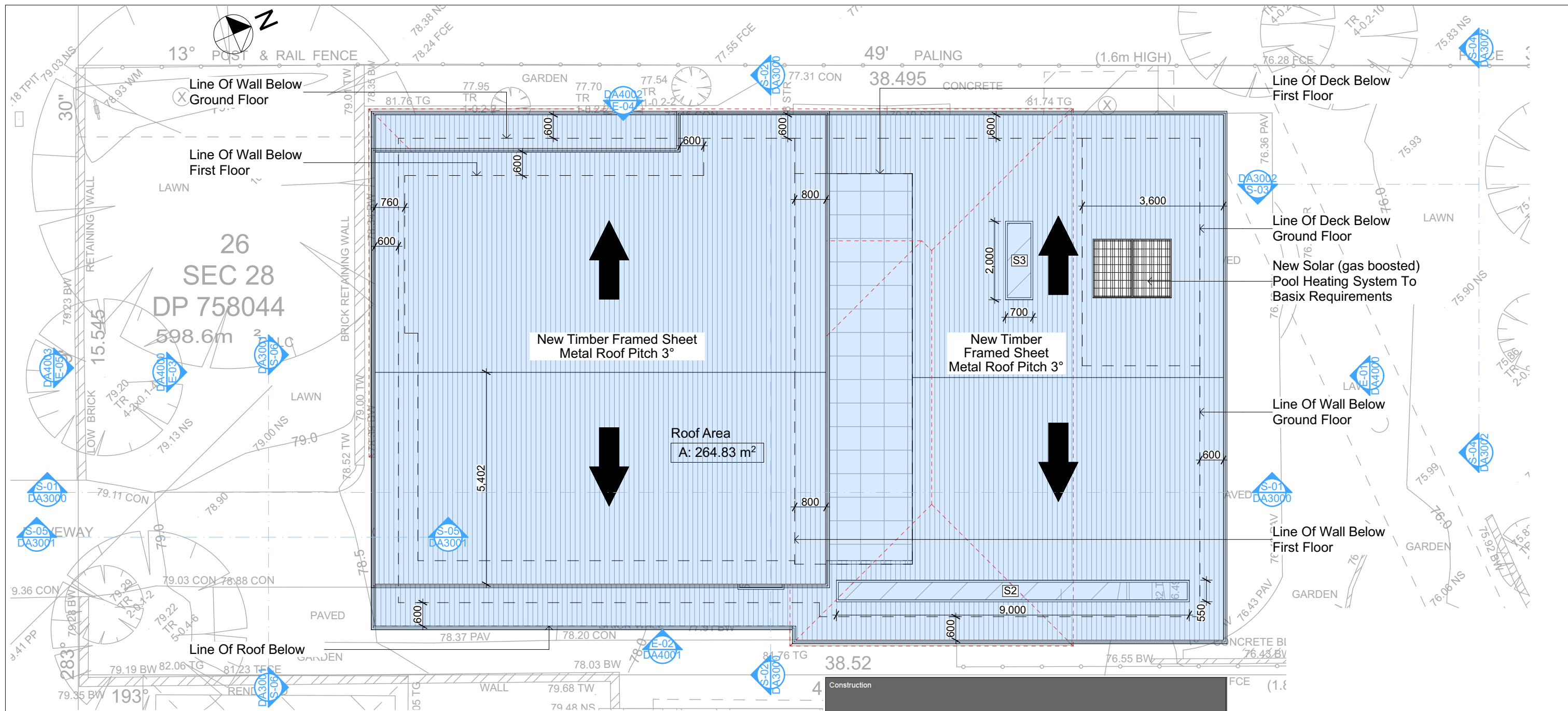
PLANS
FIRST FLOOR

PROJECT NAME :

Alterations & Additions

REVISION NO.

1
DATE:
14-7-2020
DRAWING NO.
DA2003



Roof Plan
1:100

Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 926 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 268.67 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 31.5 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: solar (gas boosted).

Construction

Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls

Roof Sheet Metal to have R1.58 Insulation

Insulation to External Timber Framed (Clad) Walls R1.70

Insulation to Cavity Brick is Nil

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A377470

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m².

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: cavity brick	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION



Denotes New Works

Wall Legend



Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m ²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation

NOTES

12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item

Certifying

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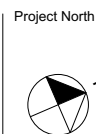
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Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
15/07/2020
RP0320BRU
DA Rev1

Client

Site:

Fe Design Interiors
12 Nolan Place, Balgowlah
Heights 2093

Sheet Size: A3

DRAWING TITLE :

PLANS
ROOF

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE:

14-7-2020

DRAWING NO.

DA2004

New Timber Framed Sheet Metal Roof Pitch 3°

+85,374
5.8005
4 FCL

New Vertical Metal Screening
New Timber Floor Frame
To BCA & Aust. Stds.
New Scyon Axon Vertical Cladded
90mm Timber Framed Wall

+82,510
3 FIRST FLOOR

New Scyon Stria Horizontal
Cladded Masonry Wall
New Concrete Block Retaining
Wall To Eng. Details
New 1000mm High
Vertical Timber Fence

New Concrete Drive To Eng. Details
New Fill Area
New Strip Footings To Eng. Details
New Concrete Slab To Eng. Details

+76,590
1 LOWER GROUND

Natural Ground Level

Construction		Insulation requirements		Other specifications	
Construction	concrete slab on ground floor	The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below. The area of new construction is less than 2m ² . b) insulation specified is not required for parts of altered construction where insulation already exists.	Additional insulation required (R-value)	nil	medium (solar absorptance 0.475 - 0.70)
	suspended floor with enclosed subfloor: concrete (R0.6)				
	suspended floor above garage: framed concrete (R0.7)				
	floor above existing dwelling or building: external wall: cavity brick				
	external wall: framed (weatherboard, fibro, metal clad)				
Construction	internal wall shared with garage: plasterboard (R0.36)				
	flat ceiling, flat roof: framed				
	ceiling: R1.50 (up), roof: foil backed blanket (75 mm)				
	ceiling: R1.50 (up), roof: foil backed blanket (75 mm)				
	ceiling: R1.50 (up), roof: foil backed blanket (75 mm)				

S-02

SECTION 2
1:100

+76,590
1 LOWER GROUND



NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
Certifying
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Discrepancies to Rapid Plans



Project North
Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

GBJ
15/07/2020
RP0320BRU
DA Rev1
Fe Design Interiors
12 Nolan Place, Balgowlah
Heights 2093

DRAWING TITLE :

SECTIONS
SECTION 1

PROJECT NAME :

Alterations & Additions

REVISION NO.

1
DATE:
14-7-2020
DRAWING NO.
DA3000

S-01

SECTION 1
1:100

+85,374
5.8005
4 FCL

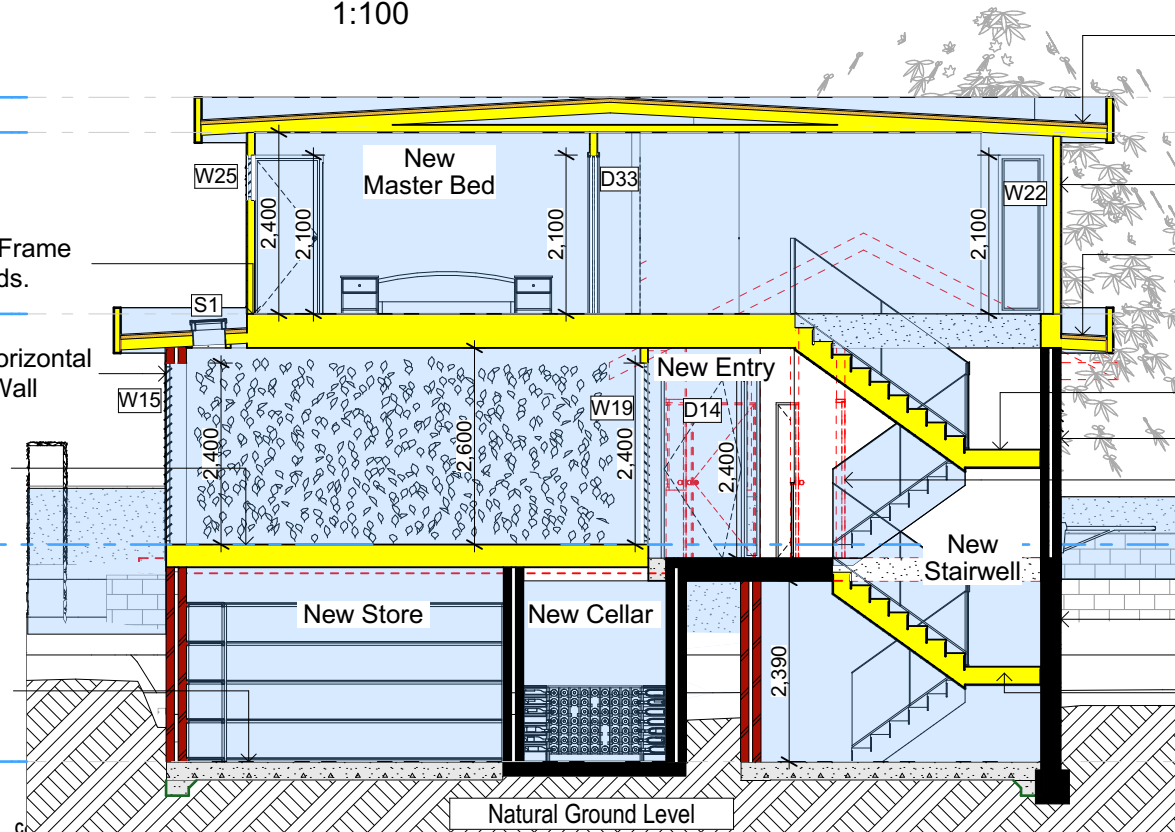
New Timber Floor Frame
To BCA & Aust. Stds.
+82,510
3 FIRST FLOOR

New Scyon Stria Horizontal
Cladded Masonry Wall

New Timber Floor
Frame To Eng.
Details
RL +79 460
Prop. Ground Floor

+76,590
1 LOWER GROUND

New Concrete Slab
To Eng. Details



+85,374
5.8005
4 FCL

New Timber Framed Sheet
Metal Roof Pitch 3°
+82,510
3 FIRST FLOOR

New Scyon Axon Vertical Cladded
90mm Timber Framed Wall

New Timber Framed Sheet
Metal Roof Pitch 3°
+82,510
3 FIRST FLOOR

New Timber Stairs & Handrail
To BCA & Aust. Stds.
Existing Masonry Wall
Demolish Items Shown Red Dashed
RL +79 460
Prop. Ground Floor

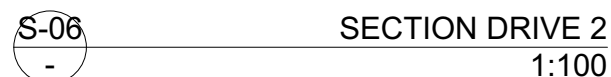
Existing Masonry Wall

New Timber Stairs & Handrail
To BCA & Aust. Stds.
+76,590
1 LOWER GROUND

Denotes New Works	
Wall Legend	
Denotes New Timber Framed Wall	
Denotes New Masonry Wall	
Denotes New Concrete Block Wall	
Denotes New Concrete	
Denotes Existing Wall	
Denotes Demolished Item	

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m ²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes New Concrete Block Wall
Denotes New Concrete
Denotes Existing Wall
Denotes Demolished Item



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NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential

12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
 All Plans to be read in conjunction with Basic Certificate
 New Works to be constructed shown in Shaded/Blue
Construction
 Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls
 Roof Sheet Metal to have R15 Insulation
 Insulation to External Timber Framed (Clad) Walls R170
 Insulation to External Cavity Brick Walls is Nil
 Refer to Engineers Specification for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS0188
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent light
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. They are not to be used for the construction certificate application by a Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A374770

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (li (s) and ceilings/roofs) in accordance with the specifications listed in the table below, except that (a) additional insulation is not required where the area of new construction is less than 2m². (b) Insulation specified is not required for parts of altered construction where the area of new construction is less than 2m².

The applicant must install the windows, glazed doors and shaded devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projection, described in millimetres, the leading edge of eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 500 mm above the sill.

Overshadowing buildings or vegetation must be of the height at distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comments
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Varied
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Varied
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Varied

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancy
to Rapid Plans**

Project North



Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO. RP0320BRU
Project Status DA Rev1

Client	Ed Design Interiors
--------	---------------------

Client:	Fe Design Interiors
Site:	12 Nolan Place, Balgowlah Heights 2093

ation purposes

DRAWING TITLE : **SECTIONS**
SECTION DRIVE

ation without

PROJECT NAME : **Alterations & Additions**

REVISION NO.	REVISION NO.
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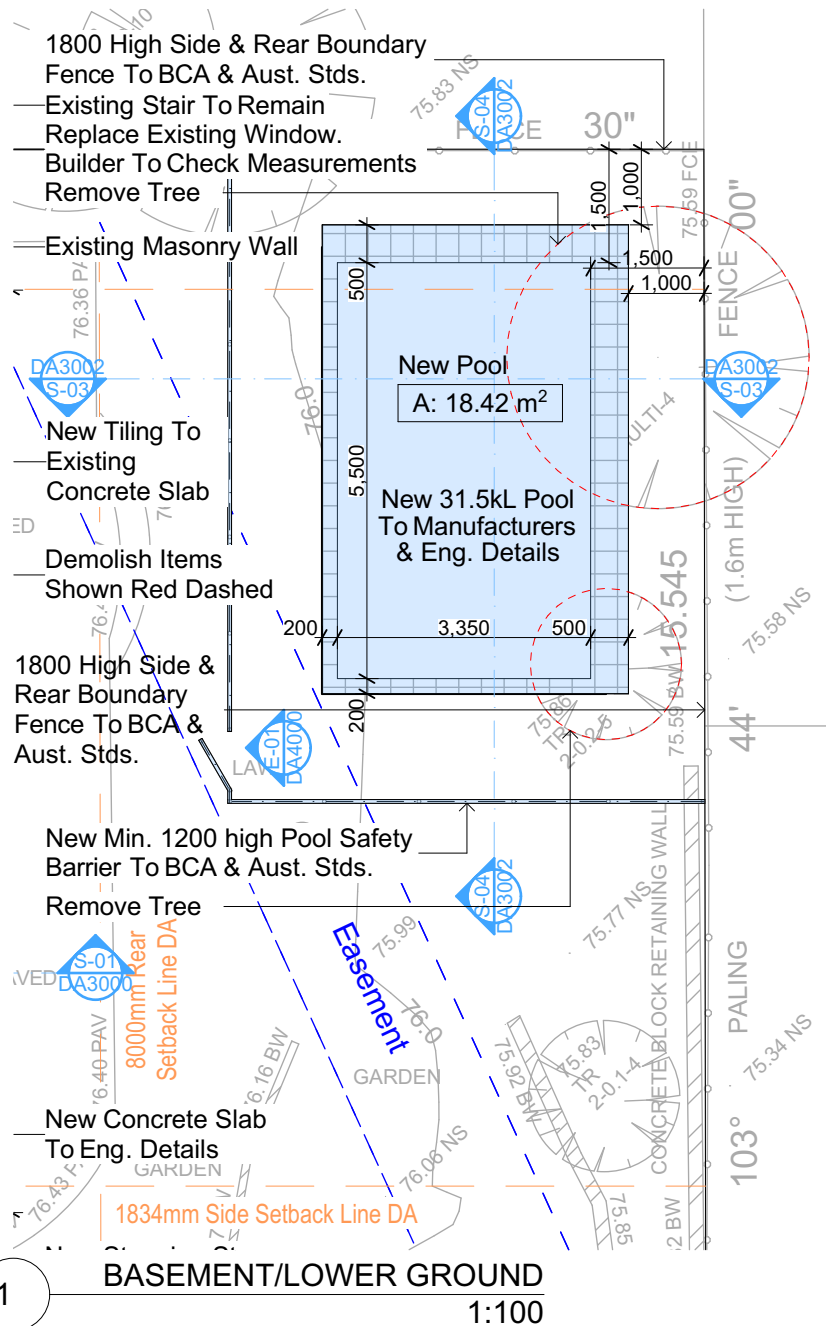
REVISION NO.	REVISION NO.
1	14-7-2020

DRAWING NO.

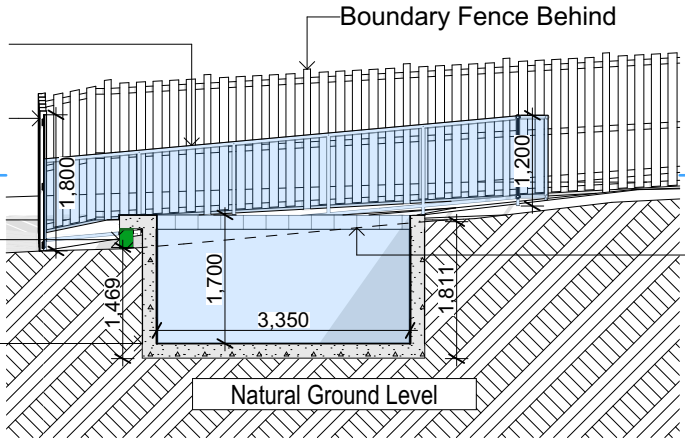
DA3001

Plot Date: 15/07/2020
Z:\BRUZZANO Foss\POLLE Rob &
12 Molise 54 - Stato civile & Anni 1970-1980

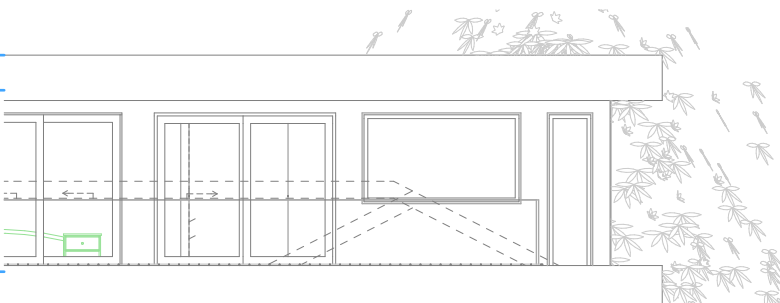
Sheet Size: A3



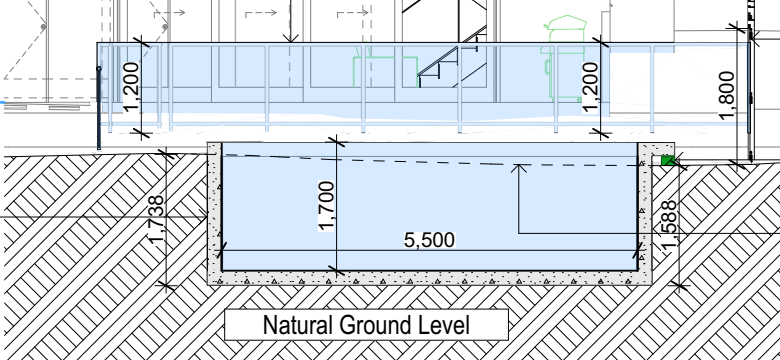
New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.
1800 High Side & Rear Boundary Fence To BCA & Aust. Stds.
New Concrete Block Retaining Wall To Eng. Details
New 31.5kL Pool To Manufacturers & Eng. Details



+85,374
5,800F
4 FCL
+82,510
3 FIRST FLOOR



New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.
New 31.5kL Pool To Manufacturers & Eng. Details



+76,590
1 LOWER GROUND
Natural Ground Level

+85,374
5,800F
4 FCL
+82,510
3 FIRST FLOOR

1800 High Side & Rear Boundary Fence To BCA & Aust. Stds.
New Concrete Block Retaining Wall To Eng. Details
Natural Ground Level

- Denotes New Works
- Wall Legend**
- Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Demolished Item

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

REVISION NO.	REVISION NO.
1	14-7-2020
DRAWING NO. DA3002	
Plot Date: 15/07/2020	
Sheet Size: A3	

Client: Fe Design Interiors
Site: 12 Nolan Place, Balgowlah Heights 2093
DRAWING TITLE: SECTIONS SECTION POOL
PROJECT NAME: Alterations & Additions

Pool and Spa
Rainwater tank
The applicant must install a rainwater tank of at least 926 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 268.67 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 31.5 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must install the following heating system for the swimming pool that is part of this development: solar (gas boosted).

Building Design and Architectural Drafting

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NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential.
Nolan Place, Balgowlah Heights 2093 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue Construction.
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls.
Roof Sheet Metal to have R1.59 Insulation.
Insulation to External Timber Framed (Clad) Walls R1.70 Insulation to External Cavity Brick Walls is Nil.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA Timber Framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1029.2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A377470.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of a window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m Variation	
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

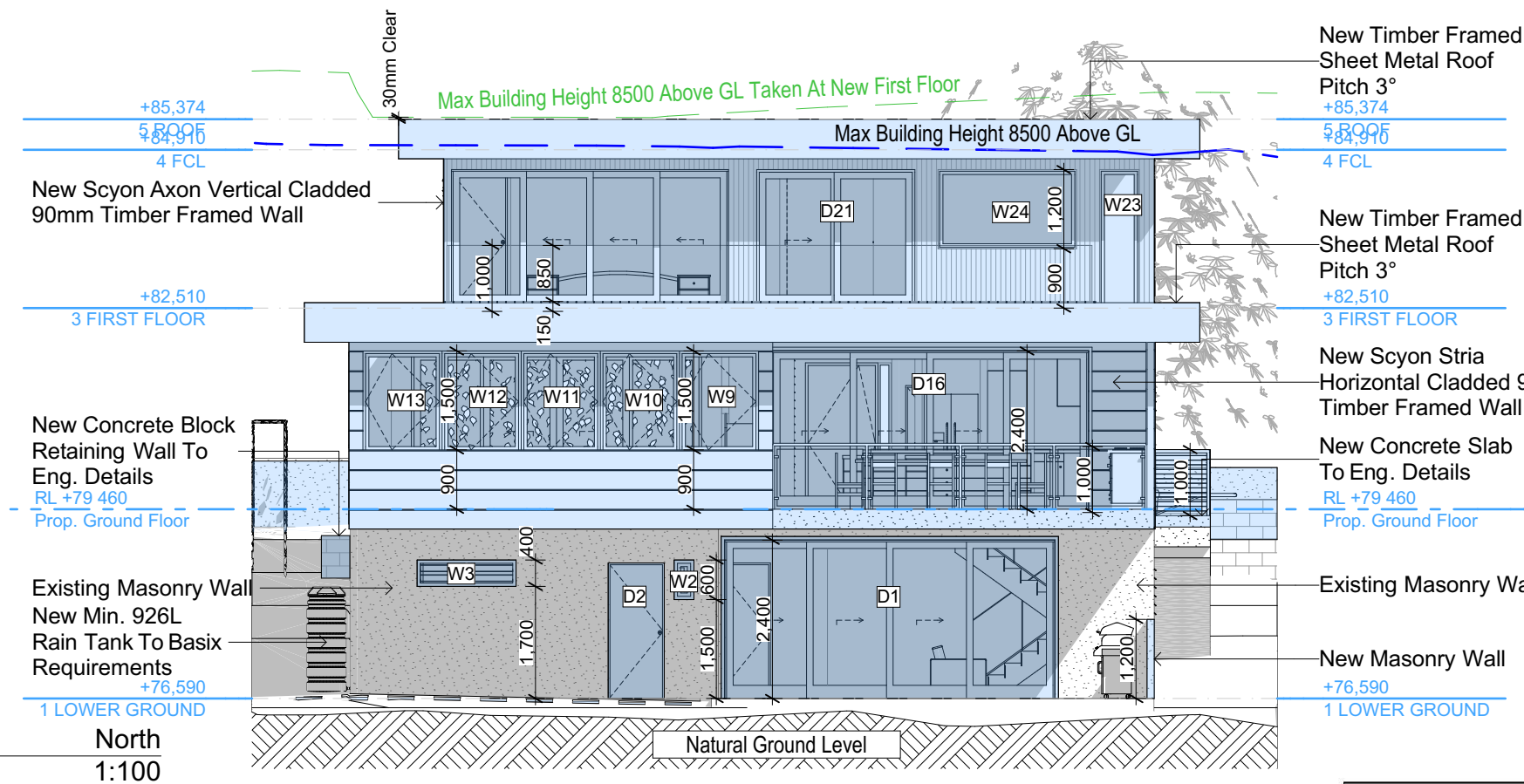
Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO.: RP0320BRU
Project Status DA Rev1

Client: Fe Design Interiors
Site: 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE: SECTIONS SECTION POOL
PROJECT NAME: Alterations & Additions

REVISION NO.	REVISION NO.
1	14-7-2020
DRAWING NO. DA3002	
Plot Date: 15/07/2020	
Sheet Size: A3	

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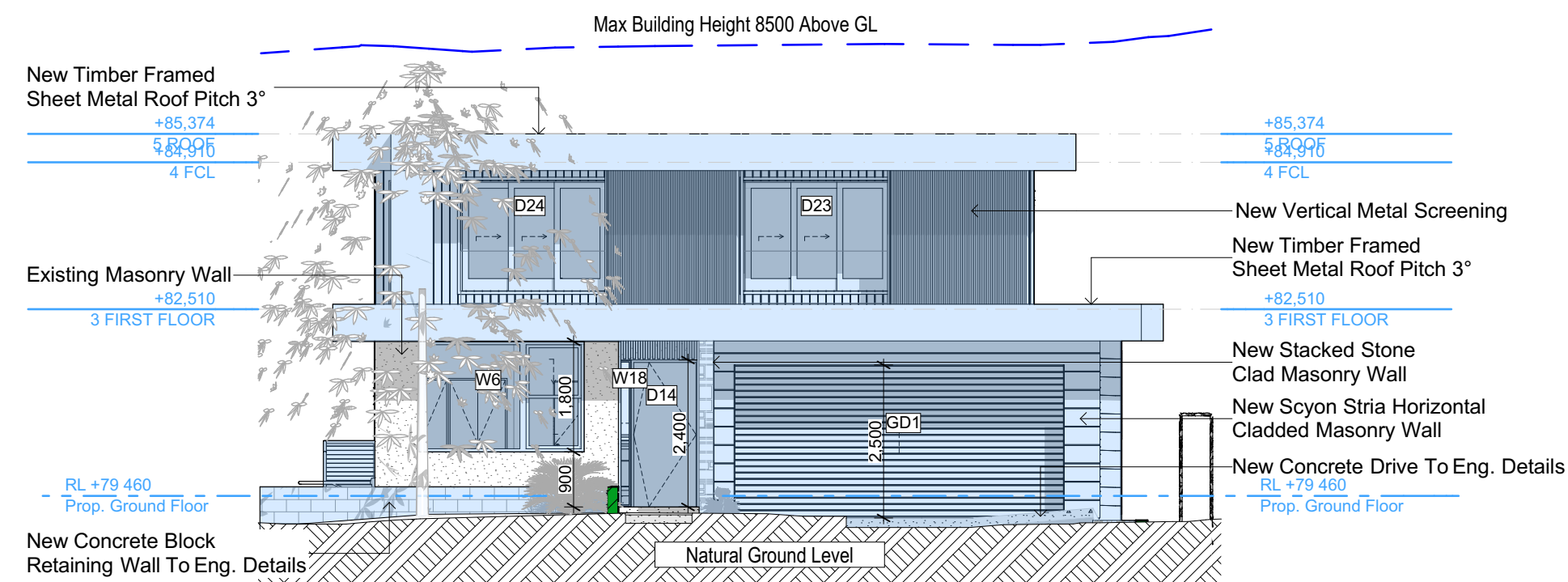


Denotes New Works

Wall Legend

Denotes New Concrete Block Wall

Denotes New Concrete



Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	SW	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NE	0.18	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	NE	0.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SE	0.76	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

NOTES

12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls

Roof Sheet Metal to have R1.58 Insulation

Insulation to External Timber Framed (Clad) Walls R1.70

Insulation to Cavity Brick is Nil

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A377470

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m ²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Checked Plot Date: GBJ 15/07/2020 RP0320BRU DA Rev1

Project Status

Client Site: Fe Design Interiors 12 Nolan Place, Balgowlah Heights 2093

Sheet Size: A3

DRAWING TITLE : **ELEVATIONS 1**

PROJECT NAME : **Alterations & Additions**

REVISION NO. **1**

DATE: **14-7-2020**

DRAWING NO. **DA4000**

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W5	SE	0.76	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	SW	4.86	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NW	1.17	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	NE	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	NE	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W12	NE	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W13	NE	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	SE	3.75	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	SE	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	SE	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	SE	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W18	SW	0.48	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W20	NW	0.58	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W21	NW	0.58	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W22	SW	1.26	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W23	NE	1.26	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W24	NE	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W25	SE	1.62	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W26	SE	0.48	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W27	SE	1.72	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NE	12	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D16	NE	11.52	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D17	NW	6.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D21	NE	5.04	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D22	NE	8.82	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D23	SW	5.04	0	0	external louvre/blind (adjustable)	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D24	SW	5.04	0	0	external louvre/blind (adjustable)	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.4	external fixed awning or blind	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	4.1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	1.15	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

New Timber Framed Sheet Metal Roof Pitch 3°

+85,374
5.8005
4 FCL

New Scyon Axon Vertical Cladded 90mm Timber Framed Wall
New Stacked Stone Clad Masonry Wall

+82,510
3 FIRST FLOOR

New Scyon Stria Horizontal Cladded Masonry Wall

New Auto-Gate To Manufacturers Details

New Masonry Wall
RL +79 460
Prop. Ground Floor

New Concrete Block Retaining Wall To Eng. Details
New Masonry Wall

+76,590
1 LOWER GROUND

Max Building Height 8500 Above GL

Max Ceiling Height 7100 Above GL

+85,374
5.8005
4 FCL

New Timber Framed Sheet Metal Roof Pitch 3°
+82,510
3 FIRST FLOOR

New Scyon Stria Horizontal Cladded 90mm Timber Framed Wall
Block In Window To Match Existing Scyon Stria Horizontal Clad To Existing Masonry Wall

RL +79 460
Prop. Ground Floor

Existing Masonry Wall
New Min. 926L Rain Tank To Basix Requirements

New Masonry Wall
+76,590
1 LOWER GROUND

E-02

East
1:100

Denotes New Works

Wall Legend

Denotes New Masonry Wall

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m2	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m2)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation

NOTES

12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
Certifying
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Construction

Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to Cavity Brick is Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A377470

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



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Builder to Check and Confirm
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Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
15/07/2020
RP0320BRU
DA Rev1

Client
Site:
Fe Design Interiors
12 Nolan Place, Balgowlah Heights 2093

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 2

PROJECT NAME :

Alterations & Additions

REVISION NO.

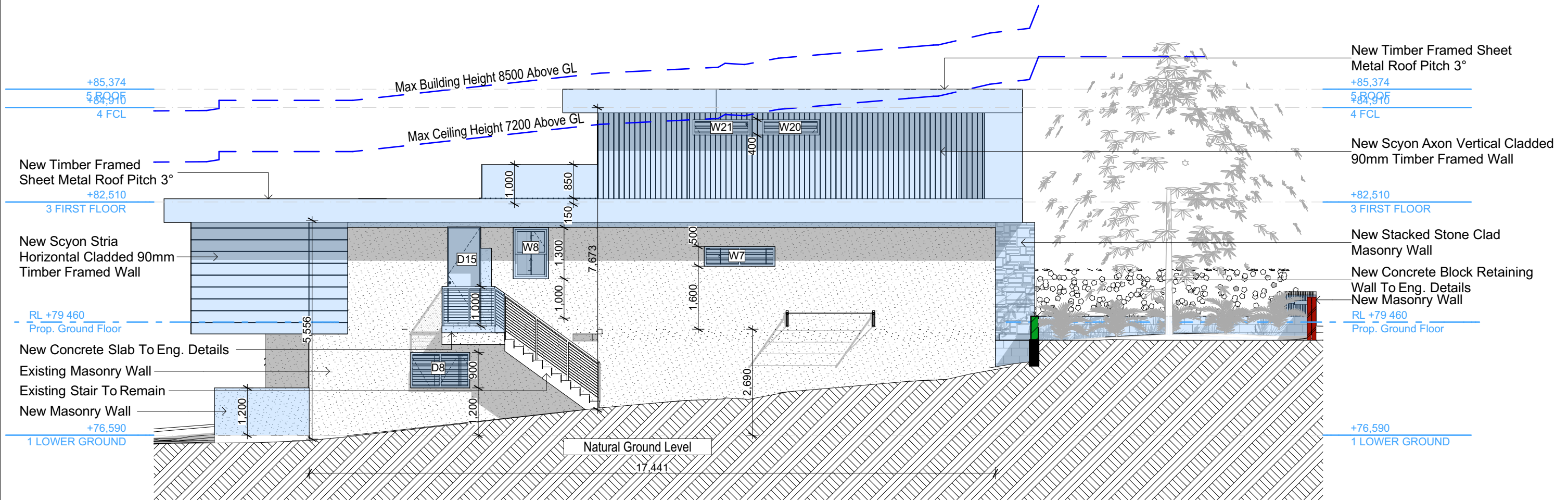
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DATE

14-7-2020

DRAWING NO.

DA4001



E-04

West
1:100

NOTES

12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item
Certifying
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application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction

Concrete Slab, Timber Framed, Cavity Brick, Timber
Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to Cavity Brick is Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number A377470

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more
than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

**DA APPLICATION
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NOT FOR CONSTRUCTION**

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (35% min)	35%	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m ²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation

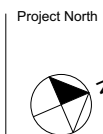


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purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
15/07/2020
RP03208RU
DA Rev1

Client
Site:
Fe Design Interiors
12 Nolan Place, Balgowlah
Heights 2093

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 3

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE

14-7-2020

DRAWING NO.

DA4002



Denotes New Works



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NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential.
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue Construction.
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls.
Roof Sheet Metal to have R1.50 Insulation.
Insulation to External Timber Framed (Clad) Walls R1.70.
Insulation to External Cavity Brick Walls is Nil.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS/NZS 4409.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A377470.
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of any window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO.: RP0320BRU
Project Status DA Rev1

Client Fe Design Interiors

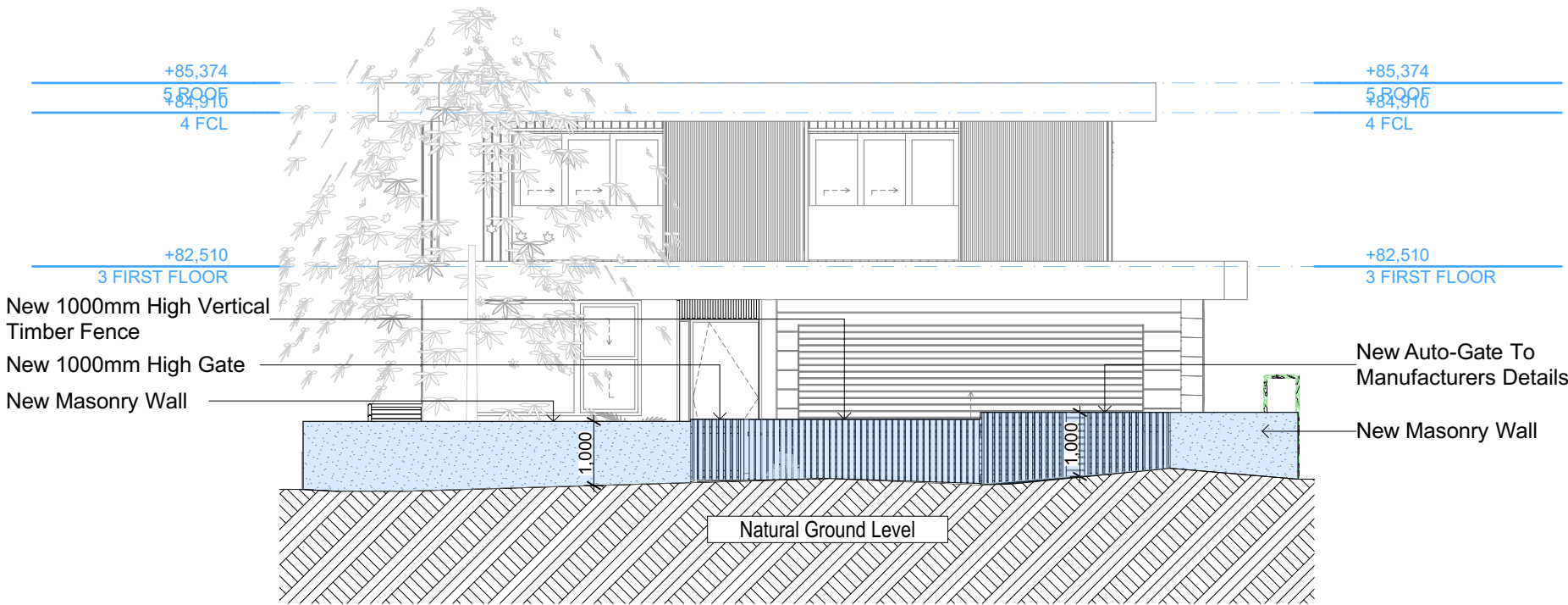
Site: 12 Nolan Place, Balgowlah Heights 2093

**DRAWING TITLE : ELEVATIONS
ELEVATION FRONT
FENCE**

**PROJECT NAME :
Alterations & Additions**

REVISION NO. REVISION NO.
1 14-7-2020
DRAWING NO.
DA4003

Plot Date: 15/07/2020
Sheet Size: A3



E-05
-

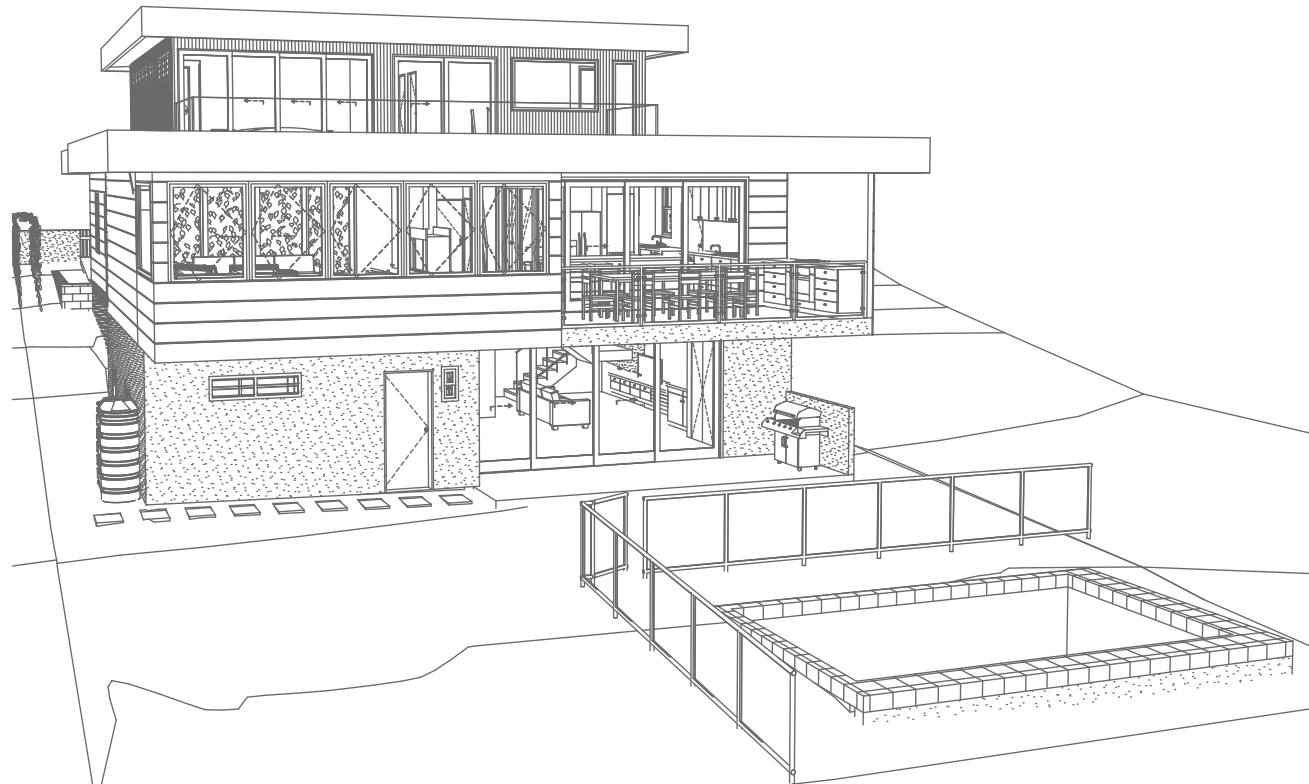
Front Fence
1:100

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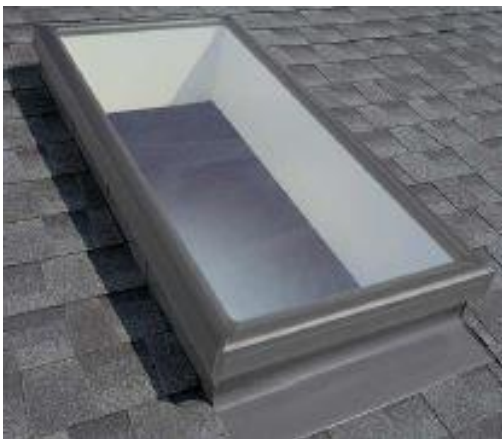
Perspective Front
1:200



Perspective Rear
1:200



Perspective Front 2
1:200



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2 Nolan Place, Balgownie Heights 2093 is zoned R2-Low Density Residential.

2 Nolan Place, Balgownie Heights 2093 is not considered a separate item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Concrete Slab, Timber Framed, Cavity Brick, Timber Framed

Claad, Vinyl

Sheet Metal to have R1.58 Insulation

Insulation to External Timber Framed (Claad) Walls R1.70

Insulation to External Cavity Brick Walls is R1.70

Trade Engineers draw up structural details

all work to Engineers Specification and BCA

Timber framing to BCA AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10218-24

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

all workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) the insulation specified is not required for parts of alteration where insulation already exists.

For alterations involving windows, glazed doors and shading devices, in accordance with the specifications listed in the table below:

Relevant overshadowing specifications must be satisfied for each window and glazed door and

- for projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door
- no horizontal surface of a balcony or verandah or other structure on overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
% of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO. RP0320BRU
Project Status DA Rev1

Client Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE : SHADOW PLANS
**MATERIAL & COLOUR
SAMPLE BOARD**

PROJECT NAME : **Alterations & Additions**

REVISION NO.	REVISION NO.
1	14-7-2020

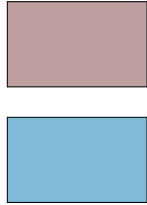
DRAWING NO.

DA5001

Plot Date: 15/07/2020
Sheet Size: A3

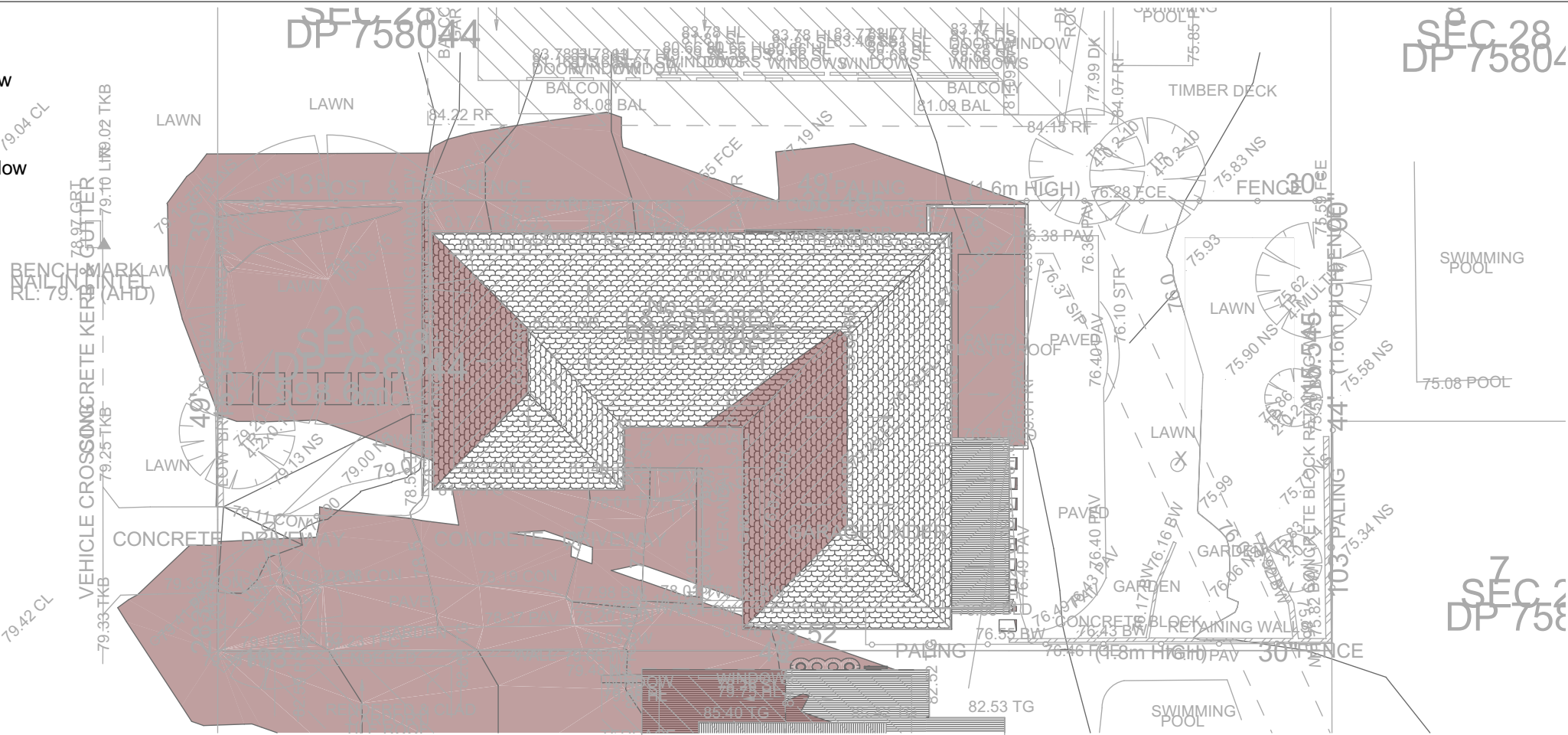
<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of RapiD.</p>	<p>Height: 2993</p>
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	<p>PROJECT NAME:</p> <p>Alterations &</p>

DA APPLICATION
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NOT FOR CONSTRUCTION



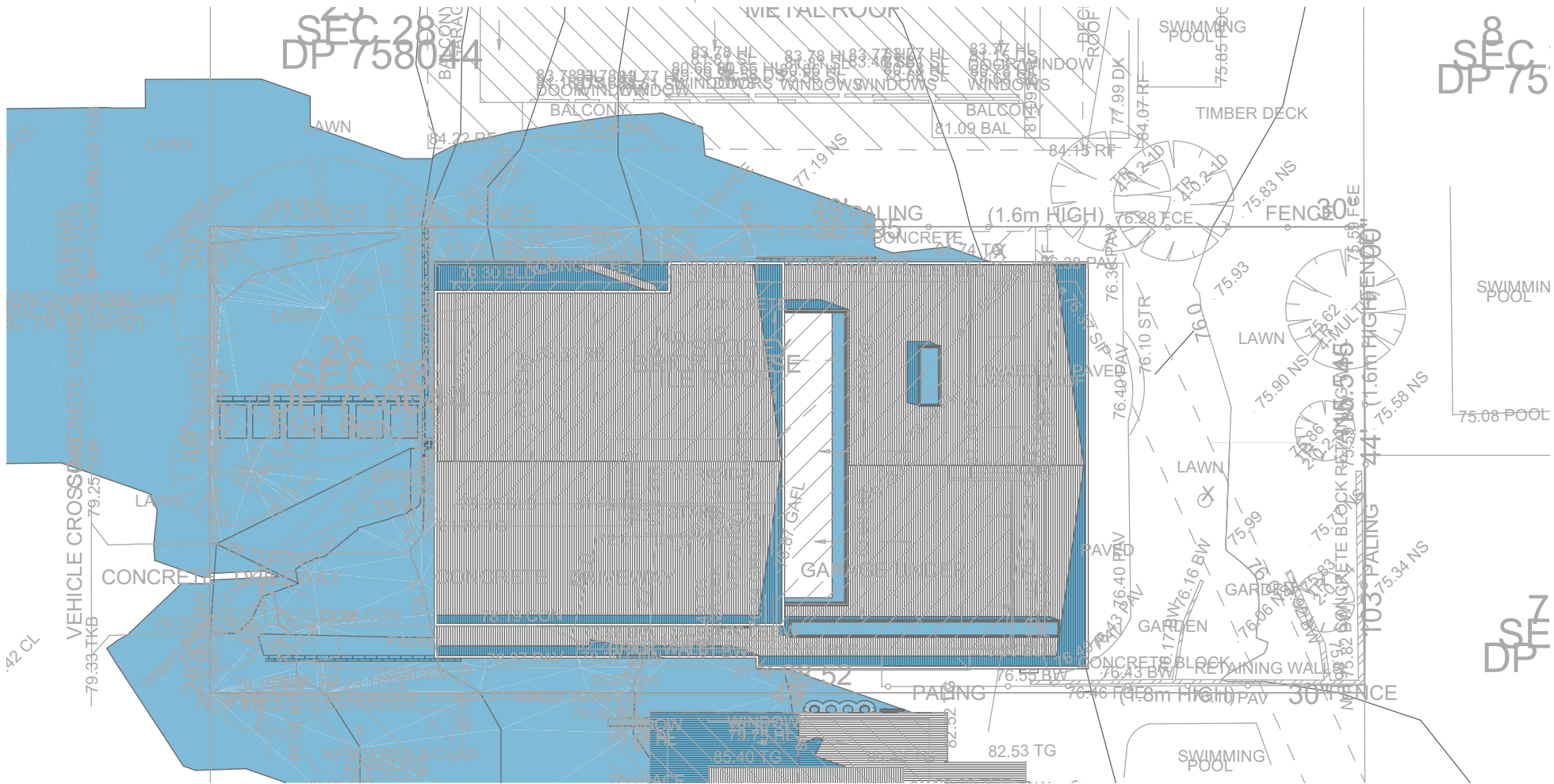
Denotes Existing Shadow

Denotes Proposed Shadow



01

SHADOW PLAN 21 JUN at 0900h EXISTING
1:200



07

SHADOW PLAN 21 JUN at 0900h PROPOSED
1:200

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**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

**ACCREDITED
BUILDING DESIGNER**

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential.
Nolan Place, Balgowlah Heights 2093 is not considered a heritage item.
New Works to be constructed shown in ShadedBlue Construction.
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls.
Roof Sheet Metal to have R1.50 Insulation.
Insulation to External Timber Framed (Clad) Walls R1.70.
Insulation to External Cavity Brick Walls is Nil.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1019.2-2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A37470.
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	181mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO.: RP0320BRU
Project Status DA Rev1

Client Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

**DRAWING TITLE SHADOW PLANS
SHADOW PLAN 21 JUN at 0900h**

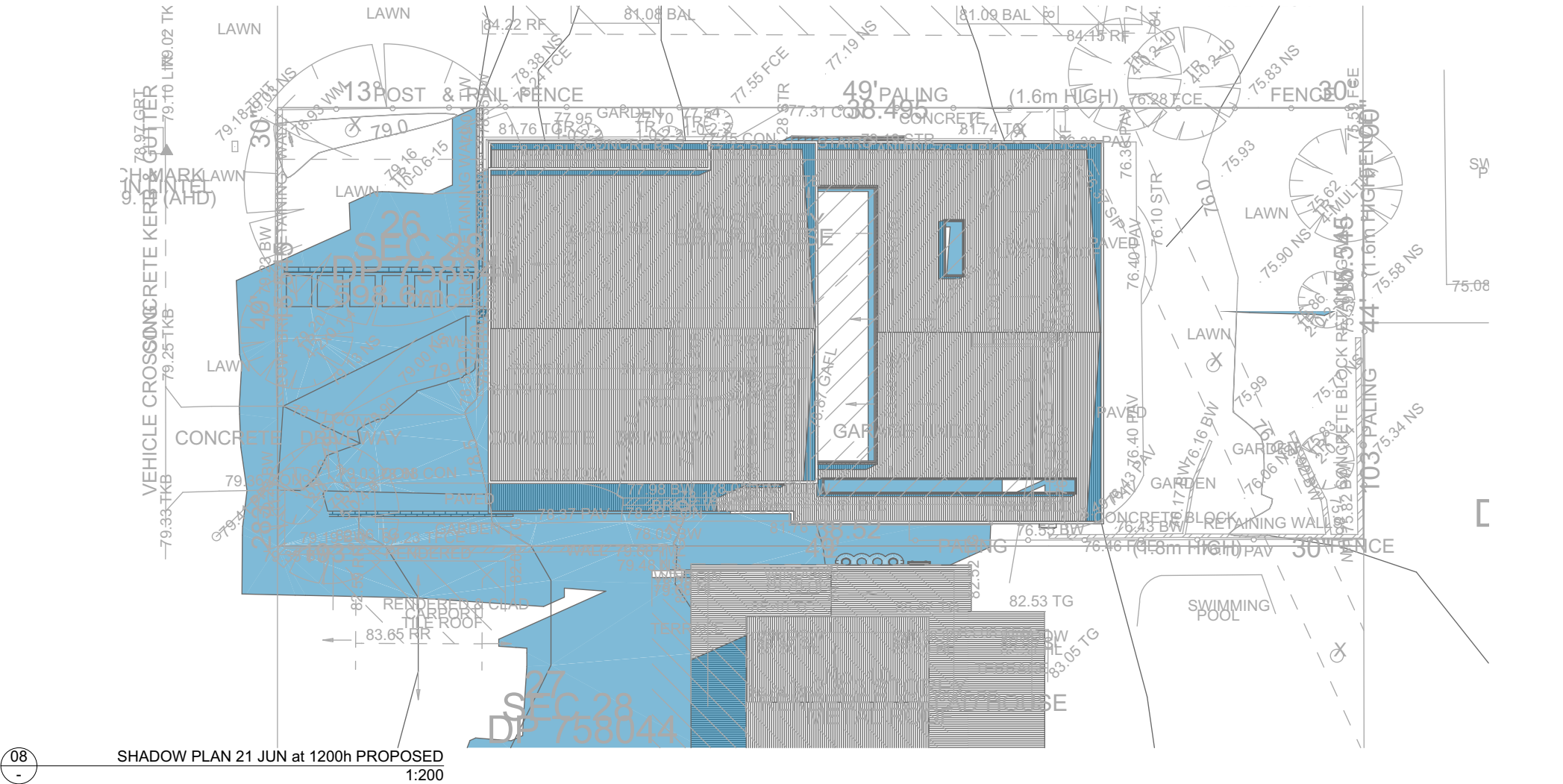
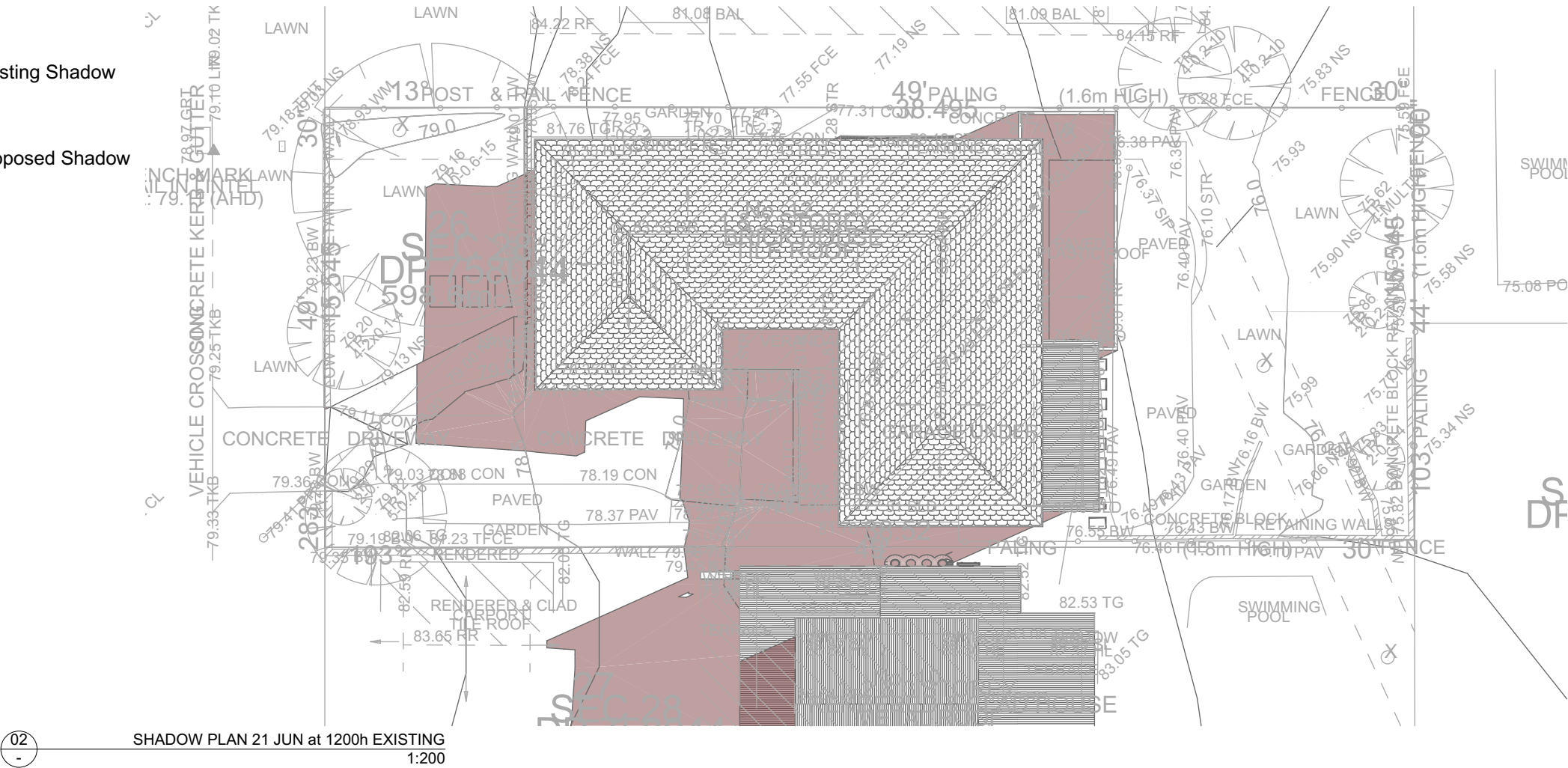
PROJECT NAME: Alterations & Additions

REVISION NO.	REVISION NO.
1	14-7-2020
DRAWING NO.	DA5002

Plot Date: 15/07/2020
Sheet Size: A3

Denotes Existing Shadow

Denotes Proposed Shadow



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NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential.
Nolan Place, Balgowlah Heights 2093 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue Construction.
Concrete Slat, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls.
Roof Sheet Metal to have R1.50 Insulation.
Insulation to External Timber Framed (Clad) Walls R1.70 Insulation to External Cavity Brick Walls is Nil.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS 2208-2007.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

SHADING
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A377470.
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	598.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 15/07/2020
Project NO.: RP03208RU
Project Status DA Rev1

Client Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE SHADOW PLANS SHADOW PLAN 21 JUN at 1200h

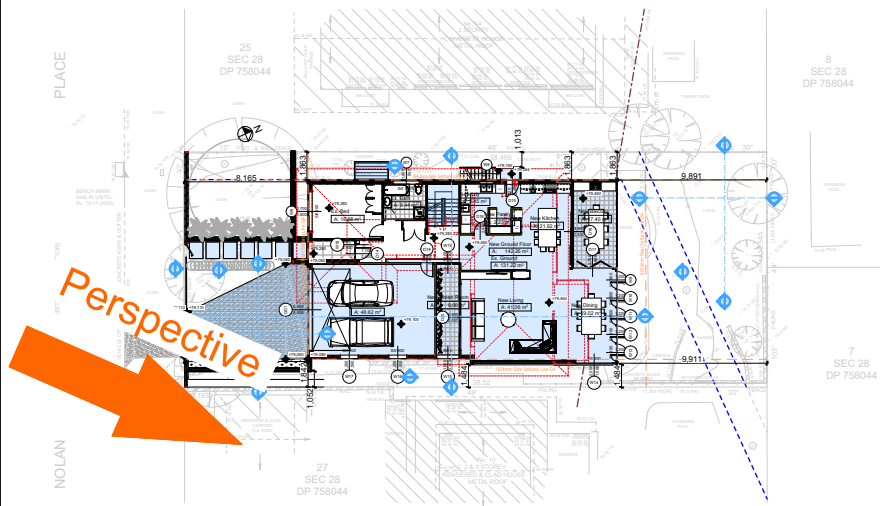
PROJECT NAME: Alterations & Additions

REVISION NO.	REVISION NO.
1	14-7-2020
DRAWING NO.	DA5003

Plot Date: 15/07/2020
Sheet Size: A3

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NOT FOR CONSTRUCTION



2
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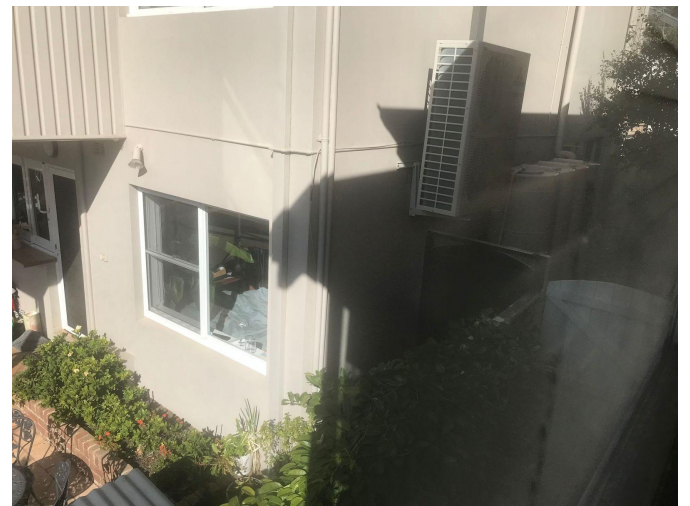
SITE PLAN
1:500



View Looking From Front Down Eastern Side Boundary



View Looking From Front Down Eastern Side Boundary



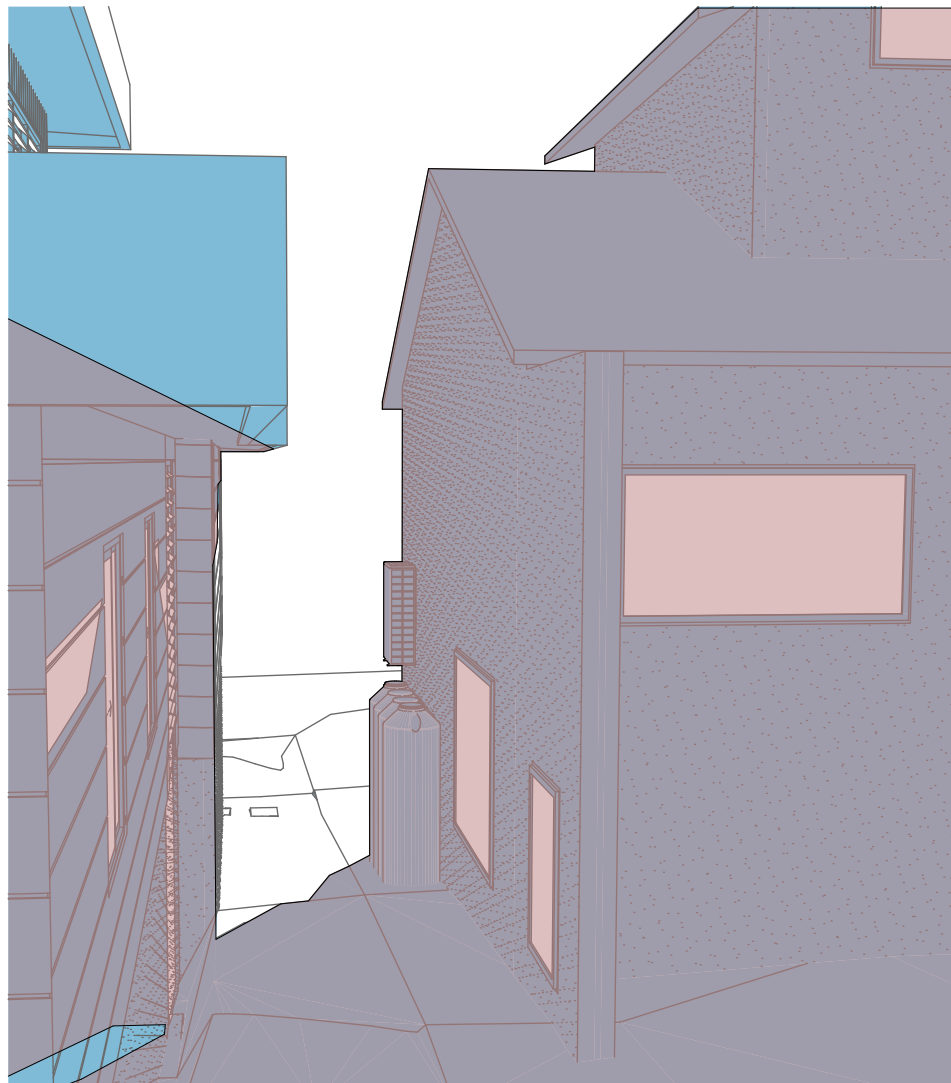
View Looking From Rear Up Eastern Side Boundary



Denotes Existing Shadow



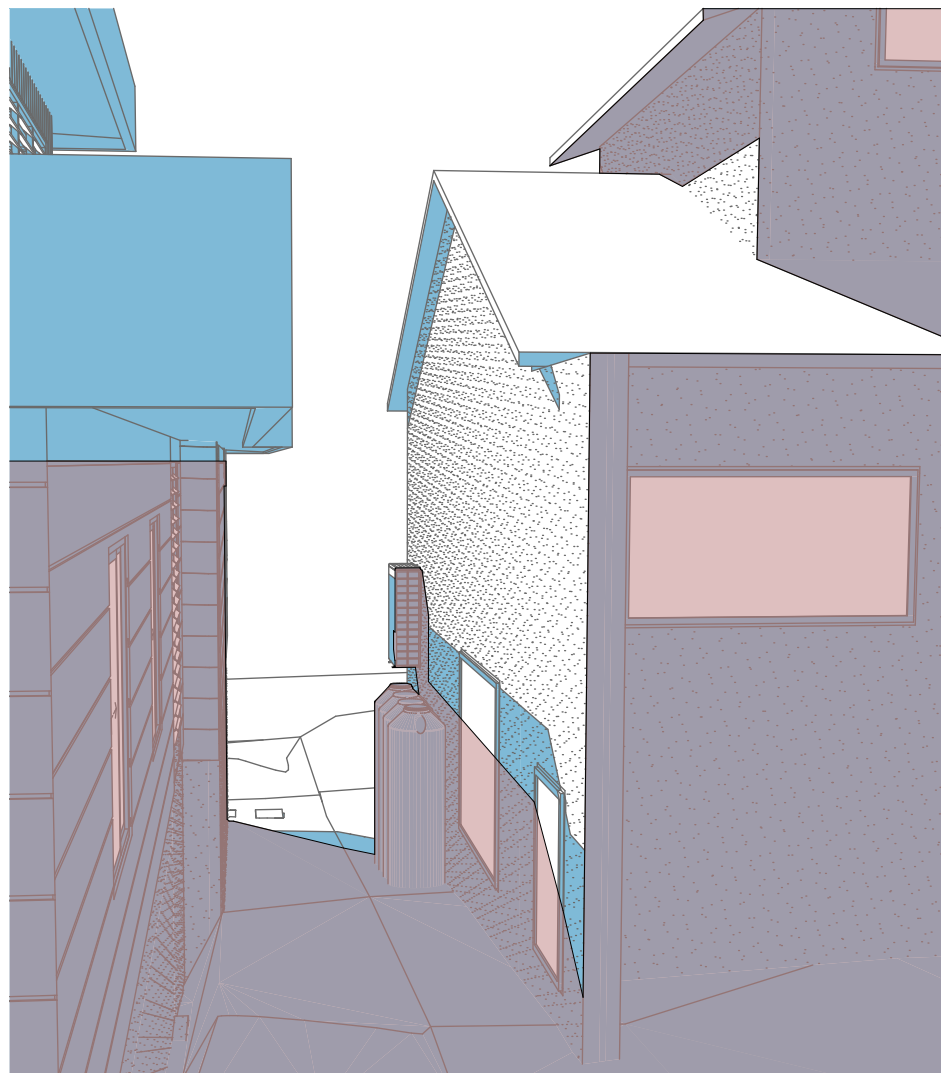
Denotes Proposed Shadow



11
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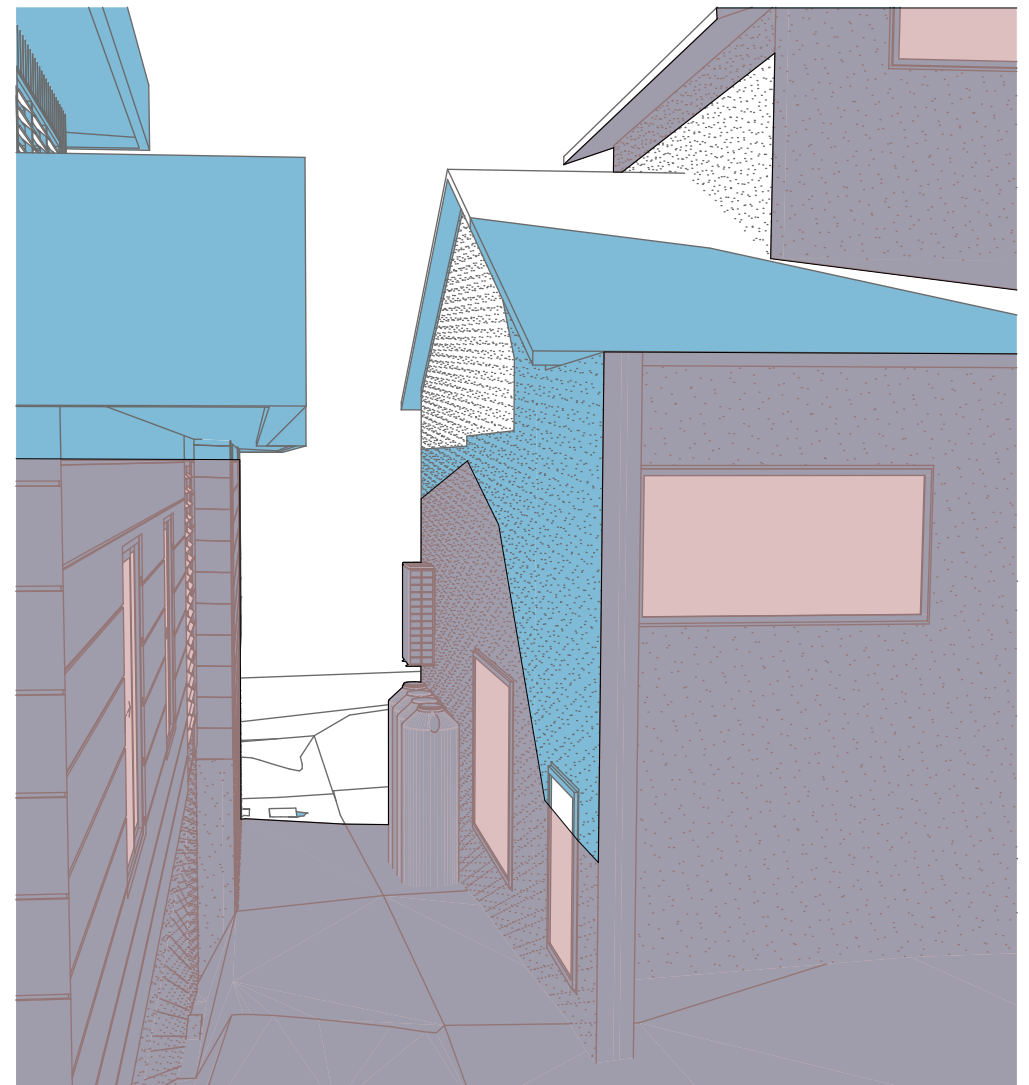
21 JUN at 0900h PROPOSED
1:200

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13
-

21 JUN at 1200h PROPOSED
1:200



15
-

21 JUN at 1500h PROPOSED
1:200



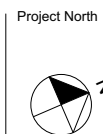
Rapid Plans
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NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
15/07/2020
RP0320BRU
DA Rev1

Client
Site:
Sheet Size: A3

Fe Design Interiors
12 Nolan Place, Balgowlah
Heights 2093

DRAWING TITLE :

SHADOW PLANS
WALL ELEVATION
SHADOWS 1

PROJECT NAME :

Alterations & Additions

REVISION NO.
1
DATE
14-7-2020
DRAWING NO.
DA5005