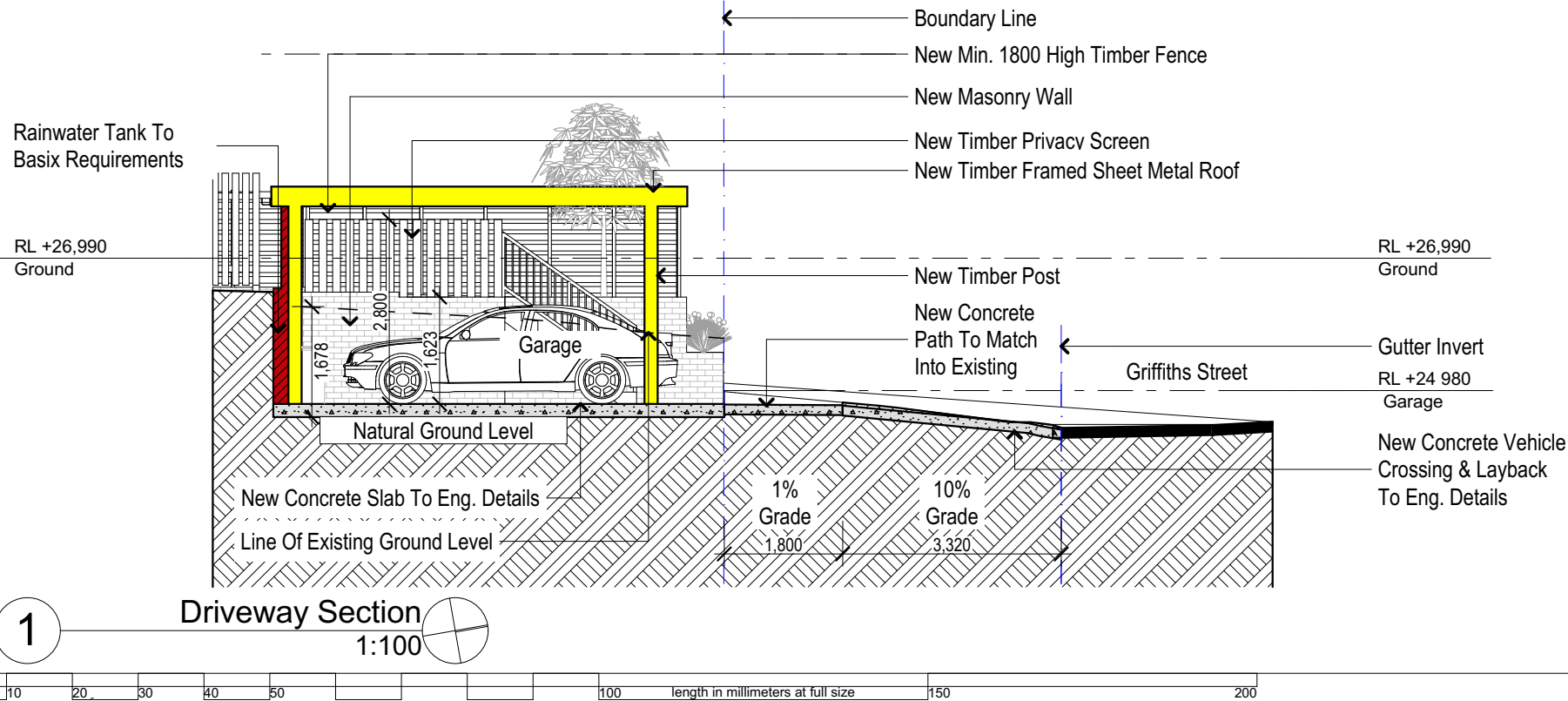
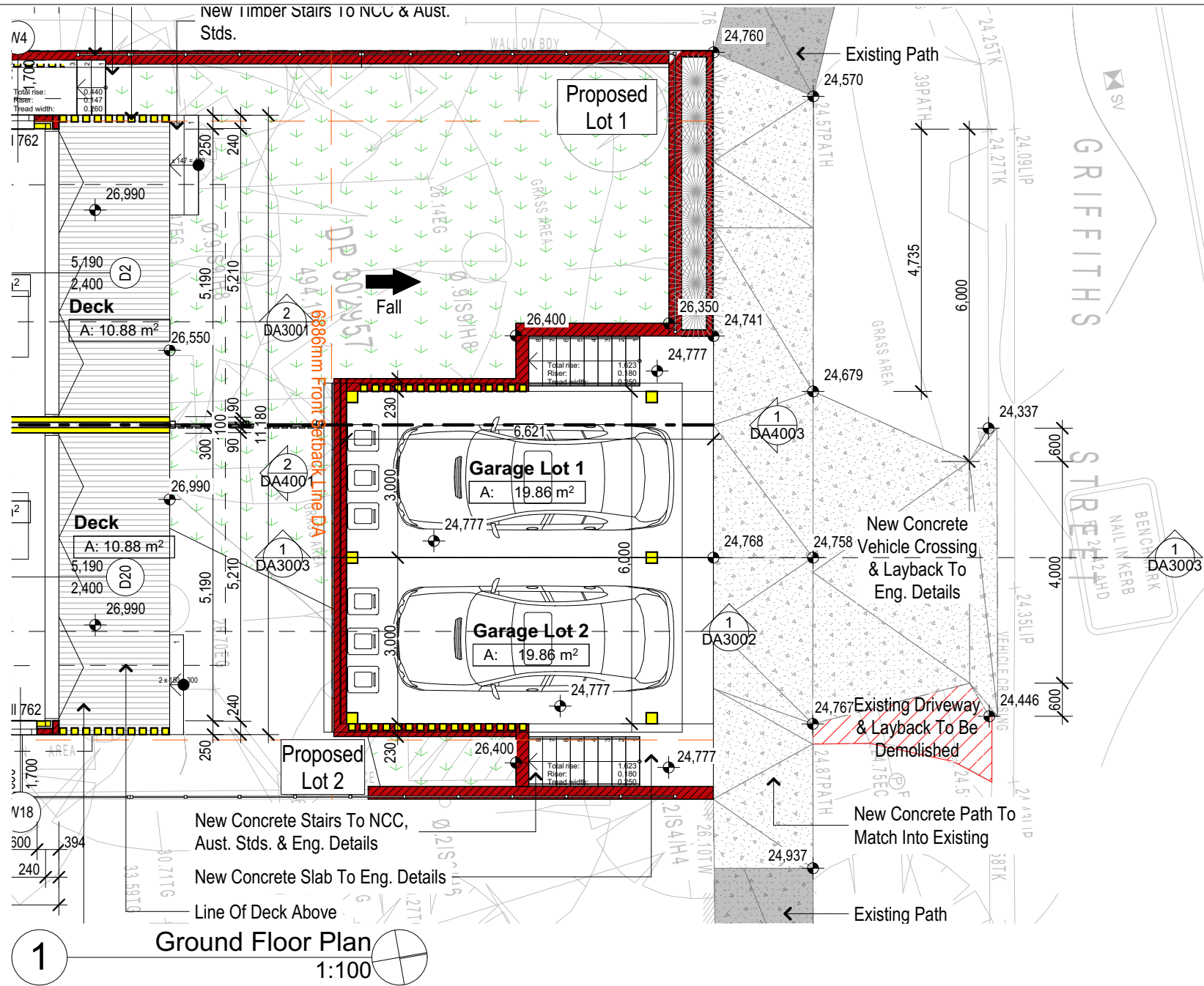
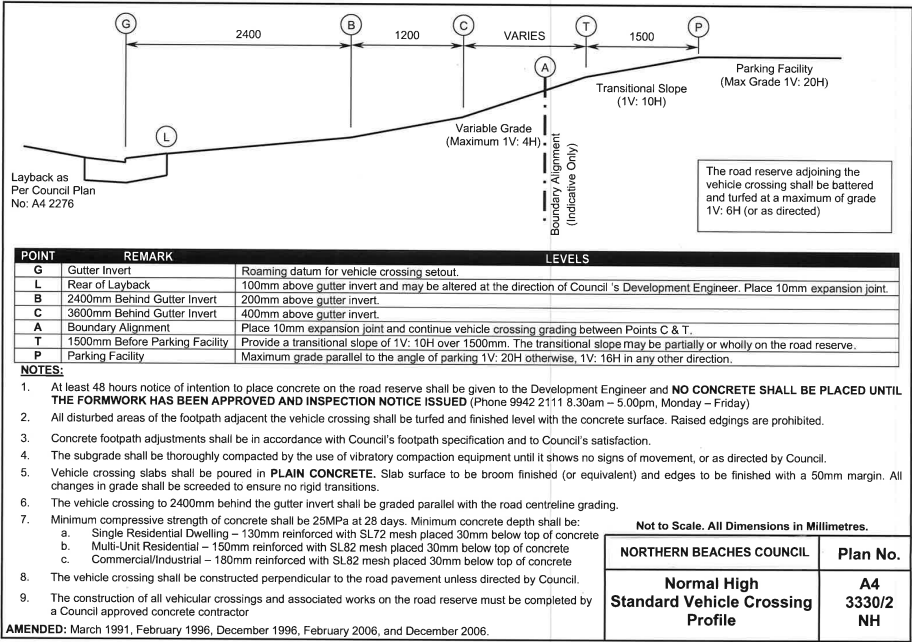


**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2019/1310**



Site Information	Proposed	Compliance
Site Area	494.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Floor Space Ratio (FSR)	0.6:1	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	Prevailing	Yes
Rear Setback (Min.)	8.0m	Yes
Minimum side boundary setback (Min.)	Calc.	Yes
% of Total open space (55% min)	49%	Yes
Impervious area (m2)	255.83m2	Yes
Maximum cut into ground (m)	0.9m	Yes
Maximum depth of fill (m)	1.8m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

© Copyright Rapid Plans 2019

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned upon request

**Rapid Plans**  
Building Design and Architectural Drafting

Rapid Plans www.rapidplans.com.au  
PO Box 6193 Frenchs Forest NSW 2086  
Fax : (02) 9905-8865  
Mobile: 0414-945-024  
Email : greg@rapidplans.com.au

**BUILDING DESIGNERS AUSTRALIA NSW**

**NOTES**

107 Griffiths Street, Balgowlah is zoned R1 General Residential.

All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.

107 Griffiths Street, Balgowlah is not considered a heritage item.

**Construction**

Timber & Concrete Floors, Masonry & Cladded Walls, Sheet Metal Roof to have R Insulation.

Insulation to External Masonry & Cladded Walls R Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS01288-2047.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA. Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basix**

Basix Certificate Number

All Plans to be read in conjunction with Basix Certificate.

The applicant must construct the new or altered construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client  
Grant Harrington

Project Name  
**New Dwellings & Subdivision**

107 Griffiths Street, Balgowlah  
2093

Lot C D.P.302957

Drawing Title:  
**Sections - Garage & Driveway Plan**

Driveway Section,  
normal high standard vehicle crossing profile

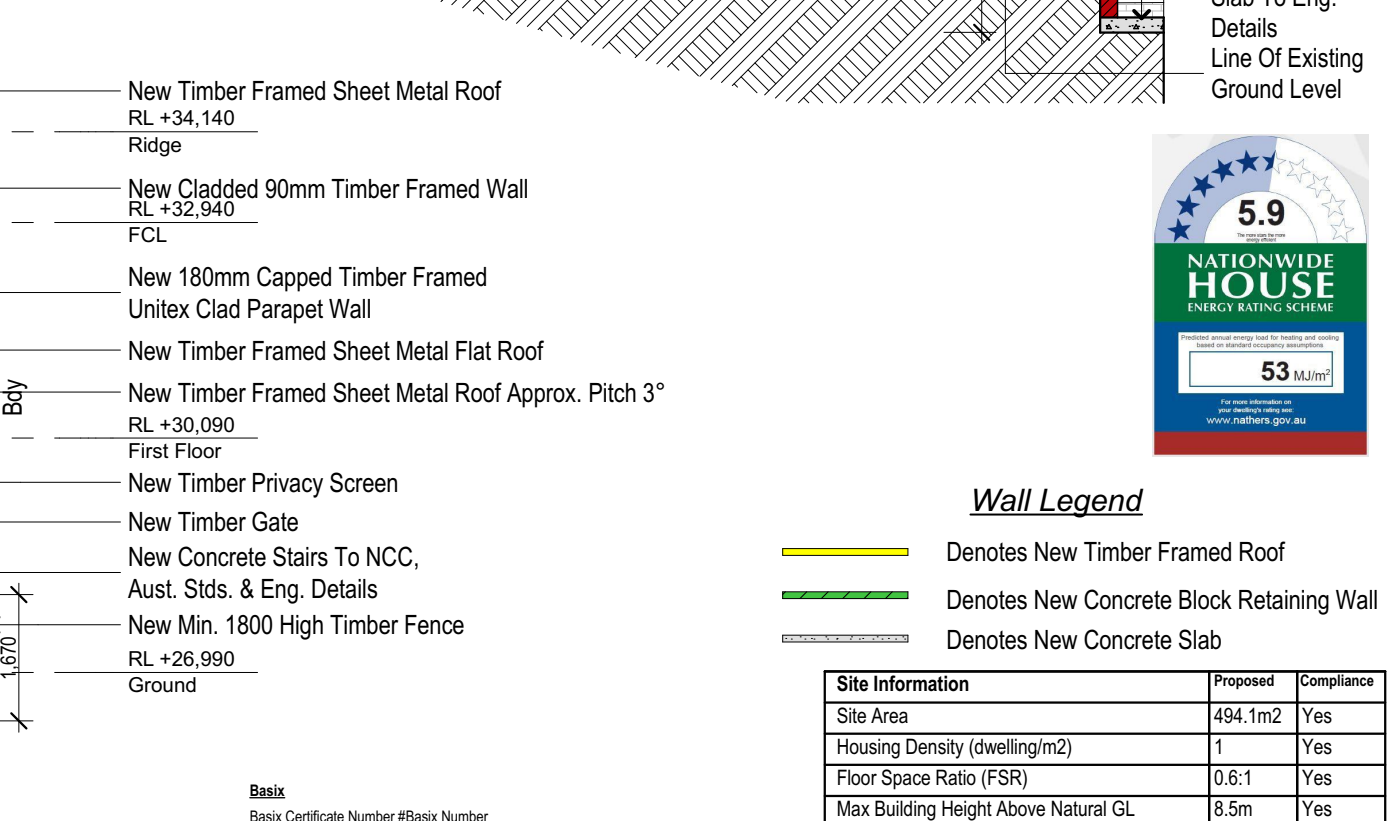
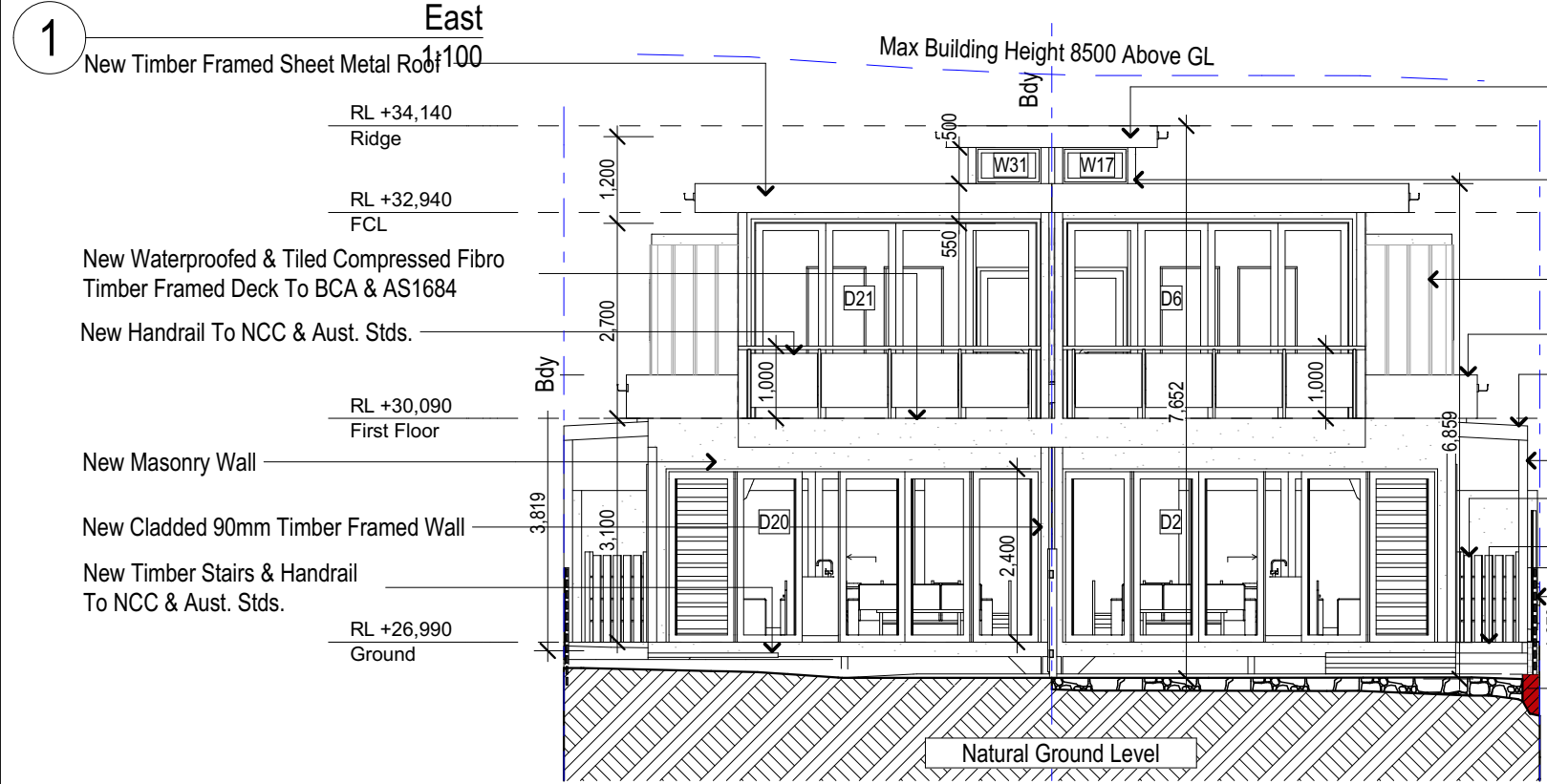
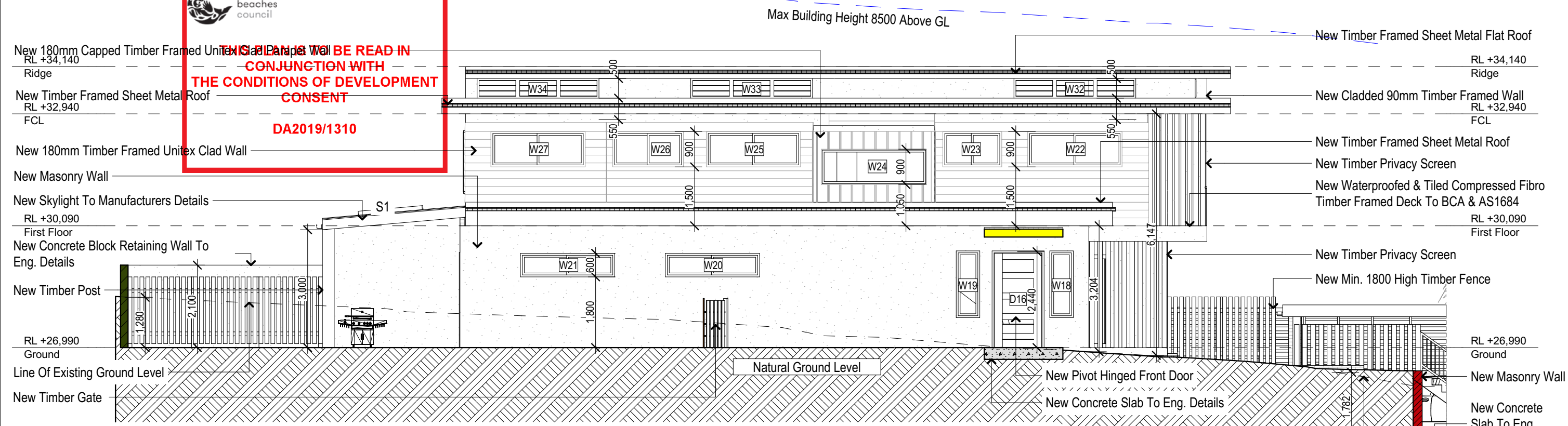
Ground Floor Plan  
Status: DA REV3

Checked By:  
GBJ

Drawing No.  
RP0518HAR DA3003



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/1310**



2

North  
1:100

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Construction

Timber & Concrete, Masonry & Cladded Walls  
Sheet Metal Roof to have R Insulation  
Insulation to External Masonry & Cladded Walls R  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

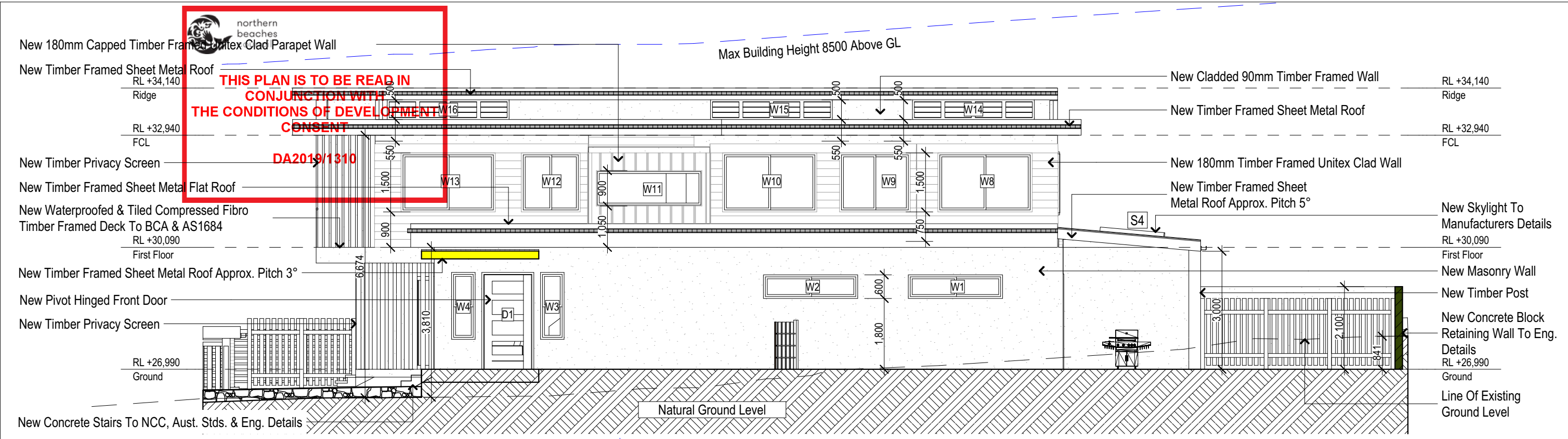
NOTES

107 Griffiths Street,Balgowlah is zoned R1 General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
107 Griffiths Street,Balgowlah is not considered a heritage item  
**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

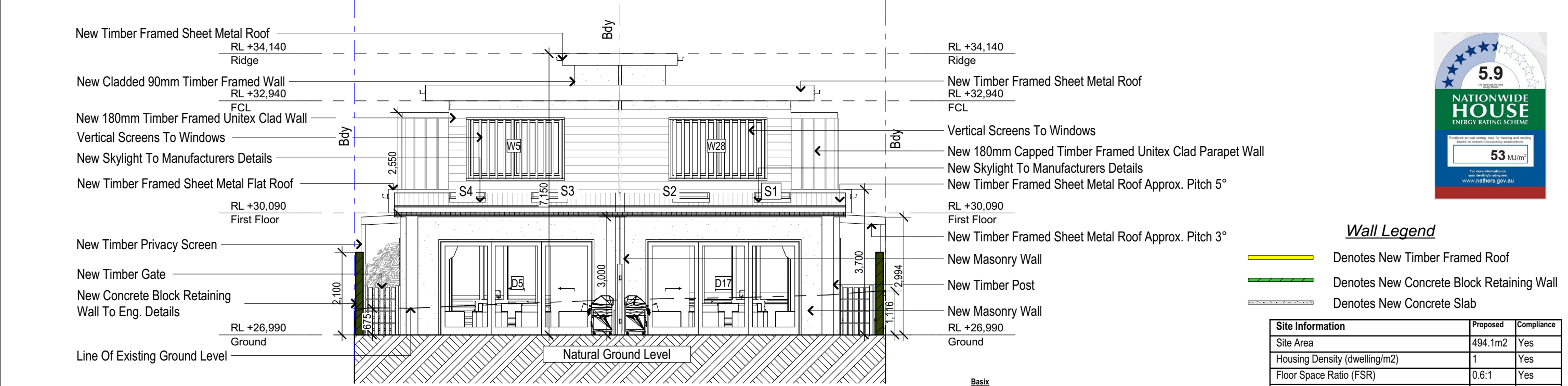
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>,  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Front Setback (Min.)	Prevailing	Yes
Rear Setback (Min.)	8.0m	Yes
Minimum side boundry setback (Min.)	Calc.	Yes
% of Total open space (55% min)	49%	Yes
Impervious area (m2)	255.83m2	Yes
Maximum cut into ground (m)	0.9m	Yes
Maximum depth of fill (m)	1.8m	Yes
Number of car spaces provided	2	Yes





2  
West  
1:100



1  
South  
1:100

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**Construction**  
Timber & Concrete, Masonry & Cladded Walls  
Sheet Metal Roof to have R Insulation  
Insulation to External Masonry & Cladded Walls R  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**NOTES**  
107 Griffiths Street, Balgowlah is zoned R1 General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
107 Griffiths Street, Balgowlah is not considered a heritage item  
**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basix**  
Basix Certificate Number #Basix Number  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>,  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

**Wall Legend**

- Denotes New Timber Framed Roof
- Denotes New Concrete Block Retaining Wall
- Denotes New Concrete Slab

Site Information	Proposed	Compliance
Site Area	494.1m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Floor Space Ratio (FSR)	0.6:1	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	Prevailing	Yes
Rear Setback (Min.)	8.0m	Yes
Minimum side boundary setback (Min.)	Calc.	Yes
% of Total open space (55% min)	49%	Yes
Impervious area (m <sup>2</sup> )	255.83m <sup>2</sup>	Yes
Maximum cut into ground (m)	0.9m	Yes
Maximum depth of fill (m)	1.8m	Yes
Number of car spaces provided	2	Yes



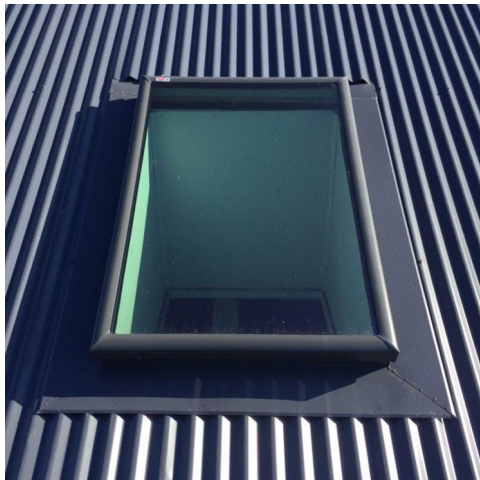




Denotes Concrete Driveway (Typical). Owner To Confirm Type & Colour.



Denotes Vertical Cladding (Typical). Owner To Confirm Type & Colour.



Denotes Skylight (Typical). Owner To Confirm Type & Colour.



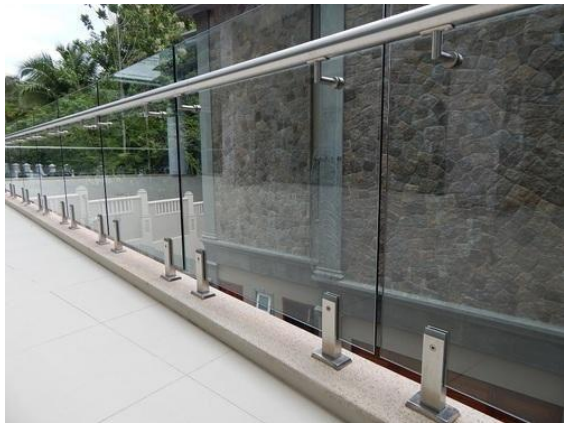
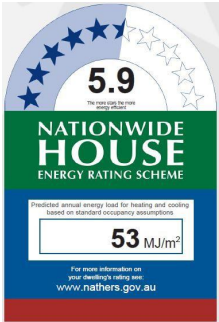
Denotes Horizontal Timber Slat Fence (Typical). Owner To Confirm Type & Colour.



Denotes Low Pitch Sheet Metal Roofing(Typical). Owner To Confirm Type & Colour.



Denotes Timber Decking (Typical). Owner To Confirm Type & Colour.



Denotes Glass & Stainless Steel Handrail (Typical). Owner To Confirm Type & Colour.



Denotes Horizontal Cladding (Typical). Owner To Confirm Type & Colour.

Site Information	Proposed	Compliance
Site Area	494.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Floor Space Ratio (FSR)	0.6:1	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	Prevailing	Yes
Rear Setback (Min.)	8.0m	Yes
Minimum side boundry setback (Min.)	Calc.	Yes
% of Total open space (55% min)	49%	Yes
Impervious area (m2)	255.83m2	Yes
Maximum cut into ground (m)	0.9m	Yes
Maximum depth of fill (m)	1.8m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

© Copyright Rapid Plans 2019

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned upon request



Rapid Plans  
Building Design and Architectural Drafting

Rapid Plans www.rapidplans.com.au  
PO Box 6193 Frenchs Forest DC NSW 2086  
Fax : (02) 9905-8865  
Mobile: 0414-945-024  
Email : gregg@rapidplans.com.au



BUILDING  
DESIGNERS  
AUSTRALIA NSW

**NOTES**  
107 Griffiths Street,Balgowlah is zoned R1 General Residential.  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.  
107 Griffiths Street,Balgowlah is not considered a heritage item.

**Construction**  
Timber & Concrete Floors, Masonry & Cladded Walls.  
Sheet Metal Roof to have R Insulation  
Insulation to External Masonry & Cladded Walls R  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basix**  
Basix Certificate Number  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client  
Grant Harrington  
Project Name  
**New Dwellings & Subdivision**  
107 Griffiths Street, Balgowlah  
2093

Lot C D.P. 302957

Drawing Title:

**Sunstudy - Material & Colour Sample Board**

Scale: A3 as noted Date: 14/11/2019

Status: DA Rev5 Checked By: GBJ

Project No: Drawing No:

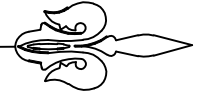
**RP0518HAR DA5002**



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2019/1310**

(DP302957)



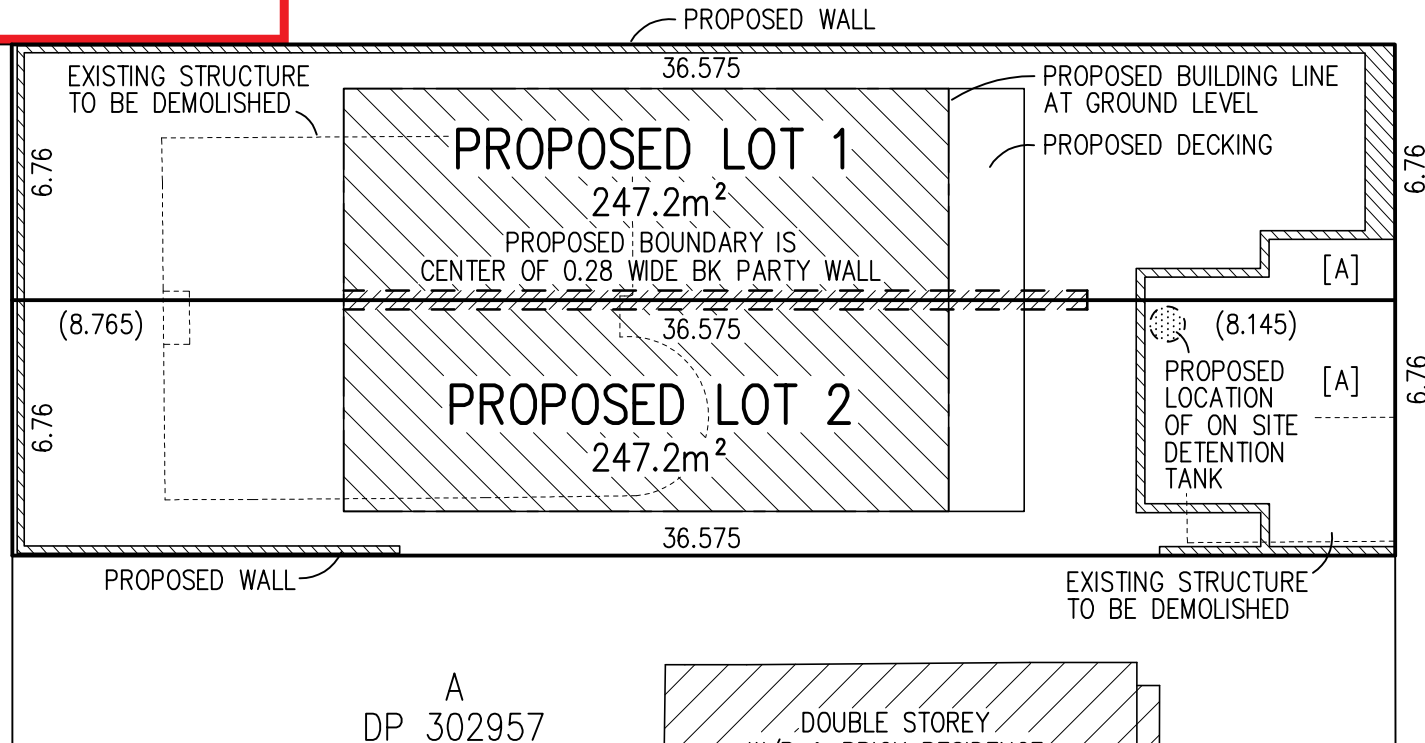
CONDAMINE

STREET

STREET

GRIFFITHS

SP82816



NOTE:  
AREAS & DIMENSIONS ARE SUBJECT TO FINAL SURVEY  
LOT DIMENSIONS ARE TITLE DIMENSIONS FROM DP302957  
EASEMENTS, RESTRICTIONS & COVENANTS MAY BE REQUIRED TO BE ADDED TO THE FINAL PLAN

[A] RIGHT OF CARRIAGEWAY VARIABLE WIDTH

----- LINE OF EXISTING STRUCTURE  
- - - - - LINE OF PROPOSED STRUCTURE



**TSS** TOTAL SURVEYING  
SOLUTIONS

ARTARMON | CAMDEN | MANLY VALE

PLAN OF PROPOSED SUBDIVISION  
OF LOT C, DP302957

CLIENT: HARRINGTON INVESTMENT TRUST PTY

PROJECT: BALGOWLAH

ADDRESS: 107 GRIFFITHS STREET, BALGOWLAH

JOB No.: 182597

PLAN No.: 182597-2

DATE: 8/10/2019

DRAWN: RA

CHK: WH

LGA: NORTHERN BEACHES

DATUM: N/A

SCALE: 1:200@A4

CONT. INTERVAL: N/A

SHEET 1 OF 1