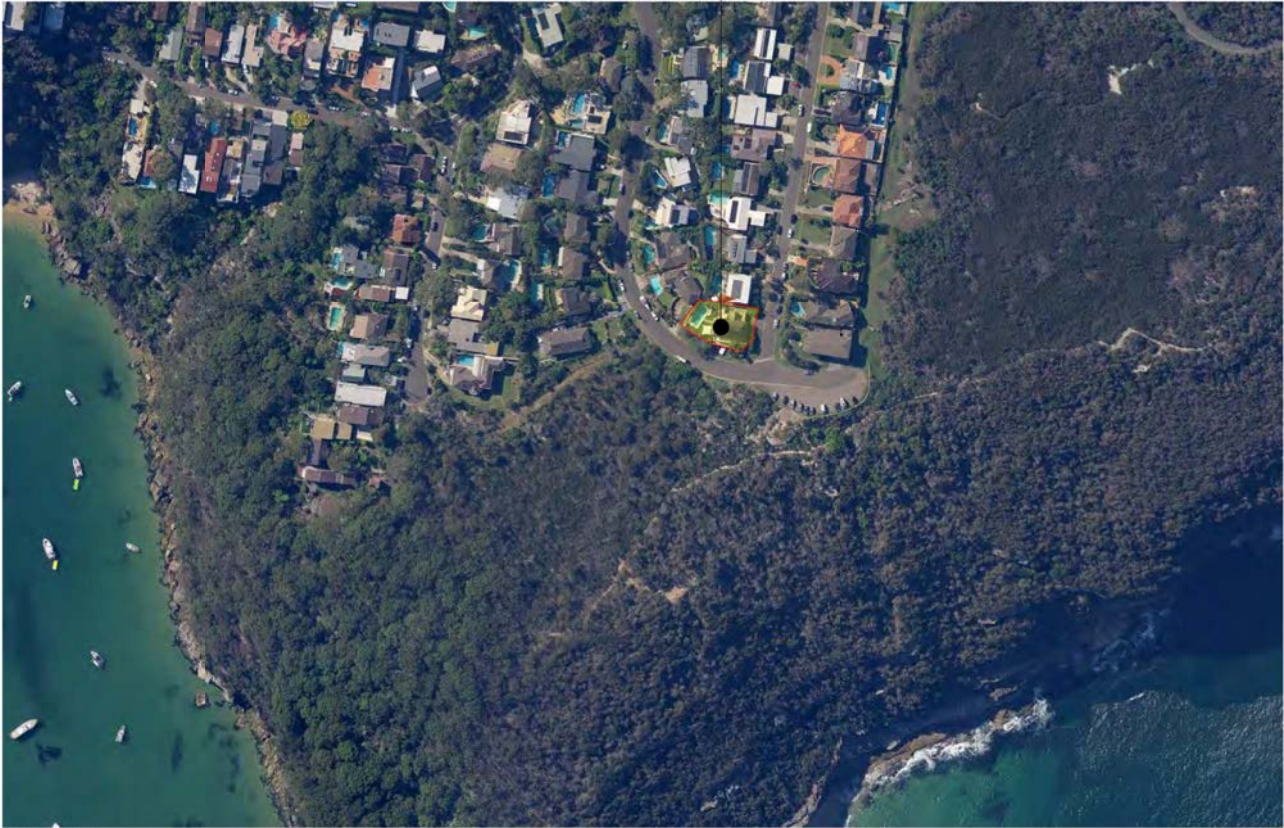


day 03
month 03
year 22

| DRAWING NUMBER | DRAWING NAME | SCALE | REVISION |
|----------------|---------------------------------------------|-------|----------|
| A 00 | COVERPAGE | | A |
| A 01 | SITE PLAN | 1:200 | A |
| A 02 | SITE ANALYSIS PLAN | 1:200 | A |
| A 04 | EXCAVATION PLAN | 1:200 | A |
| A 05 | GARAGE | 1:100 | A |
| A 06 | LEVEL 1 | 1:100 | A |
| A 09 | ROOF PLAN | 1:100 | A |
| A 10 | SECTION A | 1:100 | A |
| A 11 | SECTION B | 1:100 | A |
| A 13 | SOUTH (CUTLER RD STREETSCAPE) ELEVATION | 1:100 | A |
| A 14 | WEST ELEVATION | 1:100 | A |
| A 17 | AREA CALCULATIONS | 1:250 | A |
| A 19 | SHADOW DIAGRAMS - JUNE 21 - 9am - PROPOSED | 1:200 | A |
| A 21 | SHADOW DIAGRAMS - JUNE 21 - 12pm - PROPOSED | 1:200 | A |
| A 23 | SHADOW DIAGRAMS - JUNE 21 - 3pm - PROPOSED | 1:200 | A |
| A 34 | THERMAL COMFORT INCLUSIONS | | A |
| A 35 | POOL DETAILS | 1:100 | A |
| A 36 | NOTIFICATION PLAN | 1:250 | A |
| A 37 | NOTIFICATION PLAN | 1:250 | A |

1 Tabalum Rd, Balgowlah Heights

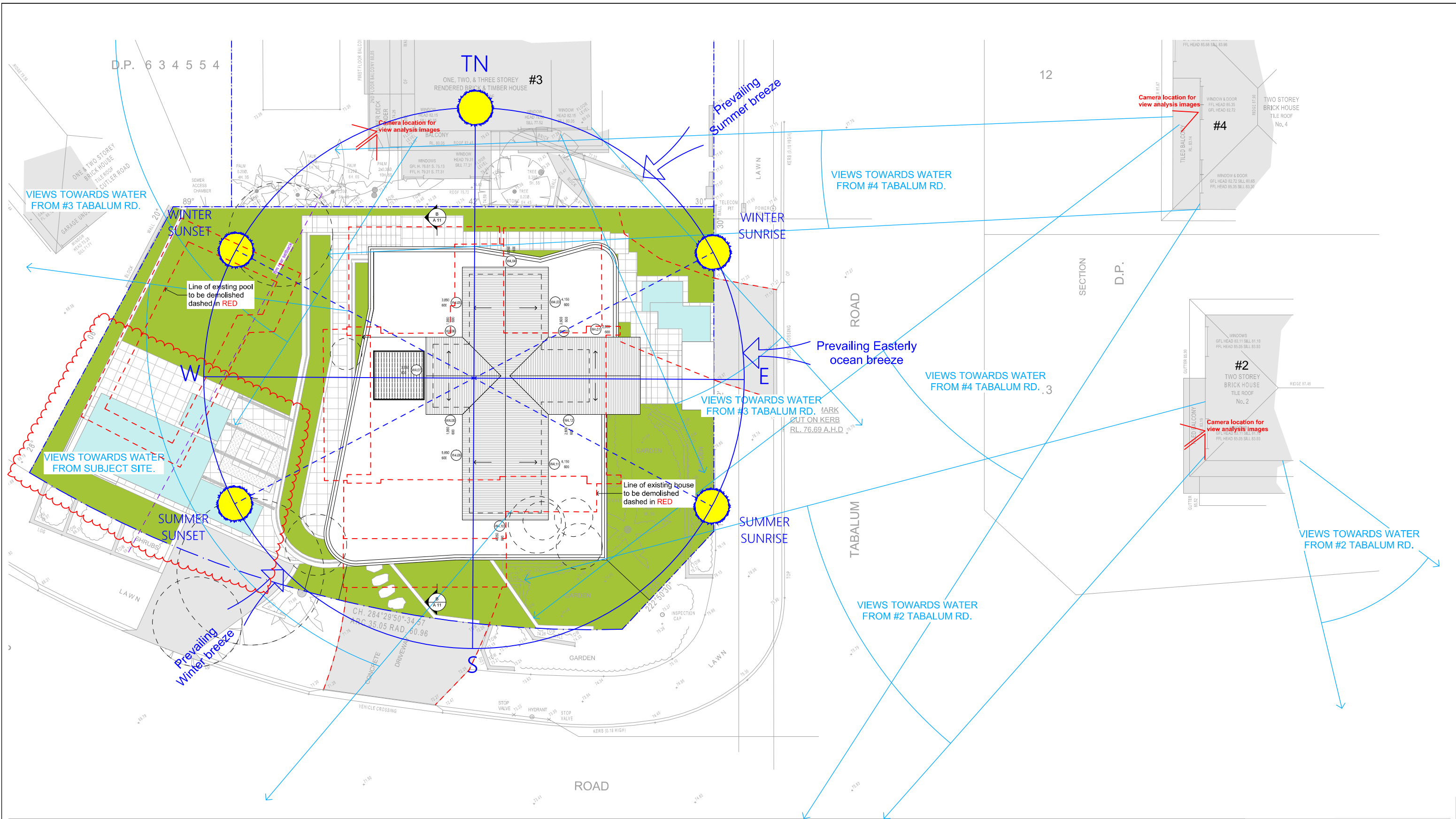


LOCATION PLAN (NTS)

FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\4. 4.55 Documents\4.55 2 - Level 1\MOO 0219 - House Mooney 4.55 - Level 1.pln



| | | | | | | | | | | | |
|--|----------------|------|---------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|----------------------|----------|-------------|------------|-----------------------------------------------------------------------|--|
| | Revision | Date | Revision Note | CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. L.D.S. IS TO BE NOTIFIED OF ANY DISCREPANCIES IN THE DIMENSIONS AND SETTING OUT OF THE WORK. COPYRIGHT OF DESIGNS SHOWN HEREON IS RETAINED BY L.D.S. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION. | Project: | Drawing: | | | | Legend Design Studio 20 Carefree Rd North Narrabeen NSW 2101 | |
| | General Notes: | | | | New Dwelling | COVERPAGE | | | | | |
| | | | | | Client: | Project #: | MOO 0219 | Issue Type: | 4.55 | | |
| | | | | | Kevin Mooney | Original Sheet Size: | A3 | Issue Date: | 03/03/2022 | | |
| | | | Address: | 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Scale @ A3: | Sheet #: | A 00 | Revision: | A | 0431 835 531 michael@legends.com.au | |
| | | | | | Chkd: | Drawn: | ML | | | | |



SITE ANALYSIS PLAN

1:200

FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\4. 4.55 Documents\4.55 2 - Level 1\MOO 0219 - House Mooney 4.55 - Level 1.pln

Revision

A

Date

02.03.22

Revision Note

Pool added

General Notes:

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Project:

New Dwelling

Client:

Kevin Mooney

Address:

1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044

Drawing:

SITE ANALYSIS PLAN

Project #:

MOO 0219

Issue Type:

4.55

Original Sheet Size:

A3

Issue Date:

03/03/2022

Scale @ A3:

1:200

Sheet #:

A 02

Chkd:

Drawn:

ML

Revision:

A

Legend Design Studio

20 Carefree Rd

North Narrabeen

NSW 2101

0431 835 531

michael@legendds.com.au

LEGEND

DESIGN STUDIO

6.2

HOUSE

49.2

0006220248-01

28 Mar 2022

Assessor Tracy Cook

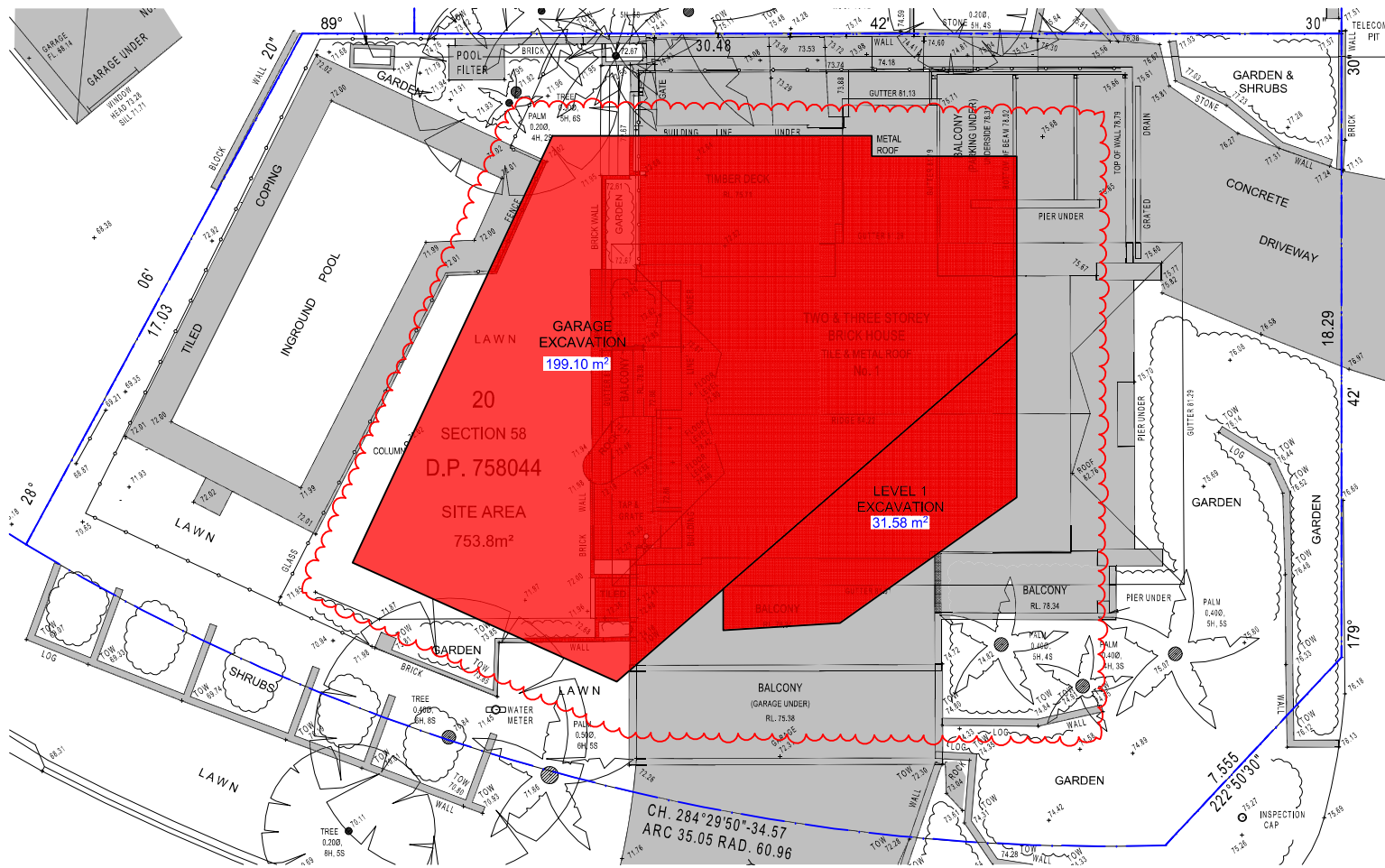
Accreditation No. 45594-10033

Address

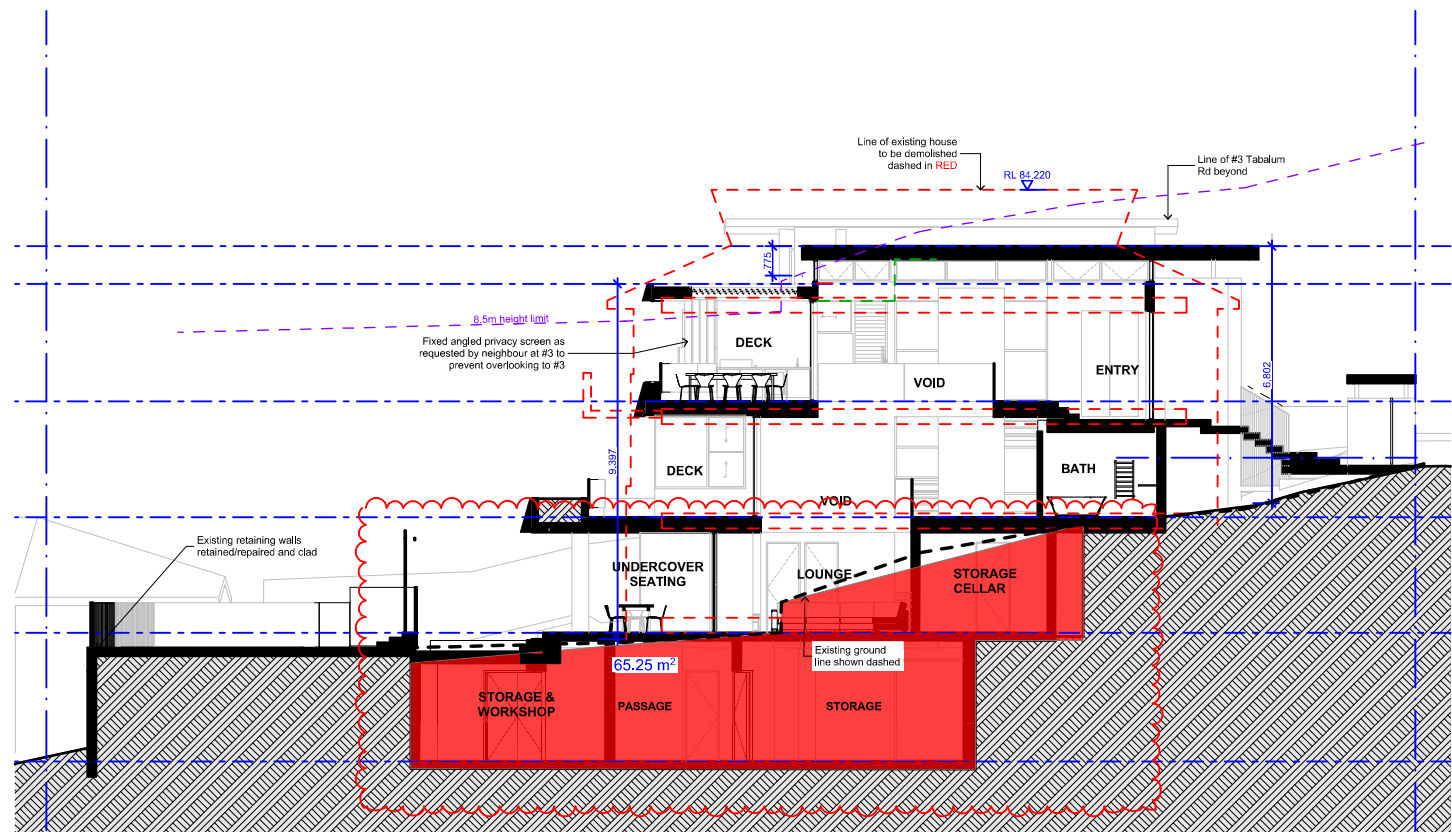
1 Tabalum Road - Balgowlah

Heights - NSW - 2080

Initial assessment

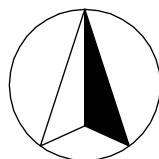


EXCAVATION PLAN
1:200



EXCAVATION SECTION
1:200

FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\4.45 Documents\4.55 2 - Level 1\MOO 0219 - House Mooney 4.55 - Level 1.pln



Revision
A
Date
02.03.22
Revision Note
Excavation area increased

General Notes:

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Project:
New Dwelling

Client:
Kevin Mooney

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing:
EXCAVATION PLAN

Project #: **MOO 0219** Issue Type: **4.55**

Original Sheet Size: **A3** Issue Date: **03/03/2022**

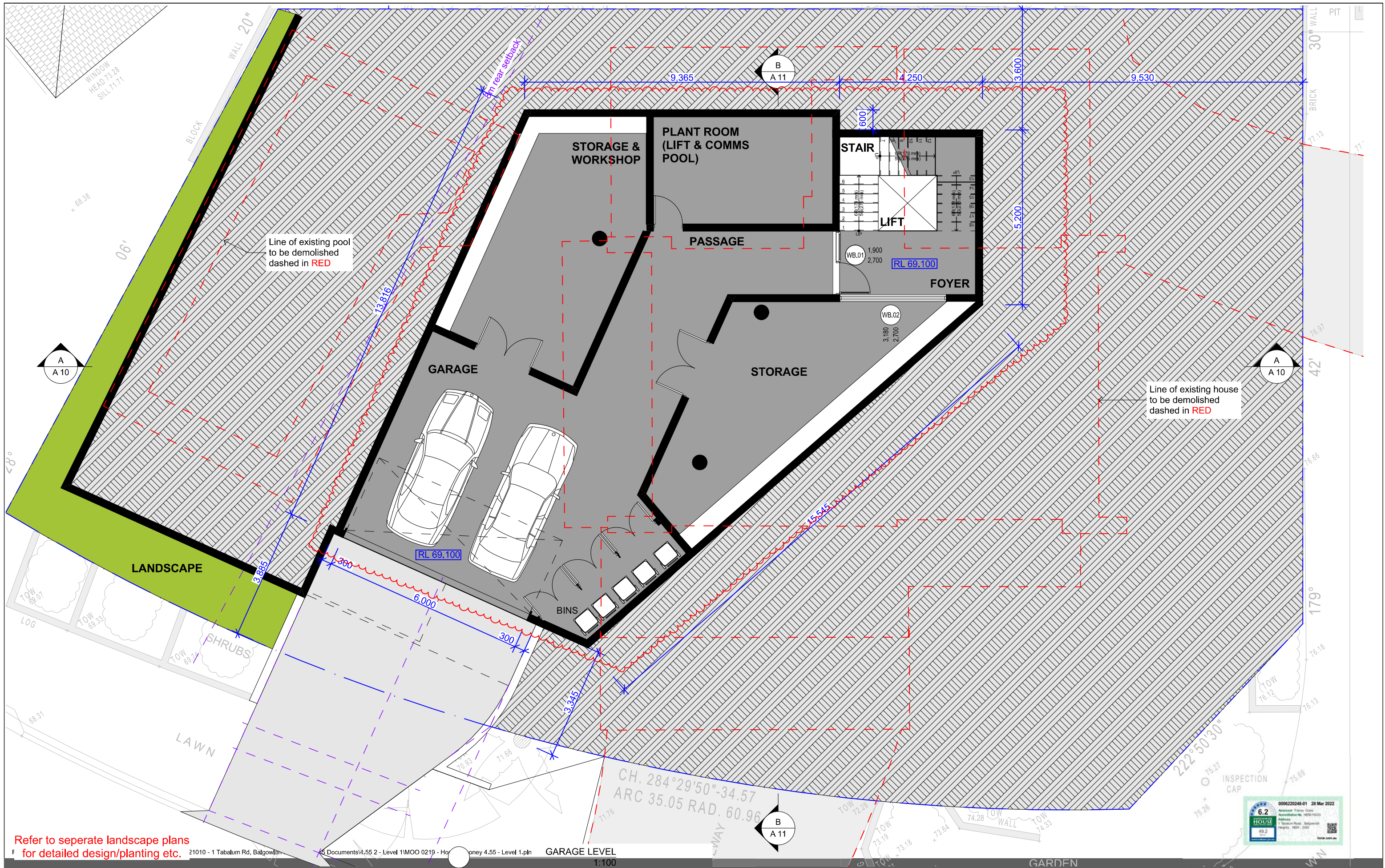
Scale @ A3: **1:200** Sheet #: **Revision: A**

Chkd: **Drawn: ML**

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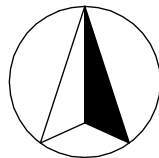
Refer to separate landscape plans
for detailed design/planting etc.

21010 - 1 Tabalum Rd, Balgowlah

Documents\4.55 2 - Level 1\MOO 0219 - Hooney 4.55 - Level 1.pln

GARAGE LEVEL

1:100



Revision
A

Date
02.03.22

Revision Note
Garage extended, foyer enclosed

General Notes:

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Project:

New Dwelling

Client:

Kevin Mooney

Address: 1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044

Drawing:

GARAGE

Project #:

MOO 0219

Issue Type:

4.55

Original Sheet Size:

A3

Issue Date:

03/03/2022

Scale @ A3:

1:100

Sheet #:

Revision:

Chkd:

Drawn:

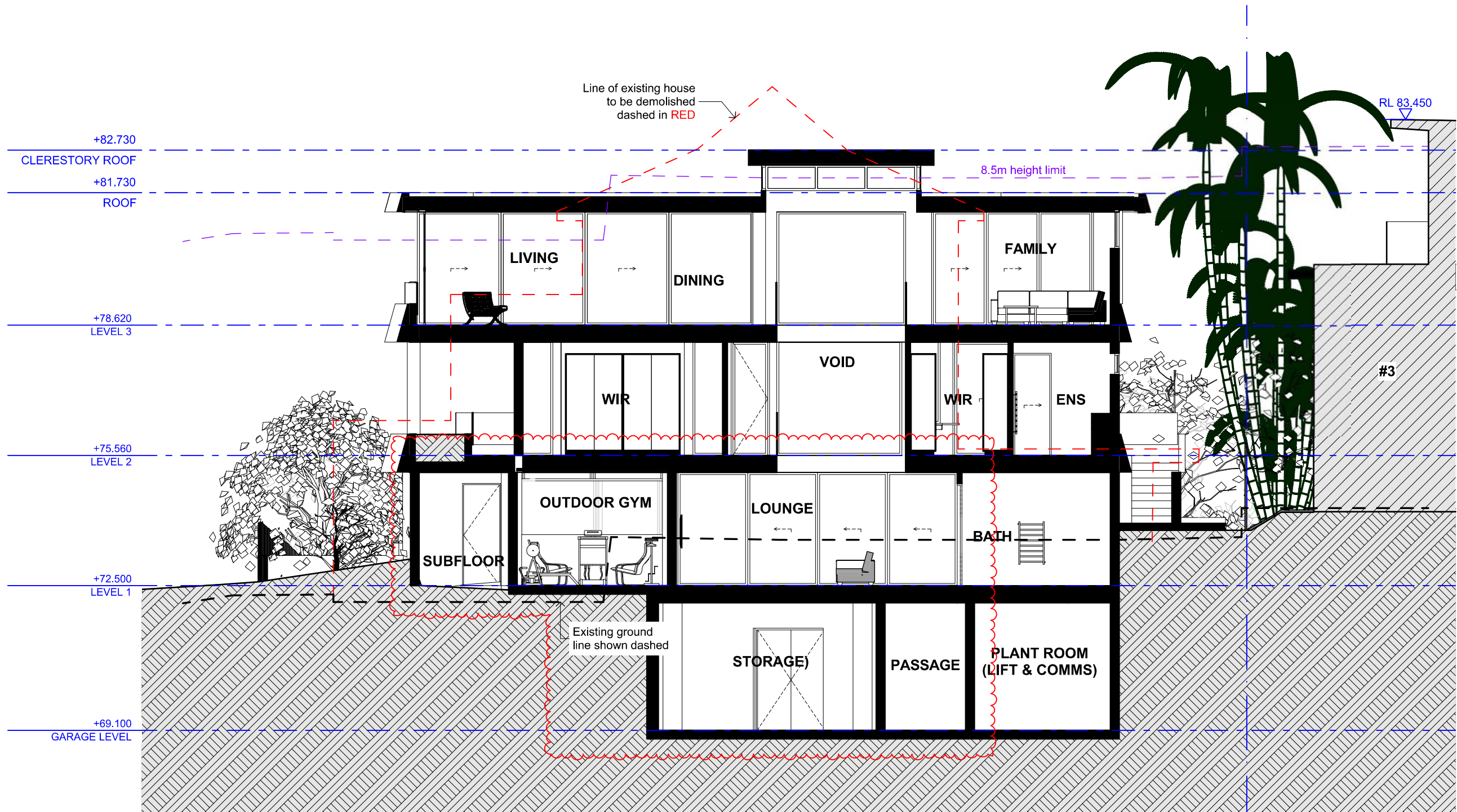
ML

A 05

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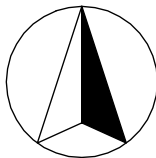
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SECTION B
1:100

FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\4. 4.55 Documents\4.55 2 - Level 1\MOO 0219 - House Mooney 4.55 - Level 1.pln



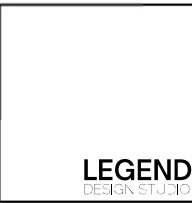
| Revision | Date | Revision Note |
|----------------|----------|-----------------------------------------|
| A | 02.03.22 | Level 1 layout revised, Garage extended |
| General Notes: | | |

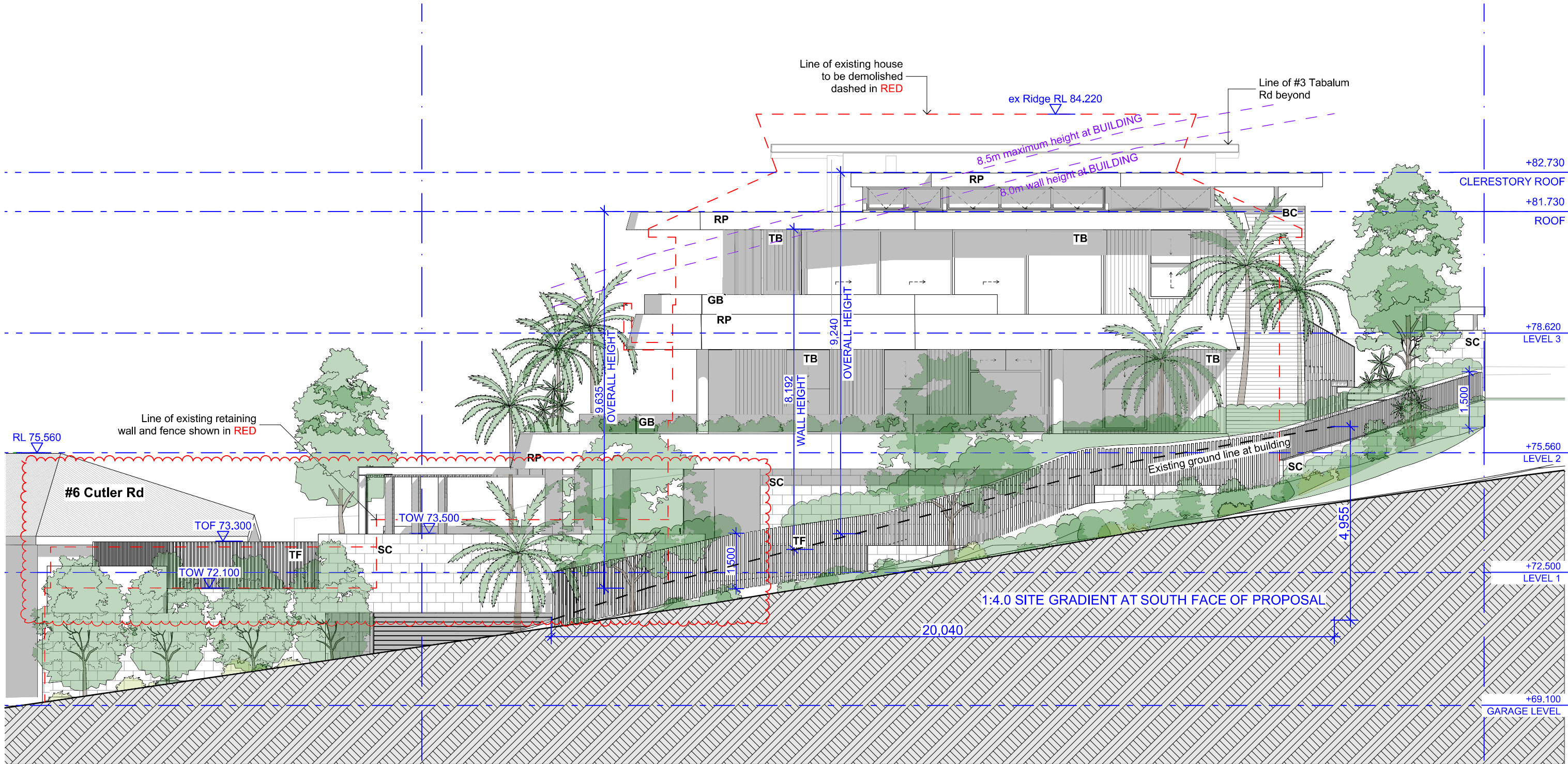
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Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

Drawing: **SECTION B**
Project #: **MOO 0219** Issue Type: **4.55**
Original Sheet Size: **A3** Issue Date: **03/03/2022**
Scale @ A3: **1:100** Sheet #: **A 11** Revision: **A**
Chkd: **ML** Drawn: **ML**

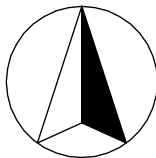
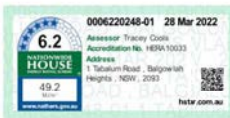
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michael@legendds.com.au





SOUTH (CUTLER RD STREETSCAPE) ELEVATION
1:100

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| Revision | Date | Revision Note |
|----------|----------|---------------------------|
| A | 02.03.22 | Pool added, fence revised |

General Notes:

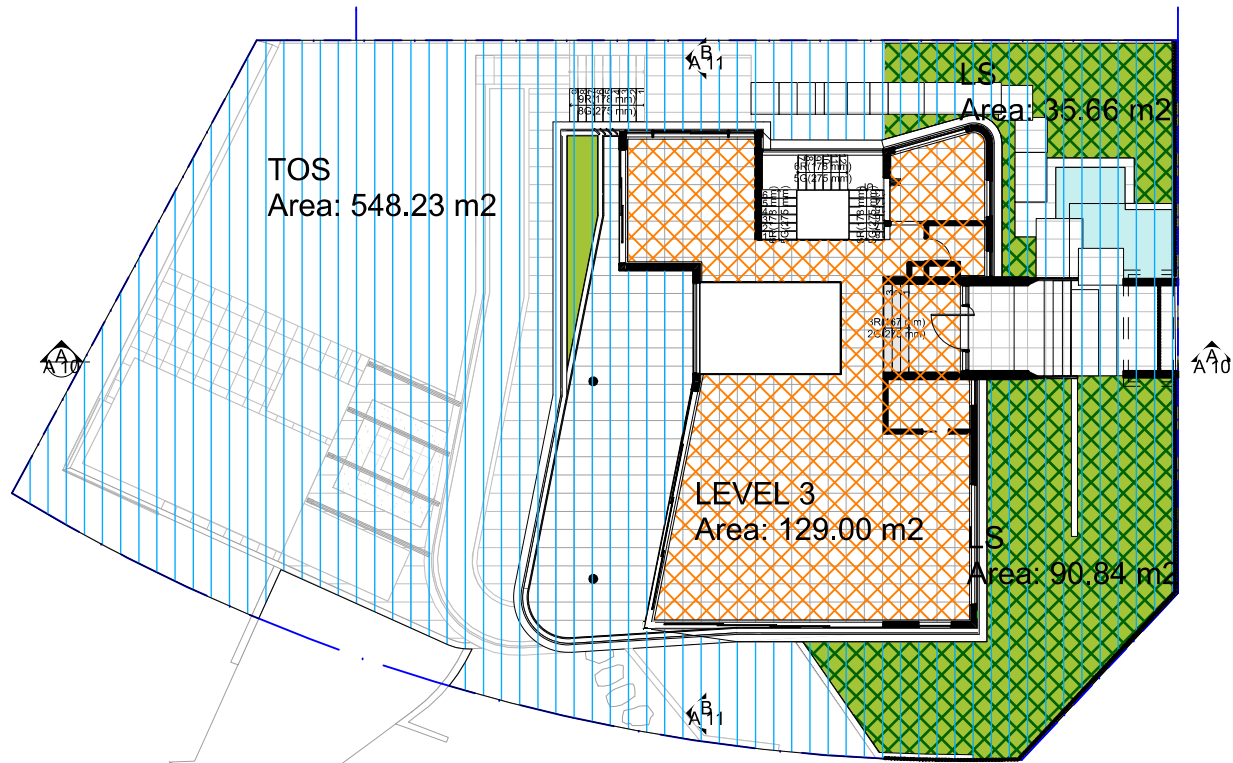
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. L.D.S. IS TO BE NOTIFIED OF ANY DISCREPANCIES IN THE DIMENSIONS AND SETTING OUT OF THE WORK. COPYRIGHT OF DESIGNS SHOWN HEREON IS RETAINED BY L.D.S. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION.

Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

Drawing: **SOUTH (CUTLER RD STREETSCAPE) ELEVATION**
Project #: **MOO 0219** Issue Type: **4.55**
Original Sheet Size: **A3** Issue Date: **03/03/2022**
Scale @ A3: **1:100** Sheet #: **A 13** Revision: **A**
Chkd: **ML** Drawn: **ML**

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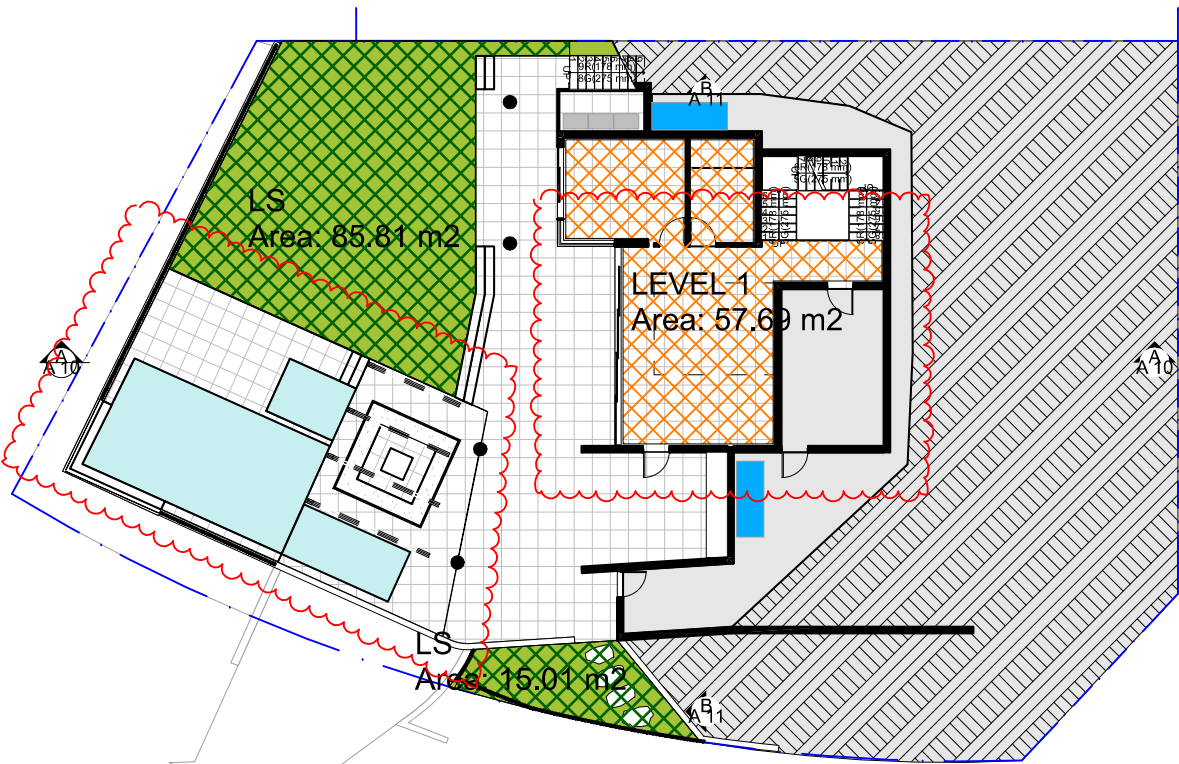
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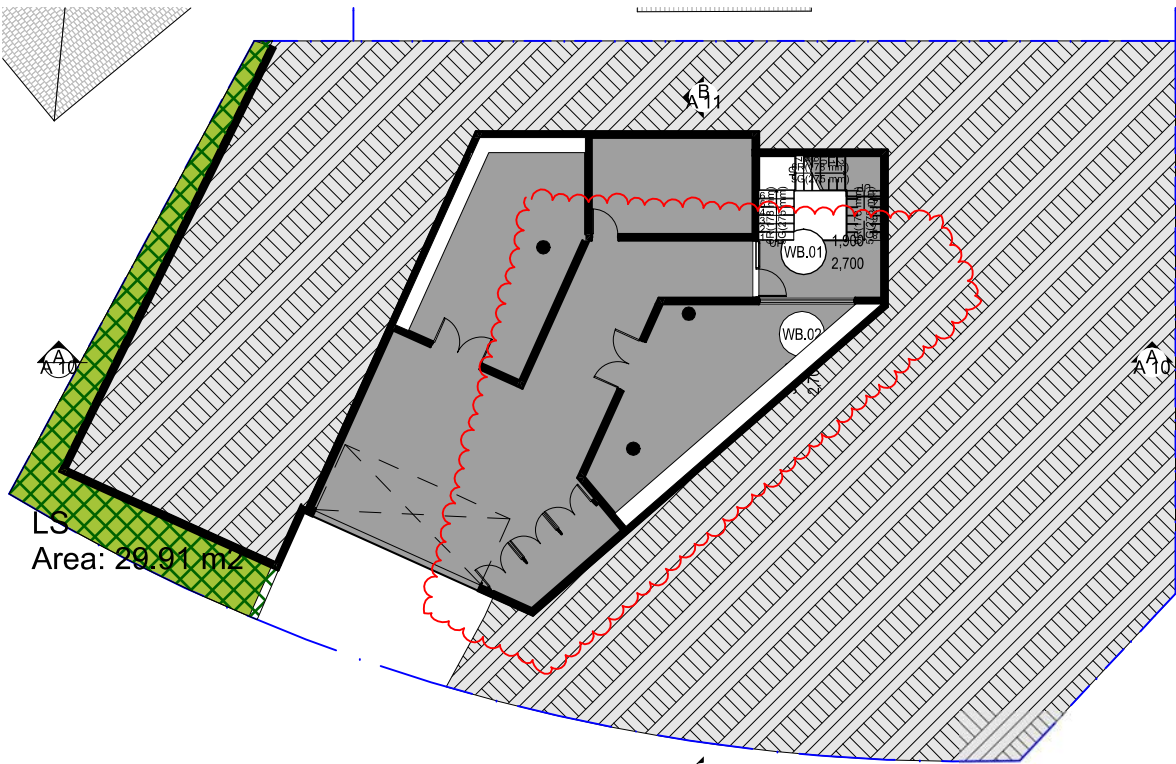
LEVEL 3 - AREAS
1:250



LEVEL 2 - AREAS
1:250



LEVEL 1 - AREAS
1:250



GARAGE - AREAS
1:250

SITE AREA = 753.8m²

| GFA | |
|---------|-----------------------|
| LEVEL 1 | 57.69 |
| LEVEL 2 | 144.35 |
| LEVEL 3 | 129.00 |
| | 331.04 m ² |

FSR = 0.439:1

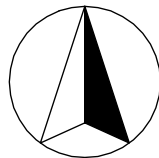
| TOTAL OPEN SPACE | |
|------------------|-----------------------|
| LEVEL 3 | 548.23 |
| | 548.23 m ² |

REQUIRED = 452.28m²

| LANDSCAPE AREA | |
|----------------|-----------------------|
| GARAGE LEVEL | 29.91 |
| LEVEL 1 | 100.82 |
| LEVEL 2 | 76.23 |
| LEVEL 3 | 126.50 |
| | 333.46 m ² |

REQUIRED LANDSCAPE AREA
181m²

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Revision
A
Date
02.03.22
Revision Note
Pool added, Level 1 layout revised, Garage extended

General Notes:

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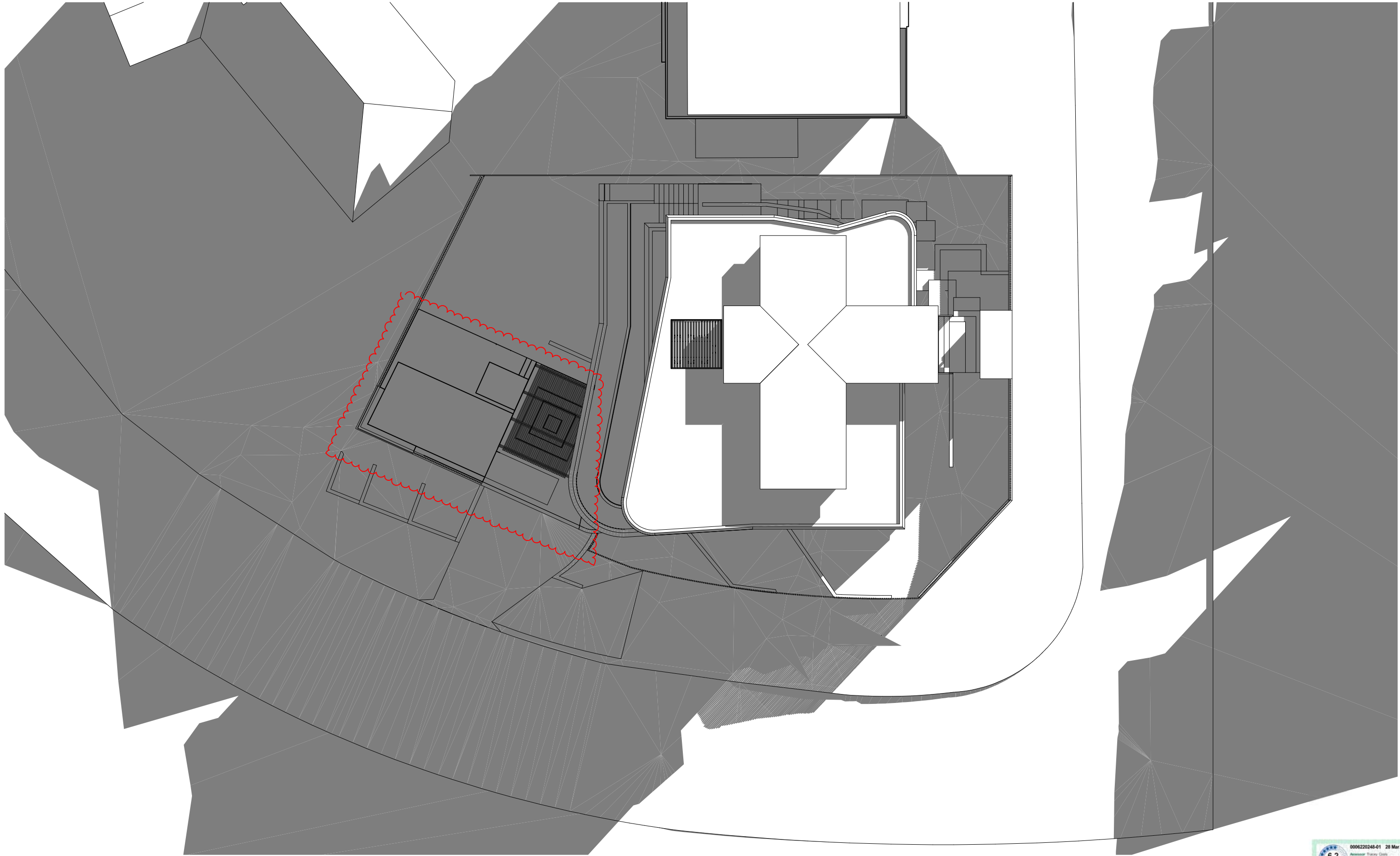
Project:
New Dwelling
Client:
Kevin Mooney
Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing:
AREA CALCULATIONS

Project #: MOO 0219 Issue Type: **4.55**
Original Sheet Size: A3 Issue Date: 03/03/2022
Scale @ A3: 1:250 Sheet #: **Revision: A**
Chkd: Drawn: ML

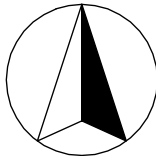
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Shadows - 9am - June 21 - Proposed
1:200

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| Revision | Date | Revision Note |
|----------|----------|---------------|
| A | 02.03.22 | Pool added |

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Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **SHADOW DIAGRAMS - JUNE 21 - 9am - PROPOSED**

Project #: **MOO 0219** Issue Type: **4.55**

Original Sheet Size: **A3** Issue Date: **03/03/2022**

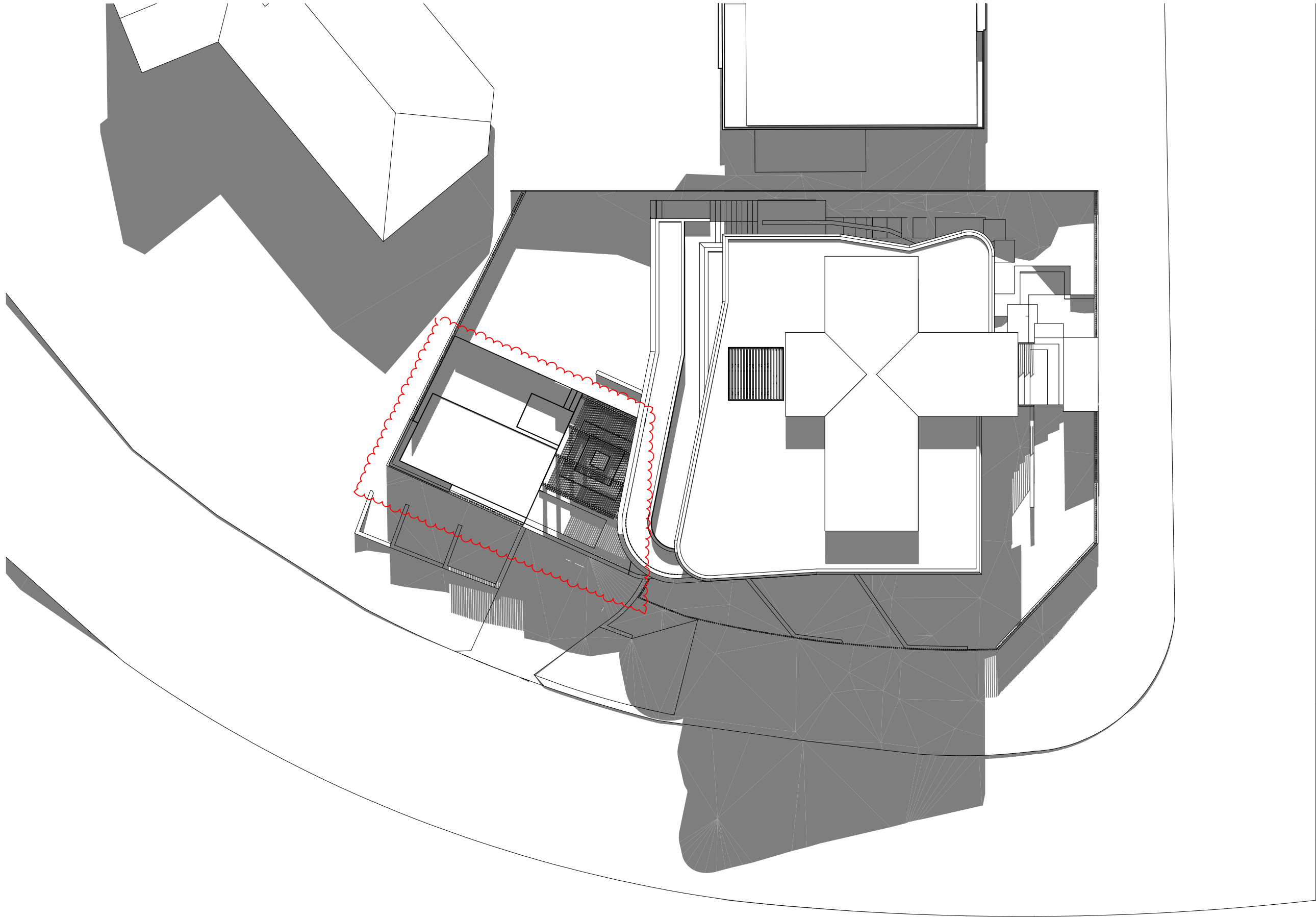
Scale @ A3: **1:200** Sheet #: **A 19** Revision: **A**

Chkd: **ML** Drawn: **ML**

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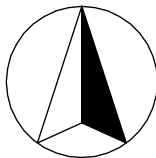
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michael@legends.com.au





Shadows - 12pm - June 21 - Proposed
1:200

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|----------------|----------|---------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| A | 02.03.22 | Pool added | |
| General Notes: | | | |

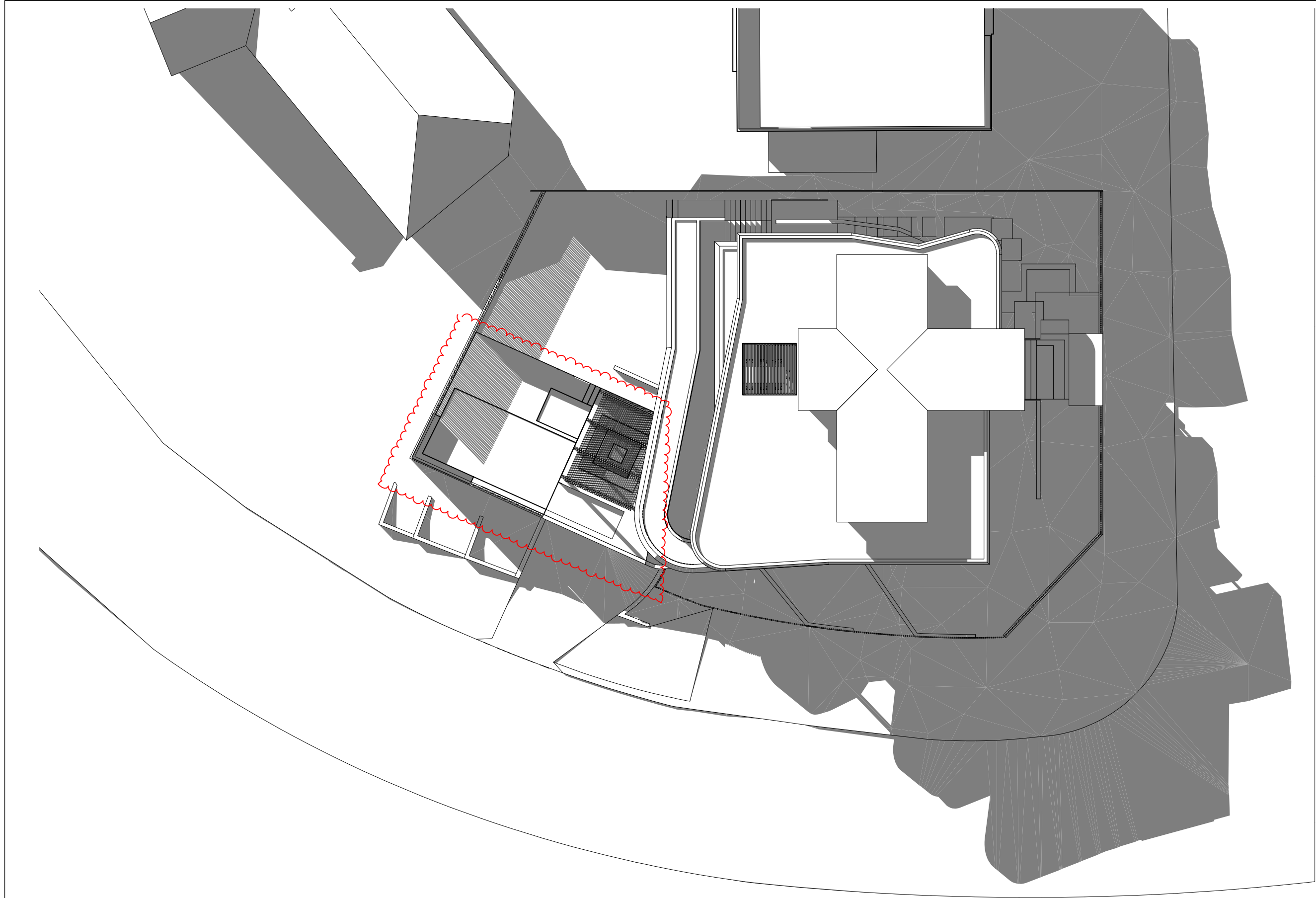
| | |
|----------|------------------------------------------------------------------|
| Project: | New Dwelling |
| Client: | Kevin Mooney |
| Address: | 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 |

| | | | |
|----------------------|---------------------------------------------|-------------|-------------|
| Drawing: | SHADOW DIAGRAMS - JUNE 21 - 12pm - PROPOSED | | |
| Project #: | MOO 0219 | Issue Type: | 4.55 |
| Original Sheet Size: | A3 | Issue Date: | 03/03/2022 |
| Scale @ A3: | 1:200 | Sheet #: | A 21 |
| Chkd: | Drawn: | ML | Revision: A |

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North Narrabeen
NSW 2101

0431 835 531
michael@legendds.com.au





Shadows - 3pm - June 21 - Proposed
1:200

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| | | | | | | | | | | | | |
|--|----------------------|-------------------------|------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|---------------------------------------------------------------|-------------|-------------|-------------|-----------------------------------------------------------------------|-----------------------------------------|-----------|
| | Revision A | Date 02.03.22 | Revision Note Pool added | CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. L.D.S. IS TO BE NOTIFIED OF ANY DISCREPANCIES IN THE DIMENSIONS AND SETTING OUT OF THE WORK. COPYRIGHT OF DESIGNS SHOWN HEREON IS RETAINED BY L.D.S. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION. | Project: New Dwelling | Drawing: SHADOW DIAGRAMS - JUNE 21 - 3pm - PROPOSED | | | | Legend Design Studio 20 Carefree Rd North Narrabeen NSW 2101 | | |
| | General Notes: | | | | Client: Kevin Mooney | Project #: | MOO 0219 | Issue Type: | 4.55 | | | |
| | | | | | Original Sheet Size: | A3 | Issue Date: | 03/03/2022 | | | | |
| | | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Scale @ A3: | 1:200 | Sheet #: | A 23 | | | Revision: |
| | | | | | Chkd: | Drawn: | ML | | | | 0431 835 531 michael@legendds.com.au | |

NatHERS Thermal Comfort & BASIX Inclusions - 1 Tabalum Road, Balgowlah Heights

Glazing Doors/Windows

Aluminium frame double performance glazing:
U-value: 2.90 (equal to or lower than) SHGC: 0.51 (±10%)
Given values are AFRC total window system values (glass and frame)

Roof

Concrete with R1.0 external insulation

External Colour

Light (SA<0.475)

Ceiling

Plasterboard ceiling with R4.5 insulation (insulation only value) to soffit of concrete where roof is over
Plasterboard ceiling with R2.5 insulation (insulation only value) to soffit of concrete where balcony is over
Plasterboard ceiling with an R2.5 to garage ceiling where habitable rooms above

Ceiling Penetrations

1 sealed LED light per 4m² of ceiling area

External Wall

Concrete walls with R2.5 insulation (insulation only value) plasterboard lined

External Colour

Light (SA<0.475)

Walls within dwellings

Concrete

Floors

Concrete slab on ground with a minimum R2.5 insulation (insulation only value)
Suspended concrete with a minimum R3.0 insulation (insulation only value)
Concrete between levels, no insulation required

Floor coverings

Timber to bedrooms and tiles elsewhere

Alternative water

Tank size: 5,000L
Collecting from 200m2 roof area
Connected to outdoor tap for irrigation of landscaping

Alternative Energy

Solar Photovoltaic system minimum of 5.0 peak KW

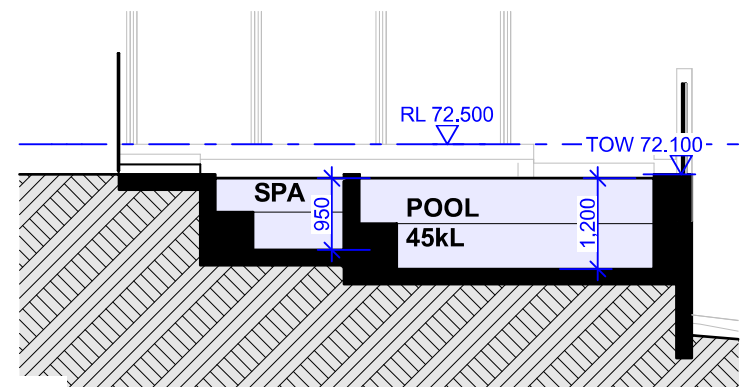
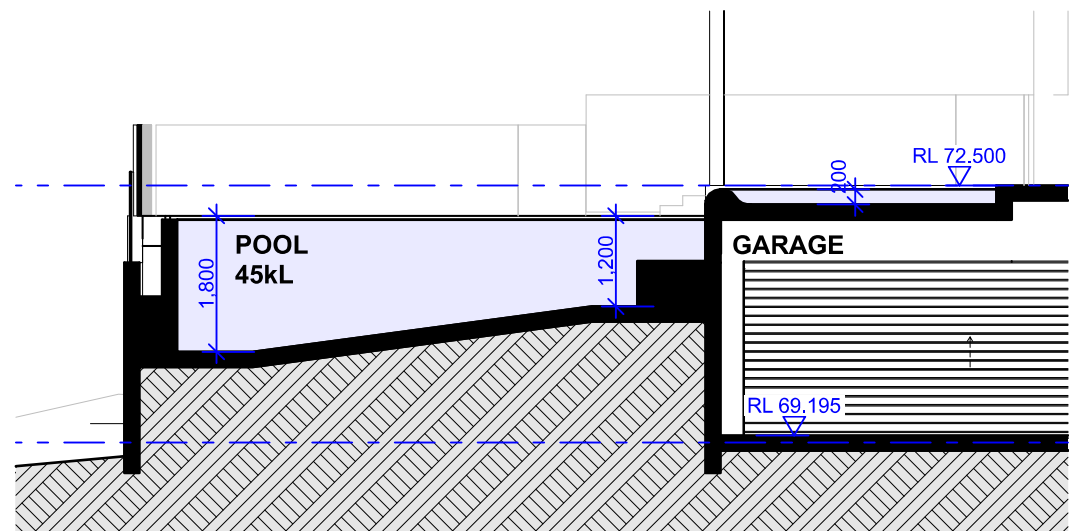
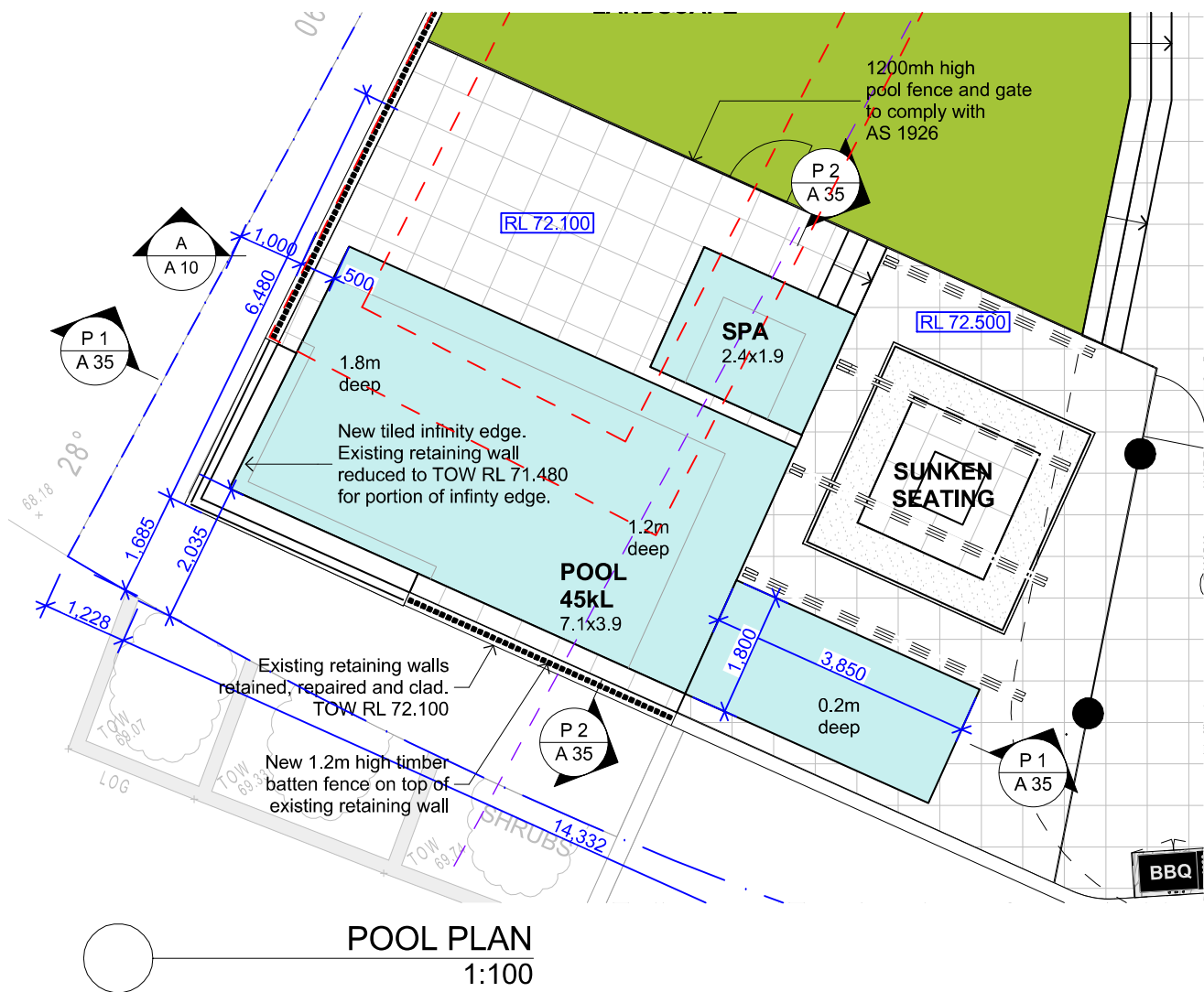
Hot water system

5 star gas instantaneous

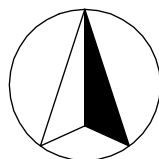


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| | | | | | | | | | | | | | | |
|--|----------------|------|---------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|--------------------------------|--------------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|----------------------|--------------------|--|--|
| | Revision | Date | Revision Note | CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. L.D.S. IS TO BE NOTIFIED OF ANY DISCREPANCIES IN THE DIMENSIONS AND SETTING OUT OF THE WORK. COPYRIGHT OF DESIGNS SHOWNHEREON IS RETAINED BY L.D.S. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION. | Project: New Dwelling | | Drawing: THERMAL COMFORT INCLUSIONS | | Legend Design Studio 20 Carefree Rd North Narrabeen NSW 2101 0431 835 531 michael@legendds.com.au LEGEND DESIGN STUDIO | | | | | |
| | | | - WINDOWS REVISED TO REFLECT NEW ROF DESIGN | | Client: Kevin Mooney | Project #: MOO 0219 | Issue Type: 4.55 | | | | | | | |
| | General Notes: | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 | Issue Date: 03/03/2022 | | | | | | | |
| | | | | | | | | | | Scale @ A3: | Sheet #: A 34 | Revision: A | | |
| | | | | | | | | | | Chkd: | Drawn: ML | | | |



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| Revision | Date | Revision Note |
|----------|----------|---------------|
| A | 02.03.22 | Pool added |

General Notes:

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Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

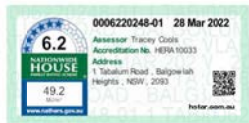
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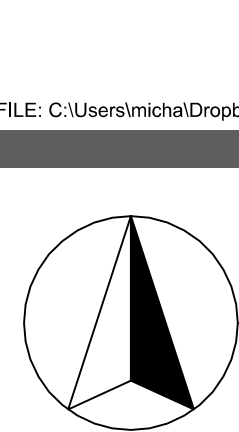
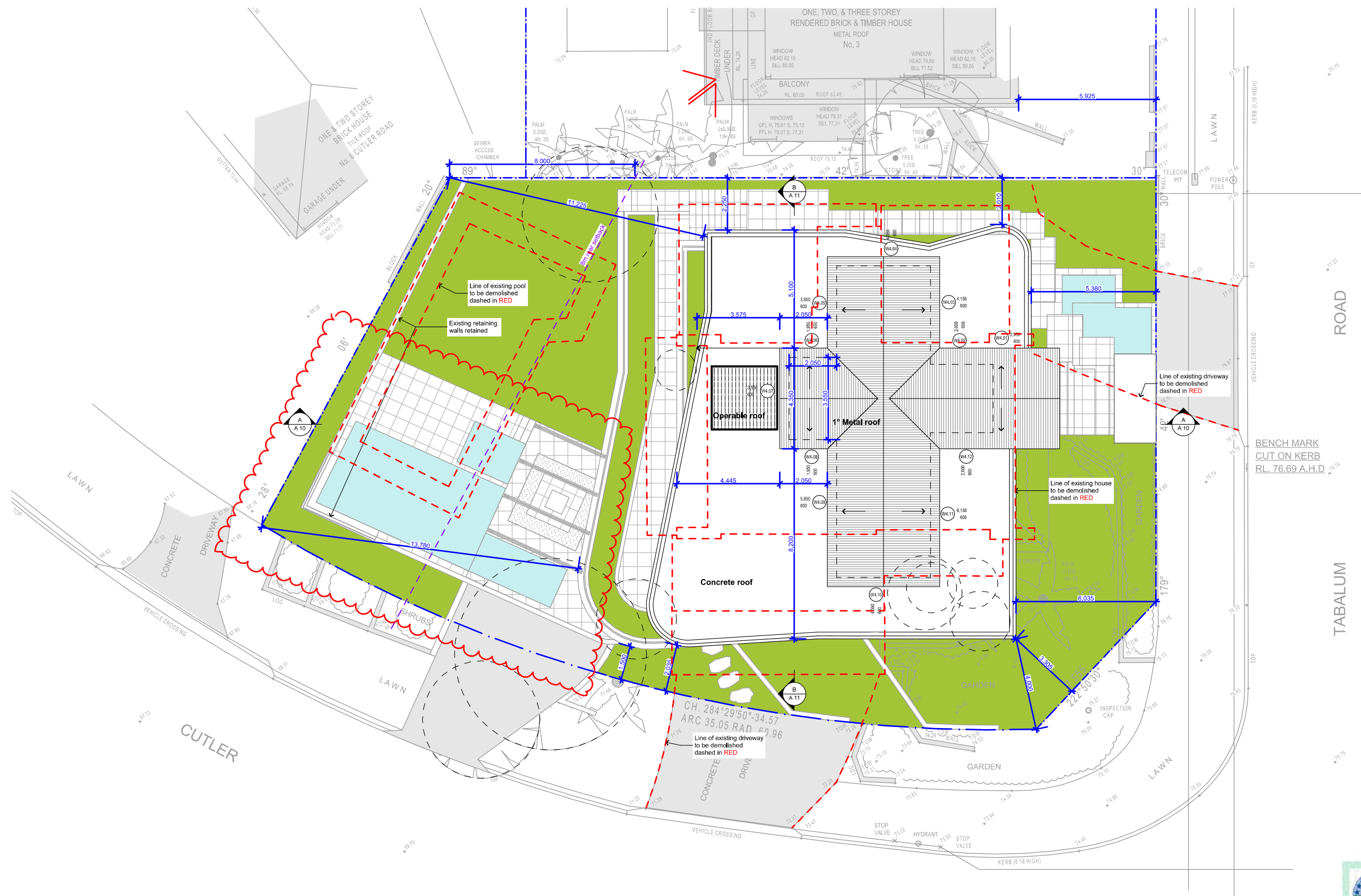
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| Project #: | MOO 0219 | Issue Type: | 4.55 |
| Original Sheet Size: | A3 | Issue Date: | 03/03/2022 |
| Scale @ A3: | 1:100 | Sheet #: | A 35 |
| Chkd: | Drawn: | ML | A |

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| Revision | Date | Revision Note |
|----------------|----------|---------------|
| A | 02.03.22 | Pool added |
| General Notes: | | |

Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **NOTIFICATION PLAN**

Project #: **MOO 0219** Issue Type: **4.55**

Original Sheet Size: **A3** Issue Date: **3/03/2022**

Scale @ A3: **1:250** Sheet #: **A 36**

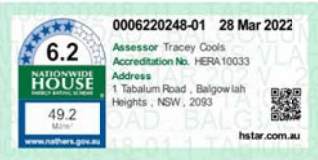
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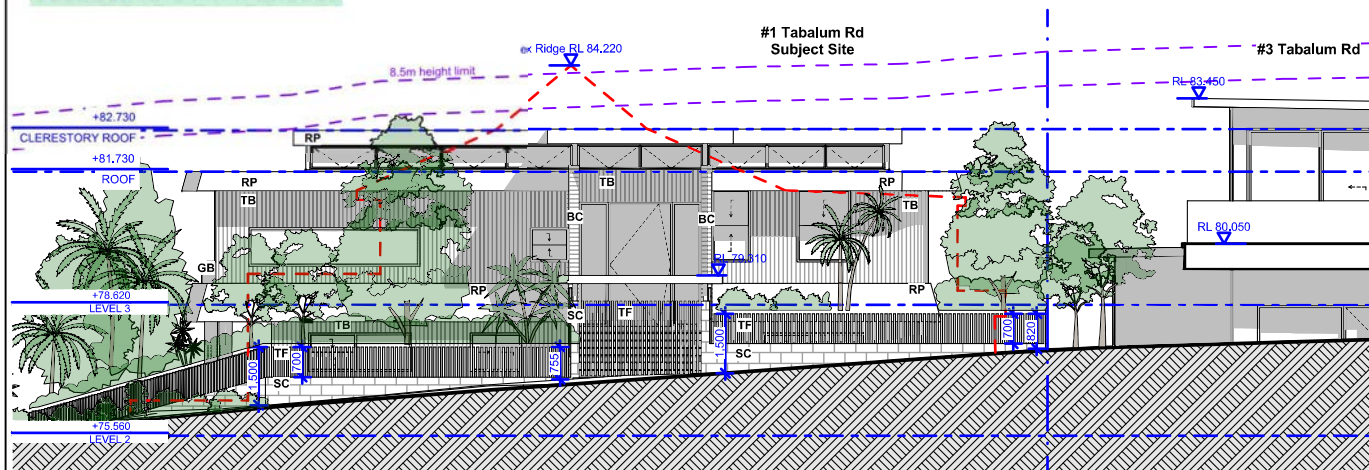
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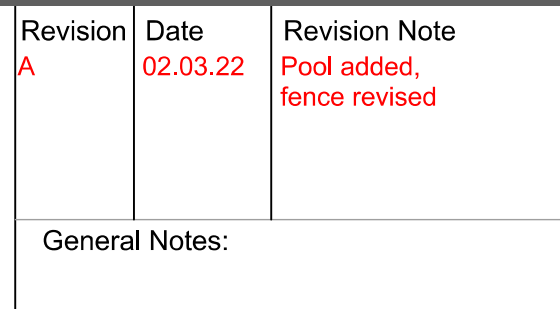
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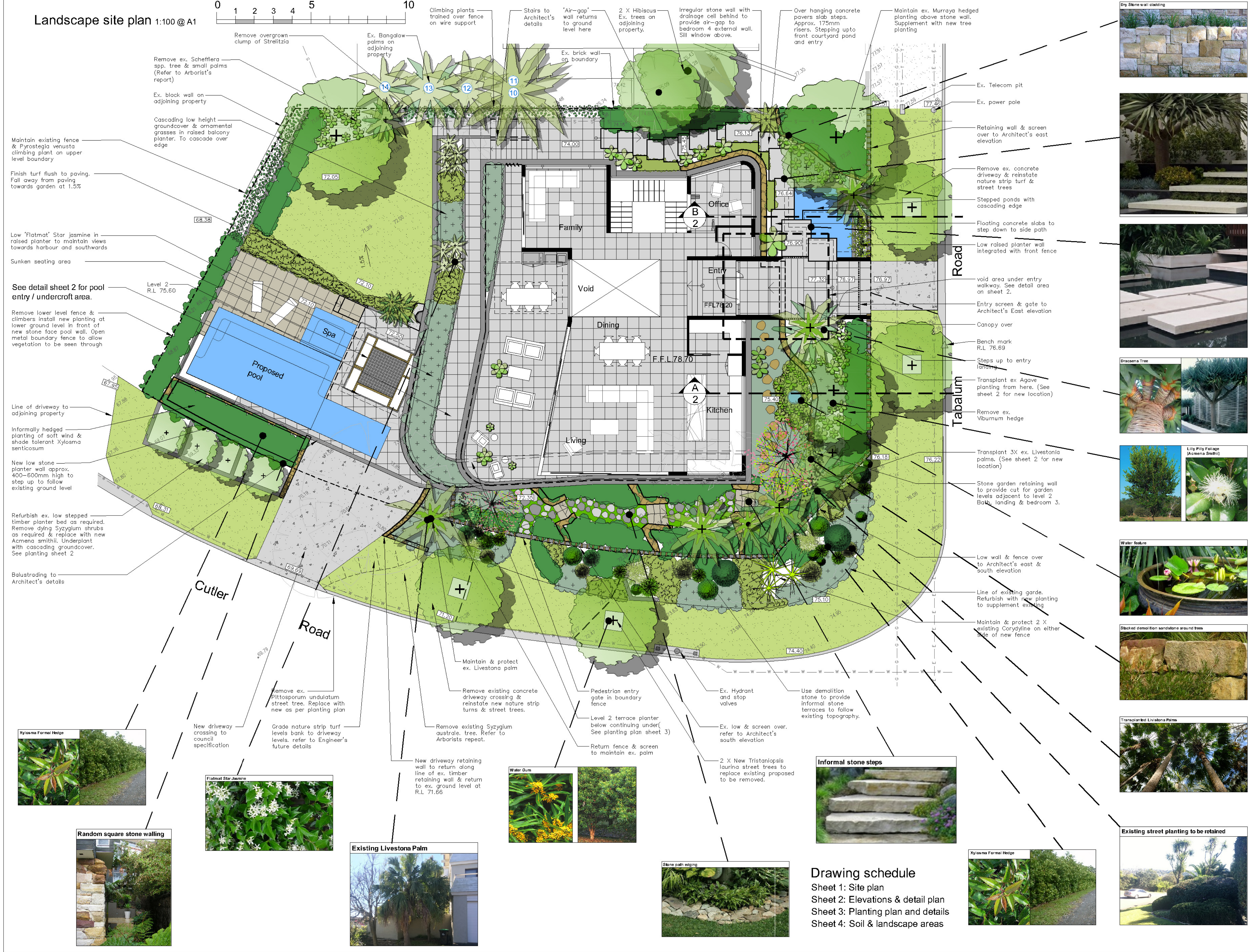


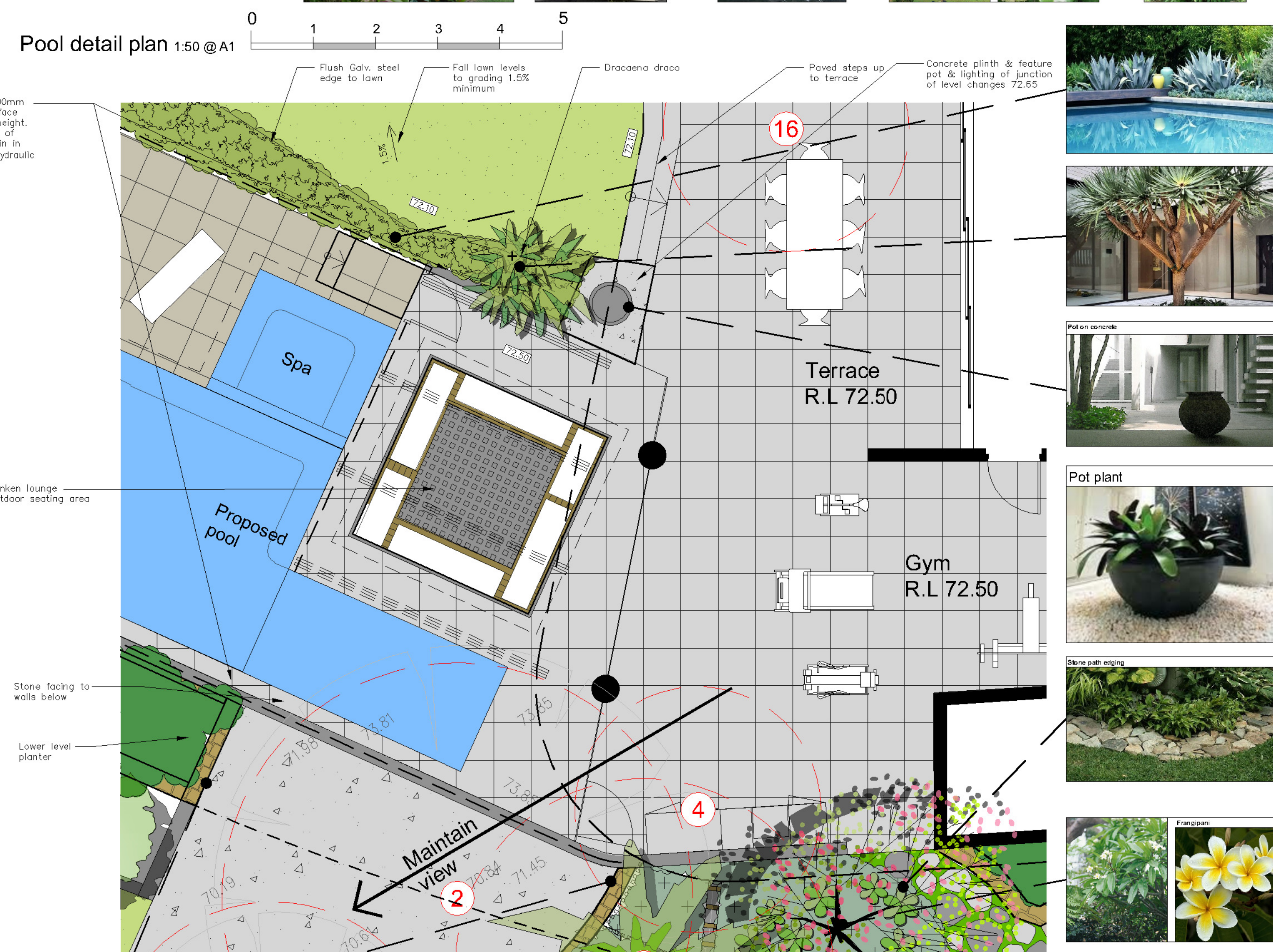
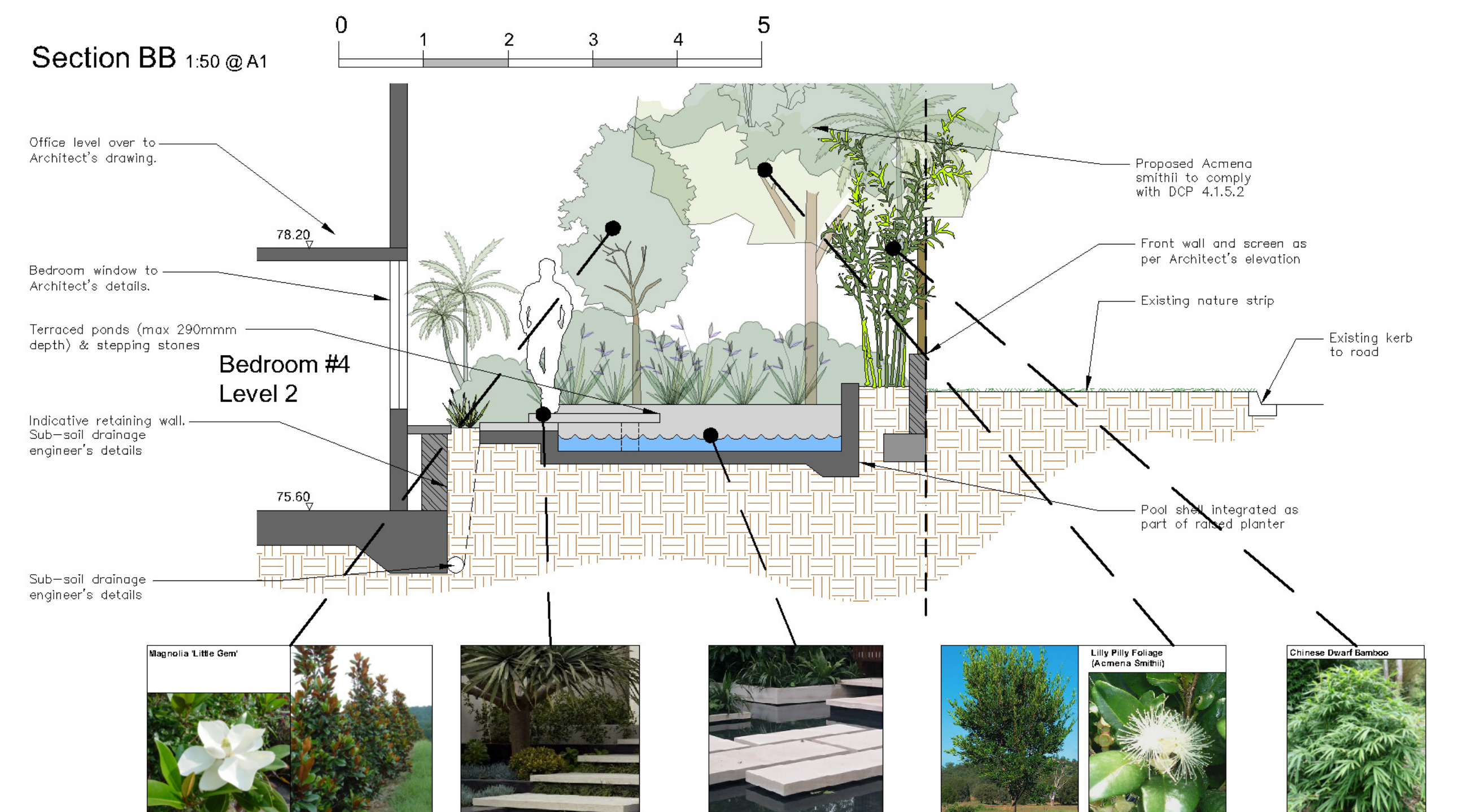
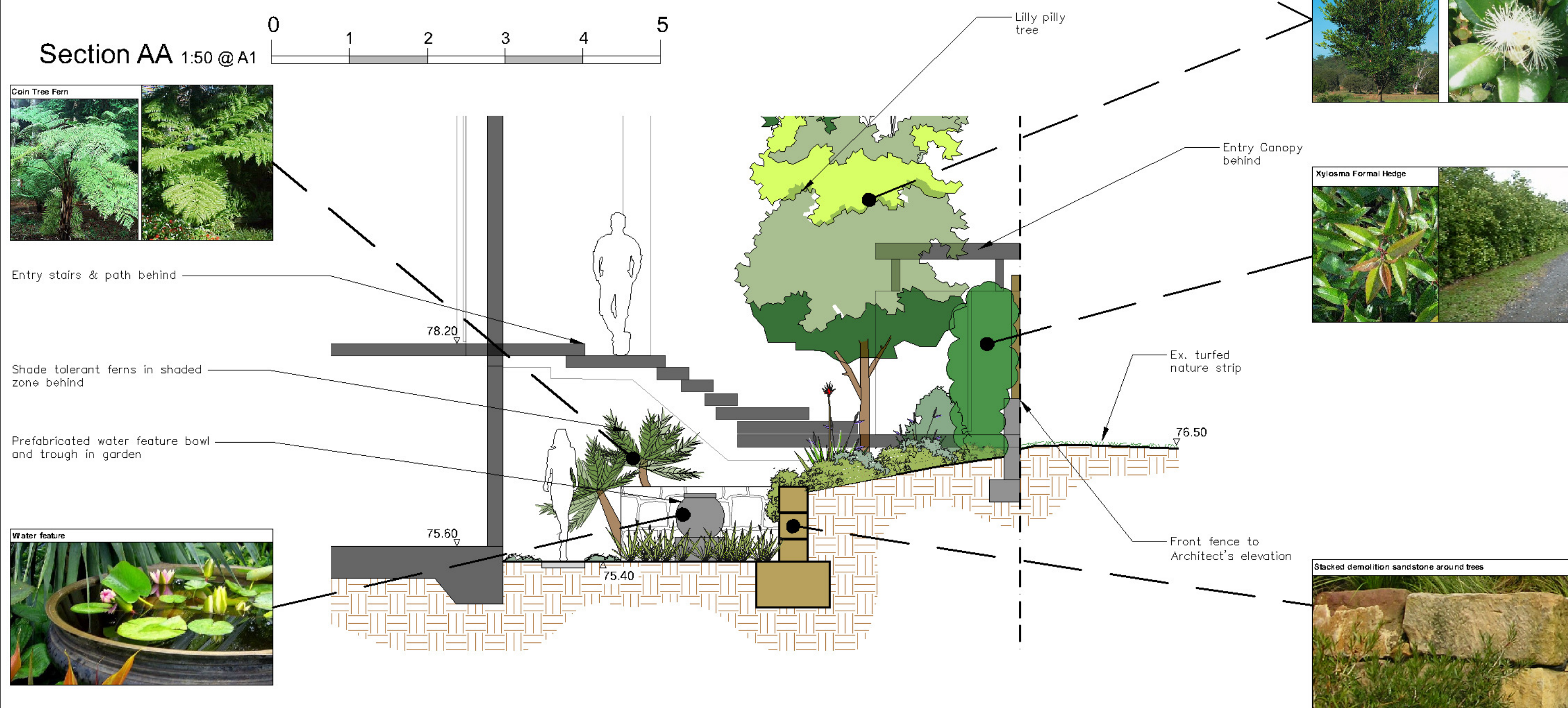
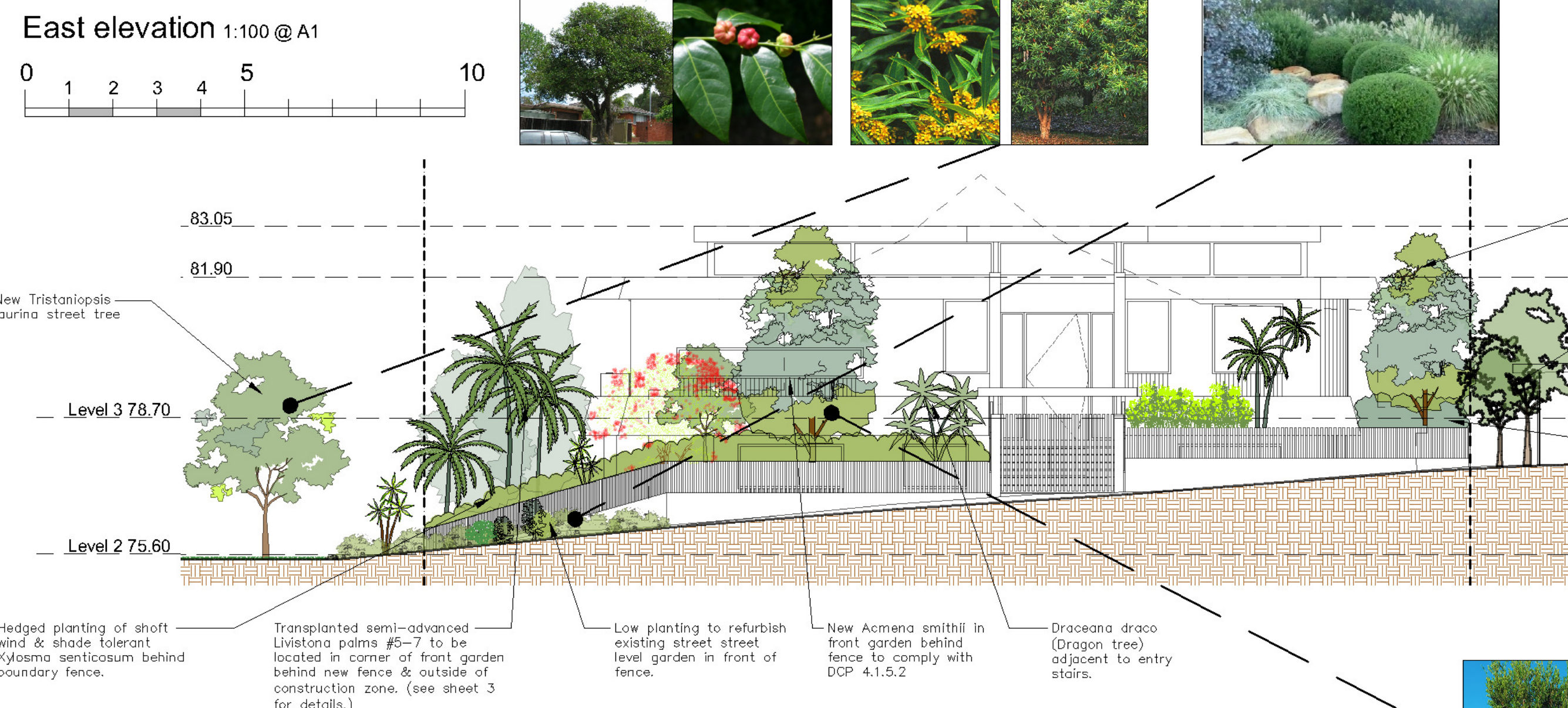
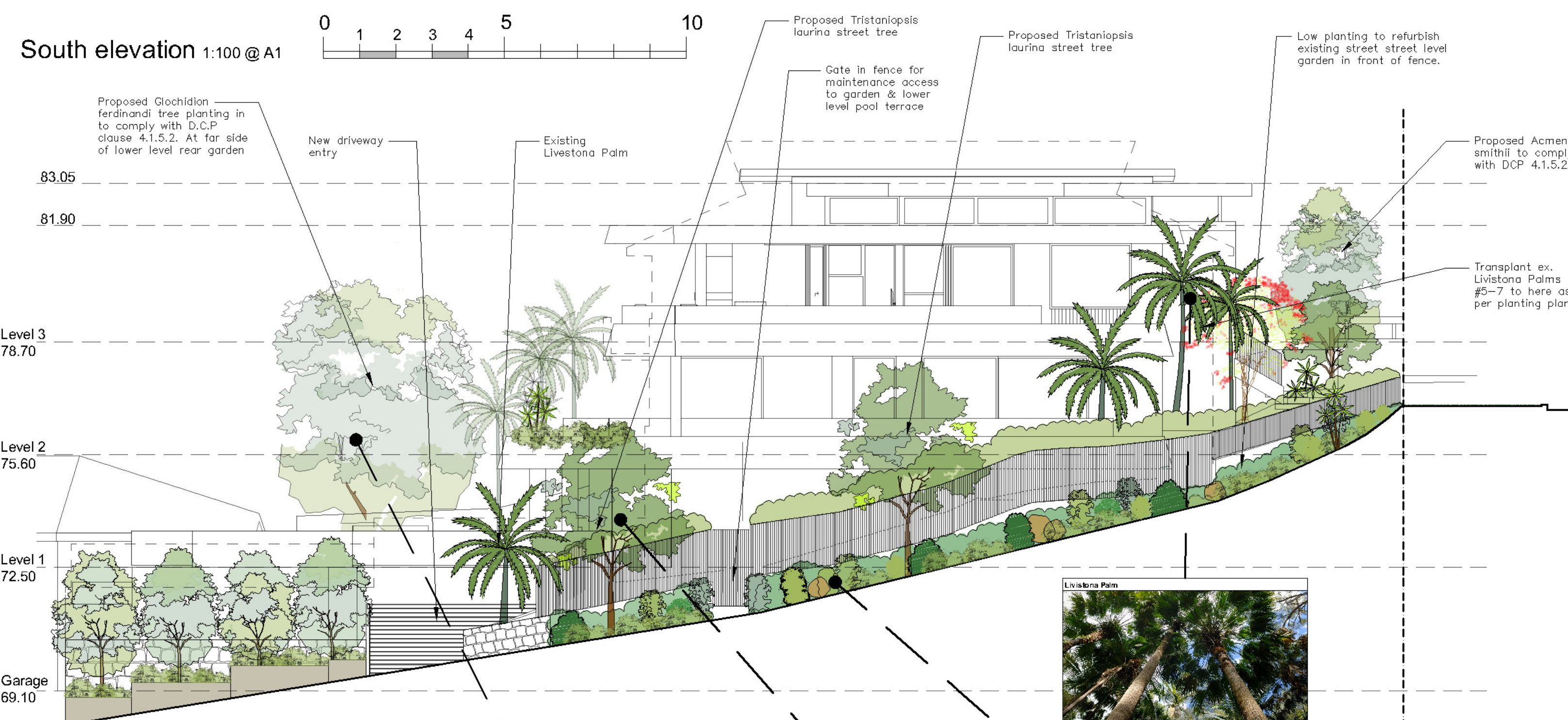
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| Original Sheet Size: | A3 | Issue Date: | 3/03/2022 |
| Scale @ A3: | 1:250 | Sheet #: | Revision: |
| Chkd: | Drawn: | A 37 | A |

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Landscape site plan 1:100 @ A1

0 1 2 3 4 5 10





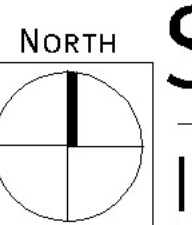
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|------------------------------------------------------------------------------------------|
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| EMAIL: PAUL@SCRIVENER-DESIGN.COM |
| PROJECT: NEW DWELLING, 1 TABULAM ROAD BALGOWLAH HEIGHTS LOT 20, SECTION 58, DP 758044 |
| DWG: ELEVATIONS AND DETAIL PLAN |

| | | | |
|----------|---------|--------|-----------|
| DATE: | 1.4.22 | SCALE: | 1:100 @A1 |
| JOB REF: | 19/2100 | | |

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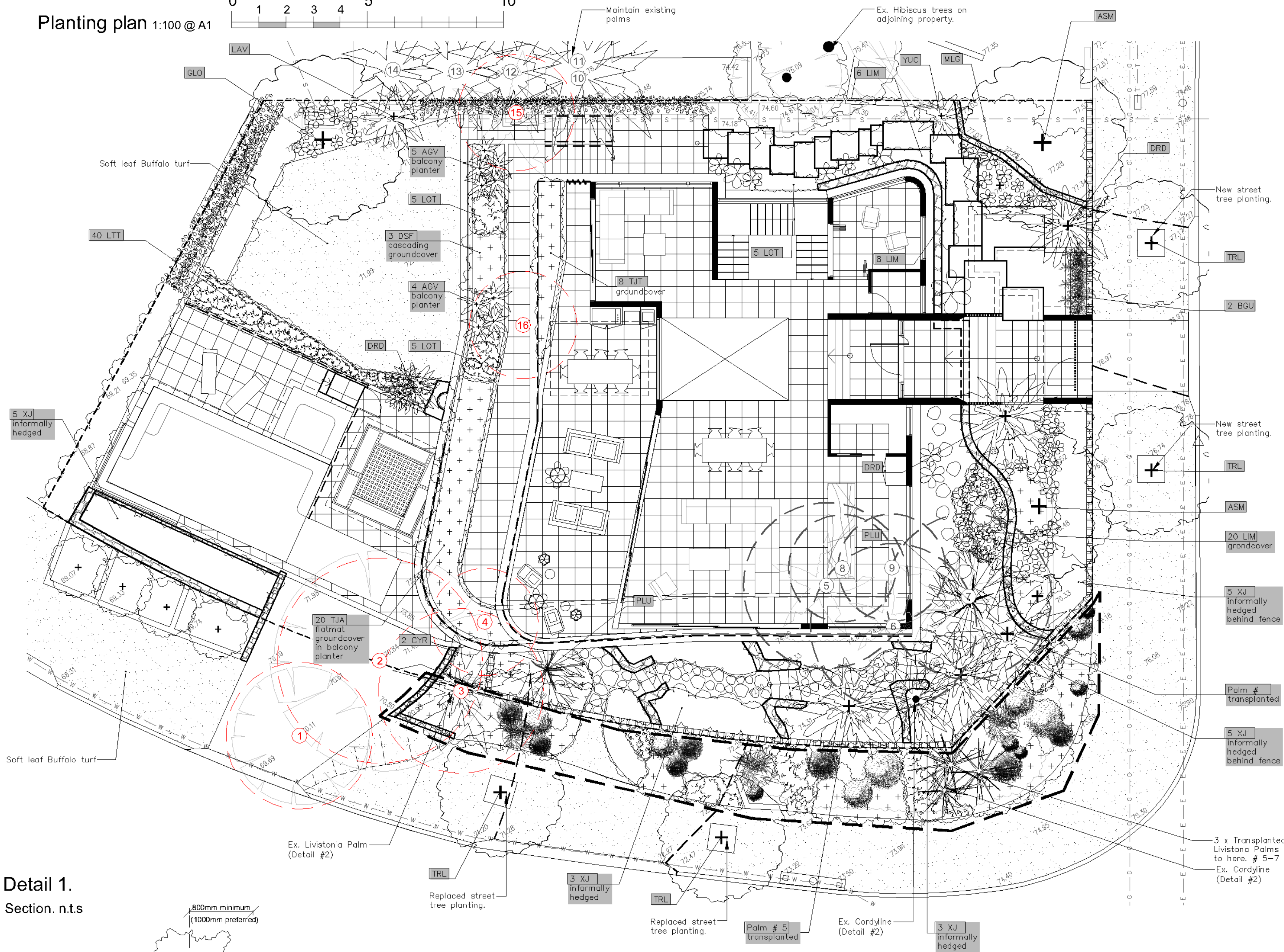
2 OF 4

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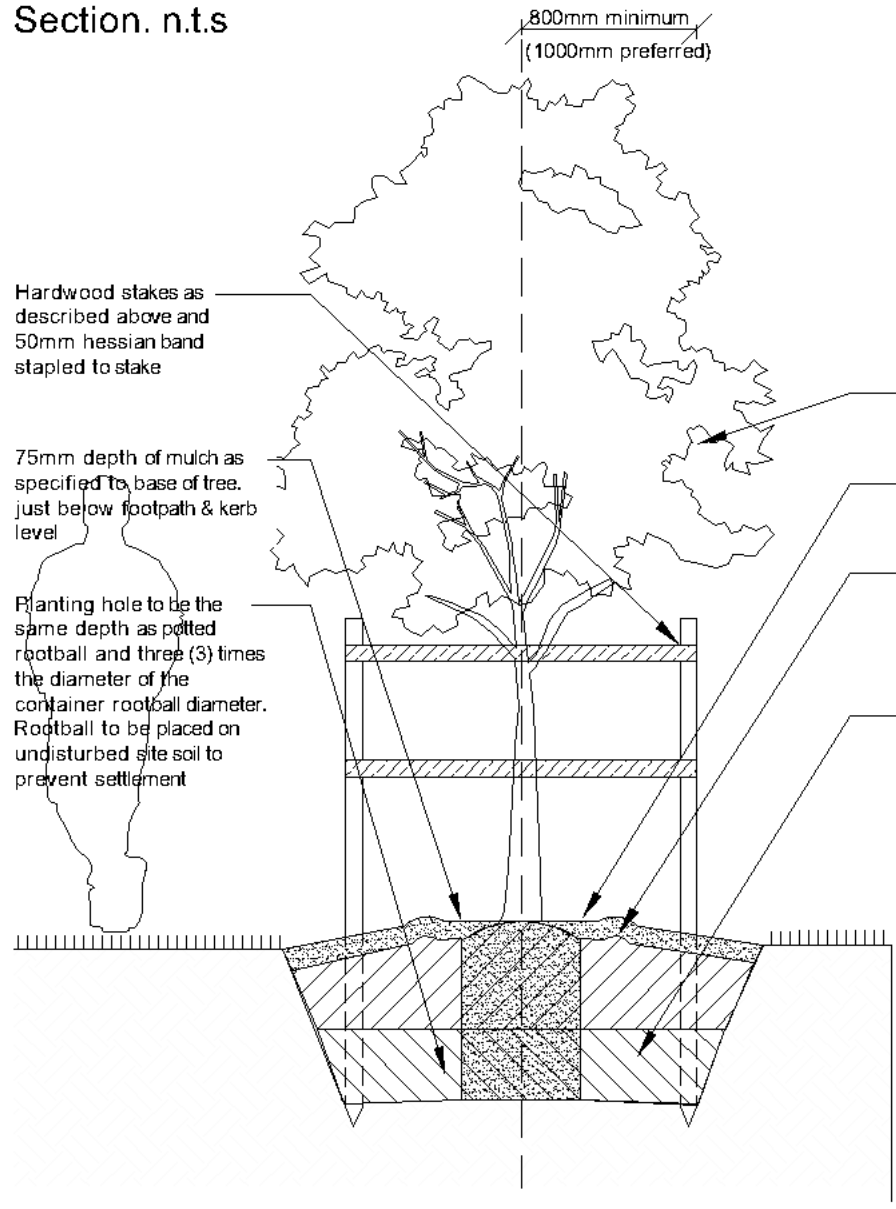
ISSUE- E

Planting plan 1:100 @ A1

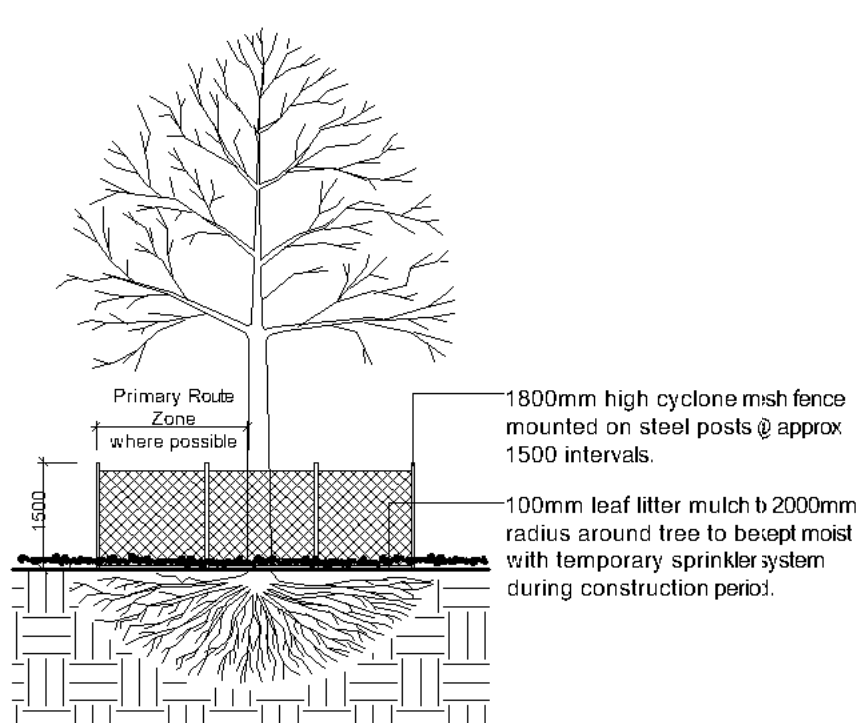
0 1 2 3 4 5 10



Detail 1.
Section. n.t.s

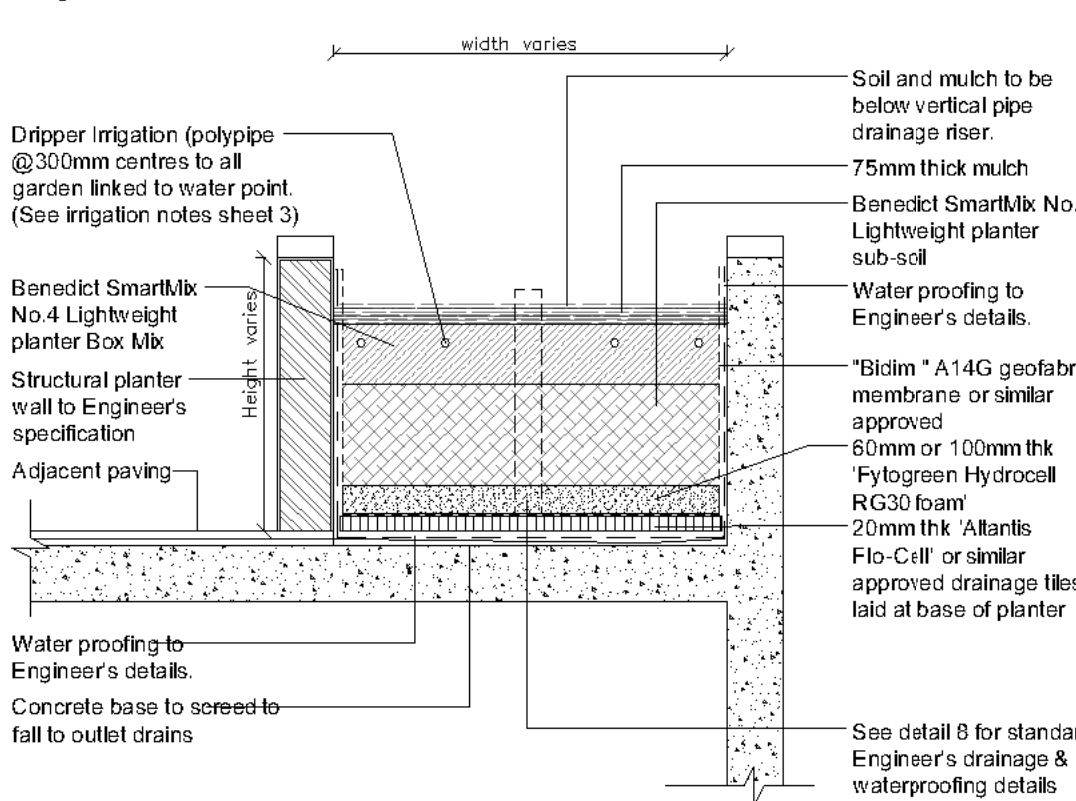


Detail 2.
Tree protection measure
Type 2 n.t.s.

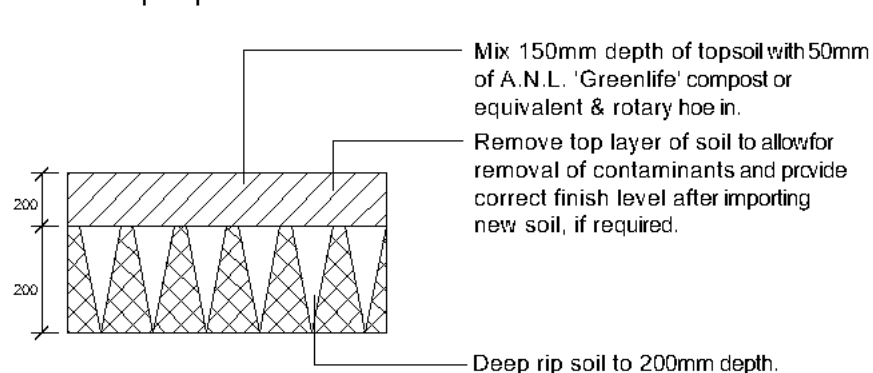


Detail 3.
On structure planter typical soil installation detail n.t.s

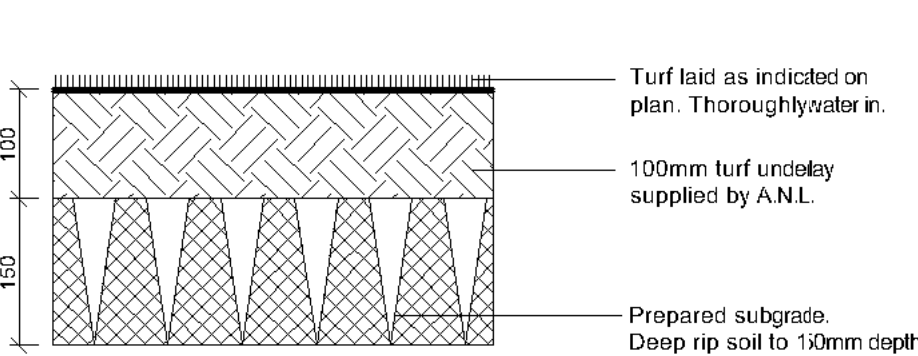
For soil & irrigation methodology only Structural & drainage to relevant Engineers details



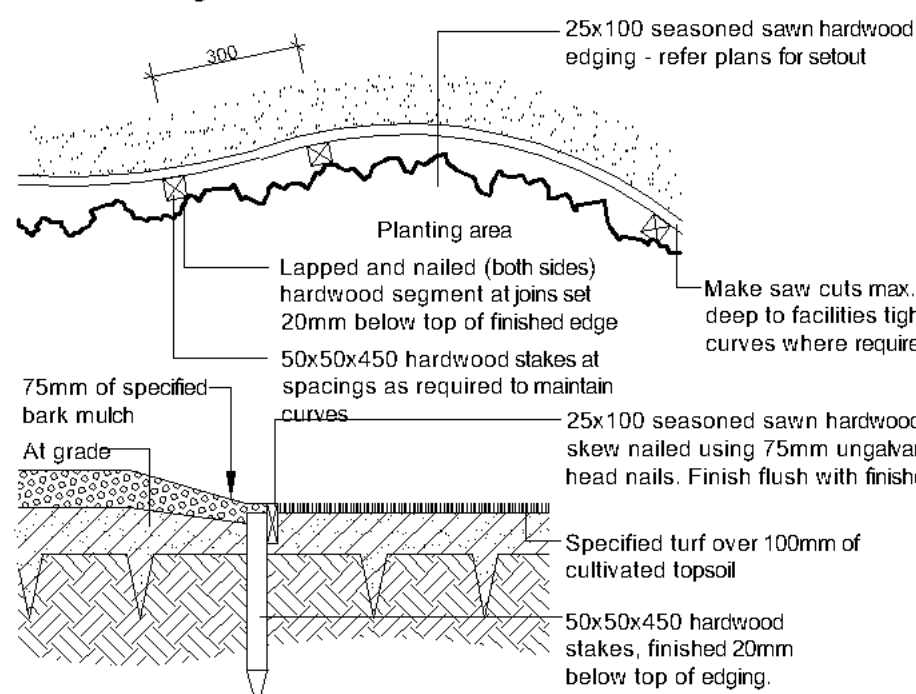
Detail 4.
Soil preparation detail n.t.s.



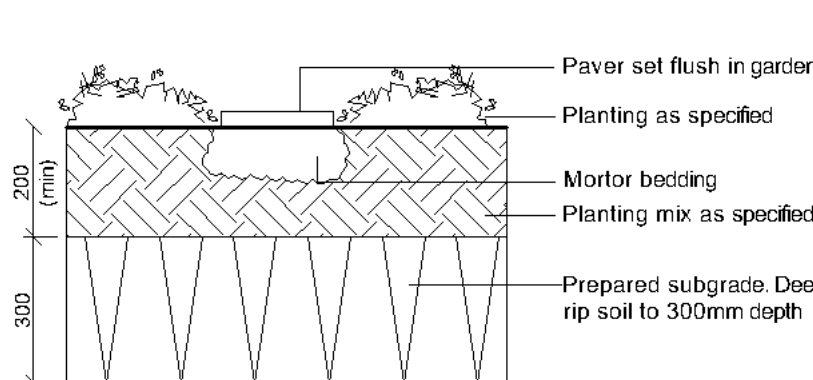
Detail 5.
Turf over soil n.t.s



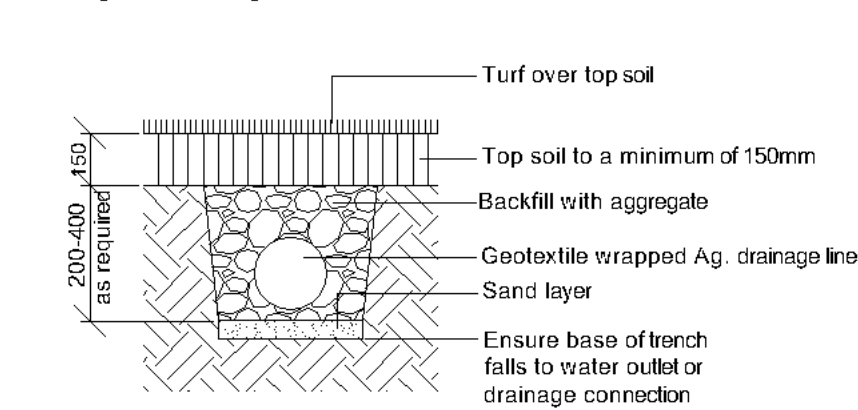
Detail 6.
Timber edge detail n.t.s.



Detail 7.
Stepping stones in garden n.t.s



Detail 8.
Ag. drainage line n.t.s.



Irrigation notes

Automatic drip line watering system to be selected. To extend to all garden areas except lawn areas. To include all raised planter boxes over slab structures. Water supply tap hosecocks to each installed planterbox for separate irrigation lines with battery timers. (To be coordinated with Hydraulic Engineer's details). Drip line supply system only to be incorporated. Contractor is to provide an irrigation design to meet the following requirements.

Generally: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropylene reticulation as required to provide water supply to the nominated areas. To be coordinated with Hydraulic Engineer's plans. To include all bends, junctions, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source for top up valves to rainwater tanks (where applicable).

Irrigation system to be supplied from rainwater tanks as nominated on the Hydraulic Engineer's plans with town water top up system.

Chemical root control: Provide standard chemical root inhibiting chemical cartridge. These are to be industry standard, in-line replaceable cartridges located for easy access for replacement cartridge installation

Automatic Controller: Provide automatic 2 week timer with four multi-cycle operation for each zone as noted on the irrigation areas plan on sheet 2.

Performance: It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term vitality.

Testing: After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.

Warranty: A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.

Approvals: The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS)

Planting schedule

| Symbol | Botanical name | Common name | Cont. size | Staking | Mature height | No. |
|--------------------------------------------------------|------------------------------|-------------------------------------------------------------|------------|---------------------|---------------|-----|
| Trees | | | | | | |
| ASM | Acmena smithii | Lilly Pilly (shade tree in deep soil. Prune lower branches) | 75L | 3x50x50x1800 | 8-10 DM | 2 |
| GLO | Gleichenia fernandii | Cheese Tree (Indigenous medium tree) | 75L | 3x50x50x1800 | 8-10 DM | 1 |
| PLU | Plumaria acutifolia | Frangipani (small flowering deciduous tree) | 45L | 2x50x50x1800 | 3-4 DM | 2 |
| TRL | Tristania litoralis | Water Gum (Indigenous small-medium tree) | 75L | 3x50x50x1800 | 5-7 DM | 4 |
| Shrubs / small feature trees | | | | | | |
| MLG | Magnolia Little Gem | Little Gem (small ornamental standard tree) | 300mm | 2x50x50x1800 | 2.5-3 DM | 1 |
| XJ | Xylosma santosii (japonicum) | Glossy Xylosma (Screening plant) | 300mm | nil | 3-4 DM | 21 |
| Ferns / Palms / Succulents / ornamental bamboos | | | | | | |
| AGV | Agave attenuata | Century plant (striking silvery leaved succulent) | 200mm | nil | 0.5M | 9 |
| BGU | Bambusa guangxiensis | Dwarf Chinese Bamboo (ornamental bamboo can be hedged) | 200mm | nil | 2-3.5M | 2 |
| CYR | Cycas revoluta | Sago Palm (striking native low palm like) | 300mm | nil | 1-1.2M | 2 |
| DRD | Dracaena draco | Dragon Tree (striking feature plant) | semi adv. | semi adv. wire guys | 2.5-3.5M | 3 |
| LAV | Livistonia australis | Cabbage Palm (all indigenous palm) | 300mm | nil | 8-12 DM | 1 |
| YUC | Yucca elephantipes | Giant Yucca (multi-trunked spiky feature plant) | 300mm | nil | 1.5M | 1 |
| Ground covers/Climbers | | | | | | |
| DSF | Dichondra Silver Falls | Silver Falls (cascading groundcover in roof garden) | 200mm | nil | 0.15M | 3 |
| TJA | Trachelospermum asiaticum | Flaming Star Jasmine (ETD) (bushy groundcover) | 200mm | nil | 0.2M | 20 |
| TRL | Trachelospermum tricolor | Variegated Star Jasmine (variegated colour groundcover) | 200mm | nil | 0.5M | 8 |
| Ornamental grasses/strappy leaved plants | | | | | | |
| LIM | Liriope Evergreen Giant | Turf Lily (shade tolerant groundcover) | 150mm | nil | 0.4M | 34 |
| LOT | Lomandra Tanika | Dwarf Mat Rush (native mass planted groundcover) | 150mm | nil | 0.4M | 15 |
| LTT | Lomandra Lime Tuff | Dwarf Lomandra (ornamental grass) | 150mm | nil | 0.4M | 40 |

Planting schedule species to be sourced from local nurseries supplying plants of local provenance wherever possible. Landscape contractor is to check plant numbers on plan against the schedule prior to submitting tender price. Contact landscape architect if any number discrepancies are found. Council compliance controls require that any substitution of species variety or container size MUST be confirmed with landscape architect to ensure a compliance certificate can be issued that meets the specific development consent conditions of the project.

General construction notes

1. Site preparation
Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works should be carried carefully using hand tools. To ensure the survival and growth of existing trees during landscaping works, should be fencing or arming where necessary. Trees shall not be removed or topped unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials, within the dripline of existing trees. Vehicular access shall not be permitted within three (3) metres of any tree.

2. Soil preparation
All proposed planting areas to be deep ripped to 200mm (where possible) and clay soils to be treated with clay breaker. Apply at least 200mm depth good quality garden soil mix to all garden planting areas. To comply with AS 4419 Turfed areas to be Soft Leaf Buffalo or Soft Leaf Buffalo to be laid over 150mm good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. To be worked in with rotary hoe except where tree root damage would otherwise occur. In such situations care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees and to comply with the requirements of the Arborist's report. Where planting is to occur in existing soil profiles ensure soil conditions and compact worked into the top 200mm profile. To comply with AS 4454:1999.

3. New plantings
Newly planted trees and large shrubs should be secured to stakes with hessian ties to prevent rocking by wind. Planting holes for plant material should be large enough in size to take root ball with additional space to take back filling of good quality planting mix. (Please note mature heights of planting as shown on planting schedule can vary due to site conditions, locations in constricted deep soil or over slab planters and so forth) Also shallow soils in certain locations may affect planting heights. Nominated heights for plantings in raised planters over slabs are nominated as less than their normal expected heights in acknowledgement of the contained soil environment. For other deep soil trees heights are subject to particular site conditions, and intended hedging or pruning for functional requirements such as available planting width, intended access under branches and solar access.

4. Planter boxes & waterproofing
All slab areas to be waterproofed and Atlantis drainage cell installed with geotextile fabric. Refer Engineer's details for structural details for planter box construction. All internal planter slab levels to fall to drainage outlets as detailed by Stormwater Engineer. Ensure cavity between planter box and building wherever planter joins habitable rooms of building. Keep cavity clear of debris by providing capping row bolted against building. Exterior finishes as per Architect's detail. Ensure base of cavity is able to drain via weep holes in event water seeps into cavity so as to not build up against building wall. Containers to be at height as indicated on Architect's drawing. All planting containers to have the following:
• Impermeous waterproof membrane along base and up to top of soil level of containers to Engineer's details
• Atlantis drainage cell (or engineer's approved equivalent at base to be connected to drainage system of development as per stormwater Engineer's details.
• A.N.L. planter box soil mix or equivalent. To comply with AS 4419 and AS 4743.
• Contractor to install all planter box finishes after other site works are completed to ensure no deterioration of waterproof membrane. Contractor to be responsible for the integrity of the waterproofing of the planter boxes throughout construction and installation period.
• All planter boxes are to have automatic dripline irrigation system. Connecting pipes to be installed during construction of planters and to be coordinated with all Engineer's details

5. Mulching
All planting areas to be mulched with a minimum 75mm thick cover of recycled hard wood chip mulch and then all plant areas to be thoroughly soaked with water. To comply with AS 4454

6. Fertiliser
All planting areas to be fertilised with 9 month NPK slow release fertiliser.

7. Staking
To those plants indicated on the planting schedules provide: hardwood stakes as nominated and driven into ground to a depth able to achieve rigid support.

8. Lawn edging
All ground level garden beds adjacent to site boundary or paved areas to have edging as nominated on the plans.

9. Turfing
Turfed nature strip areas to be Soft Leaf Buffalo or Soft Leaf Buffalo 'shademaster' (as nominated on plans) to be laid over 100mm good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation.

10. Structural
All structural details whatsoever to Engineer's details. All drainage and waterproofing details to Engineers details.

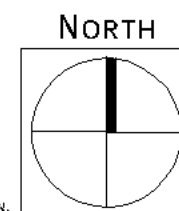
All construction & landscape works to be read in conjunction with Arborist's report prepared by 'Hugh the Arborist'.



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PHONE: 02 9907 8011
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EMAIL: PAUL@SCRIVENER-DESIGN.COM
PROJECT: NEW DWELLING, 1 TABALUM ROAD
BALGOWLAH HEIGHTS LOT 20, SECTION 58, DP 758044
DWG: PLANTING PLAN AND DETAILS

DATE: 1.4.22 SCALE: 1:100 @A1
JOB REF: 19/2100

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3 of 4
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ISSUE- E

