The following reference notes must be read in conjunction with the architectural plans and construction notes, contained herein. Some of these notes may not be applicable to the scope of works.

STORMWATER DRAINS.

SUPPLY, INSTALL AND CONNECT NEW STORMWATER DRAINS FROM NEW DOWNPIPES TO EXISTING SERVICE AS NECESSARY. **NOTE:** BUILDER ASSUMES AN EXISTING STORMWATER DRAIN SYSTEM CURRENTLY EXISTS ON SITE AND IS DISCHARGED TO A LEGAL POINT. BUILDER HAS MADE NO ALLOWANCE TO PROVIDE NEW SWD SYSTEM AND / OR LEGAL POINT OF DISCHARGE SHOULD NO SYSTEM EXIST

ASBESTOS.

UNLESS OTHERWISE SPECIFIED IN THESE SPECIFICATIONS. NO ALLOWANCE HAS BEEN MADE FOR THE REMOVAL OR HANDLING OF ANY ASBESTOS PRODUCTS. SHOULD ANY ASBESTOS BE ENCOUNTERED ANY COSTS INVOLVED IN REMOVING OR HANDLING THESE PRODUCTS WILL BE THE CLIENTS RESPONSIBILITY.

GUTTERS AND DOWNPIPES.

ALL GUTTERS AND DOWNPIPES HAS BEEN ALLOWED AS ZINCALUME QUADRANT DURAKOTE. **NO** ALLOWANCE HAS BEEN MADE TO MATCH **EXISTING ALUMINIUM GUTTERS AND DOWNPIPES** UNLESS SPECIFICALLY NOTED OTHERWISE.

GLAZING.

ALL NEW GLAZING TO COMPLY WITH AS 1288 (2006) - GLASS IN BUILDINGS. WINDOW SIZE & CONFIGURATION SUBJECT TO MANUFACTURERS CONSTRAINTS.

DOOR FURNITURE.

INSTALLATION OF MORTICE LOCKS WILL BE AT EXTRA CHARGE.

ELECTRICALS

EXISTING CABLES WILL BE INSPECTED WHEN WORK COMMENCES. ANY LIPGRADE OR RECTIFICATION WORK REQUIRED WILL BE QUOTED ON SITE. **EXISTING POWER & LIGHT POINTS** DISCONNECTED AS A RESULT OF RENOVATION WORK WILL NOT BE RELOCATED.

METER BOX.

NO ALLOWANCE HAS BEEN MADE TO UPGRADE METER BOX.

RELOCATION OF METER BOX.

NO ALLOWANCE HAS BEEN MADE TO RELOCATE EXISTING METER BOX

EXISTING TREES AND VEGETATION

NO ALLOWANCE HAS BEEN MADE TO CLEAR THE AREA OF THE PROPOSED ADDITION OF ANY TREES, SHRUBS OR OTHER VEGETATION.

FLOOR REPAIRS.

MAKE GOOD FLOOR WITH ONE PIECE OF TIMBER FLOORING LAID IN THE SAME DIRECTION OF THE WALL BEING DEMOLISHED.

SKYLIGHTS AND SOLAR TUBES.

ACTUAL POSITION MAY CHANGE ON SITE. DEPENDING ON STRUCTURAL CONDITIONS.

ALL TIMBER SIZES ARE NOMINAL

CONCRETE FOOTINGS & SLABS.

NO ALLOWANCE FOR ANY PIERING.

TERMITE TREATMENT.

KORDON OR SIMILAR TERMITE TREATMENT TO EXTERNAL SLAB EDGES AND PENETRATIONS.

Certificate number: A451401

BASIX Certificate

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent or light-emitting-diode (LED) lamps.

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

NIL

Insulation requirements:

Construction Additional insulation required (R-value)

Floor above Existing Dwelling

or Building

External Wall: Framed(weatherboard

Fibro, metal clad)

R1.16 (or R1.70 including construction)

Flat Ceiling, Pitched Roof: Ceiling: R2.50 (up), roof: foil/sarking and other specification

are medium (solar absorptance 0.475 - 0.70)

Windows and glazed doors glazing requirements

W1, W2, W3, W4, W5, W6, W7 & W08 Improved Aluminium, Single Clear, (U-value: 6.44, SHGC: 0.75)

Skylights glazing requirements

SPECIAL NOTES SPECIFICATION o 2/90 X 38 EXTERNAL TOP PLATES ALL BUILDING WORK TO COMPLY WITH THE NATIONAL O 90 X 45 EXTERNAL BOTTOM PLATES CONSTRUCTION CODE OF AUSTRALIA. O 90 X 38 EXT STUDS @ 450 CTRS MAX ALL DOOR FURNITURE TO BE SUPPLIED BY OWNER AND FIXED BY O 70 X 45 INT TOP & BOTTOM PLATES ENSUITE & W.C FIXTURES, FITTINGS, TAPS AND TILES TO BE O 70 X 45 INT STUDS @450 CTRS MAX SUPPLIED BY OWNER AND FIXED BY BUILDER. O HJ 200 ENGINEERED FLOOR JOISTS @ 450 CTRS MAX ENSUITE SCREEN & MIRRORS SUPPLIED AND FIXED BY BUILDER UNLESS OTHERWISE SPECIFIED BY ENGINEER FIRST FLOOR **FLOORING** WALL TILES TO FIRST FLOOR ENSUITE & W.C TO CEILING. STRUCTURAL SHEET.(UNSANDED). SCYON SECURA FLOORING TO WET AREAS. O WALL TILES TO FIRST FLOOR LAUNDRY TO HAVE SKIRTING TILES SUPPLY & INSTALL 1140 x 780mm FIXED SKYLIGHT WITH **FASCIA** 180 X 25 TREATED PINE. PLASTERBOARD SHAFT SUPPLY & INSTALL 2 OFF WHIRLY BIRDS BARGE 180 X 25 TREATED PINE WINDOWS AND ALUMINIUM WINDOWS, WITH ALUMINIUM WORKS BY OWNER FRAMED NYLON MESH FLYSCREENS. ALUMINIUN **EXTERNAL** RELOCATION OF TV ANTENNA & RAINWATER TANK IF REQUIRED. SLIDING DOORS, WITH ALLIMINIUM FRAMED **DOORS** NYLON MESH SLIDING FLYSCREEN ALL WORK TO NEW & EXISTING AIR CONDITIONING TO BE CARRIED (STEGBAR ALUMIERE RANGE) OUT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUPPLY GROUND FLOOR CORNICE. **BRICKWORK** FACE BRICKS DO NOT SCALE OFF DRAWINGS HARDIES PRIMELINE NEWPORT CLADDING. **CLADDING** LAID OVER FOIL SARKING. ALL FINISHED GROUND LEVELS AND DIMENSIONS AS SHOWN ON PLAN ARE THEORETICAL ONLY AND ARE SUBJECT TO SITE CONDITIONS TO ESTIMATING (PLAN ORDER V) ROOF 100 X 75 OR 100 X 50 POWDERCOATED DOWNPIPES 2.1 TO CONTRACTS OP **PLUMBING** POWDERCOATED QUAD GUTTERS OP **EAVE LINING** 4.5 mm F.C. SHEET 3.1 TO VARIATION 1 FIRST FLOOR: NEW TERRACOTTA ROOF **ROOF** TO VARIATION 2 OP TILES FROM STANDARD RANGE. LAY OVER **COVERING** FOIL SARKING. 5.1 TO VARIATION 3 OP INT. WALL = 10 mm PLASTERBOARD INTERNAL CEILINGS - 10 mm PLASTERBOARD TO COUNCIL REQUIREMENTS OP LININGS - 6 mm VILLABOARD WET AREA CORNICE - ALTO (Master Bedroom, Bed 2, Bed 3 and Hall Way) NO. ISSUE DRWN APP - ARIA (Laundry.W.C. and Ensuite) INTERNAL FIXINGS JAMBS - EX 90 X 38 REBATED COPYRIGHT: THIS DESIGN AND PRINTS ARE THE PROPERTY SKIRTING - FX 92 X 18 HALF SPLAYED FINGER JOINTED OF ADDBUILD MASTER BUILDERS PTY. LTD. AND ARCHITRAVE - EX 75 X 18 SQUARE IS ISSUED FOR THE SOLE PURPOSE OF N/A **BUILT IN** ENTERING INTO A BUILDING CONTRACT WITH THE COMPANY. **CUPBOARDS** FLUSH SOLID CORE FOR PAINT. DOOR IT MUST NOT BE USED OR REPRODUCED IN **DOORS** WHOLE OR IN PART WITHOUT PRIOR WRITTEN HEIGHT 2040 UNLESS NOTED OTHERWISE HUME SORRENTO SOR8 PERMISSION OF THE COMPANY ACCESS DOOR SOLID FLUSH. THIS IS THE PLAN REFERED TO IN THE CONTRACT DATED TWO WAY LIGHT SWITCH X—O—X 1.0FF **ELECTRICAL** DATE: LIGHT POINTS \longrightarrow 15.OFF SIGNED: DOUBLE G.P.O. \triangle 15.OFF **ADDITIONS** (0) SIGNED: SMOKE ALARM 2.OFF REFER TO SEPARATE 3.OFF SIGNED: ELECTRICAL LAYOUT EXHAUST FAN FOR FURTHER INFORMATION. RCD safety switch to new power circuit HOT WATER CONNECT TO EXISTING HOT WATER UNIT SYSTEM FOR: Mr. I. & Mrs. B. PERRY TYPE: MAPLE CLOSED RISER TIMBER STRINGER **STAIRCASE** NOMINAL WIDTH: 900mm & 2300mm AT: 79B WANGANELLA ROAD, AND RISF: 18No x 172 **HANDRAILS** BALGOWLAH, NSW, 2093 TREAD: 240mm & 270mm FINISH: MAPLE TREADS & MAPLE RISERS, PINE SQUARE BALUSTRADE. PLASTERBOARD LINING UNDER TREADS.

CARPORT & AWNINGS

(unless specified)

NO ALLOWANCE HAS BEEN MADE TO REMOVE & RE-ERECT. THIS WILL BE THE CLIENT'S RESPONSIBILITY IF IT RESTRICTS ACCESS TO DELIVER **BUILDING MATERIAL OR ERECT** SCAFFOLDING. DISCUSS OPTIONS WITH SUPERVISOR.

WHERE EXISTING WALLS ARE TO BE DEMOLISHED

IF THE REMAINING CEILINGS ARE NOT THE SAME LEVEL OR MATERIAL ADDITIONAL REMEDIAL WORKS MAY BE REQUIRED AND MUST BE DISCUSSED WITH YOUR **SUPERVISOR**

CEMENT RENDER

NO ALLOWANCE HAS BEEN MADE TO REPAIR CRACKED OR FALLEN RENDER AS A CONSEQUENCE OF RENOVATION WORK

SMOKE ALARM.

ALL NEW SMOKE ALARMS TO COMPLY WITH AUSTRALIAN STANDARDS.

LANDSCAPING

ANY LANDSCAPING REQUIRED TO COMPLY WITH THE BCA BY OWNER

STACK & VENTS

FINAL POSITION MAY CHANGE DEPENDING ON THE ONSITE CONDITIONS. (TO BE DISCUSSED WITH ADDBUILD SUPERVISOR.)

TO

METALWORK

EXCAVATION

INSULATION

TO ADDITIONS ONLY

PAINTING

INTERNAL: PRIMED

ADDITION BY: OWNER.

ADDITION BY: BUILDER

EXCAVATION HAS BEEN ASSUMED TO BE IN SOIL,

OF EXCAVATION WITH HAND TOOLS

CLAY OR OTHER MATERIAL REASONABLY CAPABLE

CEILING TO FIRST FLOOR ADDITION: R 3.0 INSULATION.

EXTERNAL WALL TO FIRST FLOOR ADDITION: R 2.5 INSULATION.

ALL INTERNAL PAINTING TO FIRST FLOOR

ALL EXTERNAL PAINTING TO FIRST FLOOR

UNLESS SPECIFICALLY NOTED OTHERWISE

ALL RENOVATION PAINTING BY OWNER

CAVITY FLOOR INSULATION: R 1.7 ACOUSTIC

PROPOSED GROUND FLOOR AND FIRST FLOOR ADDITIONS & ALTERATIONS

30.03.22

21.04.22

30.05.22

01.06.22

04.08.22

19.12.22

DATE

OWNER

OWNER

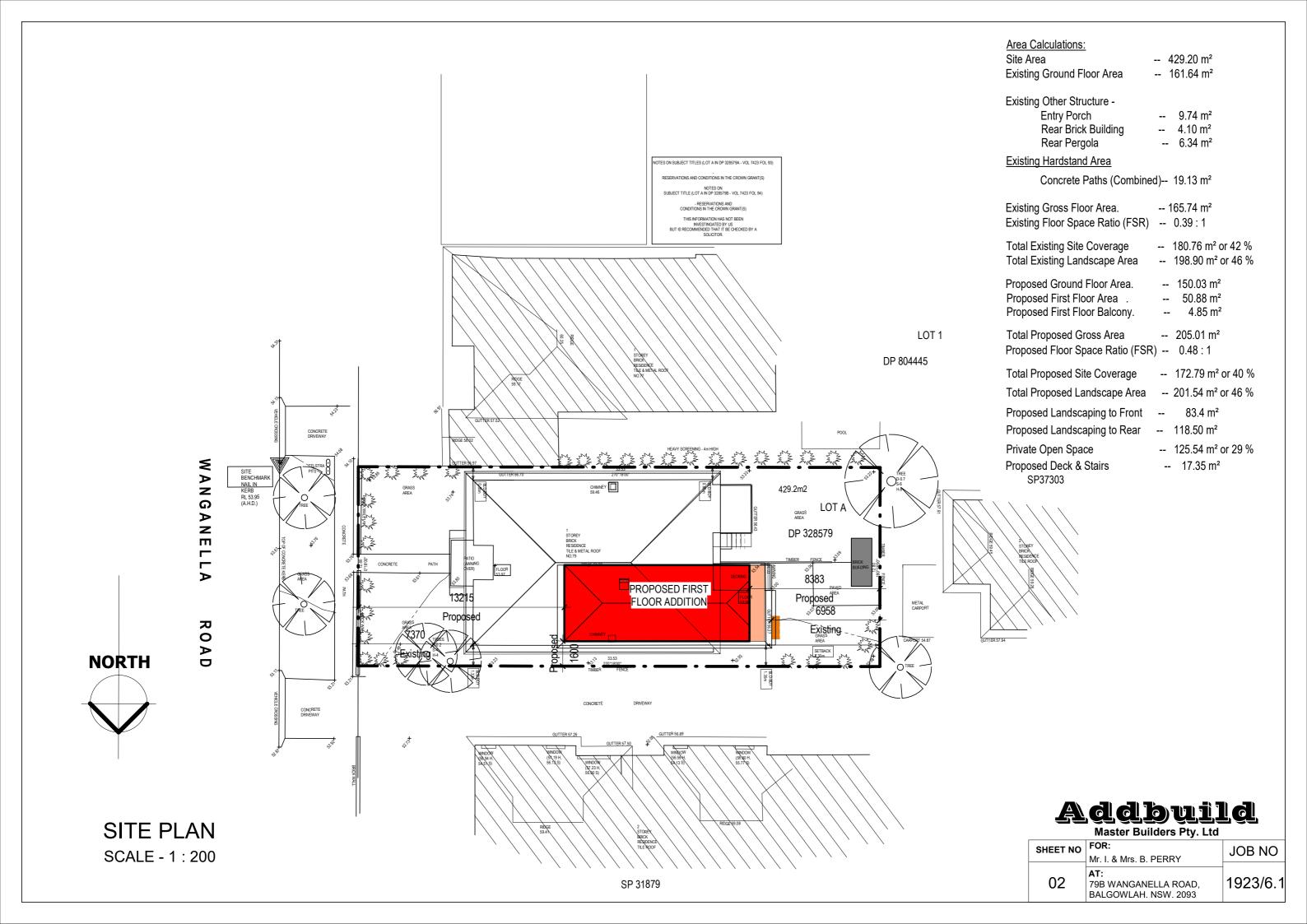
BUILDER



Suite OC / 9 Blaxland Road, RHODES, NSW, 2138 Phone: 8765 1555 / Fax: 8765 1778

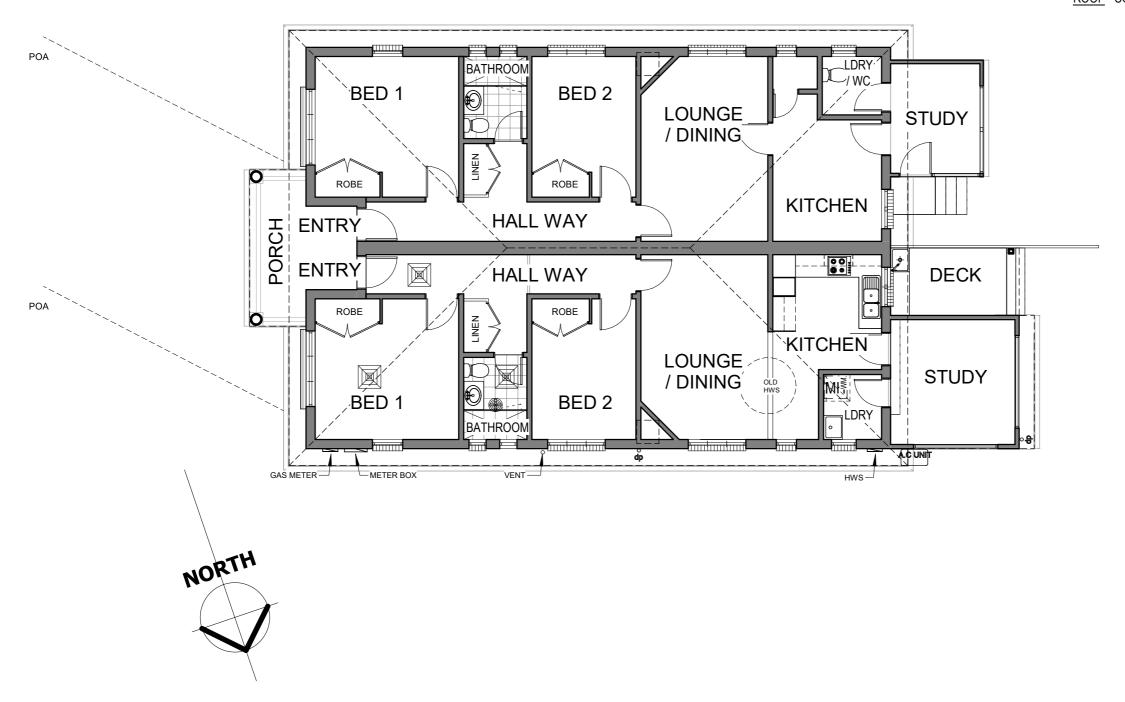
Email: info@addbuild.com.au www.addbuild.com.au Builders Licence No. 114851C A.B.N. 47 092 812 649

SCALE: SHEET No: 01 1923/6.1 1:100 1:200



FLOOR - BEARERS & JOISTS

EXTERNAL WALLS - CAVITY BRICKWORK 240mm
INTERNAL WALLS - SINGLE BRICK RENDERED 130mm
ROOF - CONVENTIONAL ROOF, TERRACOTTA TILE, 30° PITCH

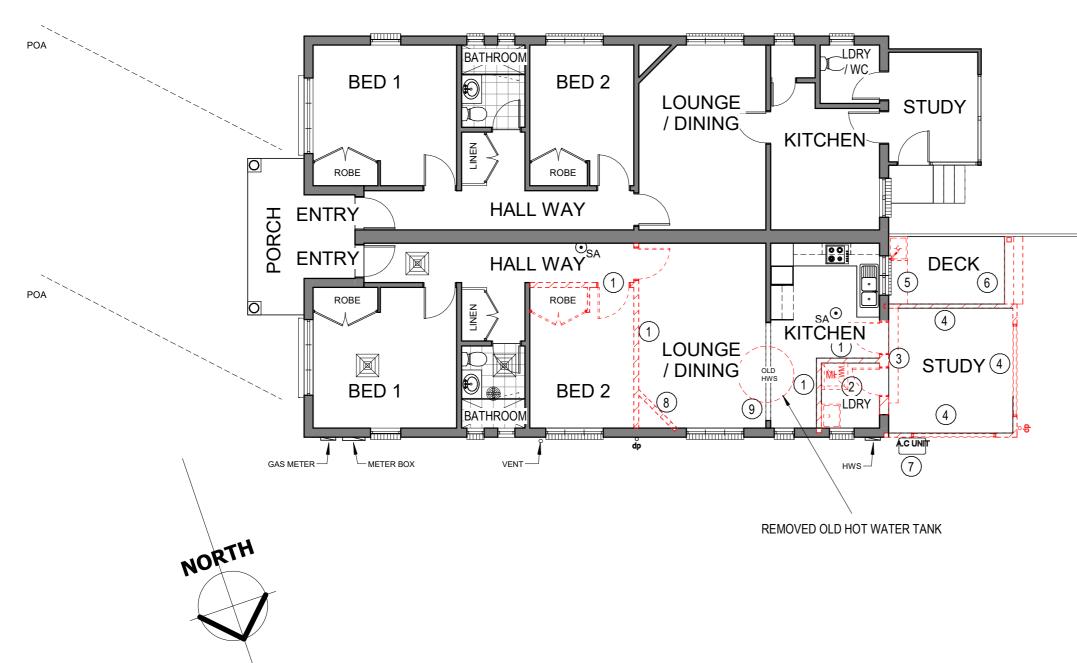


GROUND FLOOR - EXISTING

SCALE - 1:100

Addbuild Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
OHEET NO	Mr. I. & Mrs. B. PERRY	300110
03	AT: 79B WANGANELLA ROAD, BALGOWLAH, NSW, 2093	1923/6.1



GROUND FLOOR - DEMOLITION

SCALE - 1:100

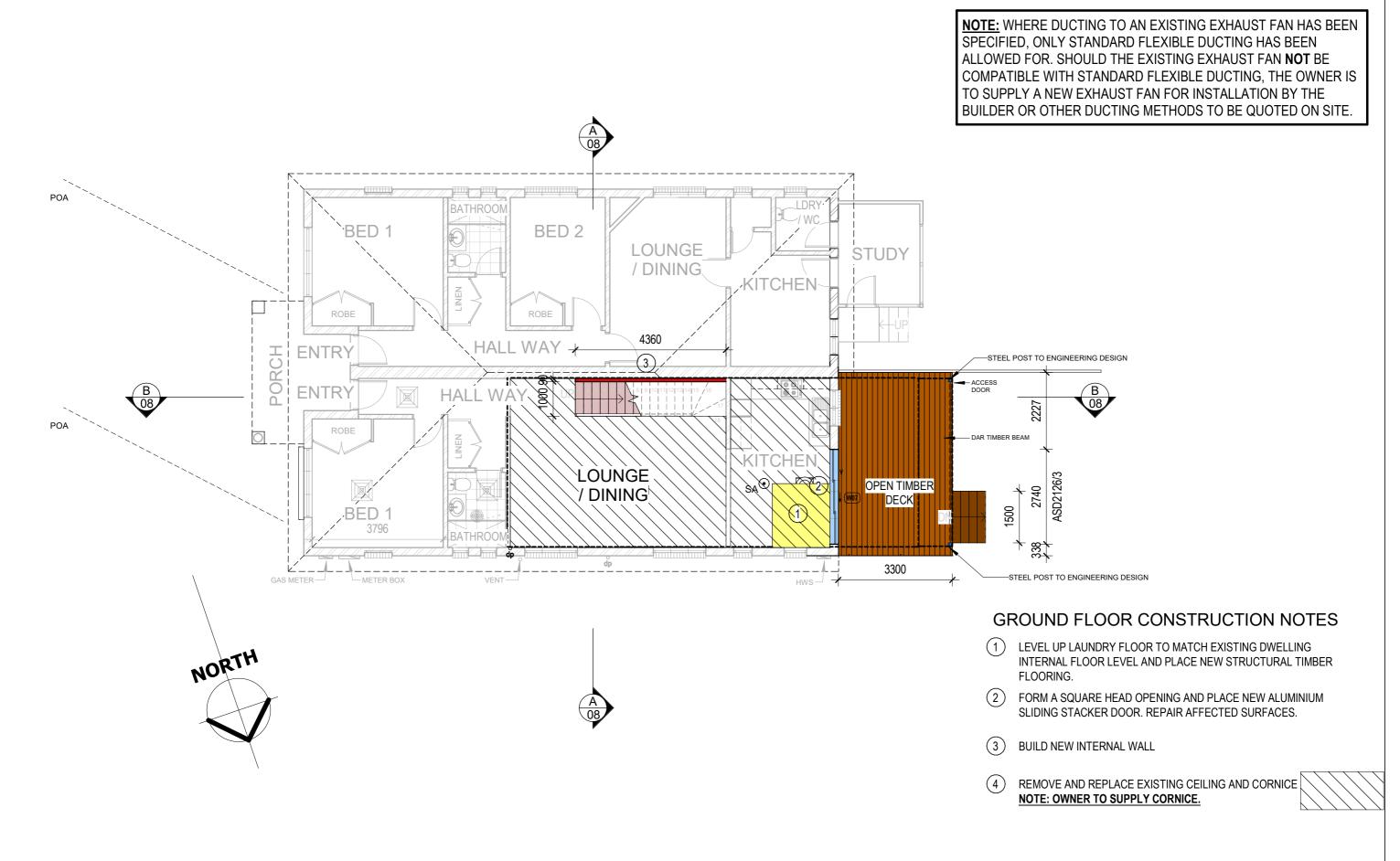
GROUND FLOOR DEMOLITION NOTES

- (1) DEMOLISH EXISTING INTERNAL SKIN BRICK WALLS AS SHOWN DASHED. REPAIR AFFECTED SURFACES.
- 2 STRIP OUT EXISTING LAUNDRY & SEAL OFF PLUMBING. AND REMOVE EXISTING PLASTERBOARD CEILING
- 3 DEMOLISH EXTERNAL CAVITY BRICK WALLS INCLUDING DOORS IN PREPARATION FOR NEW ALUMINIUM SLIDING STACKER DOOR. REPAIR AFFECTED SURFACES.
- (4) DEMOLISH & REMOVE EXISTING EXTERNAL TIMBER FRAMED WALLS INCLUDING EXISTING FLOORING, BRICK PIERS, WINDOWS & DOORS AS SHOWN DASHED.
- 5 STRIP EXISTING EXTERNAL SINK AND BENCH AND SEAL OFF PLUMBING.BY OWNER.
- 6 DEMOLISH & REMOVE EXISTING EXTERNAL REAR TIMBER DECK AND PERGOLA.BY OWNER.
- (7) EXISTING A.C UNIT TO BE RELOCATED AS REQUIRED BY OWNER.
- (8) DEMOLISH EXISTING CHIMNEY COMPLETE.
- 9 DEMOLISH EXISTING NIB AND HEAD. REPAIR AFFECTED SURFACES. DISCUSS FEASABILTY ON SITE. NOT ALLOWED FOR.

NOTE: WHERE ALL INTERNALS WALLS BEING REMOVED. REPAIR FLOOR WITH ONE PIECE OF TIMBER LAID IN THE SAME DIRECTION OF THE WALL BEING DEMOLISHED. REPAIR AFFECTED SURFACES.



SHEET NO	FOR:	JOB NO
	Mr. I. & Mrs. B. PERRY	300 110
03A	AT: 79B WANGANELLA ROAD, BAI GOWI AH, NSW, 2093	1923/6.



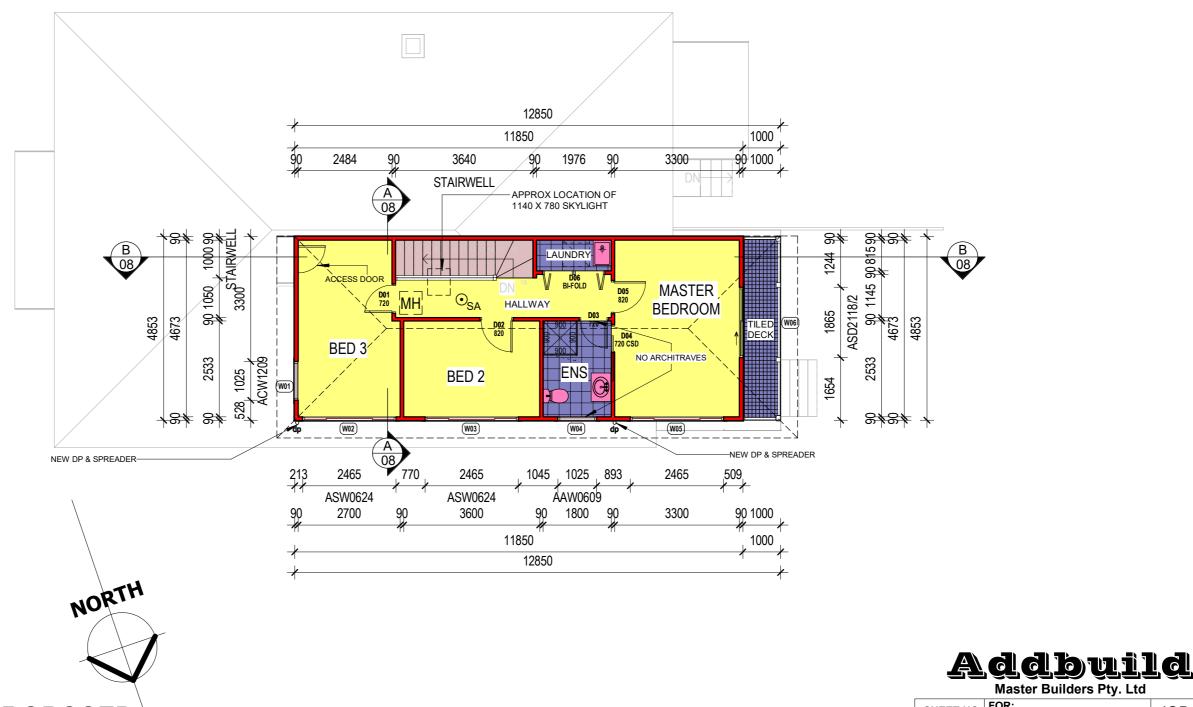
GROUND FLOOR - PROPOSED SCALE - 1: 100

NOTE: THE AREAS SHOWN IN GREY ARE EXISTING & INDICATIVE ONLY. NO REMEDIAL OR RENOVATION WORK IS TO BE CARRIED OUT IN THESE AREAS UNLESS DISCUSSED WITH THE SUPERVISOR & THE OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

Addbuild Master Builders Btv. Ltd.

	Master Dunders I ty. Ltd	
SHEET NO	FOR:	JOB NO
	Mr. I. & Mrs. B. PERRY	JOD NO
04	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/6

	WINDOW & SLIDING DOOR Schedule STEGBAR ALUMIERE RANGE									
Window No.	Stud Opening Height	Stud Opening Width	Frame Height	Frame Width	Assembly Code	Window Style	Glazing	Comments	Restricted Opening	Basix Flyscreen
W01	1265	1025	1200	970	ACW1209	CASEMENT	COMFORT PLUS CLEAR		Yes	Yes
W02	665	2465	600	2410	ASW0624	SLIDING	COMFORT PLUS CLEAR		Yes	Yes
W03	665	2465	600	2410	ASW0624	SLIDING	COMFORT TRANSLUCENT		No	Yes
W04	665	1025	600	970	AAW0609	AWNING	COMFORT TRANSLUCENT		No	Yes
W05	665	2465	600	2410	ASW0624	SLIDING	COMFORT PLUS CLEAR		Yes	Yes
W06	2140	1865	2100	1810	ASD2118	SLIDING DOOR	COMFORT PLUS NEUTRAL		No	Yes
W07	2140	2740	2100	2685	AST2126	STACKER DOORS	COMFORT PLUS CLEAR		No	Yes



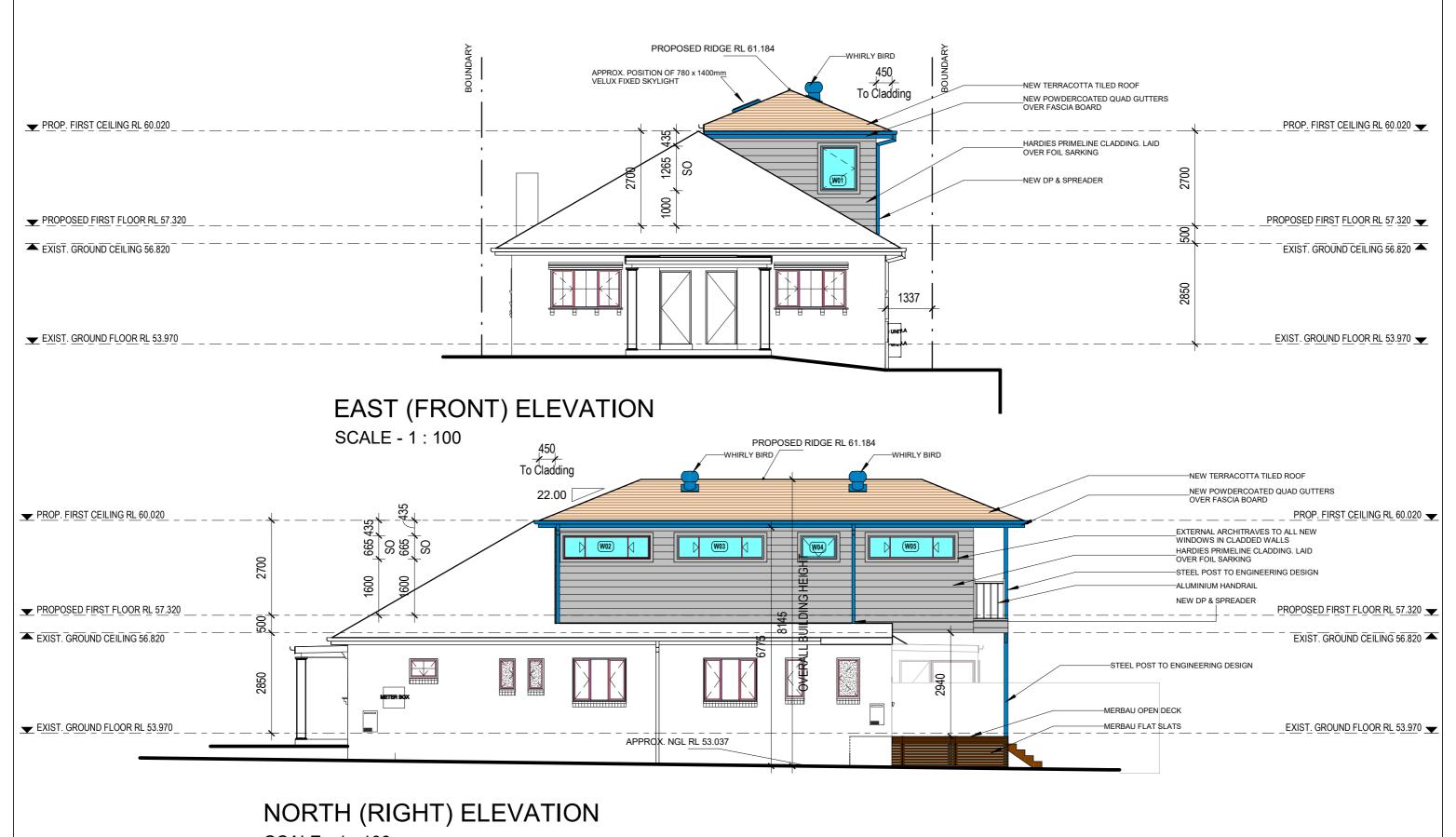
FIRST FLOOR PLAN - PROPOSED

SCALE - 1:100

SHEET NO FOR: JOB NO Mr. I. & Mrs. B. PERRY

AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093 05

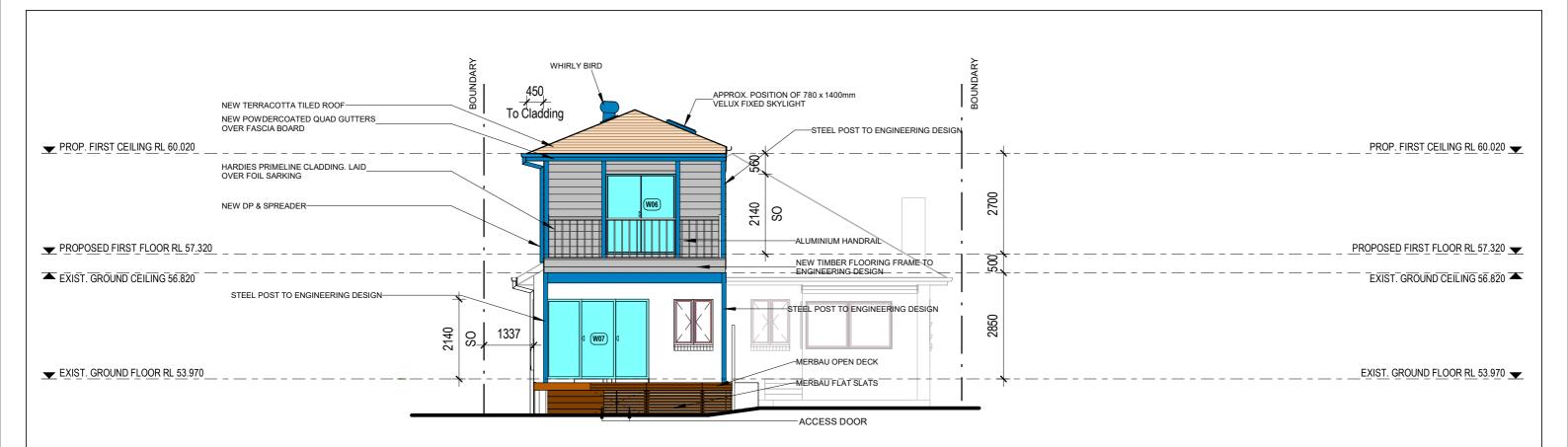
1923/6.1



SCALE - 1:100

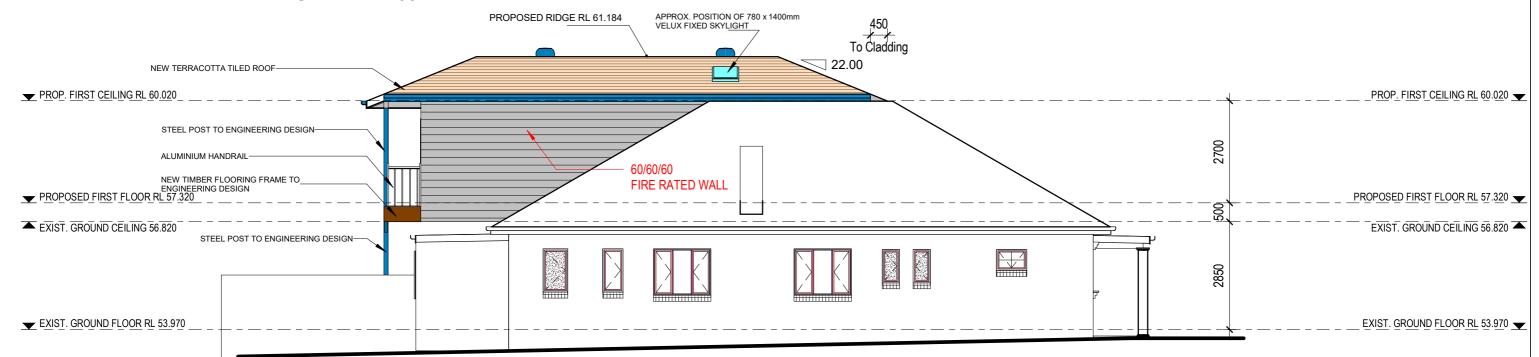
Addibuild Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
SIILLI NO	Mr. I. & Mrs. B. PERRY	JOB NO
06	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/6.1



WEST (REAR) ELEVATION

SCALE - 1:100

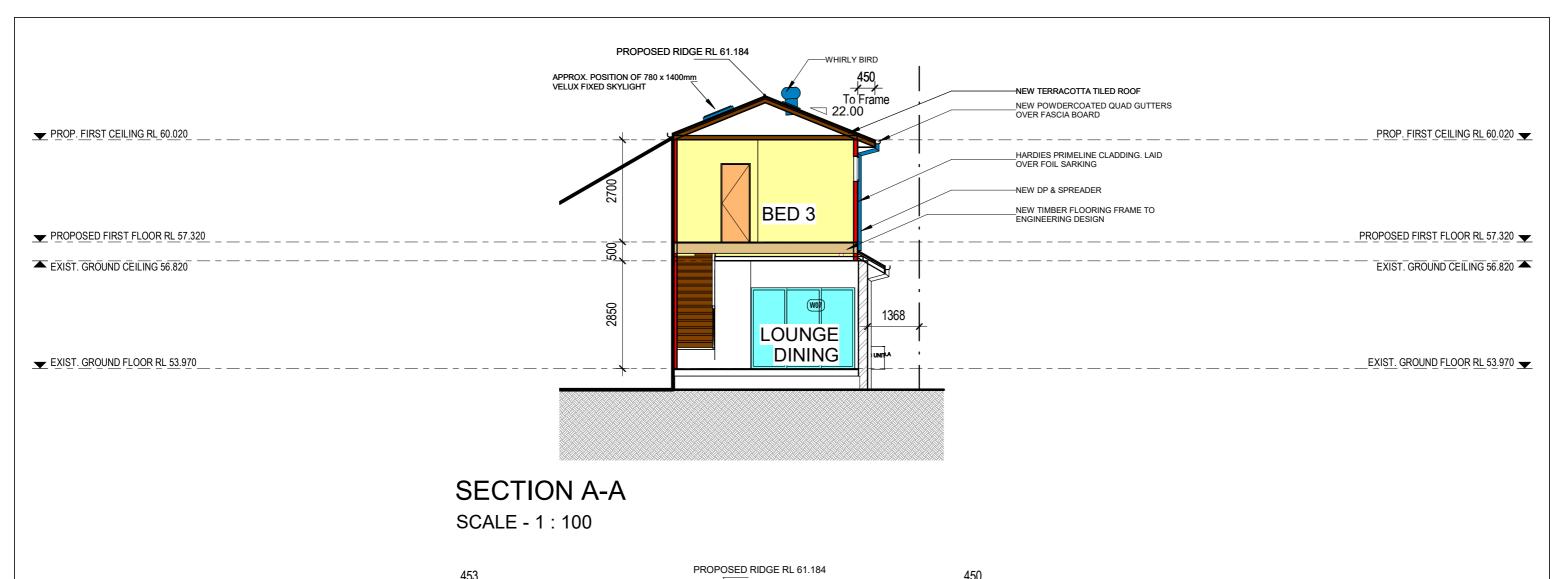


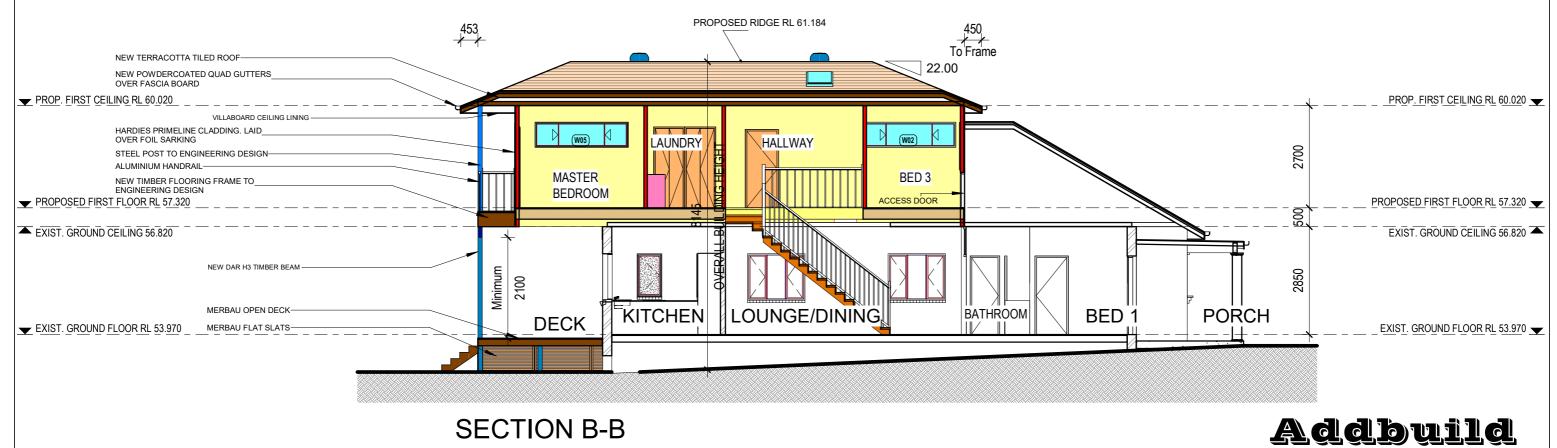
SOUTH (LEFT) ELEVATION

SCALE - 1:100

Addbuild Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
OHEET NO	Mr. I. & Mrs. B. PERRY	JOB NO
07	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/6.1





SCALE - 1:100

Master Builders Pty. Ltd

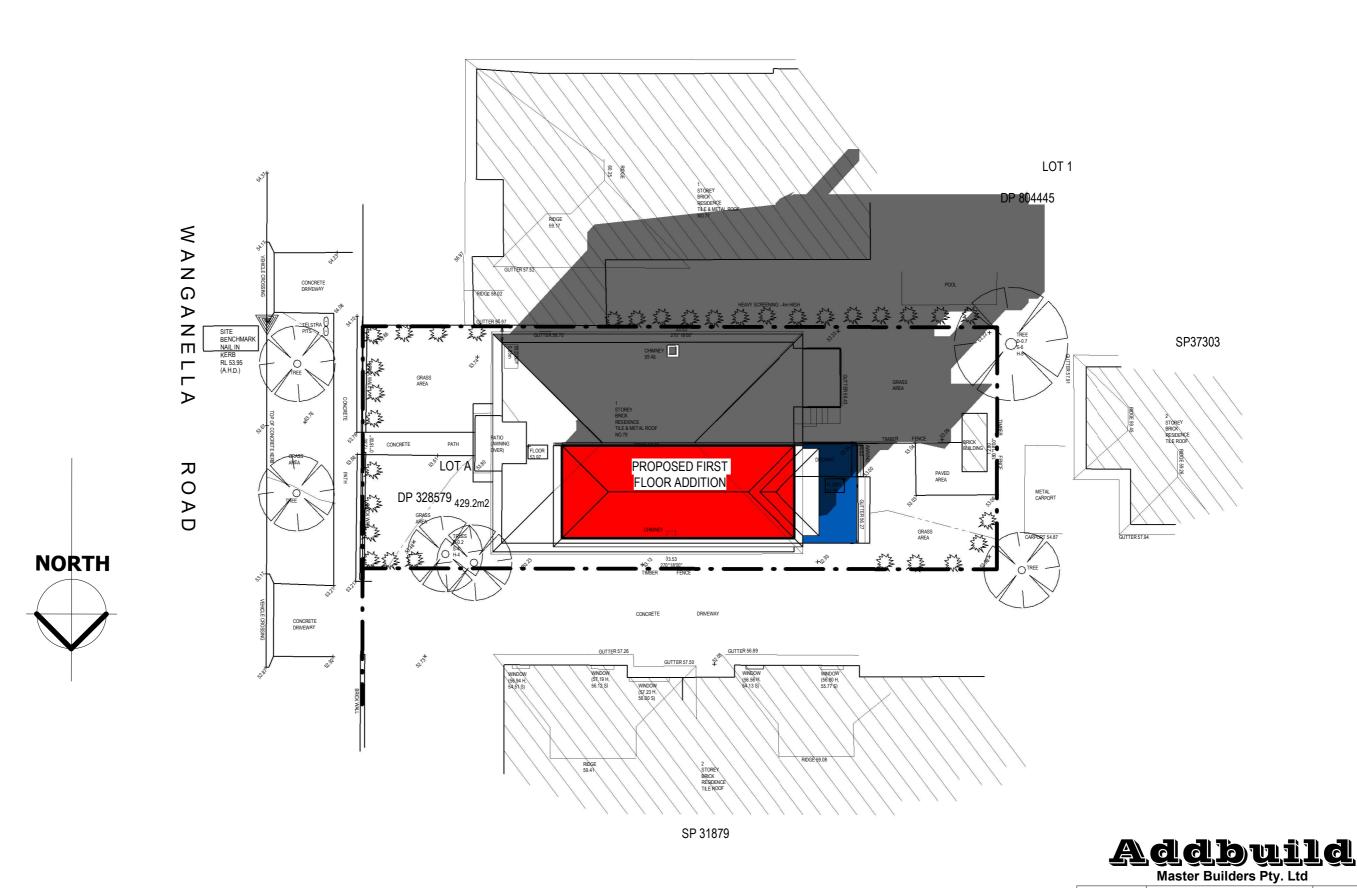
Mr. I. & Mrs. B. PERRY

79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093 JOB NO

1923/6.1

SHEET NO FOR:

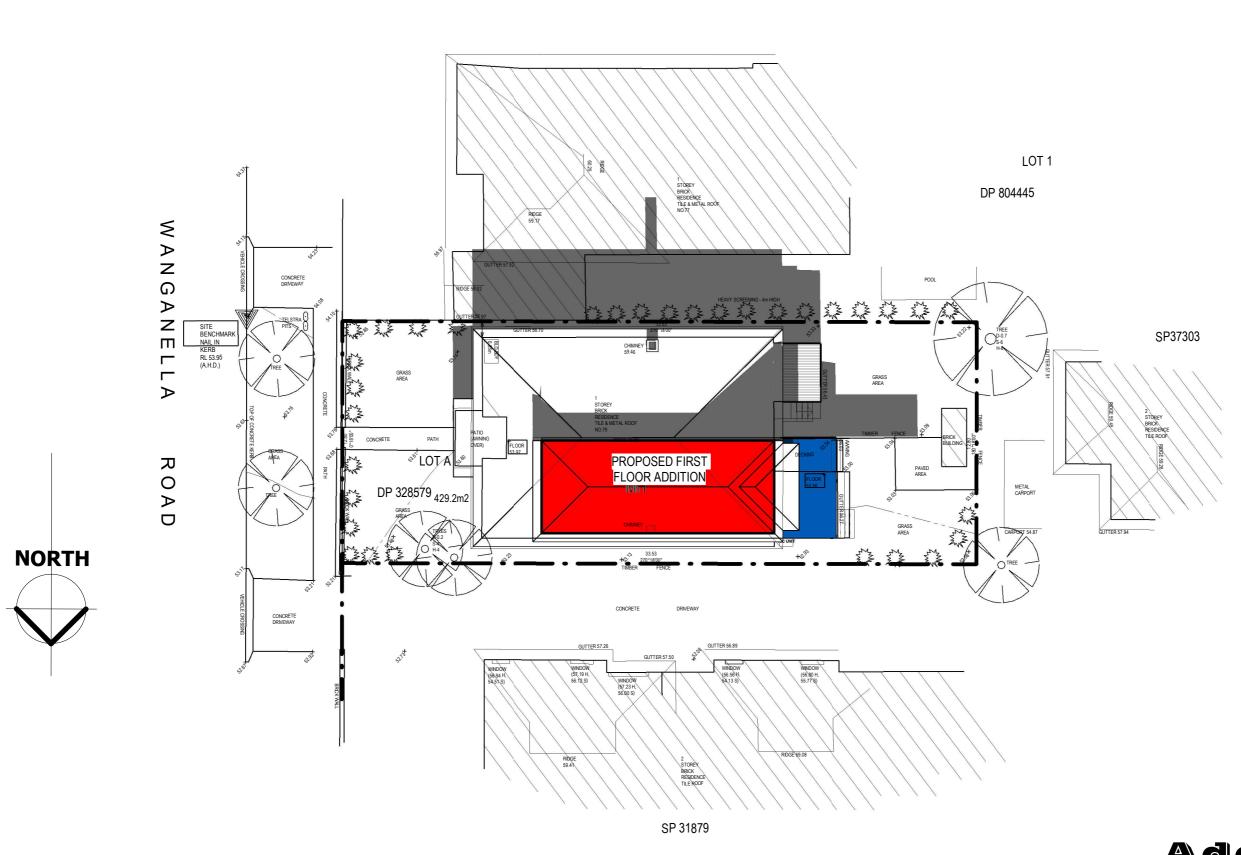
80



WINTER SHADOW DIAGRAM - 9.00am - 21st JUNE - PROPOSED

SHEET NO FOR: JOB NO Mr. I. & Mrs. B. PERRY 1923/4

AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093 12.2



WINTER SHADOW DIAGRAM - 12.00 noon - 21st JUNE - PROPOSED

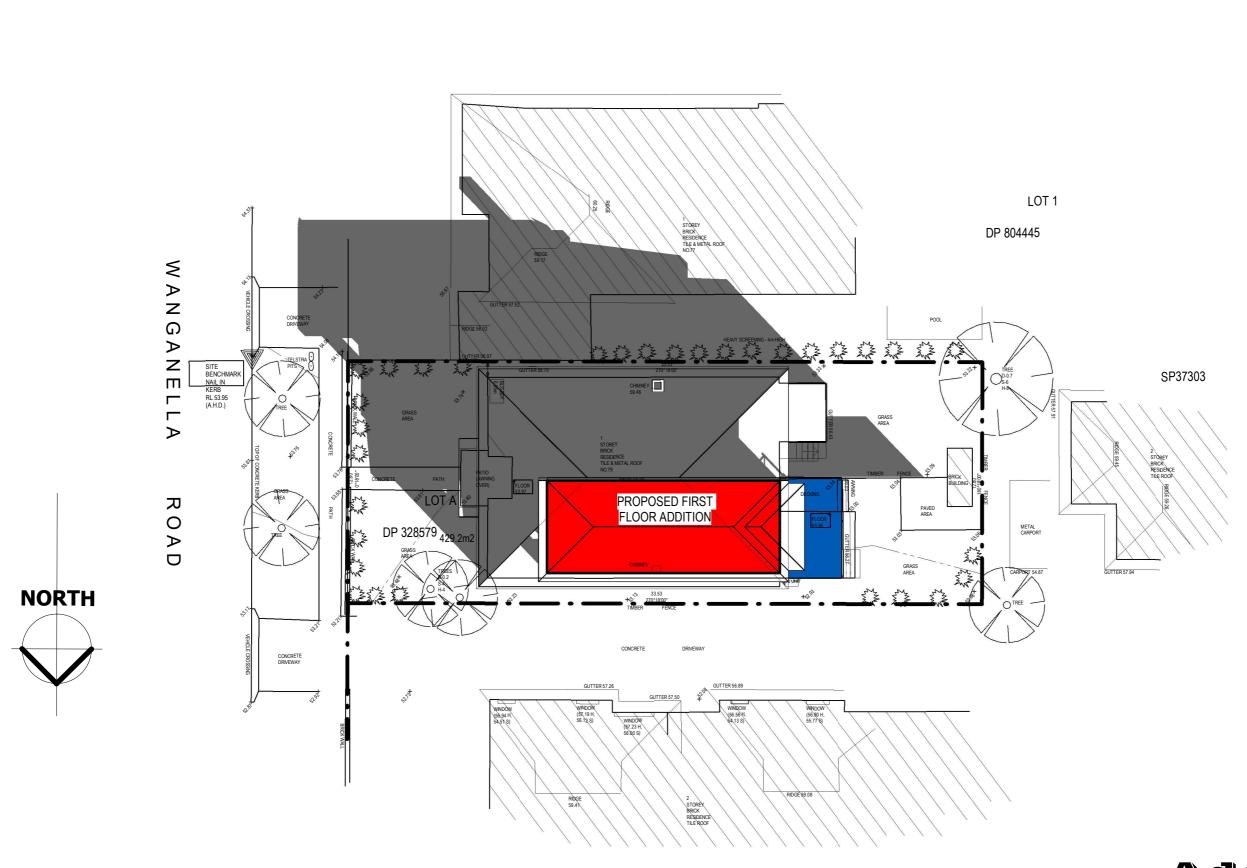
SCALE - 1 : 200

Addbuild Master Builders Bry 1 td

	Master Builders Pty. Ltd		
SHEET NO	FOR:	JOB NO	
	Mr. I. 9 Mrs. D. DEDDV	1 OD NO	

12.3 AT:
79B WANGANELLA ROAD,
BALGOWLAH. NSW. 2093

1923/4



Addbuild Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
	Mr. I. & Mrs. B. PERRY	300 110
12.4	AT: 79B WANGANELLA ROAD,	1923/4
	RALGOWLAH NSW 2003	

Schedule of Finishes

For:

Mr & Mrs Perry

at:

79B Wanganella Street, Balgowlah



May 2022

External Building Component	Material	Finish and Colour
Roof	Terracotta tiles	Marseille "Riverstone"
Facade	Cladding	Taubmans "Still here"
Fascia & Bargeboards	Timber	Taubmans "perfect storm"

Gutters & Downpipes	Metal	Ace Gutters "Wallaroo"
Windows	Aluminum	Wideline "Custom Black"
Deck	Timber	Merbau
Balcony handrail	Metal	Interpon "Night Sky"