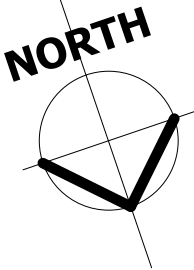
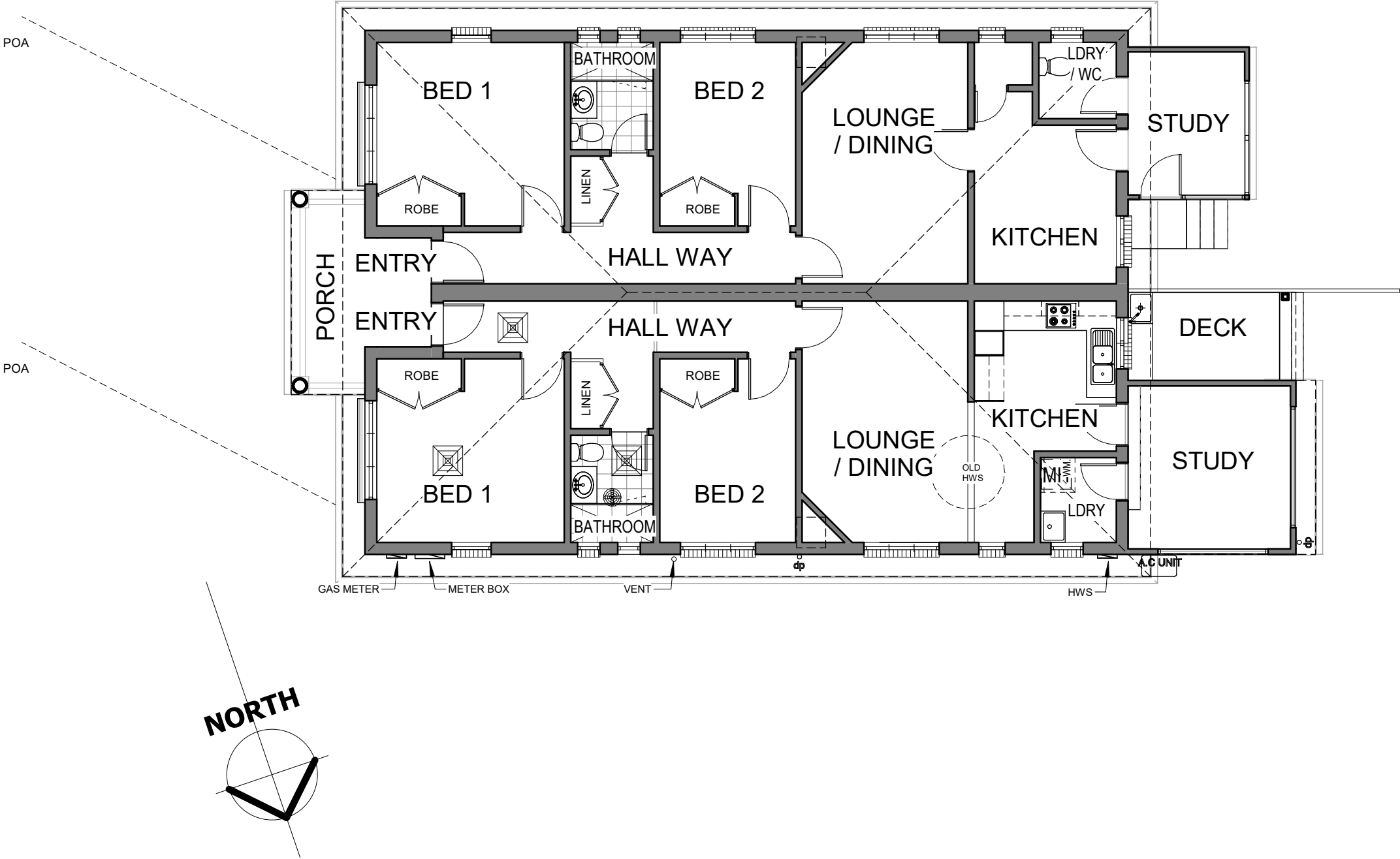


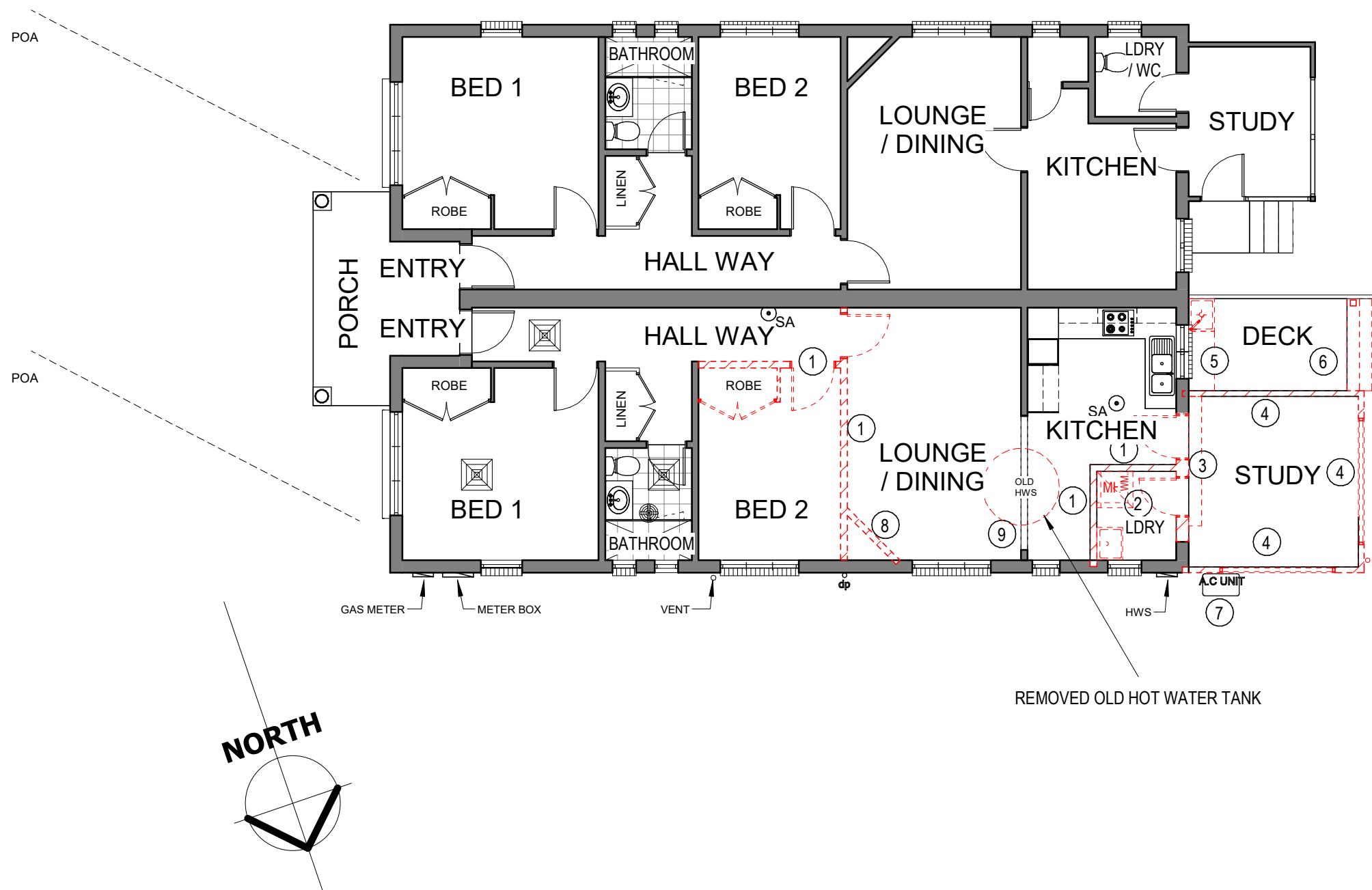
FLOOR - BEARERS & JOISTS
EXTERNAL WALLS - CAVITY BRICKWORK 240mm
INTERNAL WALLS - SINGLE BRICK RENDERED 130mm
ROOF - CONVENTIONAL ROOF, TERRACOTTA TILE, 30° PITCH



GROUND FLOOR - EXISTING
SCALE - 1 : 100

Addbuild
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
03	Mr. I. & Mrs. B. PERRY	1923/6.1
	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	



GROUND FLOOR - DEMOLITION
SCALE - 1 : 100

GROUND FLOOR DEMOLITION NOTES

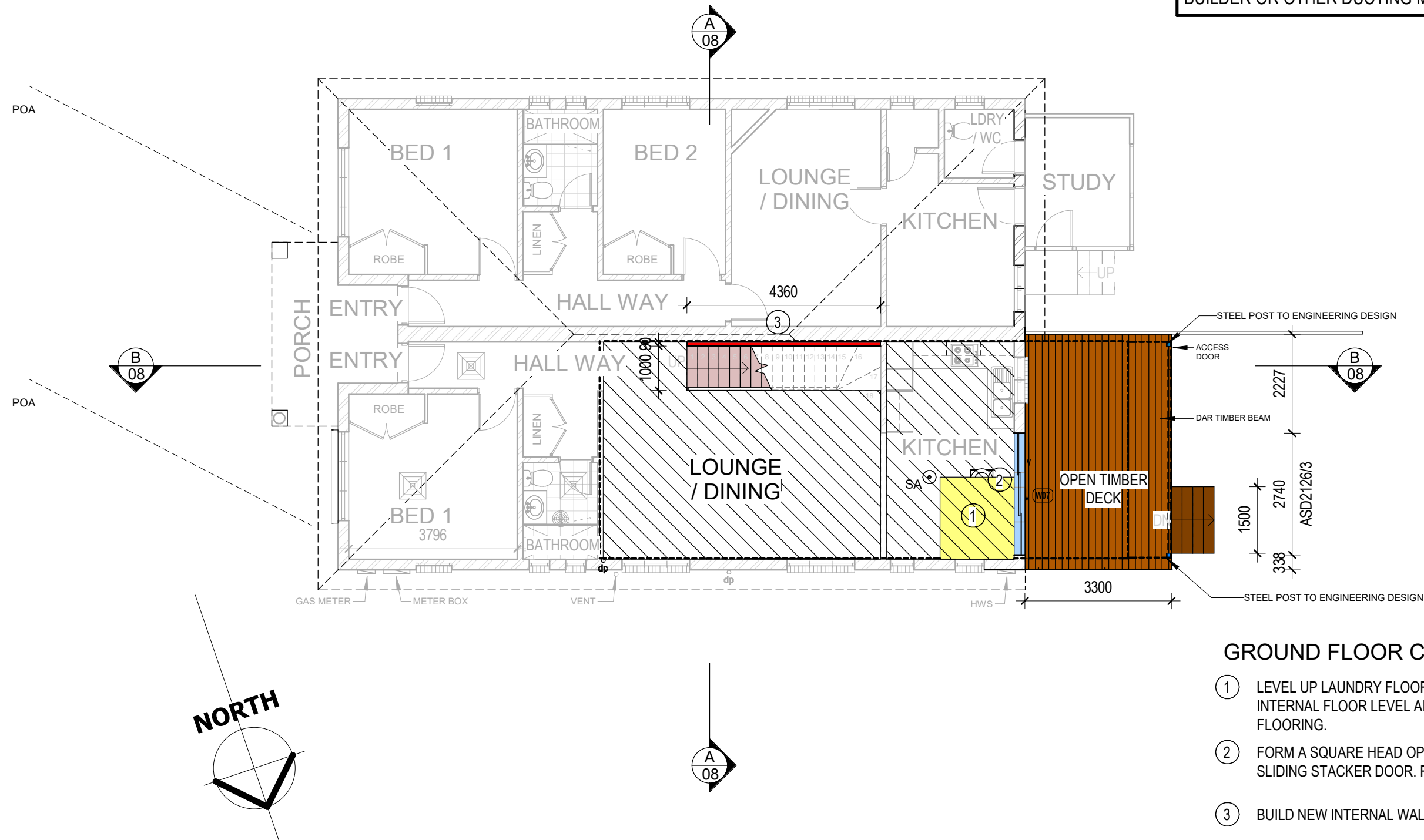
- ① DEMOLISH EXISTING INTERNAL SKIN BRICK WALLS AS SHOWN DASHED. REPAIR AFFECTED SURFACES.
- ② STRIP OUT EXISTING LAUNDRY & SEAL OFF PLUMBING. AND REMOVE EXISTING PLASTERBOARD CEILING
- ③ DEMOLISH EXTERNAL CAVITY BRICK WALLS INCLUDING DOORS IN PREPARATION FOR NEW ALUMINIUM SLIDING STACKER DOOR. REPAIR AFFECTED SURFACES.
- ④ DEMOLISH & REMOVE EXISTING EXTERNAL TIMBER FRAMED WALLS INCLUDING EXISTING FLOORING, BRICK PIERS, WINDOWS & DOORS AS SHOWN DASHED.
- ⑤ STRIP EXISTING EXTERNAL SINK AND BENCH AND SEAL OFF PLUMBING. **BY OWNER.**
- ⑥ DEMOLISH & REMOVE EXISTING EXTERNAL REAR TIMBER DECK AND PERGOLA. **BY OWNER.**
- ⑦ EXISTING A.C UNIT TO BE RELOCATED AS REQUIRED **BY OWNER.**
- ⑧ DEMOLISH EXISTING CHIMNEY COMPLETE.
- ⑨ DEMOLISH EXISTING NIB AND HEAD. REPAIR AFFECTED SURFACES. DISCUSS FEASABILITY ON SITE. NOT ALLOWED FOR.

NOTE: WHERE ALL INTERNALS WALLS BEING REMOVED. REPAIR FLOOR WITH ONE PIECE OF TIMBER LAID IN THE SAME DIRECTION OF THE WALL BEING DEMOLISHED. REPAIR AFFECTED SURFACES.

Addbuild
Master Builders Pty. Ltd

SHEET NO	FOR: Mr. I. & Mrs. B. PERRY	JOB NO
03A	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/6.1

NOTE: WHERE DUCTING TO AN EXISTING EXHAUST FAN HAS BEEN SPECIFIED, ONLY STANDARD FLEXIBLE DUCTING HAS BEEN ALLOWED FOR. SHOULD THE EXISTING EXHAUST FAN **NOT** BE COMPATIBLE WITH STANDARD FLEXIBLE DUCTING, THE OWNER IS TO SUPPLY A NEW EXHAUST FAN FOR INSTALLATION BY THE BUILDER OR OTHER DUCTING METHODS TO BE QUOTED ON SITE.



GROUND FLOOR CONSTRUCTION NOTES

- ① LEVEL UP LAUNDRY FLOOR TO MATCH EXISTING DWELLING INTERNAL FLOOR LEVEL AND PLACE NEW STRUCTURAL TIMBER FLOORING.
 - ② FORM A SQUARE HEAD OPENING AND PLACE NEW ALUMINIUM SLIDING STACKER DOOR. REPAIR AFFECTED SURFACES.
 - ③ BUILD NEW INTERNAL WALL
 - ④ REMOVE AND REPLACE EXISTING CEILING AND CORNICE
- NOTE: OWNER TO SUPPLY CORNICE.**

GROUND FLOOR - PROPOSED

SCALE - 1 : 100

NOTE: THE AREAS SHOWN IN GREY ARE EXISTING & INDICATIVE ONLY. NO REMEDIAL OR RENOVATION WORK IS TO BE CARRIED OUT IN THESE AREAS UNLESS DISCUSSED WITH THE SUPERVISOR & THE OWNER **PRIOR** TO THE COMMENCEMENT OF ANY WORK.

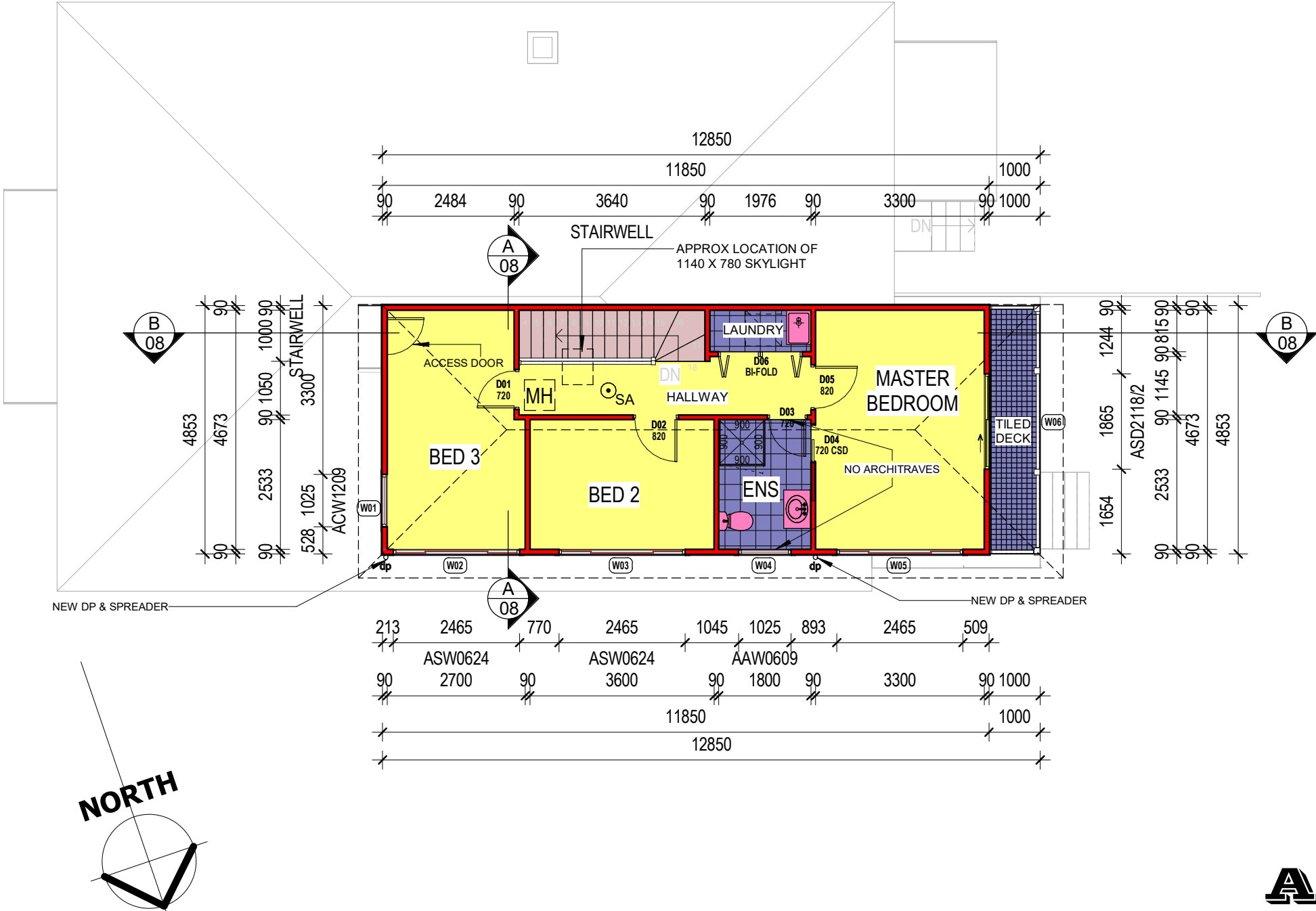
A d d b u i l d
Master Builders Pty. Ltd

SHEET NO	FOR: Mr. I. & Mrs. B. PERRY	JOB NO
04	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/6.1

WINDOW & SLIDING DOOR Schedule

STEGBAR ALUMIERE RANGE

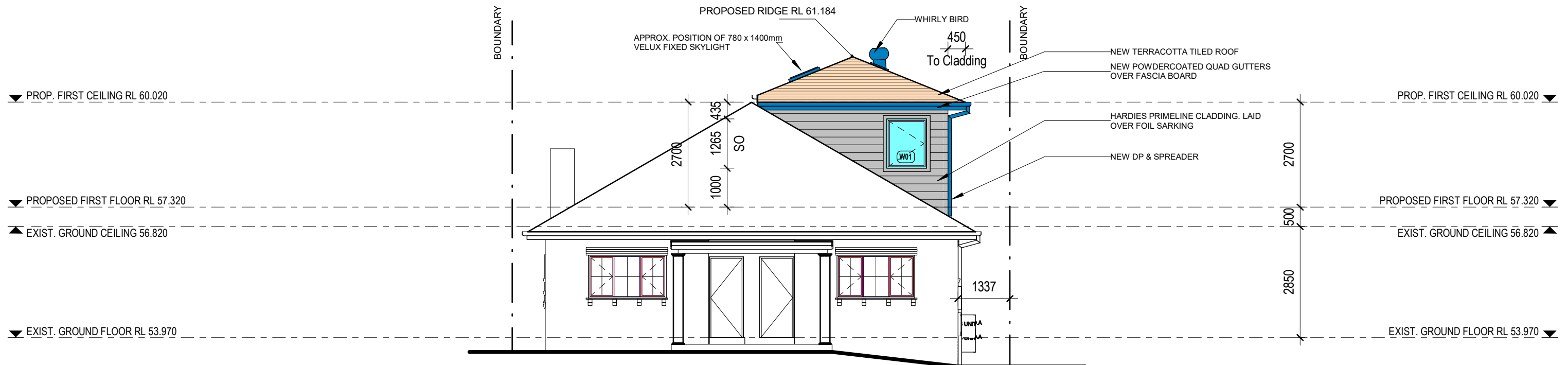
Window No.	Stud Opening Height	Stud Opening Width	Frame Height	Frame Width	Assembly Code	Window Style	Glazing	Comments	Restricted Opening	Basix	Flyscreen
W01	1265	1025	1200	970	ACW1209	CASEMENT	COMFORT PLUS CLEAR		Yes		Yes
W02	665	2465	600	2410	ASW0624	SLIDING	COMFORT PLUS CLEAR		Yes		Yes
W03	665	2465	600	2410	ASW0624	SLIDING	COMFORT TRANSLUCENT		No		Yes
W04	665	1025	600	970	AAW0609	AWNING	COMFORT TRANSLUCENT		No		Yes
W05	665	2465	600	2410	ASW0624	SLIDING	COMFORT PLUS CLEAR		Yes		Yes
W06	2140	1865	2100	1810	ASD2118	SLIDING DOOR	COMFORT PLUS NEUTRAL		No		Yes
W07	2140	2740	2100	2685	AST2126	STACKER DOORS	COMFORT PLUS CLEAR		No		Yes



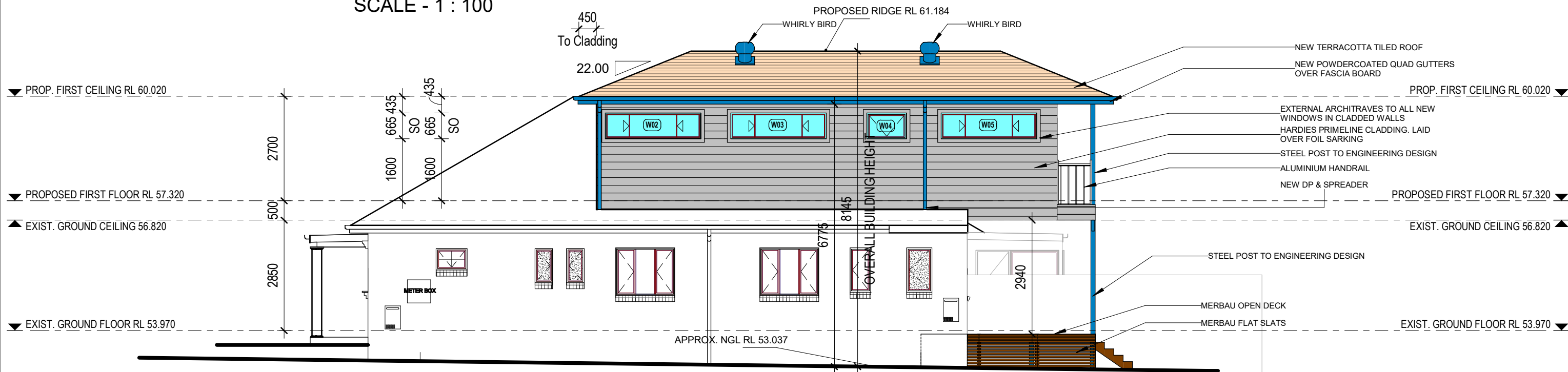
FIRST FLOOR PLAN - PROPOSED
SCALE - 1 : 100

Addbuild
Master Builders Pty. Ltd

SHEET NO	FOR: Mr. I. & Mrs. B. PERRY	JOB NO
05	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/6.1



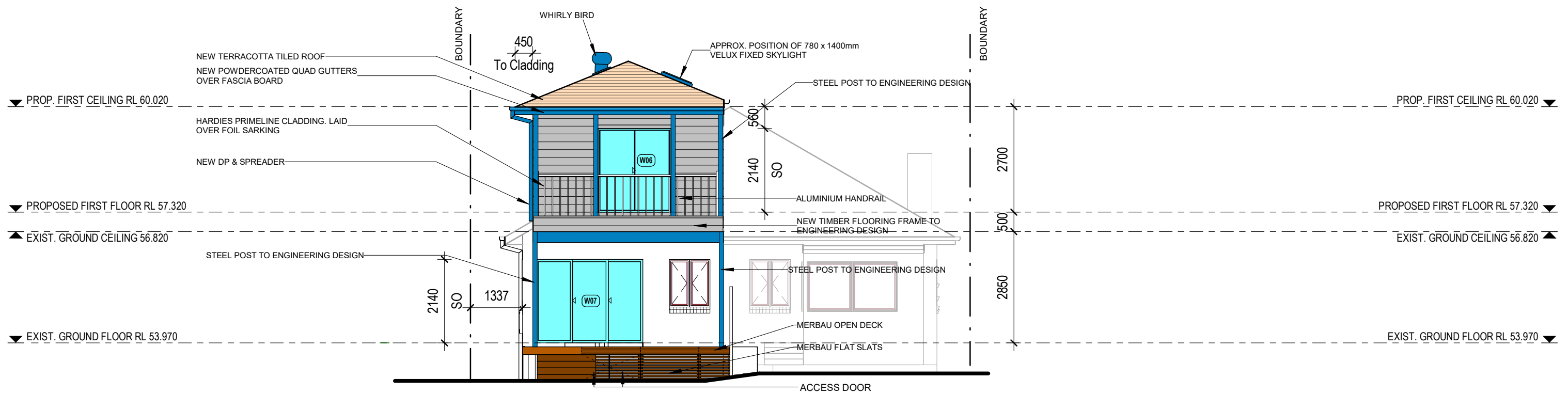
EAST (FRONT) ELEVATION
SCALE - 1 : 100



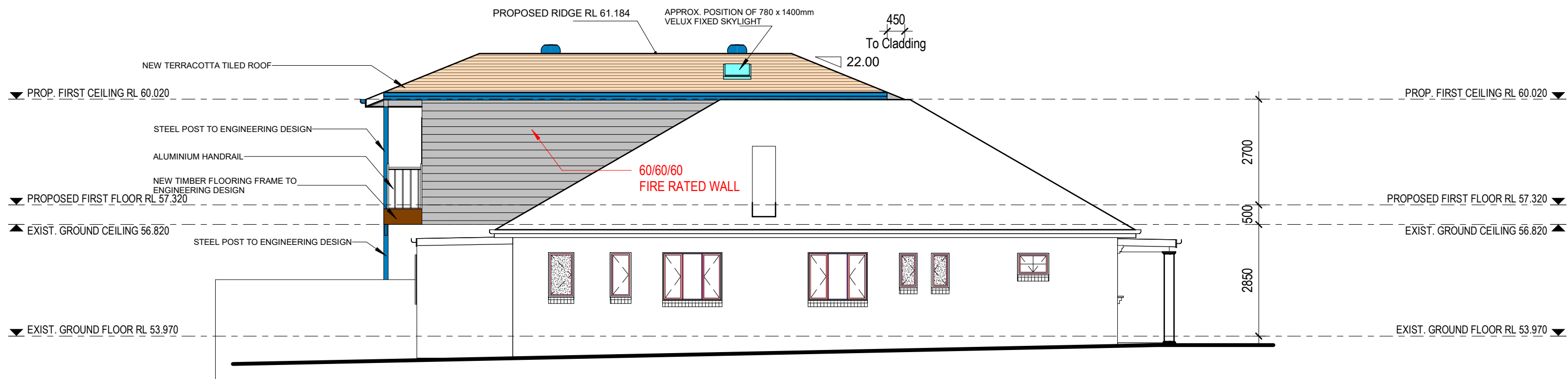
NORTH (RIGHT) ELEVATION
SCALE - 1 : 100

Addbuild
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
06	Mr. I. & Mrs. B. PERRY AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/6.1



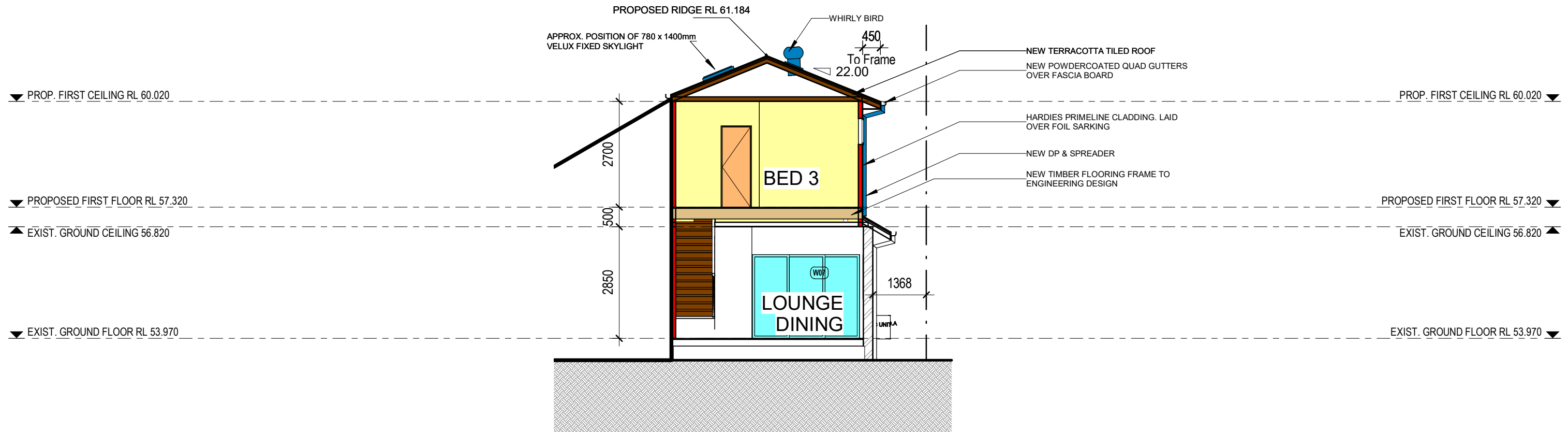
WEST (REAR) ELEVATION
SCALE - 1 : 100



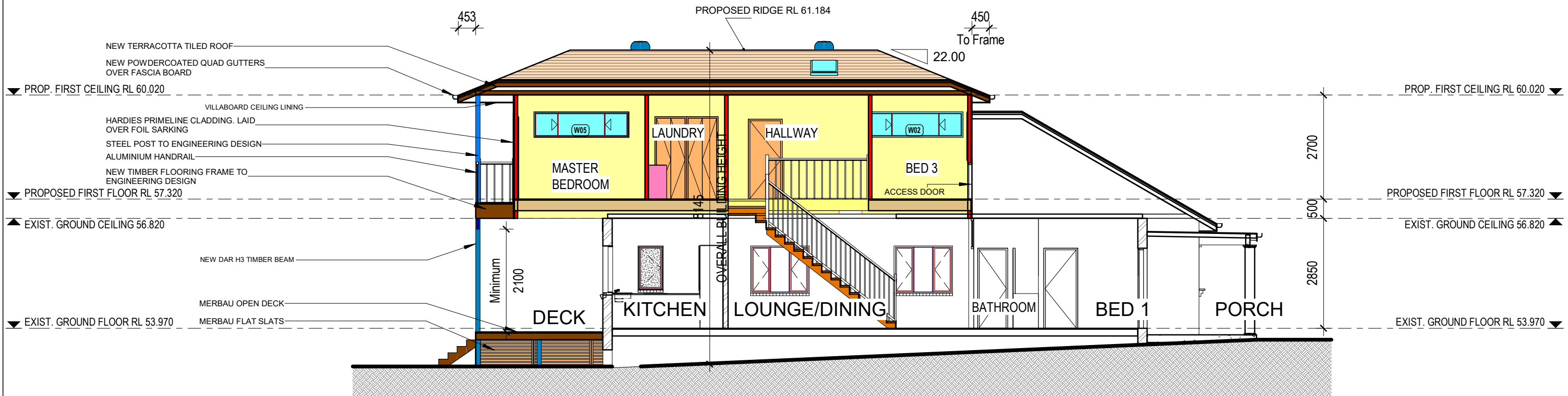
SOUTH (LEFT) ELEVATION
SCALE - 1 : 100

Addbuild
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
07	Mr. I. & Mrs. B. PERRY	1923/6.1
	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	



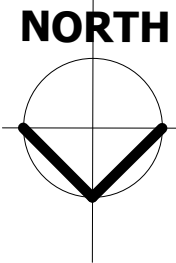
SECTION A-A
SCALE - 1 : 100



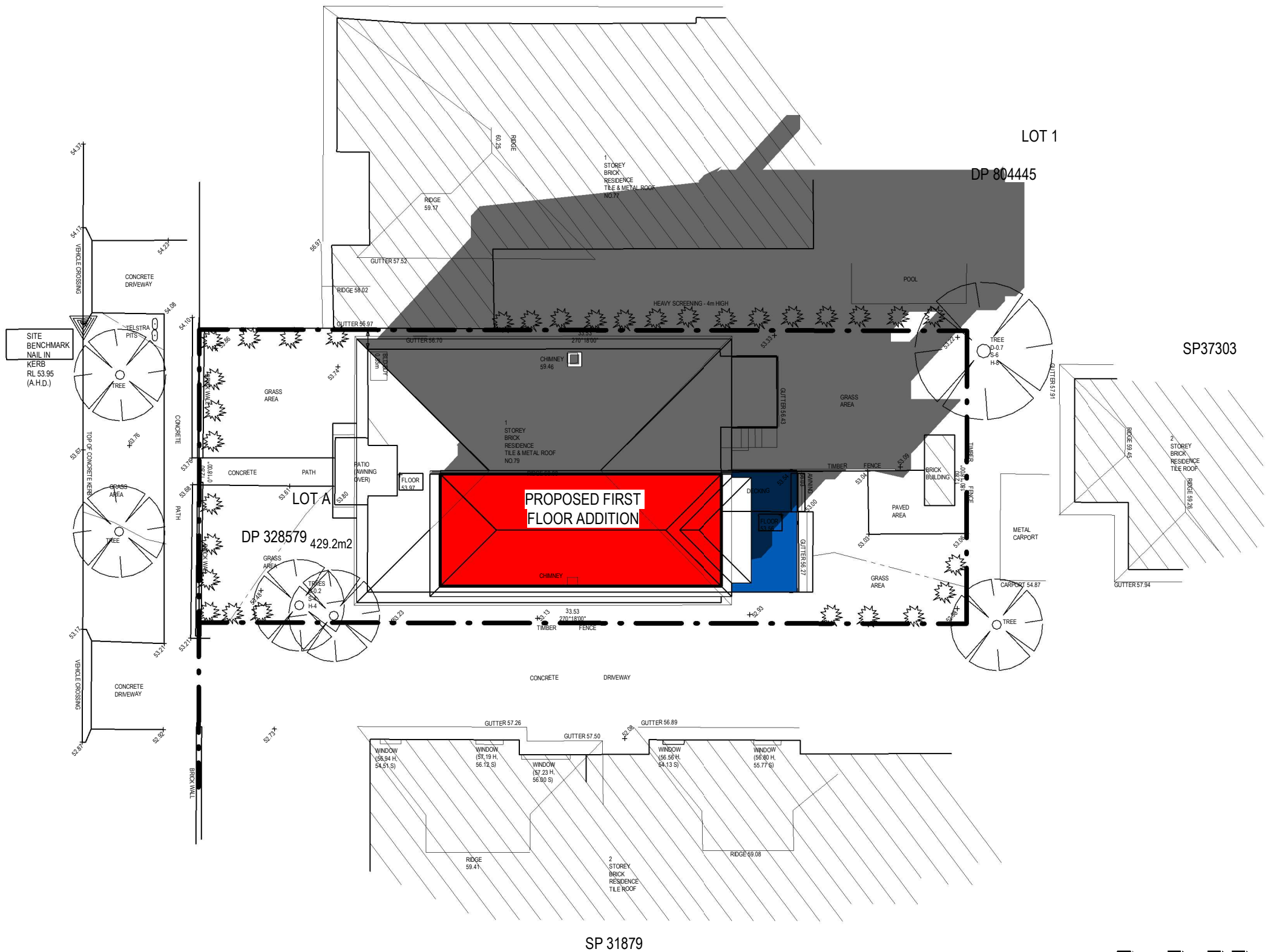
SECTION B-B
SCALE - 1 : 100

Aadbuild
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
08	Mr. I. & Mrs. B. PERRY	1923/6.1
	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	



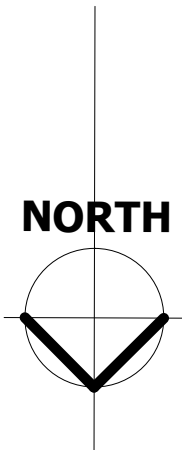
WANGANELLA ROAD



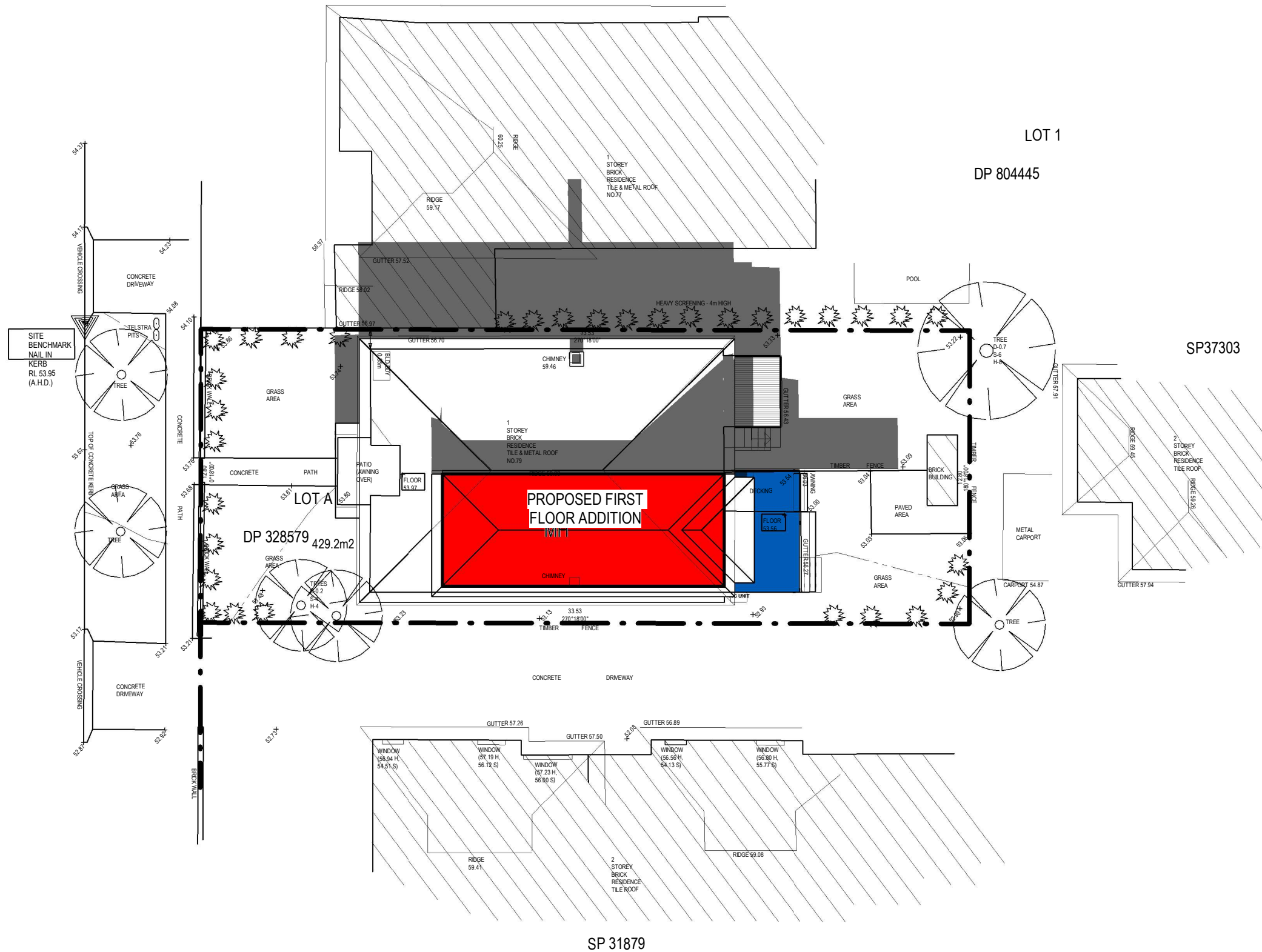
WINTER SHADOW DIAGRAM - 9.00am - 21st JUNE - PROPOSED

Addbuild
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
12.2	Mr. I. & Mrs. B. PERRY AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/4



WANGANELLA ROAD



WINTER SHADOW DIAGRAM - 12.00 noon - 21st JUNE - PROPOSED
SCALE - 1 : 200

Addbuild
Master Builders Pty. Ltd

SHEET NO	FOR: Mr. I. & Mrs. B. PERRY	JOB NO
12.3	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/4

Schedule of Finishes

For:




Mr & Mrs Perry

at:

79B Wanganella Street, Balgowlah



May 2022

External Building Component	Material	Finish and Colour
Roof	Terracotta tiles	Marseille "Riverstone" 
Facade	Cladding	Taubmans "Still here" 
Fascia & Bargeboards	Timber	Taubmans "perfect storm" 

Gutters &
Downpipes

Metal

Ace Gutters "Wallaroo"



Windows

Aluminum

Wideline "Custom Black"



Deck

Timber

Merbau



Balcony handrail

Metal

Interpon "Night Sky"

