



PITTWATER COUNCIL

ABN61340837871
Telephone 02 9970 1111
Facsimile 02 9970 7150
Postal Address
PO Box 882
Mona Vale NSW 1660
DX 9018 Mona Vale

Environmental Compliance
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

31 March 2010

Mike Foran
MF Architecture
PO Box 417
MANLY NSW 1655

COPY

Dear Mike Foran

**Re Construction Certificate CC0049/10
Property 100 WAKEHURST PARKWAY ELANORA HEIGHTS NSW 2101**

Please find enclosed your approved Construction Certificate and stamped plans

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA)

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

Yours faithfully
Development Compliance Group

Per *K Wyr*

Email pittwater_council@pittwater.nsw.gov.au Web pittwater.nsw.gov.au

Mona Vale Customer Service Centre
Village Park 1 Park Street Mona Vale

Avalon Customer Service Centre
59A Old Barrenjoey Road Avalon

Support Services
Units 11 12 13 + 16/5 Vuko Place Warriewood

Boondah Depot
1 Boondah Road Warriewood



PITTWATER COUNCIL

Construction Certificate No CC0049/10

Site Details **100 WAKEHURST PARKWAY ELANORA HEIGHTS NSW 2101**

Legal Description **Lot 123 DP 13152**

Type of Development **Subdivision**

Description **Subdivision of one (1) lot into two (2)**

Associated Development Consent No **N0349/07** Dated **20/12/2007**

Building Code of Australia Certification **Class 10b**



Details of plans, documents or Certificates to which this Certificate relates

- **Plan of proposed subdivision drawing No 100, dated 13 04 2007 prepared by Mike Foran Architecture**
- **Site Plan drawing No 101 including A3 plan indicating setback between existing dwelling and proposed western boundary and existing garage and proposed southern boundary, dated 13 04 2007, prepared by Mike Foran Architecture**
- **Site Plan drawing No 101, dated 25 10 2007, prepared by Mike Foran Architecture stamped by Sydney Water**
- **Erosion and sediment management plan drawing No 104, dated 13 04 2007, prepared by Mike Architecture**
- **Driveway long section drawing No 105 dated 13 04 2007, prepared by Mike Foran**
- **Structural detail drawing No S01, dated 18 11 2009, prepared by Docherty Consulting Engineers**
- **Form 2 – Geotechnical Risk Management Policy signed by Bruce Walker of Docherty Consulting Engineers**

I hereby certify that the above plans, documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia, and
- The relevant conditions of Development Consent No **N0349/07**

And, that work completed in accordance with the documentation accompanying the application for this certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979

K. Wyres

Kristy Wyres
Development Compliance Group

31 March 2010
Date of Endorsement

Note You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand



PITTWATER COUNCIL

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979
sections 81A (2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent
Note The builder or other contractor cannot complete this form unless they are also the owner of the property

Applicant's Checklist

- Read this document
- Complete pages 1 2 & 3
- Sign on page 8
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate

Payment of fees

- Critical Stage Inspection fees (refer to Part 6e of this form) must be paid at the time of booking the inspection
- Issue of Interim/Final Occupation Certificate fee (refer to Part 6e of this form) must be paid prior to release of the certificate to the applicant

Pittwater Council

Tel (612) 9970 1111

Fax (612) 9970 7150

Mona Vale Customer Service
Village Park, 1 Park Street
MONA VALE NSW 2103

Avalon Customer Service
59A Old Barrenjoey Road
AVALON NSW 2108

Mailing Address
PO Box 882
MONA VALE NSW 1660

This form is valid from
1st July 2009 to 30 June 2010

1 DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No N0349/07	Determination Date 20/12/2007
-------------------------------------	-------------------------------

1b) CONSTRUCTION CERTIFICATE

Construction Certificate No CC0049/10	Date of Issue 31/03/2010
---------------------------------------	--------------------------

1c) DEVELOPMENT DETAILS

Type of Work <input type="checkbox"/> New Building <input type="checkbox"/> Additions / Alterations <input type="checkbox"/> Subdivision	Brief description of development
---	----------------------------------

1d) SITE DETAILS

Unit/Suite	Street No 100	Street Wakehurst Parkway	
Suburb Elanora Heights		Lot No 123	Deposit /Strata Plan 13152

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works \$

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works
Date of commencement

2 APPLICANT DETAILS

Note The builder or other contractor cannot complete this form unless they are also the owner of the property

Name (owner)	
Postal Address	Phone (H/B) Mobile Email Fax

3 PRINCIPAL CERTIFYING AUTHORITY

PITTWATER COUNCIL	
PO Box 882 Mona Vale NSW 1660	Ph 9970 1111 Fax 9970 7150

4 COMPLIANCE WITH DEVELOPMENT CONSENT

Have all conditions to be addressed prior to the commencement of works been satisfied?	
<input type="checkbox"/> YES	<input type="checkbox"/> NO (see Note below)
Note If NO work must not commence	
Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended) Penalties may include an on the spot fine and/or legal action	
If you are uncertain as to these requirements please contact Council s Development Compliance Group	

5 WHO WILL BE DOING THE BUILDING WORKS?

<input type="checkbox"/> Owner Builder Owner Builders Permit No
Copy of Owner Builders permit attached <input type="checkbox"/> YES
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia Tel 61 2 98950111 Fax 61 2 9895 0222</i>

OR

<input type="checkbox"/> Licensed Builder Builder's License Number	
Name of Builder	Phone
Contact person	Mobile
Address	Fax
Insurance Company	Insurance Certificate attached <input type="checkbox"/> Yes <input type="checkbox"/> No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance A certificate of insurance must be provided with this application</i>	

6 RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct

6b) Site Signage

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA

6c) Inspections

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections

6d) Critical Stage and other inspections

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box)

Note Council's Development Compliance Officer will complete this section of the form

- Footing Inspection (prior to placement of concrete)
- Slab and other Steel Inspection (prior to placement of concrete)
- Frame Inspection (prior to fixing floor, wall & ceiling linings)
- Wet Area Waterproofing Inspection (prior to covering)
- Stormwater Inspection (prior to backfilling of trenches)
- Swimming Pool Safety Fence Inspection (prior to placement of water)
- Final Inspection (all works completed and prior to occupation of the building)



Office Use Only

Office Use Only

Note Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections may be required – with a further inspection fee payable

Eg If two slabs are prepared at separate times, two separate inspection bookings and fees are required

6e) Critical Stage and other inspection fees

An inspection fee is required for each inspection identified in Part 6d of this form. A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required

This form is valid from
1st July 2009 to 30 June 2010

Each inspection fee must be paid at the time of requesting the inspection

Fee Scale current to 30 June 2009

Critical Stage or other Inspection and re-inspections, including Final	\$245	(Code HINR)
Issue of Interim Occupation Certificate	\$330	(Code FOCC)
Issue of Final Occupation Certificate	\$330	(Code FOCC)

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate

- 6f) Inspection Results
Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection

7 RESPONSIBILITIES OF THE APPLICANT

- 7a) Inspections
A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement

- 7b) Booking of Inspections
The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on **9970 1300**. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement

7c) Site Signage

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display (a) the name, address and telephone number of the person, (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited"

7d) Compliance with the Development Consent and Construction Certificate

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation

Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings

7e) Structural Engineering and Other Specialist Details

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards

Note Council's Development Compliance Officer will complete this section of the form

- Timber framing details including bracing and tie-downs
- Roof construction or roof truss details
- Termite control measures
- Glazing details
- Mechanical ventilation details
- Wet area construction details
- Details of fire resisting construction
- Details of essential fire and other safety measures
- Sound transmission and insulation details
- Details of compliance with development consent conditions



Office Use Only

Office Use Only

7f) Certification of Works

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out

Each certification must

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council

Note Council's Development Compliance Officer will complete this section of the form

- | | |
|--|--------------------------|
| <input type="checkbox"/> Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor | |
| <input type="checkbox"/> Shoring and support for adjoining premises and structures by a structural engineer | |
| <input type="checkbox"/> Contiguous piers or piling by a structural engineer | <input type="checkbox"/> |
| <input type="checkbox"/> Underpinning works by a structural engineer | |
| <input checked="" type="checkbox"/> Structural engineering works by a structural engineer | |
| <input type="checkbox"/> Retaining walls by a structural engineer | Office Use Only |
| <input type="checkbox"/> Stormwater drainage works by a hydraulic engineer and surveyor | |
| <input type="checkbox"/> Landscaping works by the landscaper | |
| <input checked="" type="checkbox"/> Condition of trees by an Arborist | |
| <input type="checkbox"/> Mechanical ventilation by a mechanical engineer | |
| <input type="checkbox"/> Termite control and protection by a licensed pest controller | |
| <input type="checkbox"/> Waterproofing of wet areas by a licensed waterproofer or licensed builder | |
| <input type="checkbox"/> Installation of glazing by a licensed builder | |
| <input type="checkbox"/> Installation of smoke alarm systems by a licensed electrician | |
| <input type="checkbox"/> Completion of construction requirements in a bush fire prone area by a competent person | |
| <input type="checkbox"/> Completion of requirements listed in the BASIX Certificate by a competent person | |
| <input type="checkbox"/> Fire resisting construction systems by a competent person | |
| <input type="checkbox"/> Smoke hazard management systems by a competent person | |
| <input type="checkbox"/> Essential fire safety and other safety measures by a competent person (Form 15a) | |
| <input checked="" type="checkbox"/> Completion of Bushland Management requirements by a suitably qualified person | |
| <input type="checkbox"/> Installation of Waste Water Management System by a suitably qualified person | |
| <input type="checkbox"/> Installation of the inclined lift by a suitably qualified person | |
| <input type="checkbox"/> Installation of sound attenuation measures by an acoustic engineer | |

Office Use Only

**This form is valid from
1st July 2009 to 30 June 2010**

7g) Occupation Certificate

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8 YOUR SIGNATURE

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature

Date

9 COUNCIL'S AGREEMENT TO APPOINTMENT

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed. Home Owners Warranty Insurance Certificate or Owner/Builders Permit or Statement has been provided where necessary and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name

on behalf of Pittwater Council

Officer's signature

Date

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection	To enable Council to act as the Principal Certifying Authority for the development
Intended recipients	Pittwater Council staff
Supply	The information is required by legislation
Consequence of Non-provision	Your application may not be accepted, not processed or rejected for lack of information
Storage	Pittwater Council will store details of this form in a register that can be viewed by the public
Retention period	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely
Please contact Council if this information you have provided is incorrect or changes	

**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO 2 – To be submitted with detailed design for construction certificate**

Development Application for JASON BENNETT
Name of Applicant

Address of site 100 WAKEHURST PARKWAY, ELANDRA HEIGHTS

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical Issues into the project design

I, KYLE DOCHERTY on behalf of DOCHERTY CONSULTING ENGINEER PTY LTD
(insert name) (trading or company name)

on this the 18-11-09
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development.

Geotechnical Report Details

Report Title GEOTECHNICAL ASSESSMENT AT 100 WAKEHURST PARKWAY, ELANDRA HTS
Report Date 17 APRIL 2007 REF 20992Z1P1
Author PAUL DAVID ROBERTS

Structural Documents list.

DWG 91007/REV 0

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

KYLE DOCHERTY
(name)

[Signature]

(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

We prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 17/4/07 and now certify that I have viewed the above listed structural documents prepared for the same development. *We are* satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents.

We are aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk, as indicated in our report.

Signature Bruce F Walker 22/1/10

Name B. F. WALKER

Chartered Professional Status FIE Aust CPEng

Membership No 199312

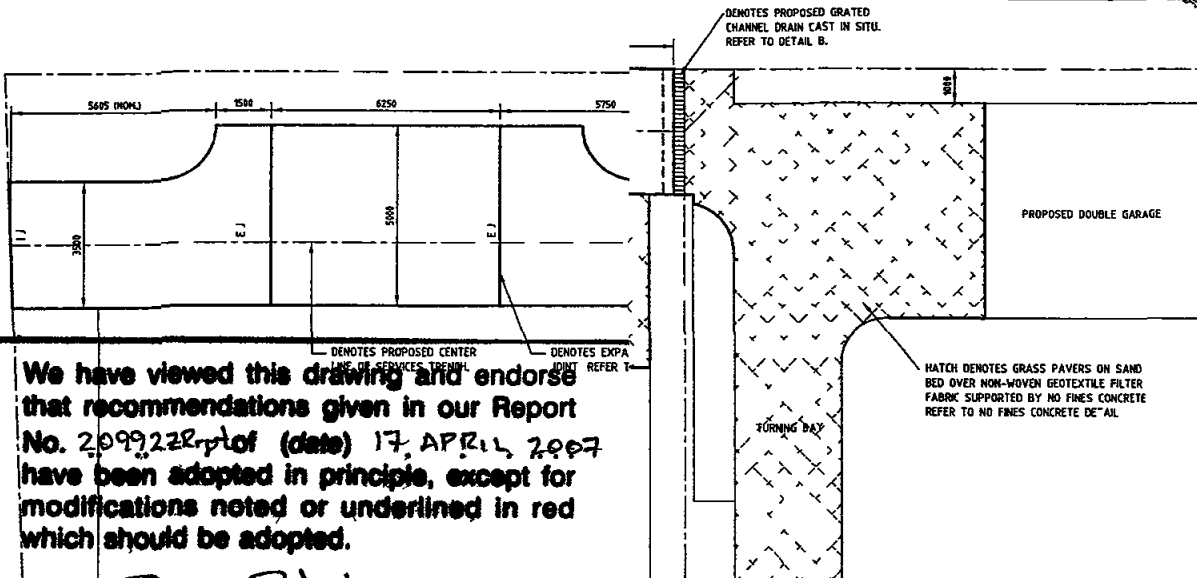
PITTWATER LOCAL GOVERNMENT CONSTRUCTION CERTIFICATE

Number CC 0049/10

This is a copy of submitted plans documents or Certificates associated with the issue of the Construction Certificate

Endorsed by BW

31 MAR 2010



We have viewed this drawing and endorse that recommendations given in our Report No. 2099/22Rpt of (date) 17 APRIL 2007 have been adopted in principle, except for modifications noted or underlined in red which should be adopted.

Signed Paul Roberts Date: 22.1.10

For **Jeffery and Katauskas Pty Ltd** EXTE AFFE POSSI WIDER SCAL
 115 Wicks Road
 Macquarie Park NSW 2113
 Telephone 9888 5000

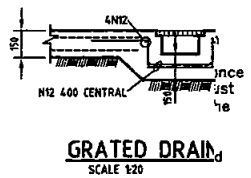
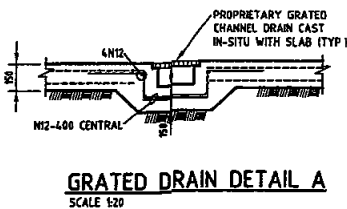
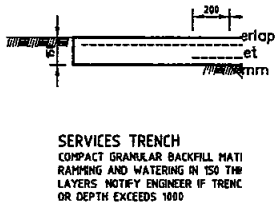
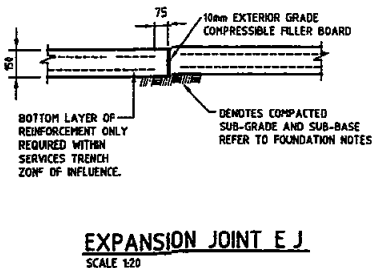
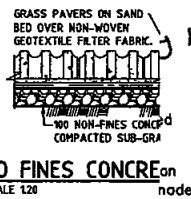
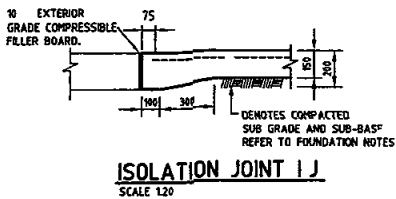
DITTA LIES COUL ON CONSTRUCTION CERTIFICATE

Number CC 0049/10

This is a copy of submitted plans documents or Certificates associated with the issue of the Construction Certificate

Endorsed by

31 MAR 2010



MASONRY

- M1 Where slabs or beams bear on masonry the top course shall be level smooth and covered with two layers of three-ply malthoid unless noted otherwise
- M2 Masonry walls shall not be erected on suspended slabs or beams until all propping has been removed
- M3 Bricks used in load bearing construction shall have a minimum compressive strength of 20 MPa unless otherwise noted
- M4 All masonry shall comply with AS3700 and Australian Standards referenced within AS3700
- M5 Masonry shall be articulated where required by AS2870 to satisfy footing design selections

BLOCKWORK

- B1 Blockwork shall be in accordance with AS2733
- B2 Concrete in base shall be Grade 20
- B3 Reinforcement symbol S requires bars as Note C9
- B4 Construct retaining walls with double-U blocks
- B5 Blocks shall be Grade 12 to AS2733
- B6 Clean out openings shall be used in all cores and cleaned out before grout filling
- B7 Use recessed blocks for horizontal bars
- B8 Grout shall be Grade 20 with 10mm aggregate and 230 slump
- B9 All cores shall be filled with grout
- B10 All mortar shall be 1 part cement to 1/2 part lime and 4-1/2 parts sand (1 0.5 4.5)
- B11 Mortar dags and concrete fins shall be removed by rodding and cleaned out before grouting cores
- B12 Where horizontal bars are specified in both faces they shall be in staggered courses
- B13 Where vertical bars are shown lapped the bar may be in one length to suit double-U blocks in stack bond

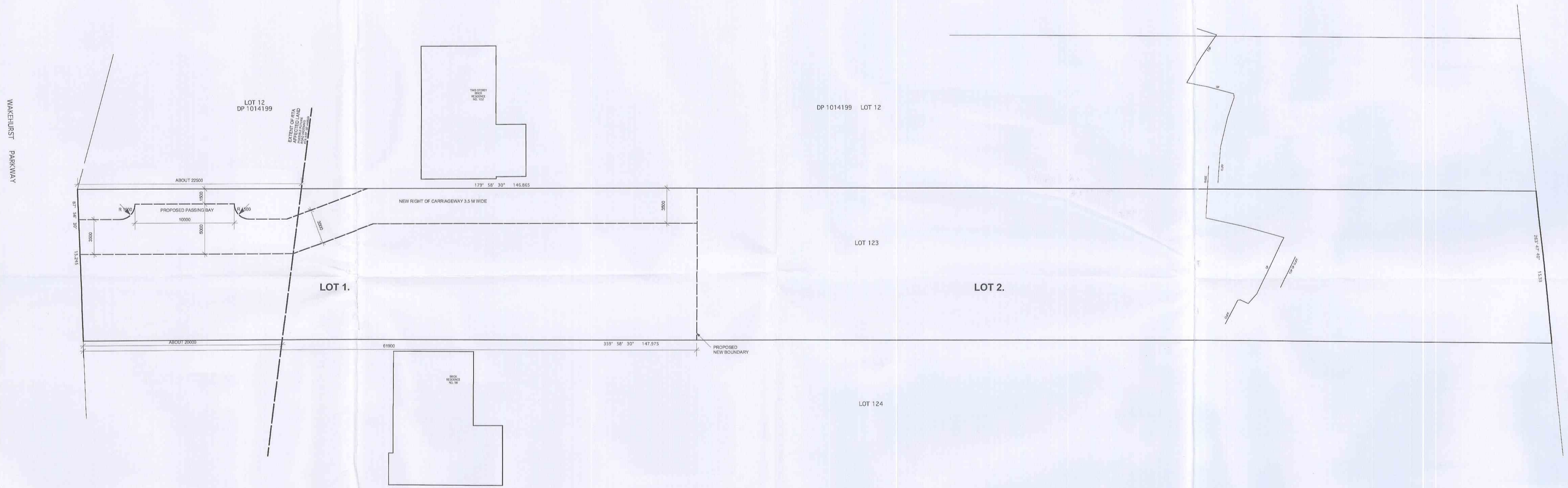
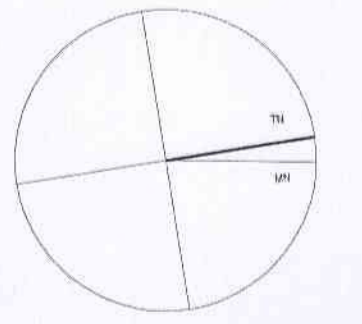
FOUNDATIONS

- F1 Strip top layer of root affected soil and proof roll the subgrade/sub-base
- F2 Where required use engineered fill to achieve design levels. Engineered fill must be free of organic materials, contaminants and other deleterious substances and have a maximum particle size not exceeding 40mm. Engineered fill should be placed in layers of maximum 100mm loose thickness and compacted to achieve a Minimum Density Index of 70% (sandy fill materials) or at least 98% Standard Maximum Dry Density (excavated sandstone). Contractor is to provide confirmatory dynamic cone penetrometer or in-situ density test results to geotechnical and structural engineer prior to concrete placement.

18.11.09	0	ISSUED FOR CONSTRUCTION								Drawn	Approved			
										KRD	K R DOCHERTY			
										Date	Purpose of Issue			
										18 11 09	CONSTRUCTION			
										Scale	Sheet	Project No	Drg No	Re
										NTS	A1	91007	S01	0
DATE	ISSUE	DESCRIPTION	DATE	ISSUE	DESCRIPTION	T 123 IN D P 13152 PARKWAY ELANORA HEIGHTS INETT LS								

SURVEY NOTE:
 BOUNDARIES, LEVELS, CONTOURS, EXISTING IMPROVEMENTS
 AND TREES ARE DRAWN WITH REFERENCE TO SURVEY OF
 LOT 123 IN D.P. 13152 BY:
 DP SURVEYING SERVICES,
 DATED 14, AUGUST 2006

CONTOUR LINES HAVE BEEN ADDED POST SURVEY AND ARE
 AN APPROXIMATION ONLY.



SITE AREA (m2)	2246.0
LOT 1. AREA (m2)	947.0
LESS RTA AFFECTED LAND (m2)	323.8
LESS 1/2 DRIVEWAY AREA (m2)	71.7
EFFECTIVE SITE AREA (m2)	551.5
LOT 2. AREA (m2)	1299.0

PIT/WATER COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0049/10
 This is a copy of submitted plans, documents or
 Certificates associated with the issue of the
 Construction Certificate.
 Endorsed by: *[Signature]*
 Date: 31 MAR 2010

mike foran architecture
 s. arch ABN 19 865 321 421

P.O. Box 417
 MARY MOUNT 1666
 mob: 0434 904 562
 email: mforan@mforanarchitecture.com.au

NOTE
 1. DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY.
 ALL DIMENSIONS TO BE VERIFIED ON SITE. REPORT ANY DISCREPANCIES TO THE ISSUER FOR DECISION/CLARIFICATION
 BEFORE PROCEEDING WITH THE WORK.
 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS

Consultants
 Structural Engineer -
 DOCHERTY CONSULTING ENGINEERS PTY LTD
 PH/FAX: (02) 8972 8812

SUBDIVISION OF LOT 123 IN D.P. 13152
 FOR: MR. & MRS. BENNETT
 AT: 100 WAKEHURST PKWY, ELANORA HEIGHTS

PLAN OF PROPOSED SUBDIVISION

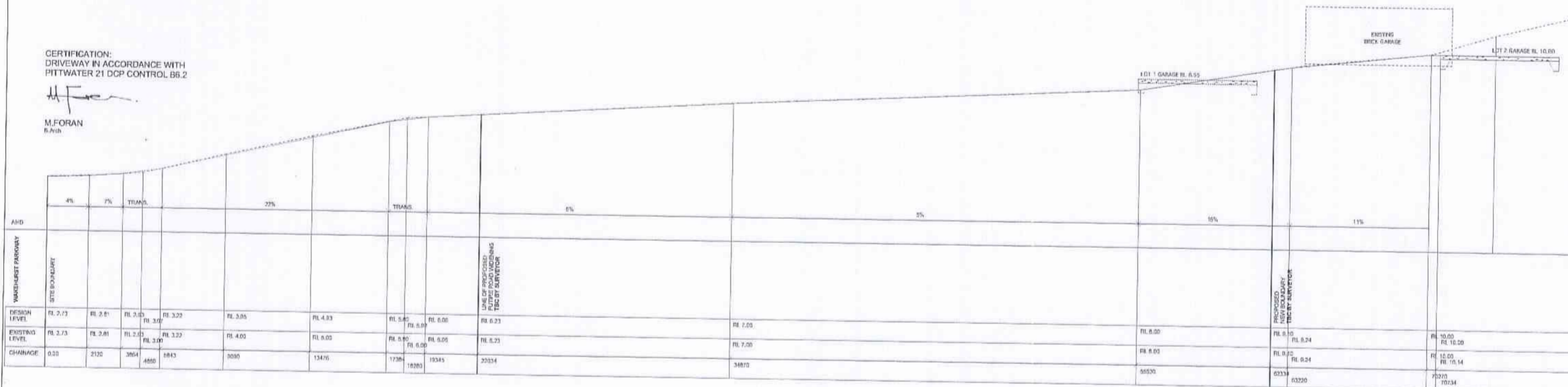
Rev	Amendment	Date
	Document issued for CONSTRUCTION	Scale: 1:200 Drawing: 100
Created:	Date of Rev.	Sheet size
13.04.2007		A1

SURVEY NOTE:
 BOUNDARIES, LEVELS, CONTOURS, EXISTING IMPROVEMENTS
 AND TREES ARE DRAWN WITH REFERENCE TO SURVEY OF
 LOT 123 IN D.P. 13152 D.P.
 D.P. SURVEYING SERVICES,
 DATED 14. AUGUST 2009.
 CONTOUR LINES HAVE BEEN ADDED POST SURVEY AND ARE
 AN APPROXIMATION ONLY.

CERTIFICATION:
 DRIVEWAY IN ACCORDANCE WITH
 PITTSBURGH 21 DCP CONTROL B6.2

[Signature]

M. FORAN
 R. Arch



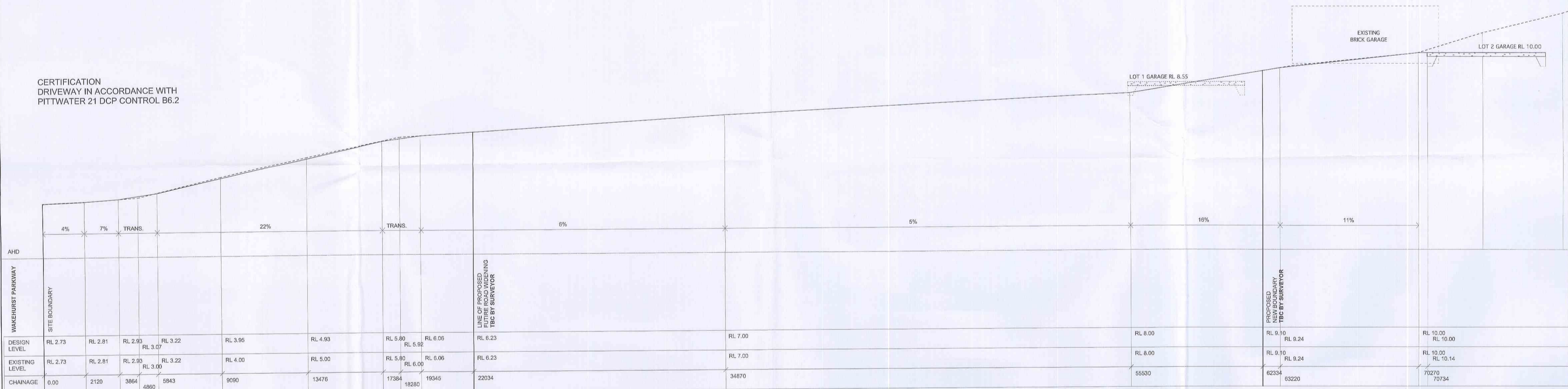
PITTSBURGH COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0049/10
 This is a copy of submitted plans, documents or
 Certificates associated with the issue of the
 Construction Certificate.
 Endorsed by: *[Signature]*
 Date: 31 MAR 2010

mike foran architecture 222, 2nd St 4122 W 10th St 4122 W 10th St 4122 W 10th St	NOTE: 1. THIS PLAN IS FOR INFORMATION ONLY. THE DESIGNER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE DRIVEWAY OR ANY OTHER STRUCTURE. 2. THE DRIVEWAY IS TO BE CONSTRUCTED IN ACCORDANCE WITH ALL OTHER RELEVANT ORDINANCES AND REGULATIONS.	Drawn by: Checked by: QUALITY CONTROL ENGINEER P.E. (C) P.E. (C) 102 812	SUBDIVISION OF LOT 123 IN D.P. 13152 FOR: MR. & MRS. BENNETT AT: 100 WAKEHURST PKWY, ELANDORA HEIGHTS	DRIVEWAY - LONG SECTION	<table border="1"> <tr> <td>Revised</td> <td>13.04.2007</td> <td>Drawn by</td> <td>AW</td> <td>Sheet</td> <td>105</td> </tr> <tr> <td>Scale</td> <td>1:200</td> <td>Drawn by</td> <td>AW</td> <td>Sheet</td> <td>105</td> </tr> </table>	Revised	13.04.2007	Drawn by	AW	Sheet	105	Scale	1:200	Drawn by	AW	Sheet	105
Revised	13.04.2007	Drawn by	AW	Sheet	105												
Scale	1:200	Drawn by	AW	Sheet	105												

SURVEY NOTE:
 BOUNDARIES, LEVELS, CONTOURS, EXISTING IMPROVEMENTS
 AND TREES ARE DRAWN WITH REFERENCE TO SURVEY OF
 LOT 123 IN D.P. 13152 BY:
 DP SURVEYING SERVICES,
 DATED 14. AUGUST 2006

CONTOUR LINES HAVE BEEN ADDED POST SURVEY AND ARE
 AN APPROXIMATION ONLY.

CERTIFICATION
 DRIVEWAY IN ACCORDANCE WITH
 PITTSWATER 21 DCP CONTROL B6.2



PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0049/10
 This is a copy of submitted plans, documents or
 Certificates associated with the issue of the
 Construction Certificate.
 End issued by: *RW*
 Date: 31 MAR 2010

mike foran architecture
 P.O. Box 417
 MANKY NSW 1555
 mobile 0434 904 582
 email: mforan@mforanarchitecture.com.au

NOTE
 1. DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY.
 ALL DIMENSIONS TO BE VERIFIED ON SITE. REPORT ANY DISCREPANCIES TO THE DESIGNER FOR DECISION/CLARIFICATION
 BEFORE PROCEEDING WITH THE WORK.
 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS

Consultants
 Structural Engineer - DOHERTY CONSULTING ENGINEERS PTY LTD
 PH/FAX: (02) 9972 9612

SUBDIVISION OF LOT 123 IN D.P. 13152
 FOR: MR. & MRS. BENNETT
 AT: 100 WAKEHURST PKWY, ELANORA HEIGHTS

DRIVEWAY - LONG SECTION
 Document issued for: CONSTRUCTION
 Scale: 1:200
 Drawing: 105
 Created: 13.04.2007
 Date of Rev.:
 Sheet size: A1
 Rev: -

SURVEY NOTE:
 BOUNDARIES, LEVELS, CONTOURS, EXISTING IMPROVEMENTS AND TREES ARE DRAWN WITH REFERENCE TO SURVEY OF LOT 123 IN D.P. 13152 BY DP SURVEYING SERVICES, DATED 14 AUGUST 2006

CONTOUR LINES HAVE BEEN ADDED POST SURVEY AND ARE AN APPROXIMATION ONLY.

CERTIFICATION
 EROSION AND SEDIMENT MANAGEMENT PLAN PREPARED IN ACCORDANCE WITH NSW DEPT. OF LAND AND WATER CONSERVATION - URBAN EROSION AND SEDIMENT CONTROL MANUAL

M. Foran
 b. arch.

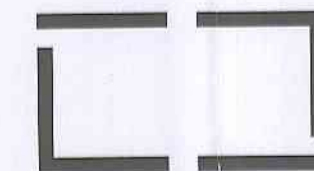
LEGEND



SITE EXCLUSION FENCING
 TYPICAL WIRE MESH FENCING TO 1800MM HEIGHT



SEDIMENT CONTROL FENCE / STRAW BALE FILTER



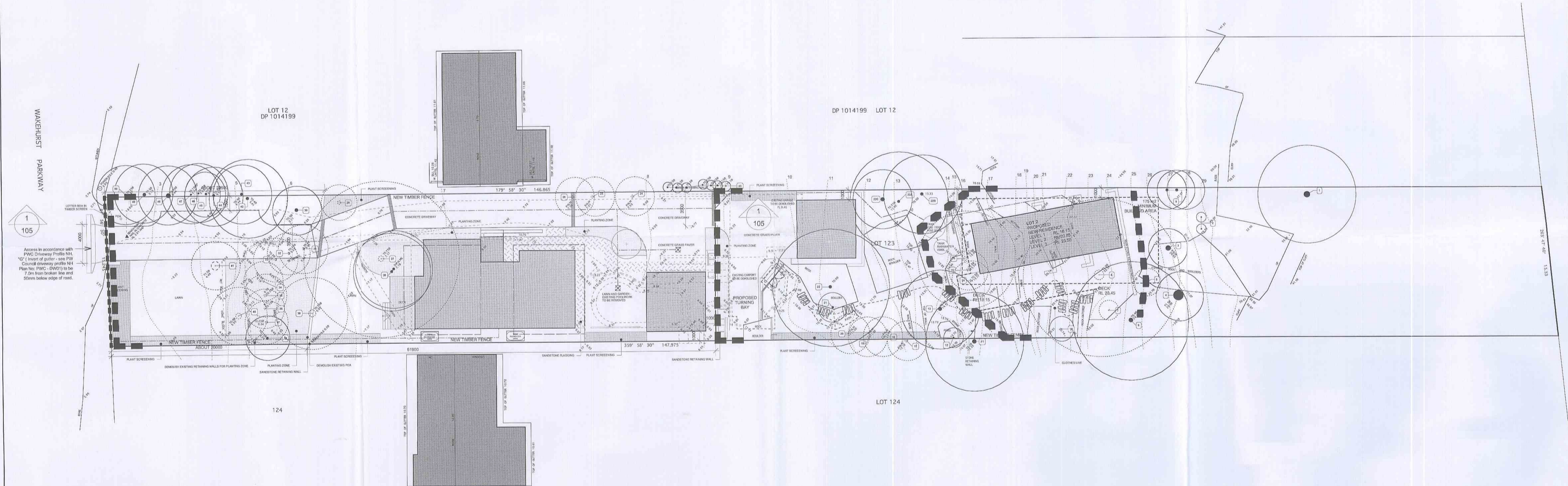
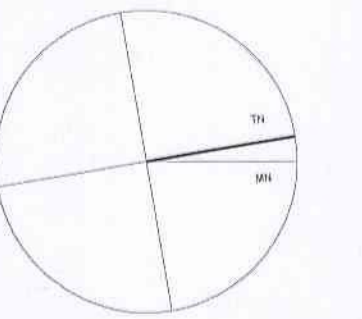
STABILIZED SITE ACCESS
 STRIP TOPSOIL, COMPACT SUBGRADE, LAY 30-60MM CRUSHED CONCRETE AGGREGATE ON GEOTEXTILE FABRIC TO 200MM DEPTH

CONSTRUCTION NOTES - SEDIMENT CONTROL FENCE

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE TIMBER OR STEEL PICKETS INTO GROUND, 3 M APART.
3. DIG A 150 MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF SUPPORTING GEOTEXTILE TO UPSIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150 MM OVERLAP.

CONSTRUCTION NOTES - STRAW BALE FILTER

1. CONSTRUCT STRAW BALE FILTER AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE OR AT THE TOE OF THE SLOPE.
2. PLACE BALES LENGTHWISE IN A ROW WITH ENDS TIGHTLY ABUTTING. USE STRAW TO FILL ANY GAPS BETWEEN BALES. STRAWS TO BE PLACED PARALLEL TO GROUND.
3. ON SOFT MATERIALS, EMBED EACH BALE IN THE GROUND 75 MM TO 100 MM AND ANCHOR WITH 1.2 METER XXX PICKETS. ANGLE THE FIRST STAKE IN EACH BALE TOWARDS THE PREVIOUSLY LAID BAIL DRIVE STAKES 600 MM INTO THE GROUND AND FLUSH WITH THE TOP OF THE BALES.
4. WHERE A STRAW BALE FILTER IS CONSTRUCTED DOWNSLOPE FROM A DISTURBED BATTER THE BALES SHOULD BE LOCATED 1.5 M TO 2 M DOWNSLOPE FROM THE TOP OF THE BATTER.



PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0049/10
 This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
 Enforced by: K.W.
 Date: 31 MAR 2010

mike foran architecture
 P.O. Box 417
 MANKY 1555
 mobile 0434 904 582
 email mforan@mforanarch.com.au

NOTE
 1. DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY.
 ALL DIMENSIONS TO BE VERIFIED ON SITE. REPORT ANY DISCREPANCIES TO THE DESIGNER FOR DECISION/CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS

Consultants
 Structural Engineer - DOCHERRY CONSULTING ENGINEERS PTY LTD
 PH/FAX: (02) 9972 8842

SUBDIVISION OF LOT 123 IN D.P. 13152
 FOR: MR. & MRS. BENNETT
 AT: 100 WAKEHURST PKWY, ELANORA HEIGHTS

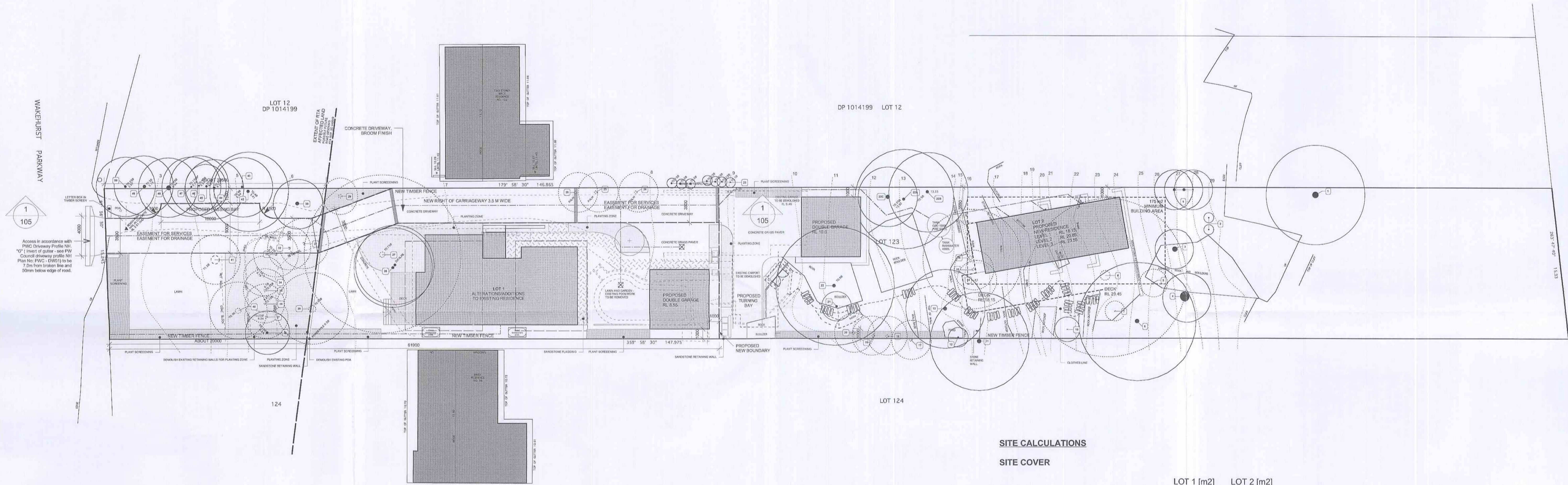
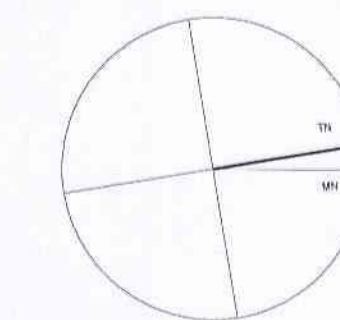
EROSION & SEDIMENT
 MANAGEMENT PLAN

Rev	Amendment	Scale	Date
1	CONSTRUCTION	1:200	13.04.2007
104		A1	

SURVEY NOTE:
 BOUNDARIES, LEVELS, CONTOURS, EXISTING IMPROVEMENTS
 AND TREES ARE DRAWN WITH REFERENCE TO SURVEY OF
 LOT 123 IN D.P. 13152 BY:
 DP SURVEYING SERVICES,
 DATED 14, AUGUST 2005

CONTOUR LINES HAVE BEEN ADDED POST SURVEY AND ARE
 AN APPROXIMATION ONLY.

- TREE LEGEND**
- * (C) EXISTING TREE TO BE RETAINED
 - (C) EXISTING TREE TO BE REMOVED
 - (C) EXISTING TREE TO BE RELOCATED
 - (C) NEW TREE



SITE CALCULATIONS

SITE COVER

	LOT 1 [m2]	LOT 2 [m2]
LOT AREA	551.5	1299.0
PERMISSIBLE SITE COVER - 50%	275.8	649.5
PROPOSED SITE COVER		
HOUSE	135.6	70.2
GARAGE	36.0	36.0
DRIVEWAY		
(1/2 DRIVEWAY LOT 1, EXCL. RTA LAND)	71.8	NA
PAVING	27.9	13.45
DECK (LOT1 DECK < 1M ABOVE NGL)	NA	31.45
RAINWATER / OSD TANKS	3.6	6.29
TOTAL	274.9	157.4
SITE COVER COMPLIANCE AT	49.8%	12.1%

ONSITE DETENTION (OSD)

	LOT 1 [m2]	LOT 2 [m2]
EXISTING HARD SURFACE AREA	431.9	87.8
PROPOSED HARD SURFACE AREA	440.8	157.4
DIFFERENCE	+8.9	+69.6
OSD COMPLIANCE AT	NIL	1500L

PT TOWATER COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0049/10
 This is a copy of submitted plans, documents or
 Certificates associated with the issue of the
 Construction Certificate.
 Enforced by: *KW*
 Date: 31 MAR 2010

mike foran architecture
 s. arch. ABN 19 665 321 421
 P.O. Box 417
 MANLY NSW 1665
 mob: 0434 934 582
 email: mforan@mikeforanarchitecture.com.au

NOTE
 1. DO NOT SCALE THE DRAWING. USE FIGURED DIMENSIONS ONLY.
 ALL DIMENSIONS TO BE VERIFIED ON SITE. REPORT ANY DISCREPANCIES TO THE DESIGNER FOR DECISION/CLARIFICATION
 BEFORE PROCEEDING WITH THE WORK.
 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS

Consultants
 Structural Engineer - DOHERTY CONSULTING ENGINEERS PTY LTD
 PH: FAX (02) 9972 9812

SUBDIVISION OF LOT 123 IN D.P. 13152
 FOR: MR. & MRS. BENNETT
 AT: 100 WAKEHURST PKWY, ELANORA HEIGHTS

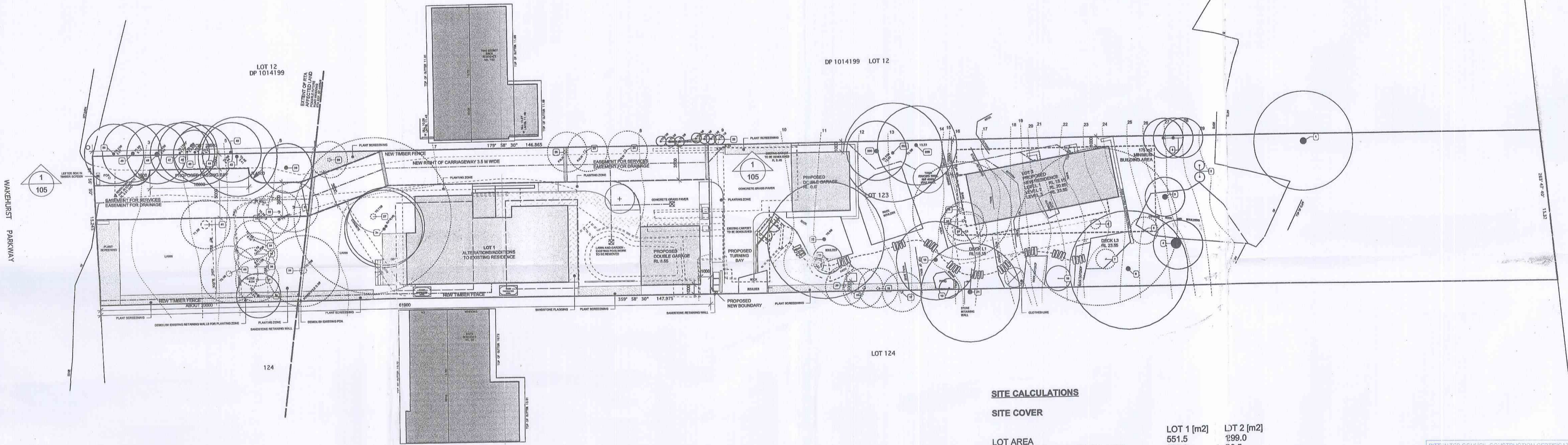
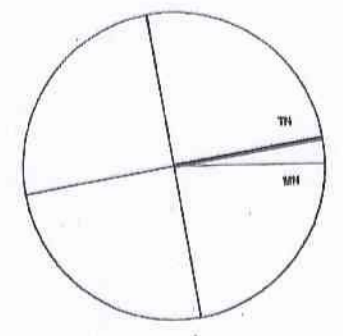
SITE PLAN

Rev	Amendment	Date
A	Delete timber fence and inulator, add L1 and L3 decks	25.10.2007
Description of Drawing		
Construction	Scale 1:200	Drawing 101
Created 13.04.2007	Date of Rev.	Sheet size A1
		Rev A

SURVEY NOTE:
BOUNDARIES, LEVELS, CONTOURS, EXISTING IMPROVEMENTS
AND TREES ARE DRAWN WITH REFERENCE TO SURVEY OF
LOT 123 IN D.P. 13152 BY:
DP SURVEYING SERVICES,
DATED 14. AUGUST 2006

CONTOUR LINES HAVE BEEN ADDED POST SURVEY AND ARE
AN APPROXIMATION ONLY.

- TREE LEGEND**
- ⊗ EXISTING TREE TO BE RETAINED
 - ⊙ EXISTING TREE TO BE REMOVED
 - ⊕ EXISTING TREE TO BE RELOCATED
 - NEW TREE



1 SITE PLAN
101 Scale: 1:200

SYDNEY WATER APPROVED

- Position of structure in relation to Sydney Water's assets is satisfactory.
- Connections to Sydney Water sewerage services may only be made following the issue of a permit to a licensed plumber/drainlayer.
- It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
- Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
- Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.

Property No. 3460694
Reece, Mona Vale
Quick Check Agents on behalf of SYDNEY WATER

reece 2/2/10

SITE CALCULATIONS

SITE COVER

	LOT 1 [m2]	LOT 2 [m2]
LOT AREA	551.5	199.0
PERMISSIBLE SITE COVER - 50%	275.8	99.5

PROPOSED SITE COVER

HOUSE	135.6	7.2
GARAGE	36.0	3.0
DRIVEWAY		
(1/2 DRIVEWAY LOT 1, EXCL. RTA LAND)	71.8	NA
PAVING	27.9	18.45
DECK (LOT1 DECK < 1M ABOVE NGL)	NA	2.45
RAINWATER / OSD TANKS	3.6	629
TOTAL	274.9	57.4
SITE COVER COMPLIANCE AT	49.8%	2.1%

ONSITE DETENTION (OSD)

	LOT 1 [m2]	LOT 2 [m2]
EXISTING HARD SURFACE AREA	431.9	17.8
PROPOSED HARD SURFACE AREA	440.8	57.4
DIFFERENCE	+8.9	69.6
OSD COMPLIANCE AT	NIL	500L

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC 0049/10
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: K.W.
Date: 31 MAR 2010

FITZWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

SCANNED
16 NOV 2007
PITTWATER COUNCIL

mike foran architecture
B. Arch ABN 19 665 321 421

1 ARTHUR STREET,
FAIRLIGHT NSW 2094
ph/fax: (02) 9400 0022
email: mforan@mforanarchitecture.com.au

NOTE

- DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE. REPORT ANY DISCREPANCIES TO THE DESIGNER FOR DECISION/CLARIFICATION BEFORE PROCEEDING WITH THE WORK
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS

CONSULTANTS

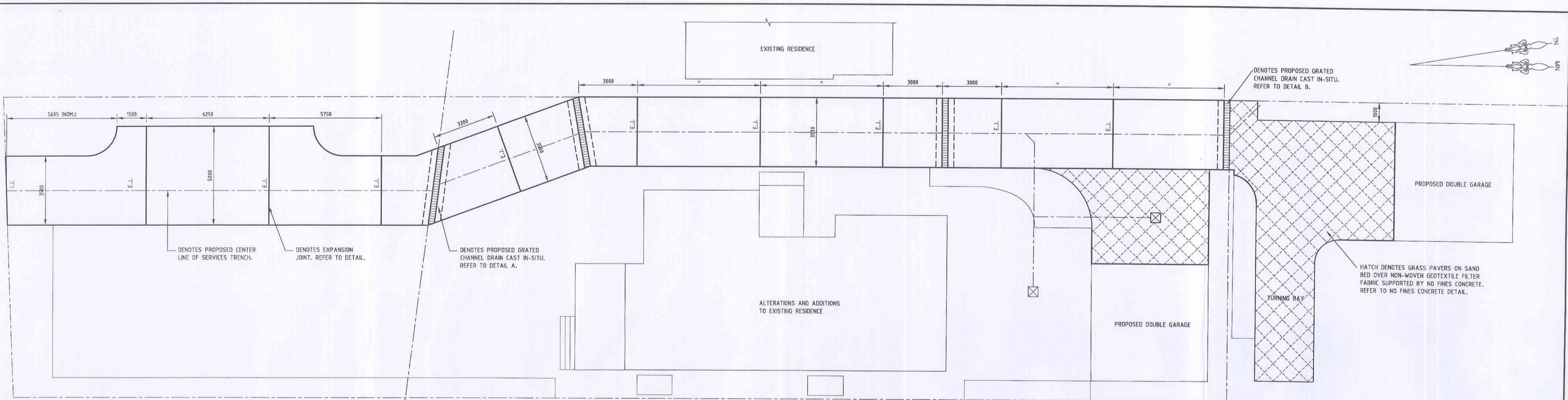
DATE	REVISION	AMENDMENT
13.04.07	-	DA SUBMISSION
25.10.07	A	REMOVED TIMBER FENCE & INCLINATR, ADDED L1 & L3 DECKS

PROJECT
SUBDIVISION OF LOT 123 IN D.P. 13152
100 WAKEHURST PKWY,
ELANORA HEIGHTS
FOR MR. & MRS. BENNETT

DRAWING
SITE PLAN

DOCUMENT ISSUED FOR
DA

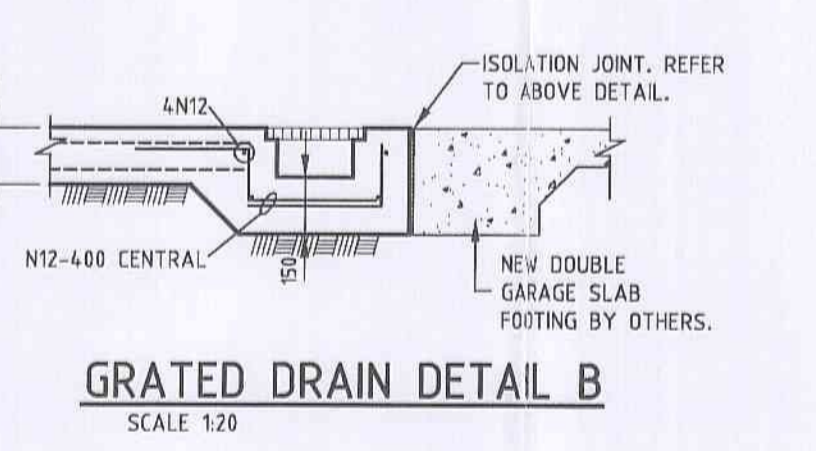
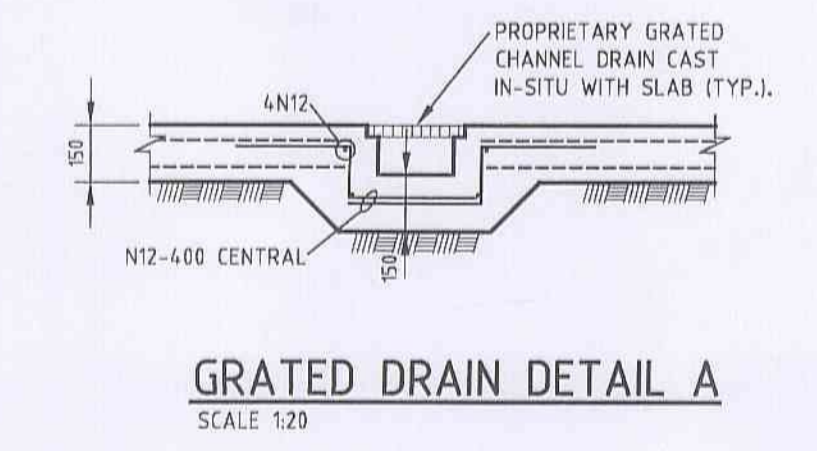
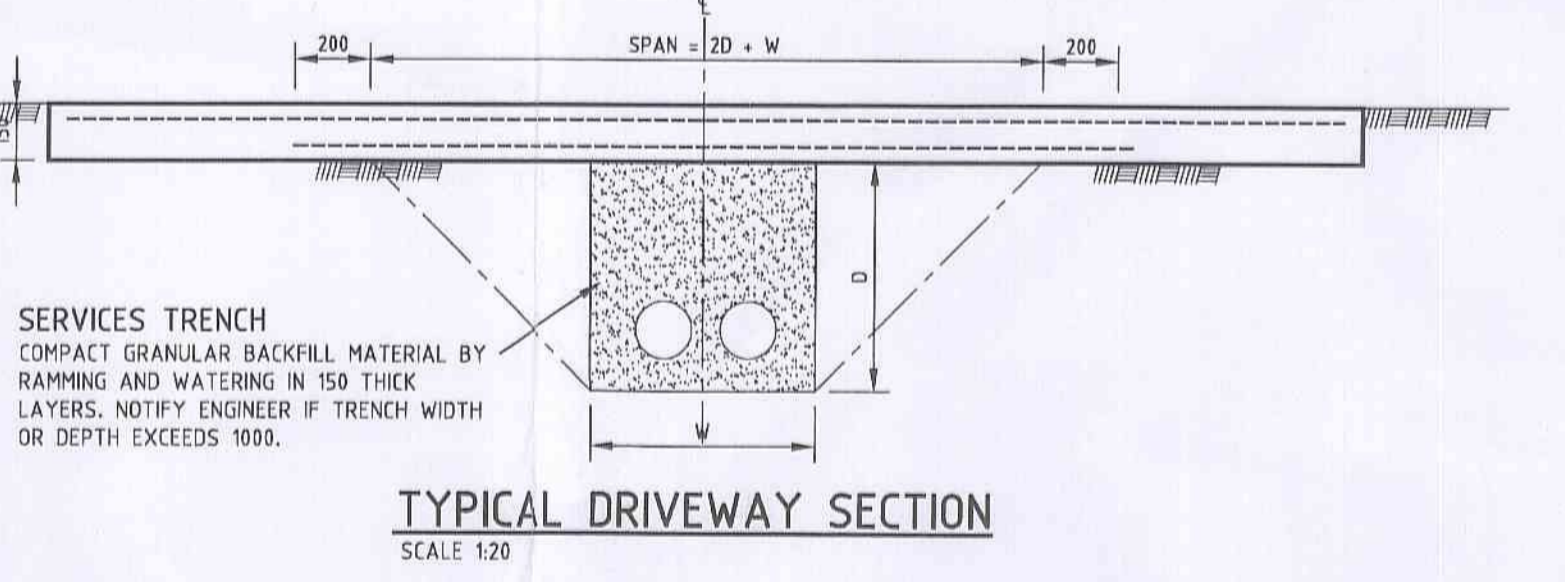
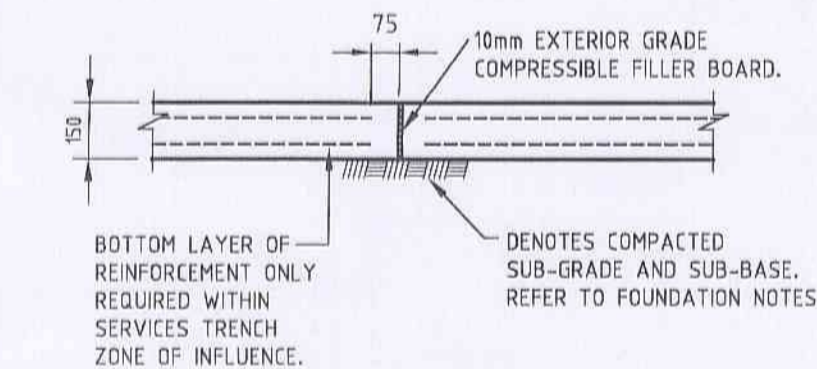
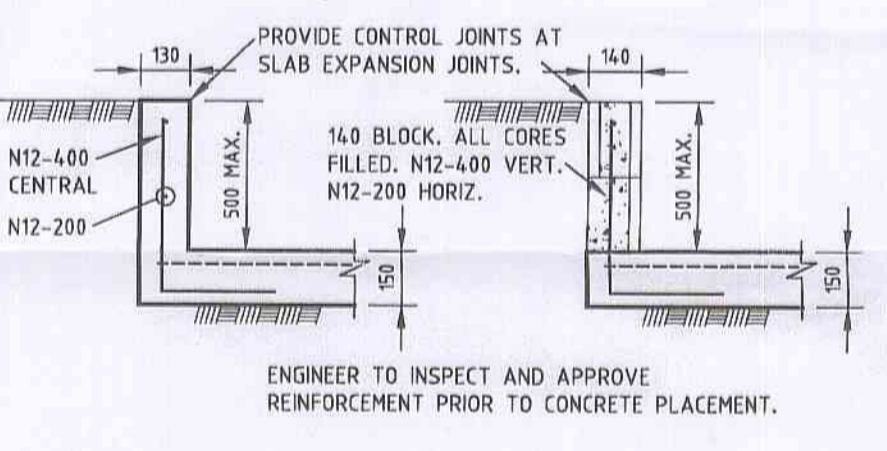
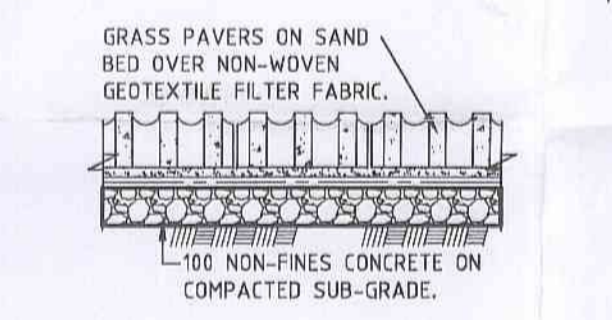
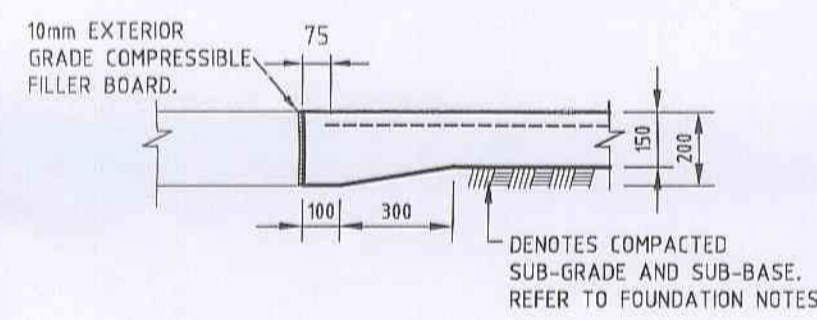
Drawg No.	DATE
101	25.10.07
REVISION	
A	



DRIVEWAY PLAN
SCALE 1:100

- NOTES:**
- REFER TO MKE FORAN ARCHITECTURE DRAWING Nos.101 AND 105 FOR DRIVEWAY DESIGN LEVELS.
 - STRUCTURAL ENGINEER TO INSPECT AND APPROVE STEEL REINFORCEMENT PRIOR TO CONCRETE PLACEMENT.
 - GEOTECHNICAL ENGINEER TO VERIFY SUBGRADE/SUB-BASE COMPACTION PRIOR TO CONCRETE PLACEMENT (REFER TO FOUNDATION NOTES).
 - REMOVE ANY LOOSE/SOFT AREAS IN SUB-BASE DURING PROOF ROLLING AND REPLACE WITH ENGINEERED FILL IN ACCORDANCE WITH FOUNDATION NOTES BELOW AND GEOTECHNICAL ENGINEERS' REQUIREMENTS.

PITTMATER COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0049110
 This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
 Endorsed by: [Signature]
 Date: 18 MAR 2010



GENERAL

- This drawing shall be read in conjunction with all other working drawings and specifications and with such other written instructions as may be issued during the course of construction. All discrepancies and variations shall be referred to the Engineer before proceeding with the work.
- All work shall be in accordance with the requirements of all relevant and current SAA Codes.
- All dimensions relevant to setting out and off-site work shall be verified before construction and fabrication is commenced.
- Dimensions shall not be obtained by scaling the structural drawings.
- During construction the structure shall be maintained in a stable condition and no part of the structure shall be overstressed.

CONCRETE

- All workmanship and materials shall be in accordance with current editions of AS3600 except as varied by contract documents.
- Cement shall be Type "A" unless specified otherwise. Concrete components and quality shall be as follows:

Structural Element	FC (MPa)	Slump (mm)	Aggr. Size (mm)	Density (kg/m ³)
Footings, levelling strips	25	100	20	2400
Slab on ground	32	100	20	2400
Suspended slab	40	100	20	2400
Beams, columns, and walls	40	100	20	2400

- Clear concrete cover to reinforcement unless shown otherwise shall be:

Element	Formed Not exposed	Formed exposed soil or rain	Poured against membrane
Slabs	30	40	30
Walls	30	40	n/a
Beams	40	50	n/a
Columns	40	50	n/a
Pedestals	50	50	n/a
Footings	50	65	40

CONSTRUCTION NOTES

- Construction joints shall be properly formed and used only where shown or specifically approved by the Engineer.
- No holes, chases or embedment of pipes, other than those shown on the structural drawings, shall be made without the written prior approval of the Engineer.
- Splices in reinforcement shall be made only in the positions shown on the Structural drawings, or as otherwise approved by the Engineer.
- Lapped fabric splices shall be so made that the overlap, measured between the outermost wires of each sheet of fabric, is not less than the wire spacing plus 25mm.
- Reinforcement is shown diagrammatically, it is not necessarily shown in true projection.
- All reinforcement fabric shall be to AS1304. All reinforcement bars shall be to AS1302. Symbols: F: wire reinforcing fabric. W: Grade 450 deformed wire S: Grade 200 deformed bar N: Grade 500 deformed bar. Example of designation code for reinforcing bars: - No of bars in group - bar grade and type - nominal bar size in mm - spacing in mm. UNO stands for unless noted otherwise.
- Where transverse tie bars are not shown, provide N12-400. Splice where necessary and lap with main bars for 400mm.
- All concrete shall be placed and "cured" in accordance with AS3600. Where curing compound is used it must be applied (a) onto slabs within 2 hours of finishing the concrete surface, (b) onto walls and columns immediately after removal of formwork.
- Horizontal formwork shall be stripped when approved by the Engineer.
- Slabs and beams shall bear only onto the beams, walls and other types of support as shown on the structural drawings. All other building elements shall be kept 15mm clear from soffits of structure.
- During concrete placing the builder shall have on site rain protecting plastic sheeting and supports to keep it clear of wet concrete, and also aliphatic alcohol sprays to prevent plastic cracking in hot or windy conditions.

MASONRY

- Where slabs or beams bear on masonry, the top course shall be level, smooth and covered with two layers of three-ply malthoid unless noted otherwise.
- Masonry walls shall not be erected on suspended slabs or beams until all propping has been removed.
- Bricks used in load bearing construction shall have a minimum compressive strength of 20 MPa unless otherwise noted.
- All masonry shall comply with AS3700 and Australian Standards referenced within AS3700.
- Masonry shall be articulated where required by AS2870 to satisfy footing design selections.

BLOCKWORK

- Blockwork shall be in accordance with AS2733
- Concrete in base shall be Grade 20
- Reinforcement symbol S requires bars as Note C9
- Construct retaining walls with double-U blocks
- Blocks shall be Grade 12 to AS2733
- Clean out openings shall be used in all cores and cleaned out before grout filling.
- Use recessed blocks for horizontal bars.
- Grout shall be Grade 20 with 10mm aggregate and 230 slump
- All cores shall be filled with grout
- All mortar shall be 1 part cement to 1/2 part lime and 4-1/2 parts sand. (1 : 0.5 : 4.5)
- Mortar dags and concrete fins shall be removed by rodding and cleaned out before grouting cores.
- Where horizontal bars are specified in both faces they shall be in staggered courses.
- Where vertical bars are shown lapped, the bar may be in one length to suit double-U blocks in stack bond

FOUNDATIONS

- Strip top layer of root affected soil and proof roll the subgrade/sub-base.
- Where required use engineered fill to achieve design levels. Engineered fill must be free of organic materials, contaminants and other deleterious substances and have a maximum particle size not exceeding 40mm. Engineered fill should be placed in layers of maximum 100mm loose thickness and compacted to achieve a Minimum Density Index of 70% (sandy fill materials), or at least 98% Standard Maximum Dry Density (excavated sandstone). Contractor is to provide confirmatory dynamic cone penetrometer, or in-situ density, test results to geotechnical and structural engineer prior to concrete placement.

DATE	ISSUE	DESCRIPTION
18.11.09	0	ISSUED FOR CONSTRUCTION

PLAN CERTIFICATION
 I am a Structural Engineer holding the qualification of BE (Civil) and ME (Structural) and I am appropriately qualified to certify the structural components of this project. I hereby state that these plans and details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.
 Kyle Docherty BE ME PE Eng
 Docherty Consulting Engineers Pty Ltd

DOCHERTY CONSULTING ENGINEERS
 Structural & Civil
 Docherty Consulting Engineers Pty Ltd
 77 Anzac Avenue, Collaroy, NSW 2097
 ABN 74 105 101 540
 AON 105 101 540
 ph/fax 02 9972 9812 email: kyle.docherty@bigpond.com

Project
**SUBDIVISION OF LOT 123 IN D.P.13152
 100 WAKEHURST PARKWAY, ELANORA HEIGHTS
 For MR & MRS BENNETT**
 Drawing Title
STRUCTURAL DETAILS

Drawn	Approved
KRD	K R DOCHERTY
Date	Purpose of Issue
18.11.09	CONSTRUCTION
Scale	Sheet Project No Drg No Rev
NTS	A1 91007 S01 0