

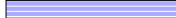










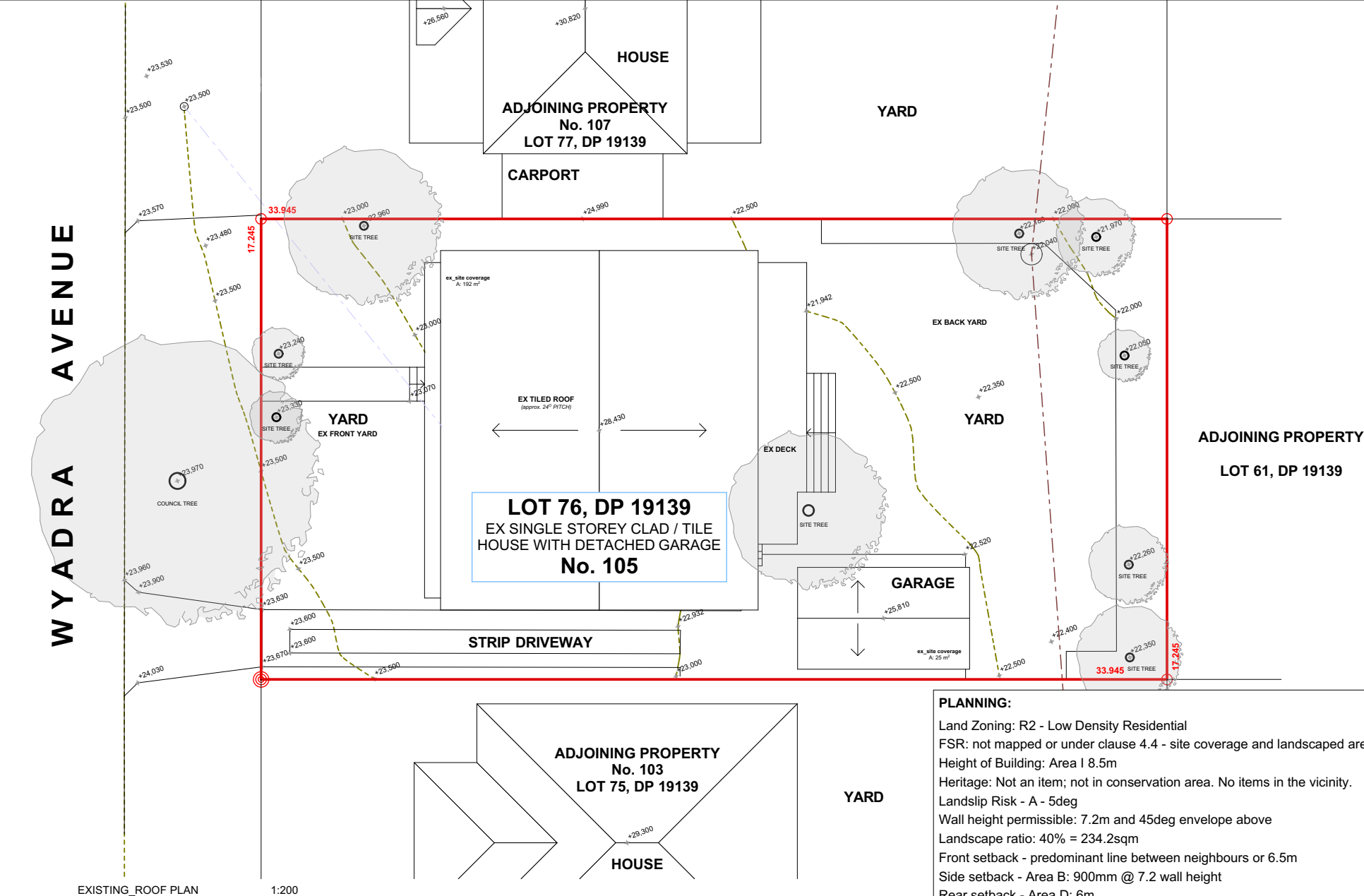


SYMBOLS + COLOURS:

	OUTLINE OF DEMOLITION.
	BOUNDARY LINE - AS SURVEYED
	NEW ROOF.
	DIRECTION OF ROOF FALL.
	DIRECTION OF STORMWATER
	DIRECTION OF SURFACE FALL.
	ACHIEVED SETBACK DIMENSION.
	YELLOW - TIMBER BASED
	RED - MASONRY BASED
	ORANGE - DEMOLITION
	GREEN - CONCRETE BASED
	BLUE - METAL BASED
	PINK - PAVEMENT - MISC.

LEGEND:	
AFFL	ABOVE FINISHED
	FLOOR LEVEL
BAL	BALUSTRADE
BG	BOX GUTTER - TO ENGINEER'S DETAILS
BLD	BUILDING
BSN	BASIN
BW#K	BRICKWORK- COLOUR/FINISH
COL	COLUMN
CONC	CONCRETE
COS	CONFIRM ON SITE
CPT	CARPET
DP	DOWNPIPE
DR	DRYER
EX	EXISTING
FB	FACE BRICK
FC#	FIBRE CEMENT
FCL	SHEETING-TYPE FINISHED CEILING
	LEVEL
FFL	FINISHED FLOOR LEVEL
FLUE	FIRE PLACE FLUE
FP	FIRE PLACE - INTERNAL
GL	GLASS-TO BASIX REQUIREMENTS
	HDR
	HANDRAIL
	MDR
	METAL DECK ROOF
	SHEETING
	MTL
	METAL SHEET
	O/H
	OVERHEAD
	PAR
	PARAPET
	PAV
	PAVEMENT
	PF
	PAINT FINISH
	PP
	POWER POLE
	R
	RENDER
	RR
	ROOF RIDGE
	RL
	RELATIVE LEVEL
	RT
	ROOF TILE
	RWO
	RAINWATER OUTLET
	SHR
	SHOWER
	TD
	TIMBER DECK
	TF
	TIMBER FLOOR
	TFAS
	TOP OF FASCIA
	TG
	TILE TO GUTTER
	TILE
	TILED FLOORING
	TYC
	TYPICAL
	TW
	TOP OF WALL
	WC
	WATER CLOSET
	TOILET SUITE
	WIN
	WINDOW
	WM
	WASHING MACHINE
	VNTY
	VANITY



PLANNING:	
Land Zoning: R2 - Low Density Residential	
FSR: not mapped or under clause 4.4 - site coverage and landscaped area based	
Height of Building: Area I 8.5m	COMPLIES
Heritage: Not an item; not in conservation area. No items in the vicinity.	
Landslip Risk - A - 5deg	ASSESSMENT
Wall height permissible: 7.2m and 45deg envelope above	COMPLIES
Landscape ratio: 40% = 234.2sqm	COMPLIES
Front setback - predominant line between neighbours or 6.5m	COMPLIES
Side setback - Area B: 900mm @ 7.2 wall height	COMPLIES
Rear setback - Area D: 6m	COMPLIES
Excavation: Part C7 - No numerical requirement	
Private Open Space: 3 or more bedrooms - 60sqm min. 5m measurement.	COMPLIES
Roof Form: Form to follow streetscape - pitched - varying hip or gable	COMPLIES
Side Boundary Envelope: 5m	COMPLIES



AREAS:		DA SUBMISSION		
Site Area:	585.5m ²	NORTHERN BEACHES COUNCIL		
Existing GFA and FSR:	118.0m ²	(0.20:1)	NOT MAPPED or NOT CLAUSED IN 4.4	WLEP 2011 MAPS_010
Proposed GFA and FSR:	159.0m²	(0.27:1)		
Existing Site Coverage	217.0m ²	(0.37:1)		
Proposed Site Coverage	289.0m²	(0.49:1)		
Existing Deep Soil Landscaping	312.0m ²	(0.53:1)		
Proposed Deep Soil Landscaping	235.0m²	(0.40:1)		
Maps	Applies	Requirement	Proposal	Complies
ASS_010	No	n/a	n/a	n/a
FLD_010	No	n/a	n/a	n/a
FSR_010	Yes	merit	0.27:1	Merit
HER_010	No	not applicable - not in heritage conservation area; not a listed item; not in the vicinity of a listed item.	not applicable	n/a
HOB_010	Yes	8.5m	5m	Yes
LZN_010	Yes	R2-Low Density Residential	no change	Yes

[illegible]

GENERAL NOTES

1. ALL DIMENSIONS: LEVELS, SEWER AND STORMWATER INVERT LEVELS AND FLOOR AREAS ARE TO BE CHECKED AND VERIFIED. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

Lot & DP LOT 76, DP 19139	North		Project PROPOSED ALTERATIONS & ADDITIONS TO EXISTING HOME - rear addition; carport, driveway & altered crossover 105 WYADRA AVENUE, NORTH MANLY NSW, 2096	Designer HARGROVES DESIGN CONSULTANTS Ph: 9960 0140 M: 0410 669 1416 E: hargroves@bigpond.com A: PO Box 416 Split Junction NSW 2088															
Copyright NORTHERN BEACHES COUNCIL	Copyright THIS DESIGN AND THE ASSOCIATED DOCUMENTS ARE SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN CONSENT FROM HARGROVES DESIGN CONSULTANTS		Client DEBORAH & MATTHEW MILLINER	<table border="1"> <tr> <td>Date</td><td>MAR 2019</td><td>Title</td><td>Sheet No</td><td>Issue</td></tr> <tr> <td>Scale</td><td>C</td><td>COVER SHEET, LOCATION & ROOF PLAN</td><td>DA-100</td><td>D</td></tr> <tr> <td>Drawn</td><td>R.P.</td><td></td><td></td><td></td></tr> </table>	Date	MAR 2019	Title	Sheet No	Issue	Scale	C	COVER SHEET, LOCATION & ROOF PLAN	DA-100	D	Drawn	R.P.			
Date	MAR 2019	Title	Sheet No	Issue															
Scale	C	COVER SHEET, LOCATION & ROOF PLAN	DA-100	D															
Drawn	R.P.																		



E.1 PROPOSED_WYADRA AVE ELEVATION (SOUTH) 1:100



E.1 EXISTING_WYADRA AVE ELEVATION (SOUTH) 1:100



ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
E	RP	ISSUE FOR DEVELOPMENT APPLICATION	16.08.2019				
D	RP	NEW LAYOUT - ISSUED FOR DISCUSSION	10.07.2019				
C	RP	ISSUED FOR APPROVAL	05.04.2019				
B	RP	ISSUED FOR INITIAL REVIEW - CONCEPTS	24.03.2019				
A	RP	ISSUED FOR INITIAL REVIEW	17.03.2019				

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**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

Lot & DP
LOT 76, DP 19139

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North



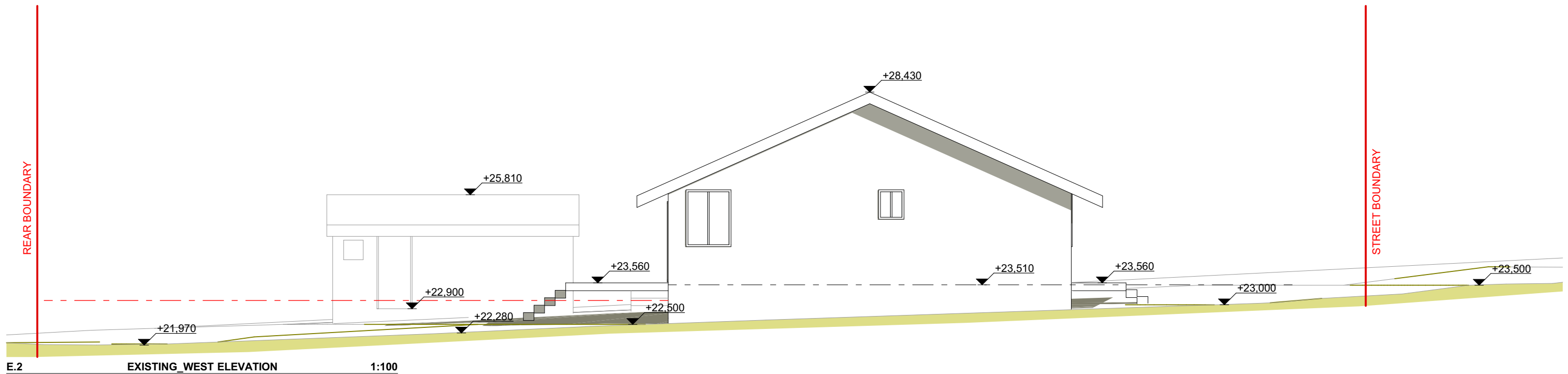
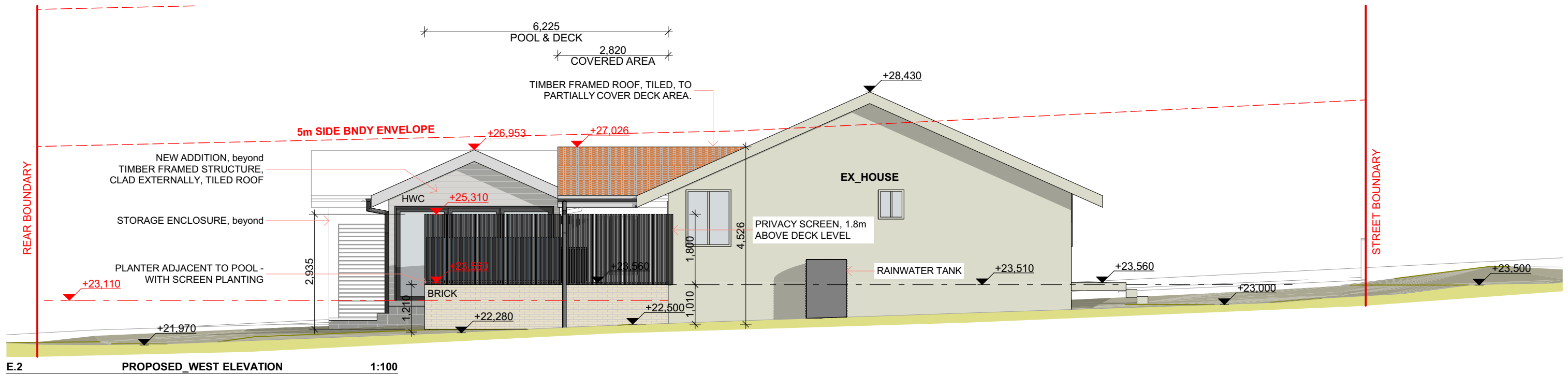
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Project
**PROPOSED ALTERATIONS & ADDITIONS TO
EXISTING HOME**
- rear addition; carport; driveway & altered crossover
105 WYADRA AVENUE, NORTH MANLY NSW, 2096

Client
DEBORAH & MATTHEW MILLINER

Designer
HARGROVES DESIGN CONSULTANTS
PH: 9960 0140
M: 0410 669 148
E: hargrove@bigpond.com
A: PO Box 416 Spit Junction NSW 2098

Date
MAR 2019
Scale
R.P.
Title
**EXISTING & PROPOSED
SOUTH ELEVATION**
Sheet No
DA-106
Issue
D



ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
E	RP	ISSUE FOR DEVELOPMENT APPLICATION	16.08.2019				
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**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

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LOT 76, DP 19139

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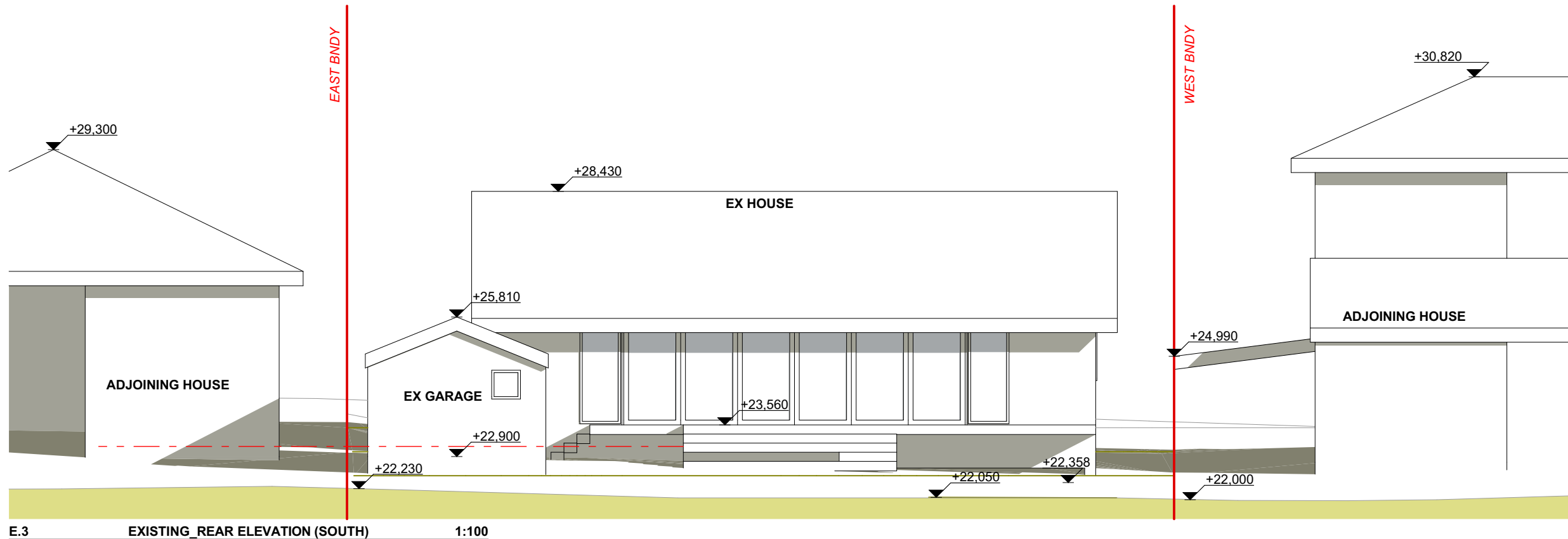
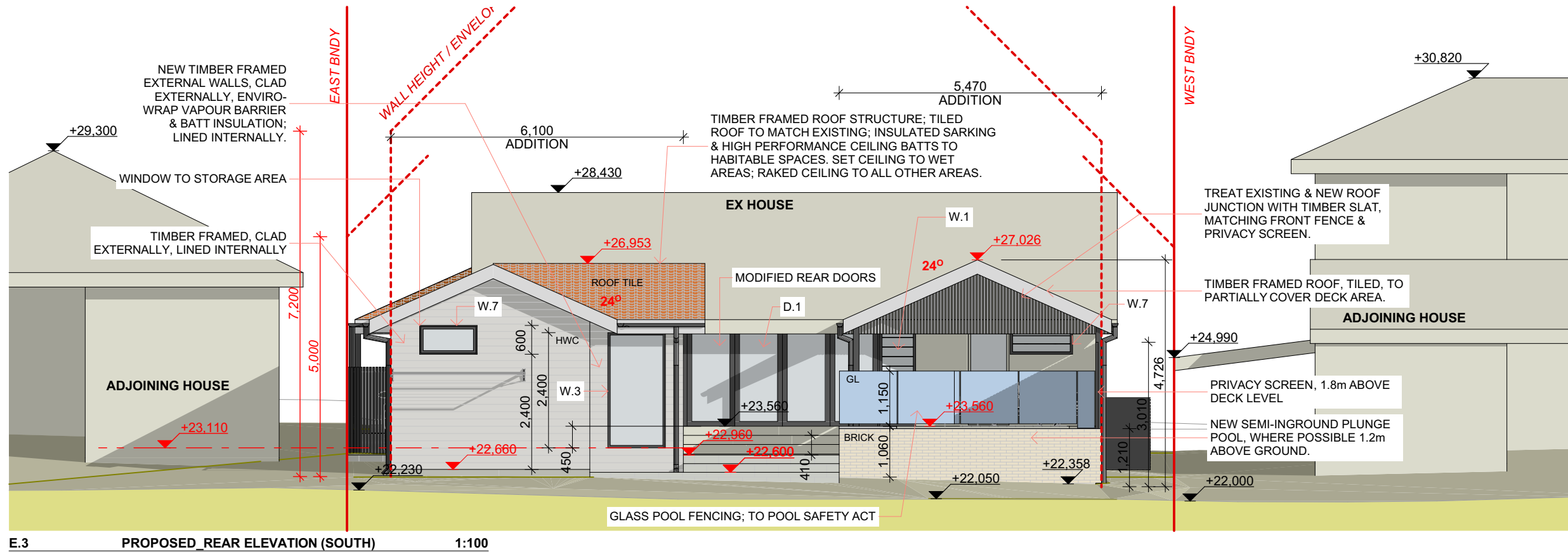
Date
MAR 2019

Scale
R.P.

Title
**EXISTING & PROPOSED
WESTERN ELEVATION**

Sheet No
DA-107

Issue
D



ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
E	RP	ISSUE FOR DEVELOPMENT APPLICATION	16.08.2019				
D	RP	NEW LAYOUT - ISSUED FOR DISCUSSION	16.07.2019				
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**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

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LOT 76, DP 19139

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105 WYADRA AVENUE, NORTH MANLY NSW, 2096

Client
DEBORAH & MATTHEW MILLINER

Designer
HARGROVES DESIGN CONSULTANTS

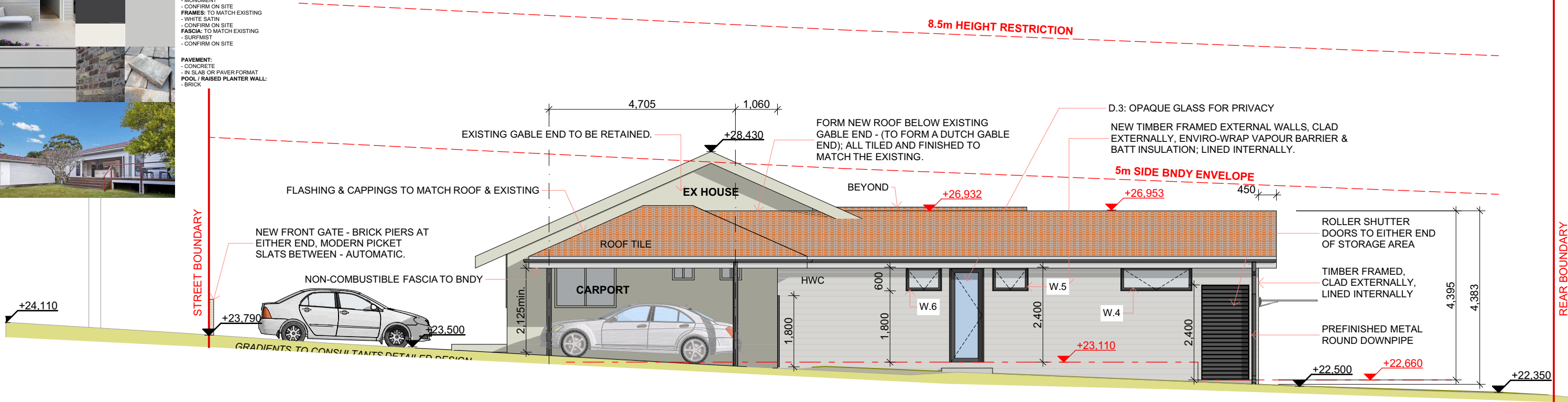
PH: 9960 0140
M: 0410 669 148
E: jhargrove@bigpond.com
A: PO Box 416 Spit Junction NSW 2098

Date
MAR 2019
Scale
R.P.
Title
**EXISTING & PROPOSED
NORTH ELEVATION**
Sheet No
DA-108
Issue
D

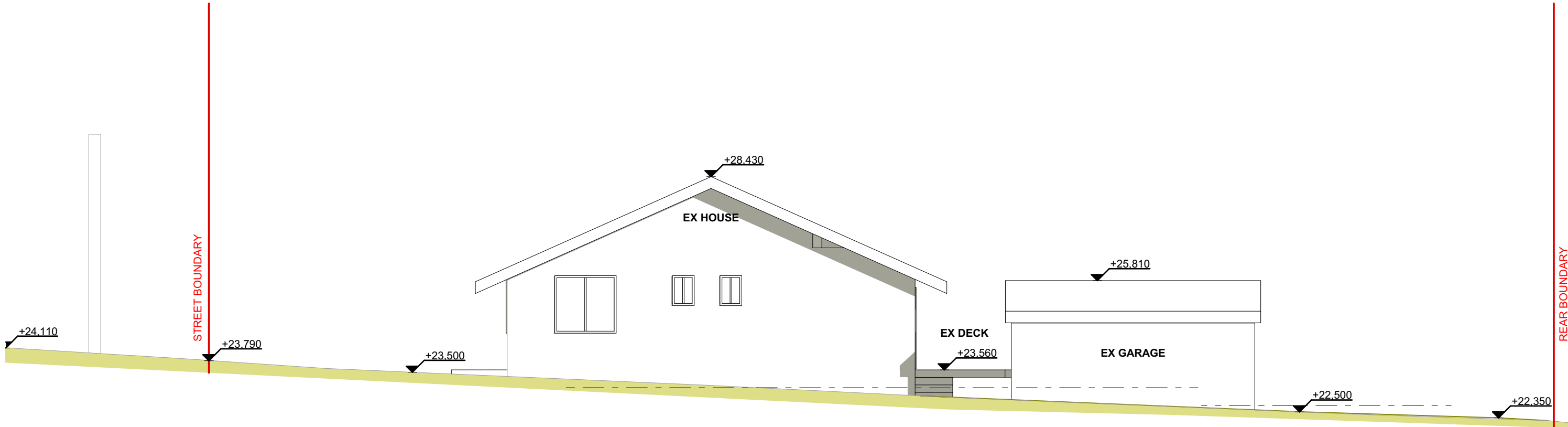
SCHEDULE OF FINISHES



- ROOF TILES:** TO MATCH EXISTING
- SIMILAR TO MONIER MARSEILLE 'AURORA'
- CONFIRM ON SITE
- HWC HORIZONTAL WALL CLADDING:** TO MATCH EXISTING
- SIMILAR TO SCYON GROOVED PANEL BOARD, PAINTED IN 'TRANQUIL RETREAT'
- CONFIRM ON SITE
- ROOF PLUMBING:** TO MATCH EXISTING
- MONUMENT
- CONFIRM ON SITE
FRAMES: TO MATCH EXISTING
- WHITE SATIN
- CONFIRM ON SITE
FASCIA: TO MATCH EXISTING
- SURFMIST
- CONFIRM ON SITE
- PAVEMENT:**
- CONCRETE
- IN SLAB OR PAVER FORMAT
POOL / RAISED PLANTER WALL:
- BRICK



E.4 PROPOSED EAST ELEVATION 1:100



E.4 EXISTING EAST ELEVATION 1:100

ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
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DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Lot & DP
LOT 76, DP 19139

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Project
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING HOME
- rear addition; carport; driveway & altered crossover
105 WYADRA AVENUE, NORTH MANLY NSW, 2096

Client
DEBORAH & MATTHEW MILLINER

Designer
HARGROVES DESIGN CONSULTANTS
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E: jhargrove@bigpond.com
A: PO Box 416 Spill Junction NSW 2098

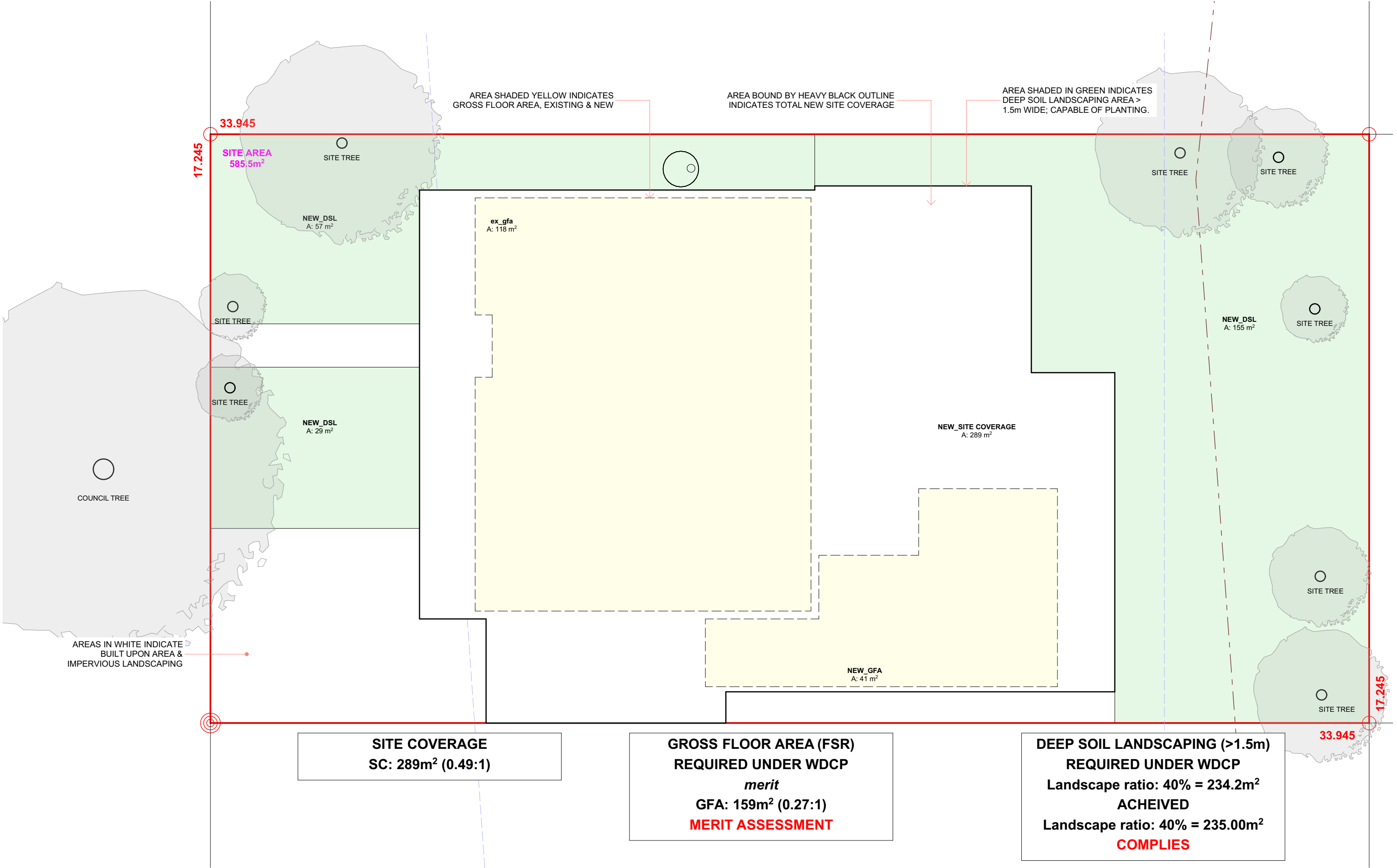
Date
MAR 2019

Scale
R.P.

Title
EXISTING & PROPOSED EAST ELEVATION

Sheet No
DA-109

Issue
D



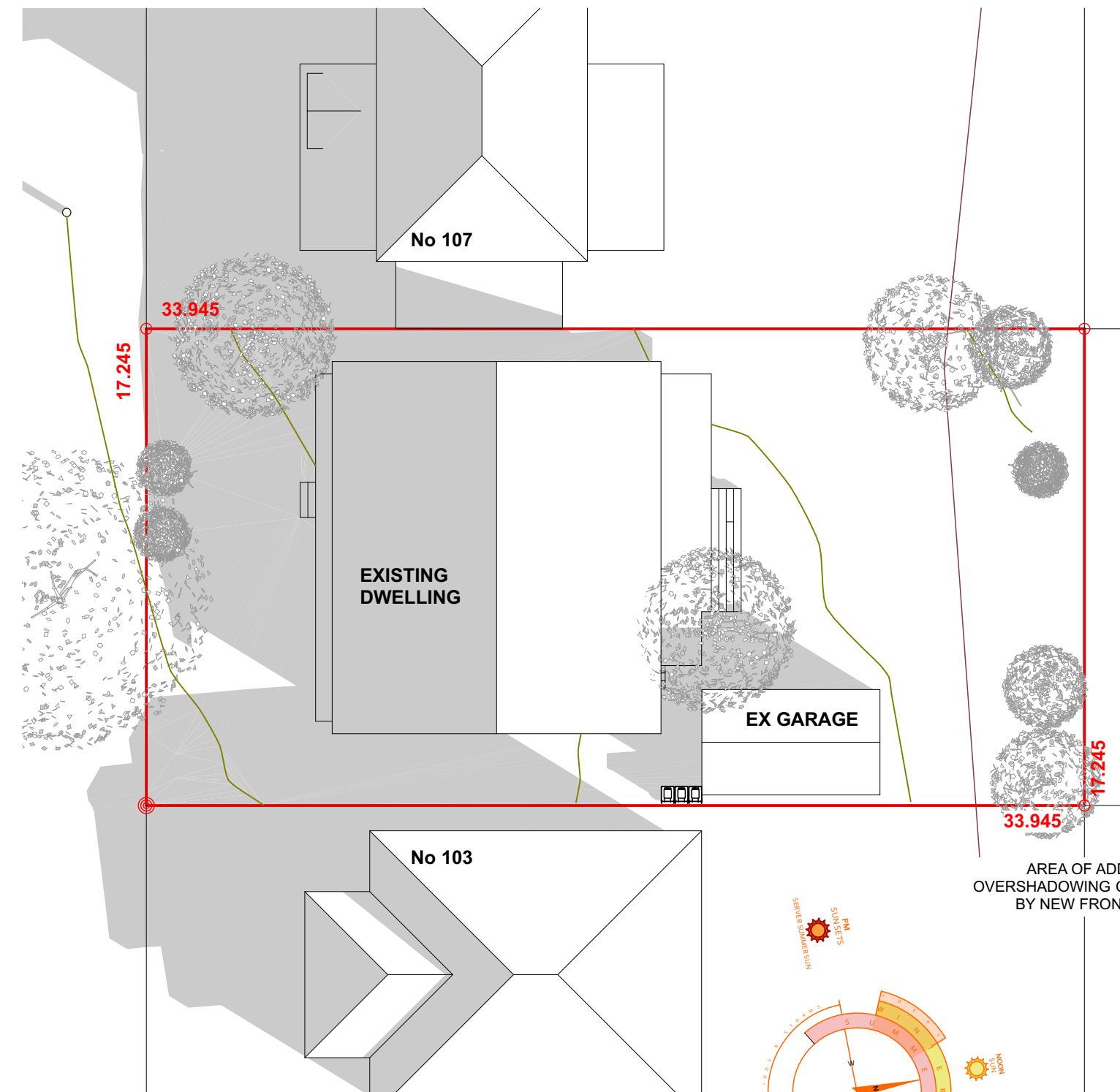
6. PLAN OF AREAS 1:100

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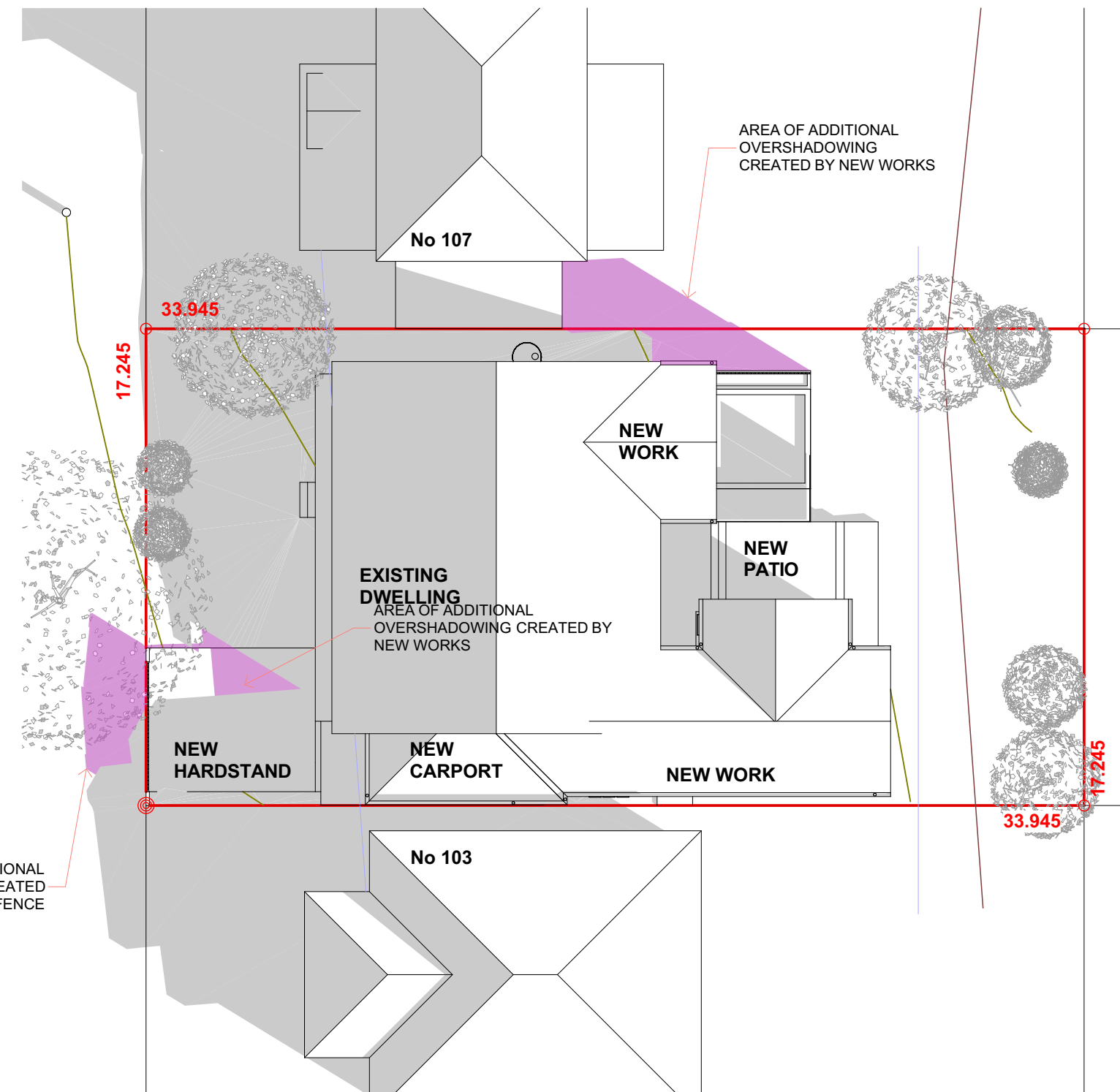
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DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Lot & DP LOT 76, DP 19139	North 	Project PROPOSED ALTERATIONS & ADDITIONS TO EXISTING HOME - rear addition; carport; driveway & altered crossover 105 WYADRA AVENUE, NORTH MANLY NSW, 2096	Designer HARGROVES DESIGN CONSULTANTS PH: 9960 0140 M: 0410 669 148 E: hargrove@bigpond.com A: PO Box 416 Spit Junction NSW 2098
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		Title SCHEDULE & PLAN OF AREAS	Sheet No DA-112 Issue D



1. EXISTING 9AM SHADOW DIAGRAM 1:200



1. PROPOSED 9AM SHADOW DIAGRAM 1:200

ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
E	RP	ISSUE FOR DEVELOPMENT APPLICATION	16.08.2019				
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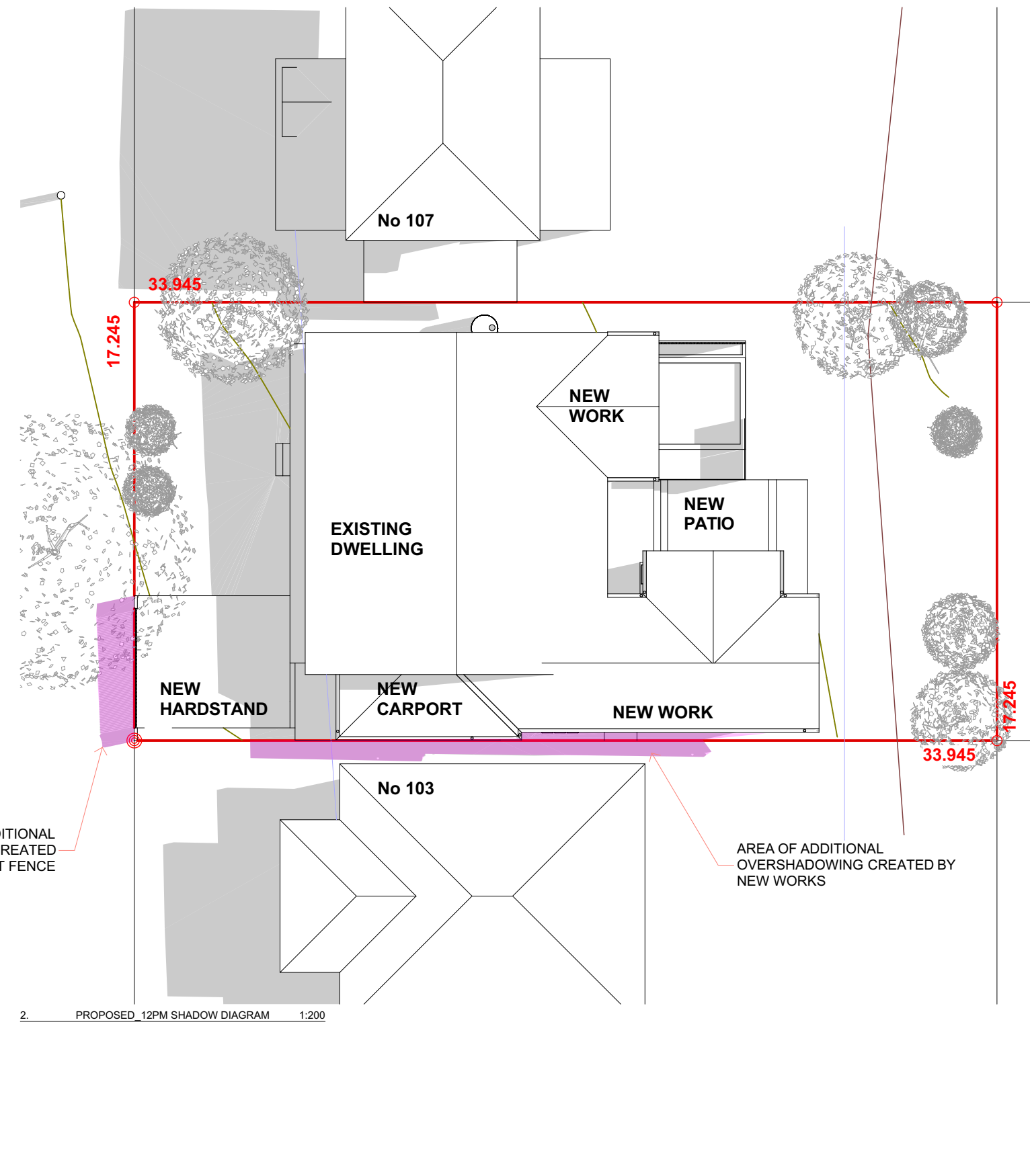
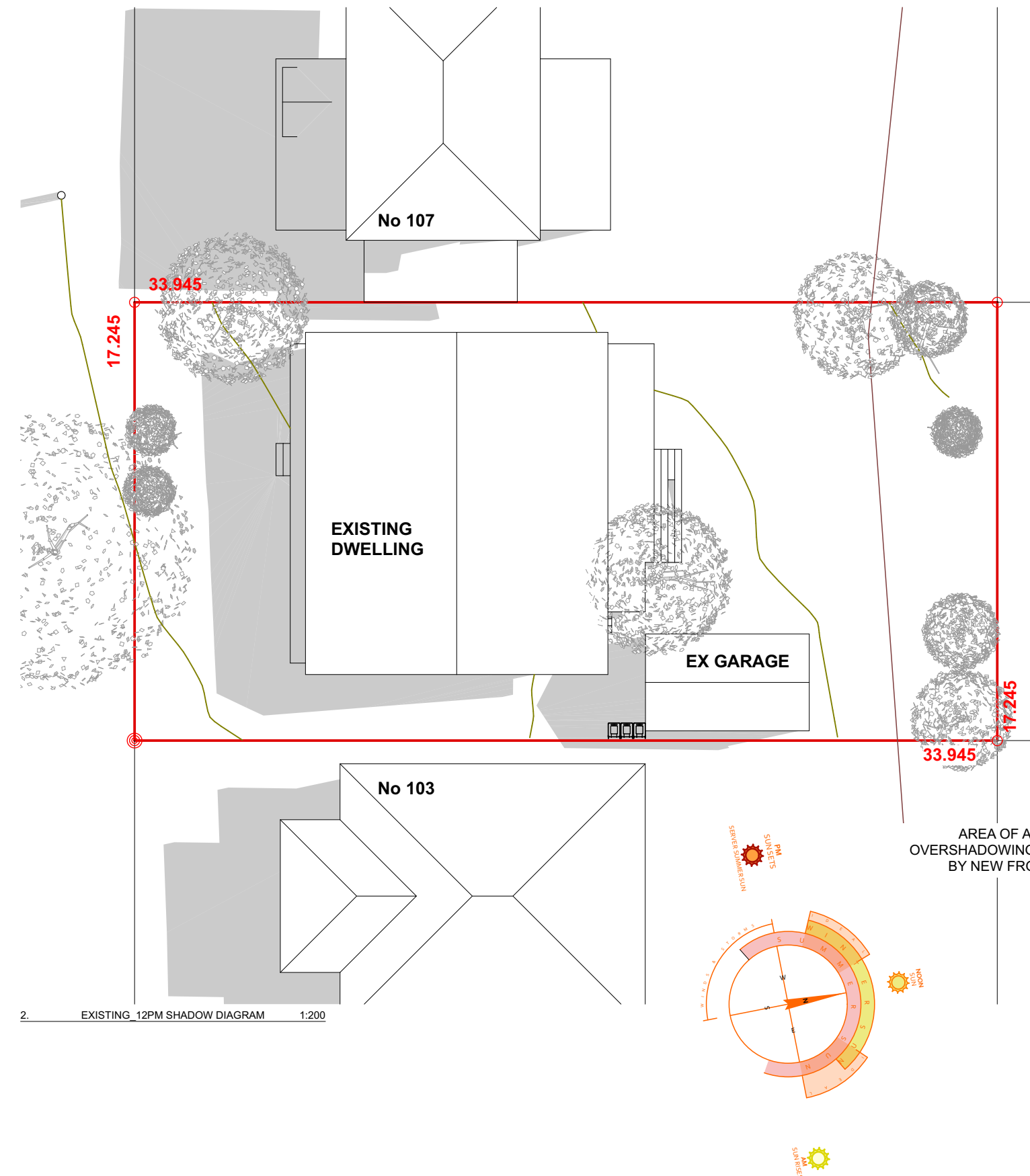
**DEVELOPMENT APPLICATION
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LOT 76, DP 19139	
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Project	Client
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING HOME - rear addition; carport; driveway & altered crossover 105 WYADRA AVENUE, NORTH MANLY NSW, 2096	DEBORAH & MATTHEW MILLINER

Designer	Date	Scale	Drawn
HARGROVES DESIGN CONSULTANTS PH: 9960 0140 M: 0410 669 148 E: jhargrove@bigpond.com A: PO Box 416 Spit Junction NSW 2098	MAR 2019	R.P.	R.P.

Sheet No	Issue
DA-113	D



ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
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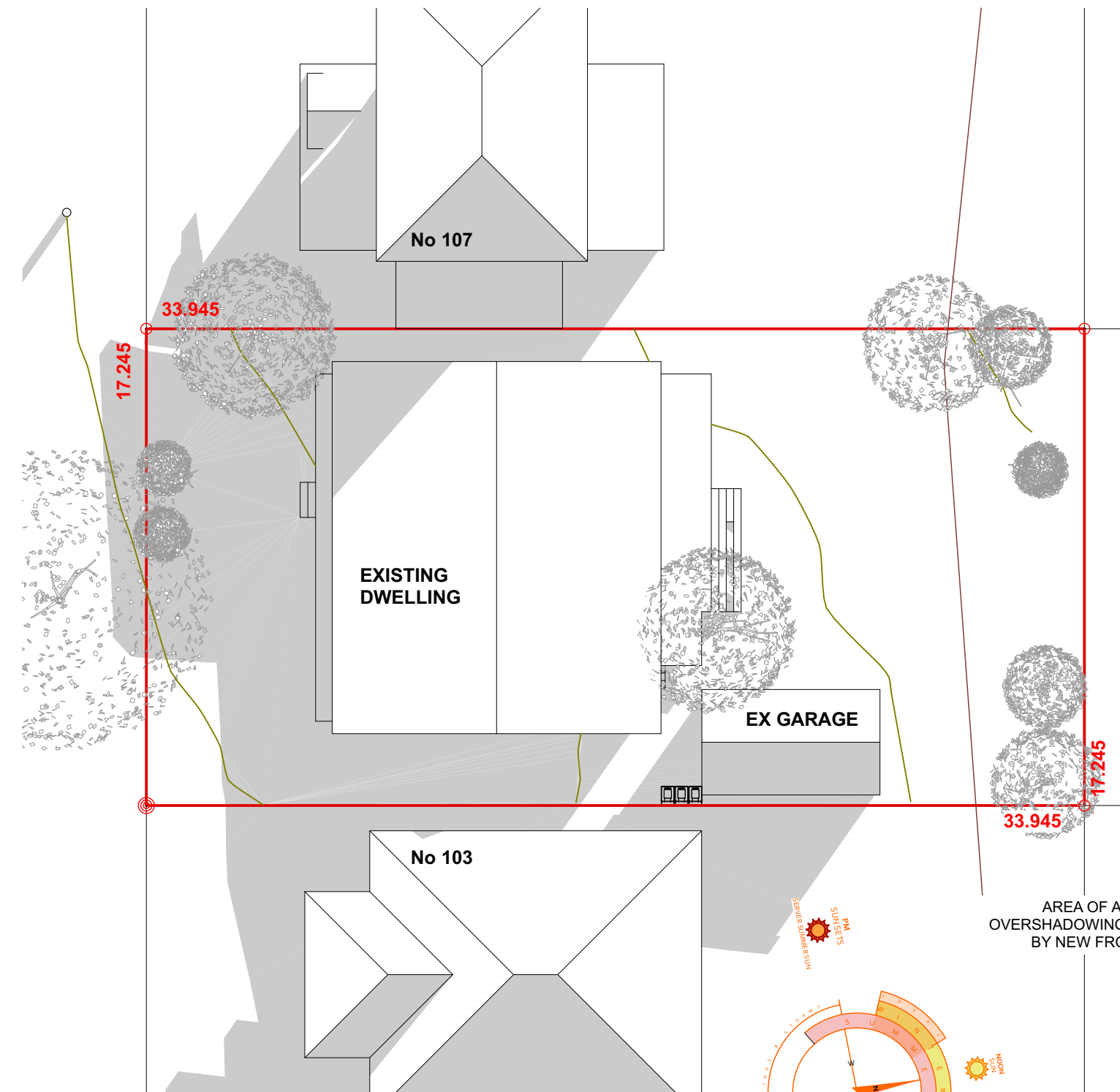
Project	PROPOSED ALTERATIONS & ADDITIONS TO EXISTING HOME - rear addition; carport; driveway & altered crossover 105 WYADRA AVENUE, NORTH MANLY NSW, 2096
Client	DEBORAH & MATTHEW MILLINER

Designer

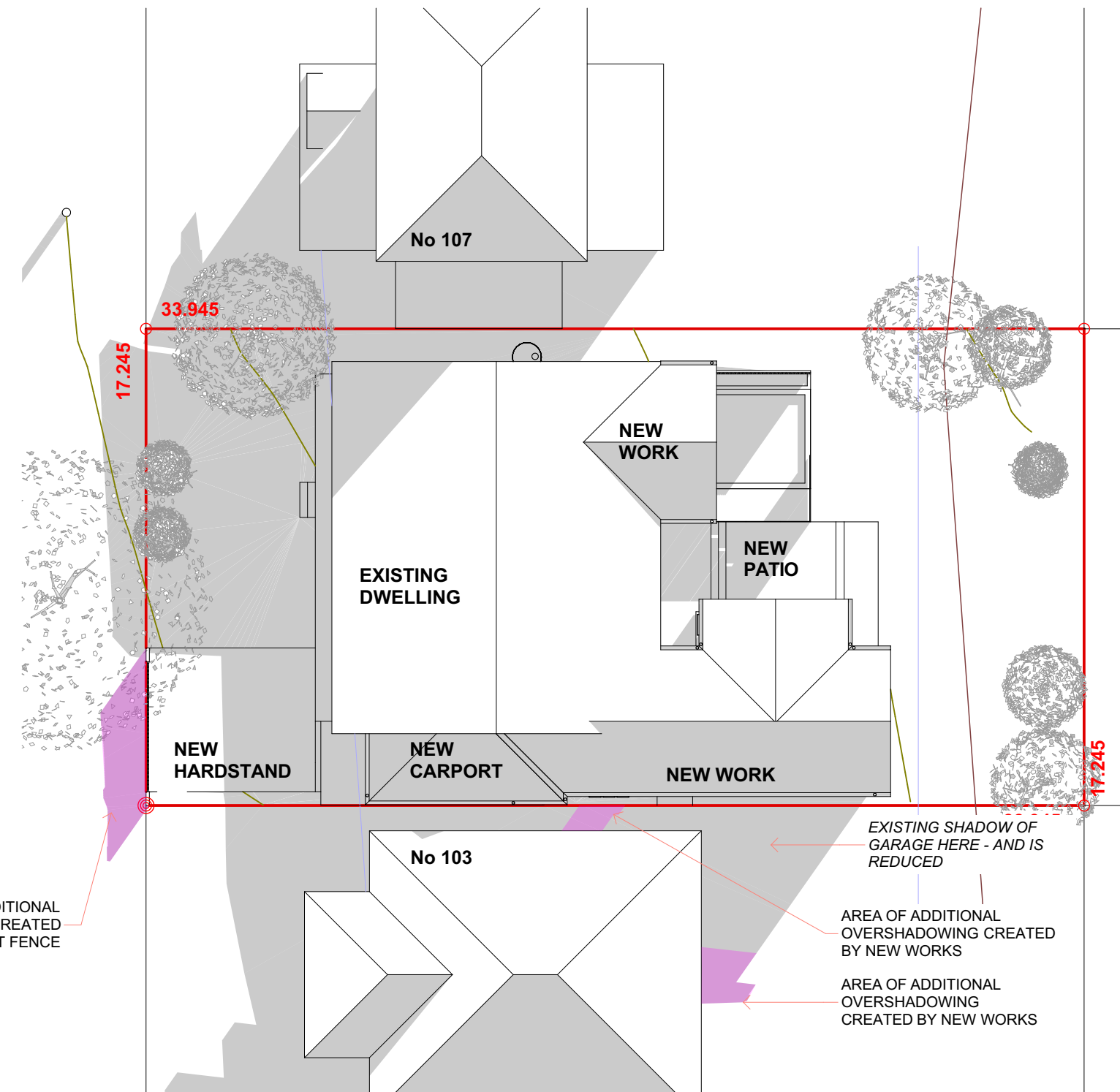
HARGROVES DESIGN CONSULTANTS

PH: 9960 0140
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A: PO Box 416 Spit Junction NSW 2088

Date	MAR 2019	Title	Sheet No	Issue
Scale		SHADOW DIAGRAM - 12PM	DA-114	D
Drawn	R.P.			



3. EXISTING_3PM SHADOW DIAGRAM 1:200



3. PROPOSED_3PM SHADOW DIAGRAM 1:200

ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
E	RP	ISSUE FOR DEVELOPMENT APPLICATION	16.08.2019				
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DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION

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Client	DEBORAH & MATTHEW MILLINER

Designer		HARGROVES DESIGN CONSULTANTS		PH: 9960 0140 M: 0410 669 145 E: jhargrove@bigpond.com A: PO Box 416 Spit Junction NSW 2088			
Date	MAR 2019	Title	SHADOW DIAGRAM - 3PM	Sheet No	DA-115	Issue	D
Scale							
Drawn	R.P						

DIAGRAM OF SANITARY DRAINAGEMunicipality of **NARRINGAH** SEWER AVAILABLEDiagram No. **410946***KIMBERLY WHITE*

SYMBOLS AND ABBREVIATIONS			
☆ Boundary Trap	RV	Reflux Valve	I.P. Induct Pipe
■ Pit		Cleaning Eye	M.F. Mica Flap
EG Grease Interceptor	o VERT.	Vertical Pipe	T Tubs
o Gully	o V.P.	Vent. Pipe	K.S. Kitchen Sink
RT P. Trap	o SVR	Soil Vent. Pipe	W.C. Water Closet
RS Reflux Sink	D.C.C.	Down Cast Cowl	B.W. Bath Waste

Bsn. Basin
Shr. Shower
W.I.P. Wrought Iron Pipe
C.I.P. Cast Iron Pipe
F.W. Floor Waste
W.M. Washing Machine

Existing drainage shown by black lines Scale: 40 Feet to an inch

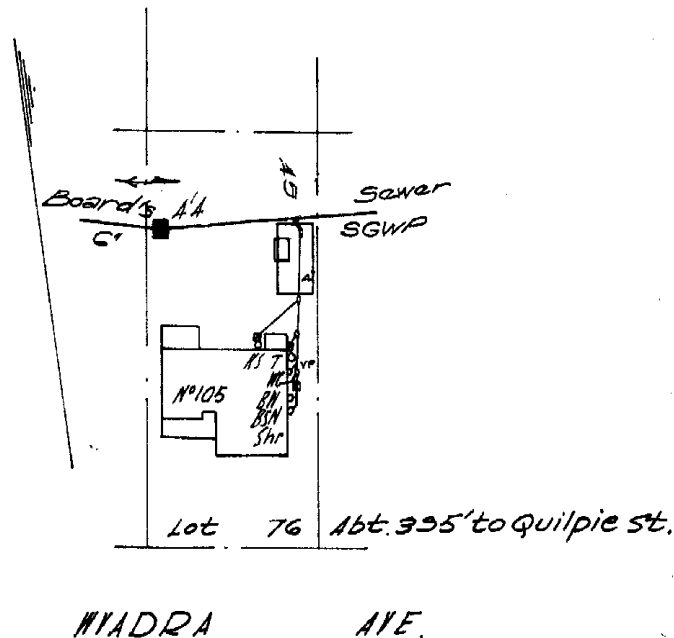
Proposed new drainage shown by full blue lines.

This diagram is the property of the Owner and is to be returned to him on completion of the work.

Subject to application, certificates for drainage and sanitary plumbing will be issued to the owner when the work is completed and passed by the Board's Inspector.

The Board accepts no responsibility for the suitability of the diagram in relation to the eventual position of the Board's sewer When the sewer becomes available it will be necessary to apply for a revised diagram.

This work must be carried out in accordance with the Board's By-laws.

50/75/101 B.H. 101 101 101SHEET No. **5908**

19

FOR ENGINEER-IN-CHIEF

OFFICE USE ONLY				278/826		
W.C. Designed by	DATE	Inspector	FIRST VISIT SUPERV'SN	PASSED	DATE	
Bth						
Shr						
Bsn						
K.S						
T						
Plg						
Dge. Int.						
Dge. Ext.						
Examiner	Chief Inspector	Date	Inspector			
		Outfall	Checked			
		Drainer	405 410			
		Boundary Trap is not				

Disclaimer

The information in this diagram shows the private wastewater pipes on this property. It may not be accurate or to scale and may not show our pipes, structures or all property boundaries. If you'd like to see these, please buy a Service location print.

STORMWATER NOTES:

- 1 - ALL PIPES TO BE 100mm ϕ UNLESS NOTED OTHERWISE.
- 2 - ALL PIPES TO BE UPVC TO AS 1254-2002 UNLESS NOTED OTHERWISE.
- 3 - ALL PIPES TO BE LAYED AT 1 % MINIMUM GRADE UNLESS NOTED OTHERWISE.
- 4 - ALL PIPES SHALL BE LAID ON A 75mm SAND BED, COMPACTED TO 100% S.M.D.D. BELOW PAVEMENTS.
(NO COMPACTION REQUIRED BELOW LANDSCAPING)
COVER TO SURFACE FROM TOP OF PIPE TO BE 300mm MINIMUM.
BACKFILL TO BE ADEQUATELY CONSOLIDATED AROUND PIPES BY METHOD OF RAMMING AND WATERING IN. TRENCHES TO BE FILLED WITH GRANULAR MATERIAL AS SPECIFIED.
- 5 - ALL DOWN PIPES TO BE 100mm ϕ UNLESS NOTED OTHERWISE.
- 6 - DOWN PIPE LOCATIONS ARE INDICATIVE ONLY. LOCATIONS TO BE CONFIRMED WITH ARCHITECT PRIOR TO COMMENCEMENT WITH WORK.
- 7 - PROVIDE CLEANING EYES AT ALL DOWNPIPES.
- 8 - ALL PITS TO BE CAST INSITU OR, IF PRECAST, APPROVED BY ENGINEER.
CAST INSITU PITS TO HAVE 150mm THICK CONCRETE WALLS AND BASE.
WALLS TO BE REINFORCED WITH 1 N12 TOP TIE UNLESS NOTED OTHERWISE.
CAST INSITU PITS GREATER THAN 1000 DEEP TO BE MINIMUM 900x600 AND TO HAVE 150mm THICK CONCRETE WALLS AND BASE. WALLS TO BE REINFORCED WITH N12 AT 300 EACH WAY UNLESS NOTED OTHERWISE.
- 9 - ALL PITS GREATER THAN 1000mm DEEP SHALL HAVE STEP IRONS AS PER COUNCIL STANDARDS.
- 10 - ALL WORK TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS AND SPECIFICATIONS.
- 11 - PRIOR TO COMMENCING ANY SITE WORKS THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES TO APPROVED SEDIMENT AND EROSION CONTROL PLAN, EPA GUIDELINES AND COUNCIL SPECIFICATIONS.
ALL MEASURES TO REMAIN IN PLACE UNTIL COMPLETION AND STABILIZATION OF THE SITE TO COUNCIL SATISFACTION.
- 12 - ALL LEVELS SHOWN ARE TO AHD
- 13 - ENSURE THAT ALL PITS AND STORMWATER PIPES ARE LOCATED CLEAR FROM TREE ROOT SYSTEMS.
- 14 - ALL EXISTING EARTHENWARE PIPES TO BE UPGRADED TO uPVC.
- 15 - ALL WORKS TO BE IN ACCORDANCE WITH AS 3500-2003 NATIONAL PLUMBING DRAINAGE CODE PART 3 - STORMWATER DRAINAGE.
- 16 - UNLESS NOTED OTHERWISE, SUB-SOIL DRAINS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3500.3 ALONGSIDE WALLS THAT IMPEDE THE NATURAL FLOW OF GROUNDWATER. THIS MAY ALSO INVOLVE TRENCHING INTO THE CLAY OR ROCK SUBGRADE TO DIRECT GROUNDWATER AWAY FROM STRUCTURES.
- 17 - IF NOT INDICATED ON PLANS, PROVIDE LEAF CATCHERS TO ALL DOWNPIPES.
- 18 - ORIFICE PLATE MUST BE INSTALLED PRIOR TO INSTALLATION OF THE ROOF DRAINAGE SYSTEM AND CONNECTION OF THE SITE STORMWATER SYSTEM TO THE ONSITE DETENTION TANK.
- 19 - 100mm ϕ x 3000 LONG TAIL OUT SUBSOIL LINE TO BE PROVIDED ON THE UPSTREAM SIDE OF ALL PITS. SUBSOIL LINE TO BE COVERED WITH GEOTEXTILE FILTER SOCK FOR THE FULL LENGTH AND END COVERED.

WARRINGAH COUNCIL
ON SITE DETENTION SYSTEM SUMMARY NOTES

STORMWATER TO WARRINGAH COUNCIL POLICY FOR LOW LEVEL PROPERTIES (PDS - POL 136):

STEP 1 - CONNECTION TO EXISTING SYSTEM	INADEQUATE
STEP 2 - ONSITE ABSORPTION	INADEQUATE (ASSUMED DUE TO LIMITED AREA)
STEP 3 - GRAVITY EASEMENT PIPE	REFUSED BY LOWER PROPERTY OWNERS
STEP 4 - LEVEL SPREADER	INADEQUATE
STEP 5 - ALTERNATIVE DISPOSAL METHOD	CHARGED SYSTEM - INADEQUATE
	ONSITE DETENTION - ADEQUATE
TOTAL SITE AREA	585.5 m ²
DESIGN METHOD USED	DRAINS (REFER TO DISK)
PRE DEVELOPMENT IMPERVIOUS AREA	0 m ² (STATE-OF-NATURE)
POST DEVELOPMENT IMPERVIOUS AREA	321.2 m ² (54.8%)
PRE DEVELOPMENT SITE DISCHARGE	
5 YR	16 l/s
100 YR	34 l/s
POST DEVELOPMENT SITE DISCHARGE	
5 YR	10 l/s (4 l/s FROM OSD)
100 YR	16 l/s (4 l/s FROM OSD)

NOTE	
PORTION OF SITE THROUGH OSD	62 %
ORIFICE SIZE	40 mm ϕ
TYPE OF CONTROL	BELOW DECKING TANK
MAXIMUM CONCENTRATED DISCHARGE TO KERB	N/A
DIMENSION OF OSD:	13.75 x 2.4 x 0.6m AVG DEPTH (0.75x1.2m HED CHAMBER)
VOLUME OF OSD	19.7 m ³ (NOTE:19.0 m ³ REQUIRED)

LEGEND

- DP1 • 100mm ϕ DOWNPIPE TO BE DIRECTED TO OSD VIA A CHARGED SYSTEM
- DP2 • 100mm ϕ DOWNPIPE TO BE DIRECTED TO HED CHAMBER VIA GRAVITY SUSPENDED WITHIN TANK
- EXP • APPROXIMATE LOCATION OF EXISTING DOWNPIPE REFER NOTES
- X 24.000 FFL AND/OR SPOT LEVEL REFER TO ARCHITECT. TO BE CONFIRMED PRIOR TO CONSTRUCTION
- STORMWATER PIPE FLOW DIRECTION
- STORMWATER PIPE FALL DIRECTION
- PIT STORMWATER PIT
- GDI GDI - GRATED DRAIN REFER DETAILS
- NEW STORMWATER PIPE
- O 10 INSPECTION OPENING
- OSD OSD TANK (REFER TO DETAILS)
OSD = 8600 L

NOTE: ALL DRAINAGE LINES ARE INDICATIVE ONLY.
LOCATION MAY VARY DUE TO CONSTRAINTS.

NOTE: EXCAVATION AROUND TREES

CARE SHOULD BE TAKEN WHEN UNDERTAKING WORKS IN THE VICINITY OF SELECTED TREES NOT TO DISTURB THE TREE ROOT SYSTEM. HAND DIGGING OF TRENCHES ETC MAY BE NECESSARY. REFER ARBORISTS REPORT.

NOTE: EXISTING STORMWATER SYSTEM

EXISTING STORMWATER SYSTEM TO BE UTILISED WHERE ADEQUATE. CHECK AND UPGRADED AS REQUIRED. BUILDER TO INSPECT PRIOR TO CONSTRUCTION AND UPGRADE IF REQUIRED IN ACCORDANCE WITH AS3500.3

NOTE: CHARGED SYSTEM

ALL PIPE WORK IN CHARGED SYSTEM TO BE 100mm ϕ uPVC PRESSURE OR SEWER GRADE PIPES WITH ALL JOINTS PRESSURE SEALED TO 500mm ABOVE TOP WATER LEVEL OF OSD TANK.

NOTE: DRAINAGE LINE INDICATIVE ONLY

DRAINAGE LINE LOCATIONS ARE INDICATIVE ONLY AND MAY VARY DUE TO CONSTRAINTS. IF IN DOUBT CONTACT THE ENGINEER.

NOTES:

1. ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: D01.

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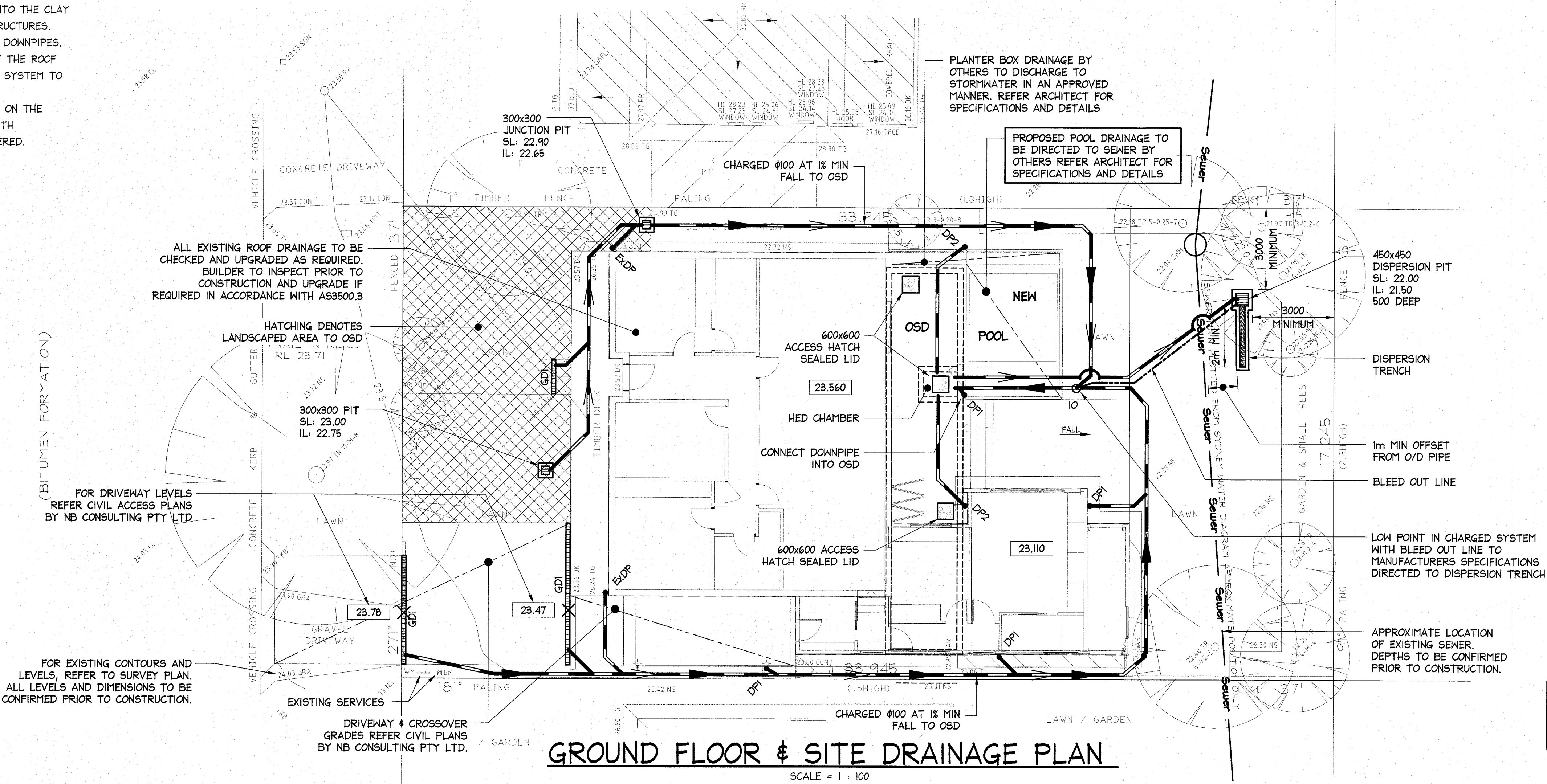
NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:

- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC;
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG. - TEL. 1100



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DOCUMENT CERTIFICATION				NB Consulting Engineers		Architect:	Project:	Date:	Design:	Drawn:
Date: 11/07/2019 Rick G Wray BE(Civil), CPEng, MIEAust., NER., RPEQ. 16293 (Director NB Consulting Engineers)				STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616 Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E: nb@nbconsulting.com.au W: www.nbconsulting.com.au		HARGROVES DESIGN CONSULTANTS	ALTERATIONS & ADDITIONS AT 105 WYADRA AVE, NORTH MANLY	JUL 2019	D.K.	D.K.
By: Review:				Client:		DEBORAH MILLENER	Drawing Title:	Job No:	Drawing No:	Issue:
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NB Consulting Engineers

LEGEND

DPI

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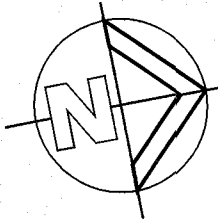
100mm Ø DOWNPIPE TO BE DIRECTED TO OSD VIA A CHARGED SYSTEM

EXDP

•

APPROXIMATE LOCATION OF EXISTING DOWNPIPE REFER NOTES

NOTE: ALL DRAINAGE LINES ARE INDICATIVE ONLY. LOCATION MAY VARY DUE TO CONSTRAINTS.



- NOTES:
1. ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.

2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: D01.



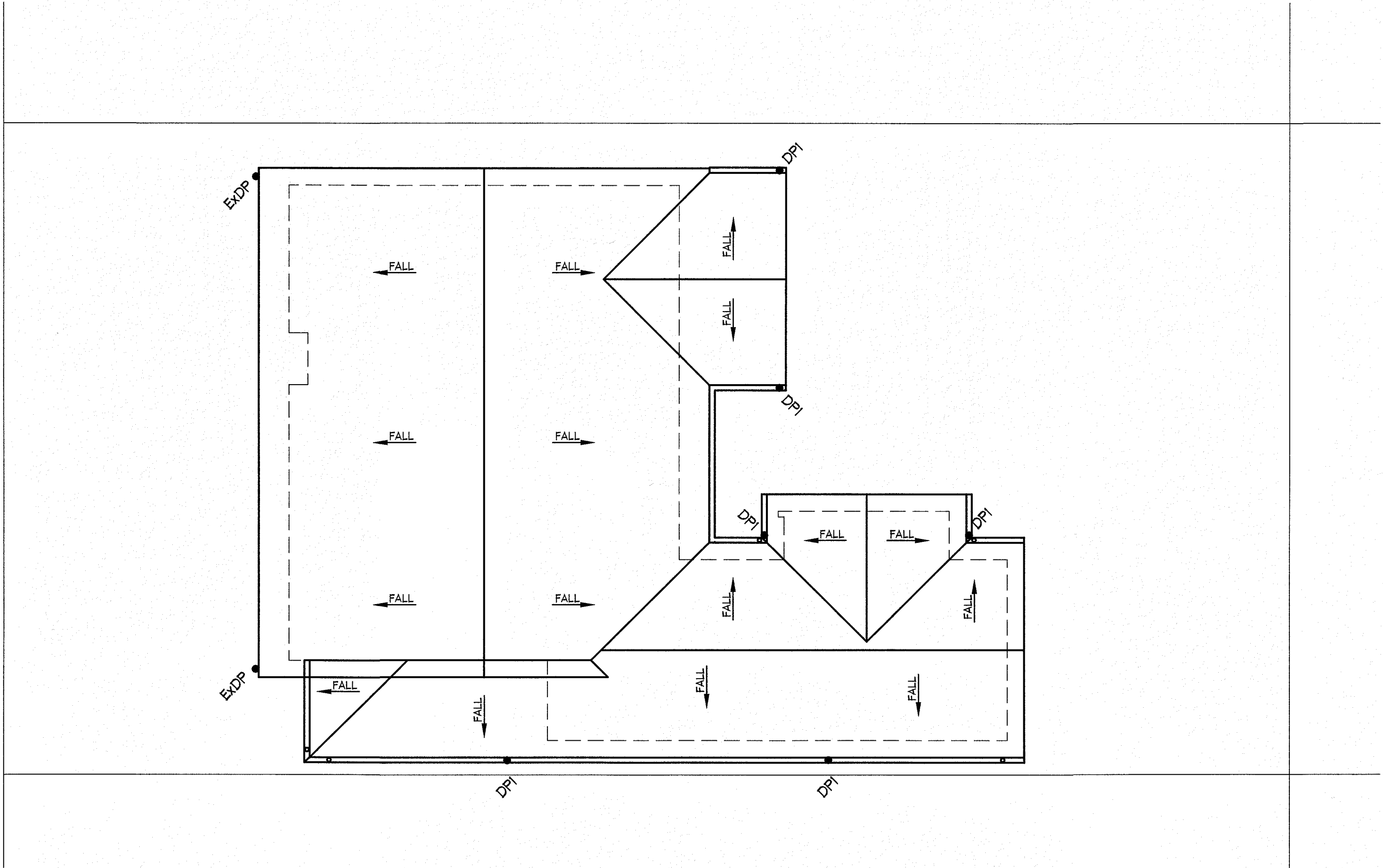
NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

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UPPER ROOF DRAINAGE PLAN

SCALE = 1 : 100

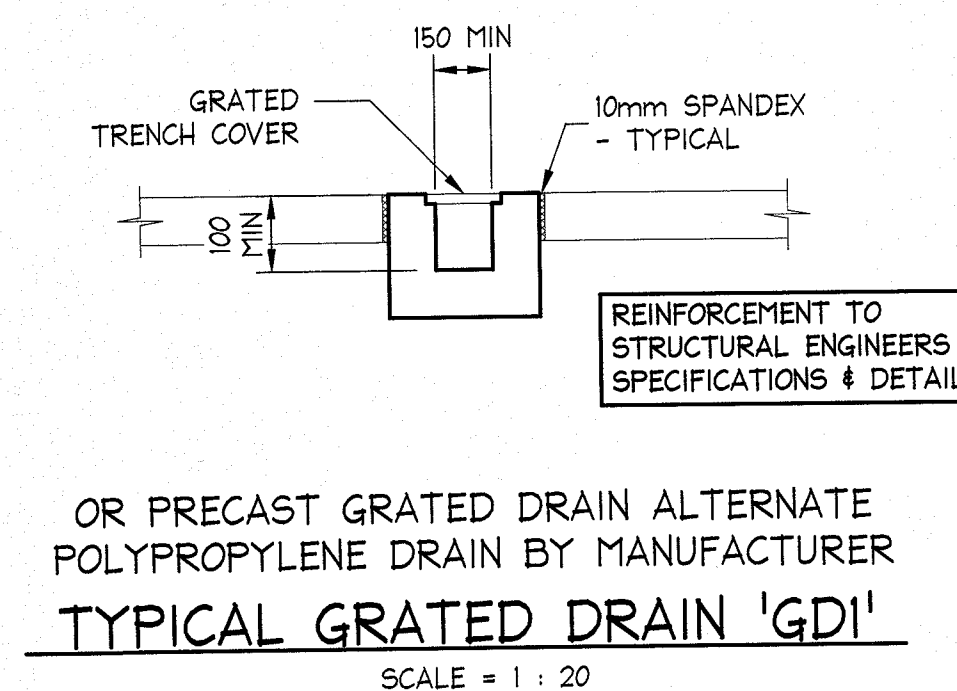
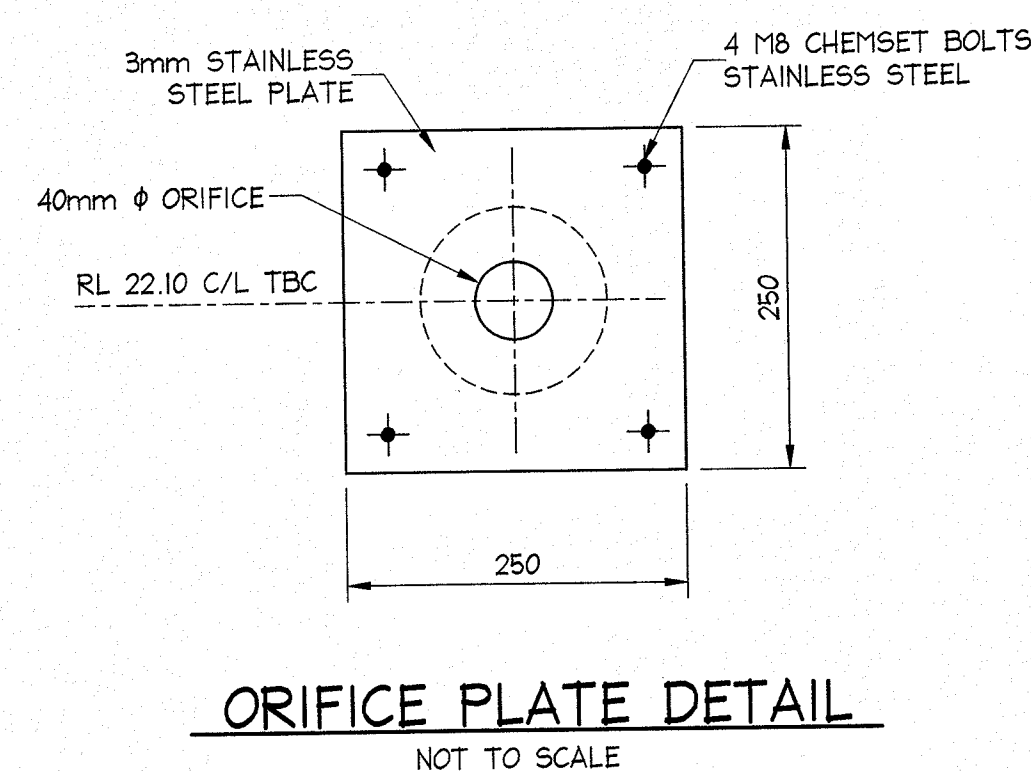
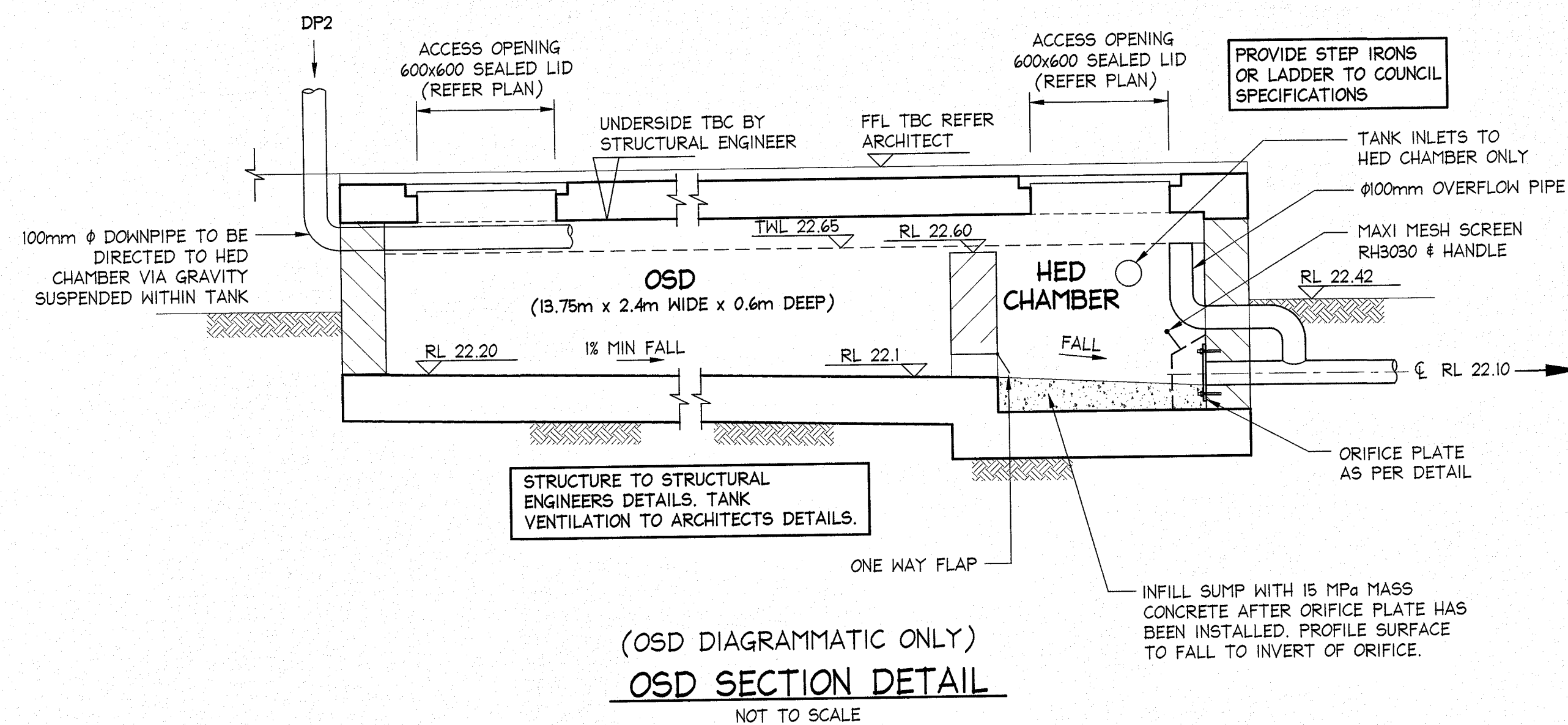
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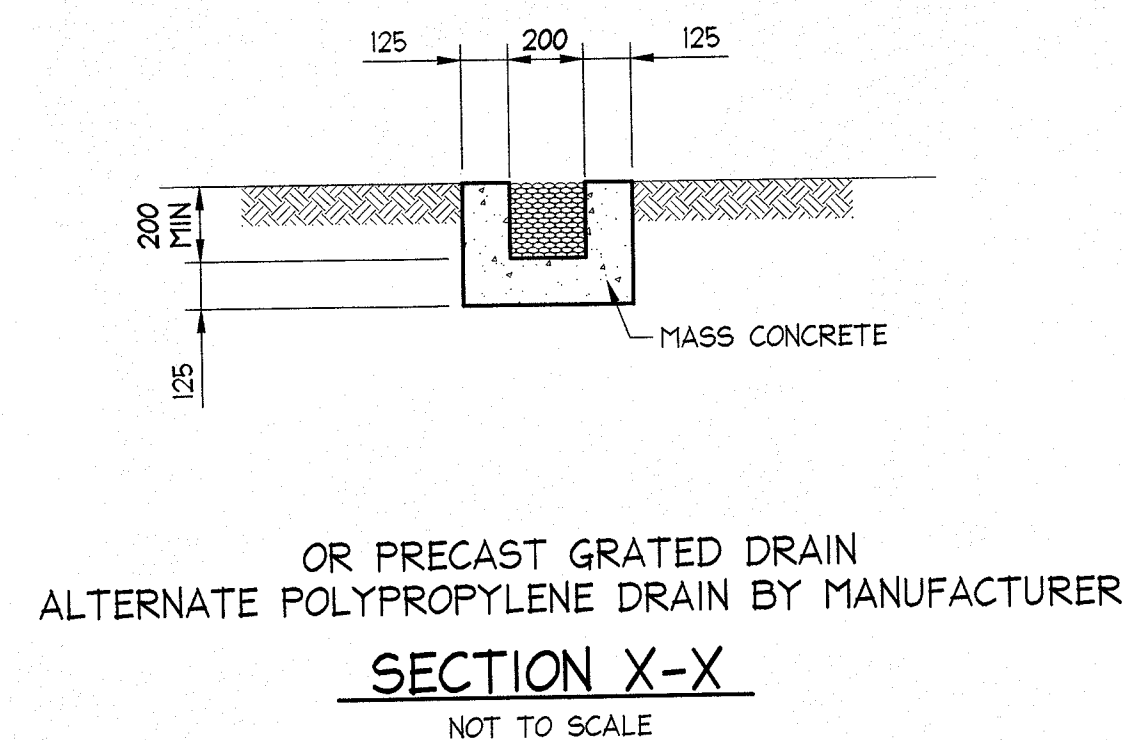
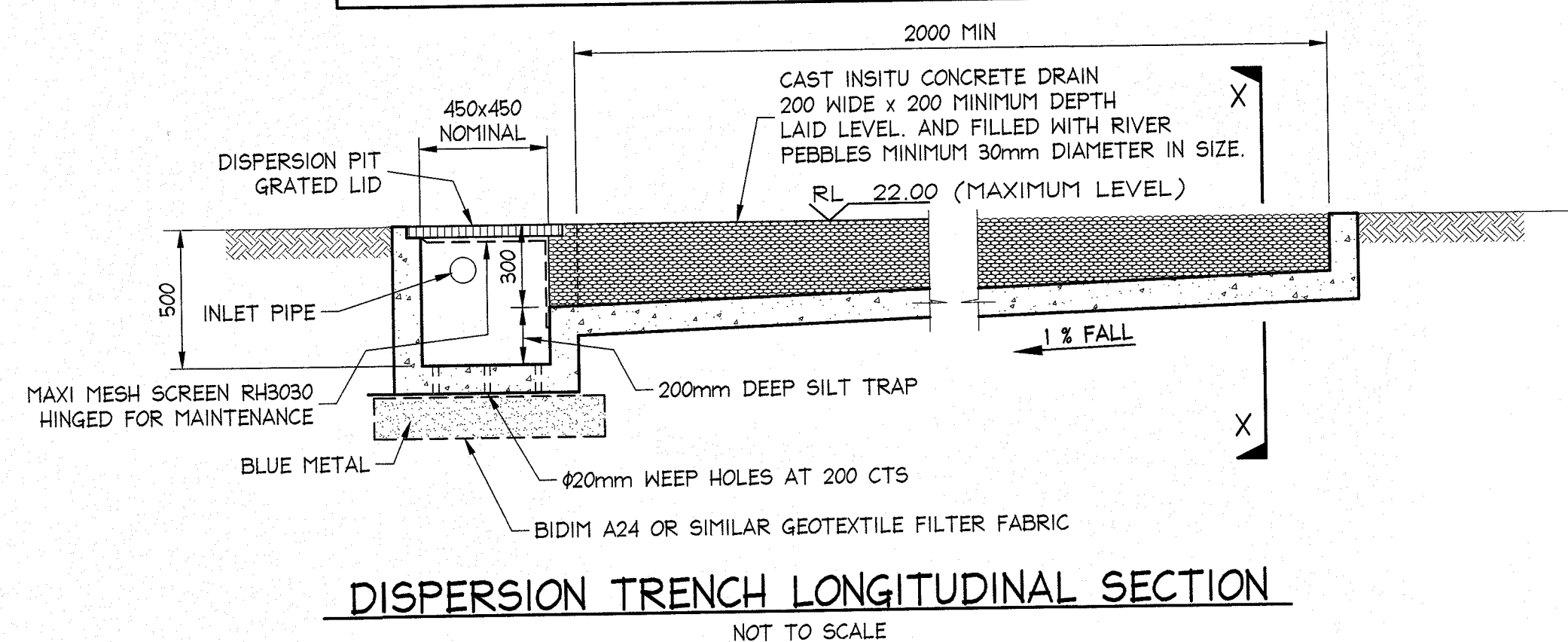
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DOCUMENT CERTIFICATION				NB Consulting Engineers		Architect:	Project:	Date:	Design:	Drawn:
Date: 14/19/ Rick G Wray BE(Civil), CPeng, MIEAust., NER, RPEQ 26249. (Director NB Consulting Engineers)				STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616 Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E: nb@nbconsulting.com.au W: www.nbconsulting.com.au		HARGROVES DESIGN CONSULTANTS	ALTERATIONS & ADDITIONS AT 105 WYADRA AVE, NORTH MANLY	JUL 2019	D.K.	D.K.
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Date:	Issue:	Description:								
11/07/2019	A	ISSUED FOR DA SUBMISSION ONLY - NOT FOR CONSTRUCTION								

NB Consulting Engineers



NOTE: DISPERSION TRENCH
1. DISPERSION TRENCH TO BE LAID ON A LEVEL CONTOUR.
2. GROUND LEVEL ABOVE TRENCH MUST BE LEVEL SO AS TO EVENLY DISPERSE WATER DOWN HILL OF THE TRENCH
3. IF ROCK IS ENCOUNTERED DURING EXCAVATION FOR DISPERSION TRENCH NOTIFY ENGINEER FOR ALTERNATE DETAIL.



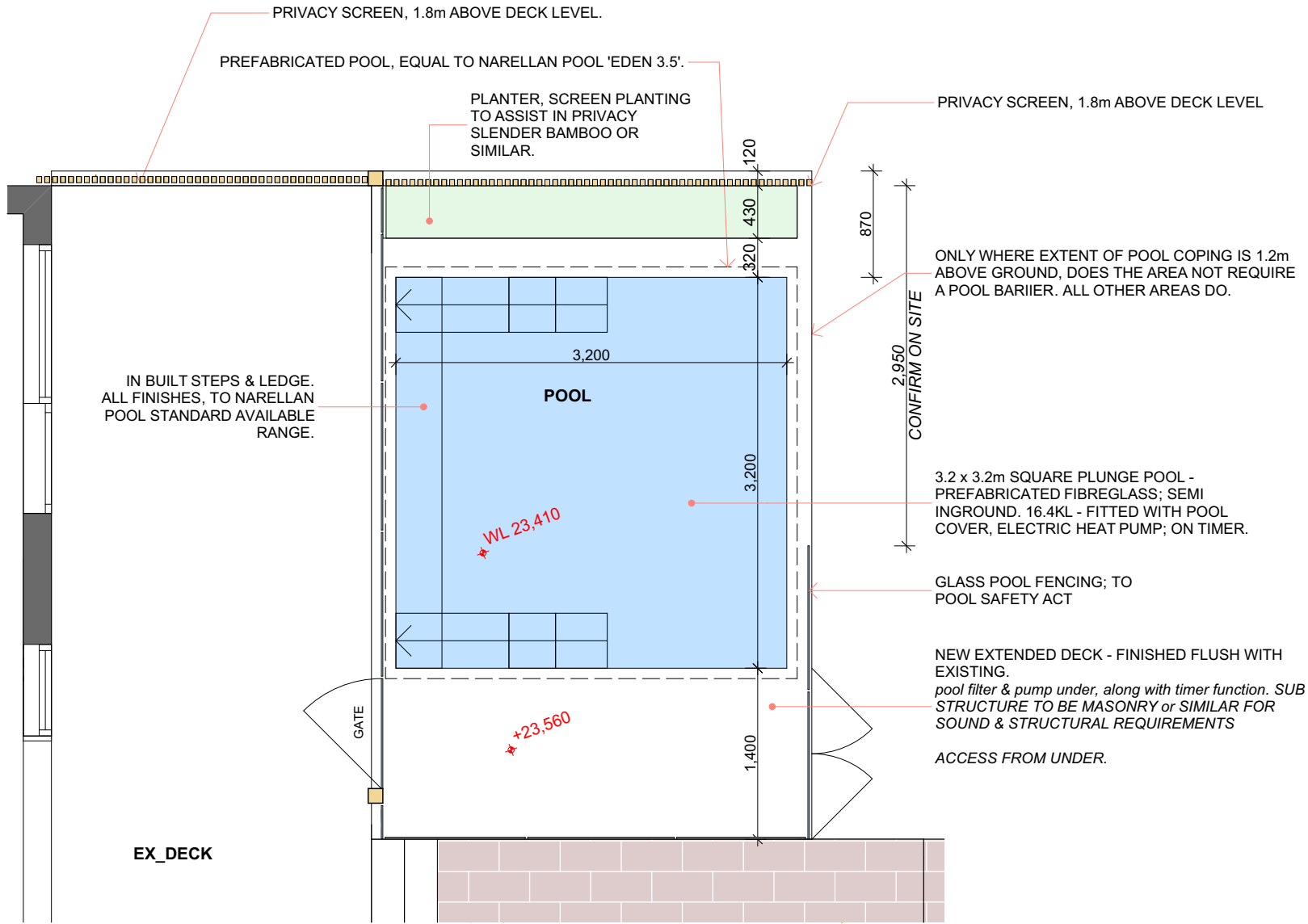
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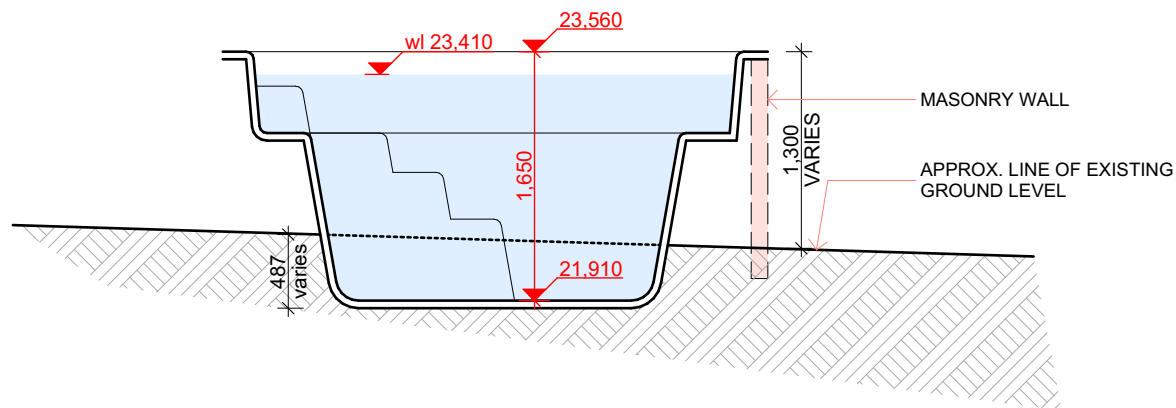
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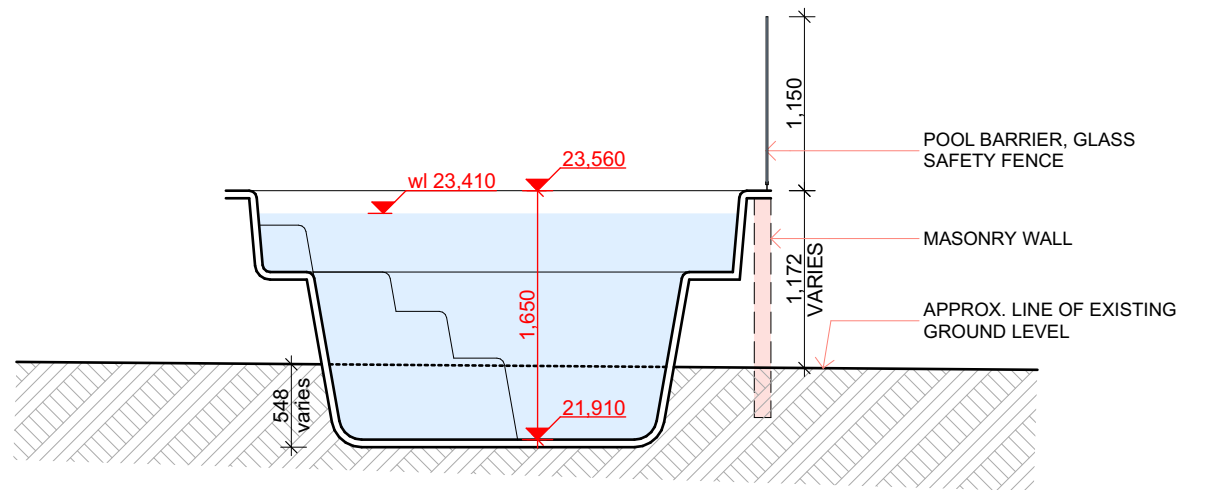
NB Consulting Engineers



1 POOL PLAN 1:50



2 SECTION - no fence 1:50



3 SECTION - fence 1:50

ISSUE	BY	DESCRIPTION	DATE	ISSUE	BY	DESCRIPTION	DATE
E	RP	ISSUE FOR DEVELOPMENT APPLICATION	16.08.2019				
D	RP	NEW LAYOUT - ISSUED FOR DISCUSSION	10.07.2019				
C	RP	ISSUED FOR APPROVAL	05.04.2019				
B	RP	ISSUED FOR INITIAL REVIEW - CONCEPTS	24.03.2019				
A	RP	ISSUED FOR INITIAL REVIEW	17.03.2019				

GENERAL NOTES
1. ALL DIMENSIONS, LEVELS, SEWER AND STORMWATER INVERT LEVELS AND FLOOR AREAS ARE TO BE CHECKED AND VERIFIED. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

Lot & DP
LOT 76, DP 19139

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**NORTHERN BEACHES
COUNCIL**

North



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Project
**PROPOSED ALTERATIONS & ADDITIONS TO
EXISTING HOME**
- rear addition; carport; driveway & altered crossover
105 WYADRA AVENUE, NORTH MANLY NSW, 2096

Client
DEBORAH & MATTHEW MILLINER

Designer
HARGROVES DESIGN CONSULTANTS
PH: 9960 0140
M: 0410 669 148
E: hargrove@bigpond.com
A: PO Box 416 Spit Junction NSW 2098

Date	MAR 2019	Title	POOL PLAN & SECTIONS	Sheet No	DA-118	Issue	D
Scale		Drawn	R.P.				

CHAINAGES

PROPOSED DRIVEWAY OUTLINE

1. FOR EXISTING CONTOURS AND LEVELS. REFER SURVEY PLAN. ALL LEVELS AND DIMENSIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.
2. PRIOR APPROVAL MAY BE REQUIRED WITH RELEVANT AUTHORITIES PRIOR TO RETAINING WALLS, SHORING, BATTERS & DRAINAGE IMPACTING NEIGHBORING PROPERTIES AND INFRASTRUCTURE BEYOND BOUNDARIES.
3. STORMWATER AND DRAINAGE BY OTHERS TO ASS560.
4. ALTERATIONS, RETAINING WALLS AND BULK EARTHWORKS TO FUTURE DETAILS BY OTHERS. ALL RETAINING WALLS GREATER THAN 900mm HIGH TO BE DESIGNED BY A QUALIFIED ENGINEER.
5. EXISTING DRAINAGE ACROSS NATURE STRIP & KERBS IMPACTING PROPOSED WORKS TO BE RELOCATED OR UPGRADED AS REQUIRED BY OTHERS IN AN APPROVED MANNER. REFER ARCHITECT FOR SPECIFICATIONS AND DETAILS.
6. NATURE STRIP PAVEMENT, GUTTER & FOOTWAY CROSSINGS TO COUNCIL SPECIFICATIONS.
7. CONCRETE DRIVEWAY & JOINTING PLAN BY OTHERS.
8. IMPACT OF PROPOSED WORKS ON EXISTING TREE/S. REFER ARCHITECT AND/OR ARBORIST REPORT FOR DETAILS AND SPECIFICATIONS.
9. PRIOR APPROVAL REQUIRED PRIOR TO REMOVAL OF EXISTING TREE/S REFER ARCHITECT AND/OR ARBORIST REPORT FOR SPECIFICATIONS & DETAILS.
10. CARPARKING REQUIREMENTS TO AS2890.1 BY OTHERS. REFER ARCHITECT FOR SPECIFICATIONS AND DETAILS.
11. MINIMUM DRIVEWAY WIDTHS, CLEARANCES, INCLUDING HEAD CLEARANCES TO COMPLY WITH AS2890.1 REFER ARCHITECT FOR SPECIFICATIONS & DETAILS.
12. REFER ARCHITECT FOR LATEST PLANS AND EXTENTS OF PROPOSED BUILDING WORKS & STRUCTURES, TO BE CONFIRMED PRIOR TO CONSTRUCTION.
13. COUNCIL APPROVAL MAY BE REQUIRED PRIOR TO COMMENCING CONSTRUCTION.
14. ANY VEHICLE PROFILE ANALYSIS SUCH AS THE B85 PROFILE IS NORMALLY UNDERTAKEN ALONG THE DETAILED LONGITUDINAL SECTIONS, WHICH HAVE GENERALLY BEEN LOCATED IN ACCORDANCE WITH COUNCIL POLICY. THIS MAY NOT NECESSARILY REPRESENT THE WORSE CASE ANALYSIS.
15. NO SNIFF PATH ANALYSIS HAS BEEN UNDERTAKEN AND/OR HAS BEEN PROVIDED FOR THIS DEVELOPMENT.
16. BARRIERS REQUIRED WHERE DRIVEWAY DRAPEXCEEDS 900mm. WHEEL STOP REQUIRED WHERE DRIVEWAY DROP IS BETWEEN 150-600mm. REFER AS2890.1. REFER ARCHITECT & LANDSCAPE ARCHITECT FOR SPECIFICATIONS AND DETAILS.

 **DIAL 1100**
BEFORE YOU DIG

NO INVESTIGATION OF UNDERGROUND SERVICES
HAS BEEN MADE. ALL RELEVANT AUTHORITIES
SHOULD BE NOTIFIED PRIOR TO ANY
EXCAVATION ON OR NEAR THE SITE

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS

CARELESS DIGGING CAN:

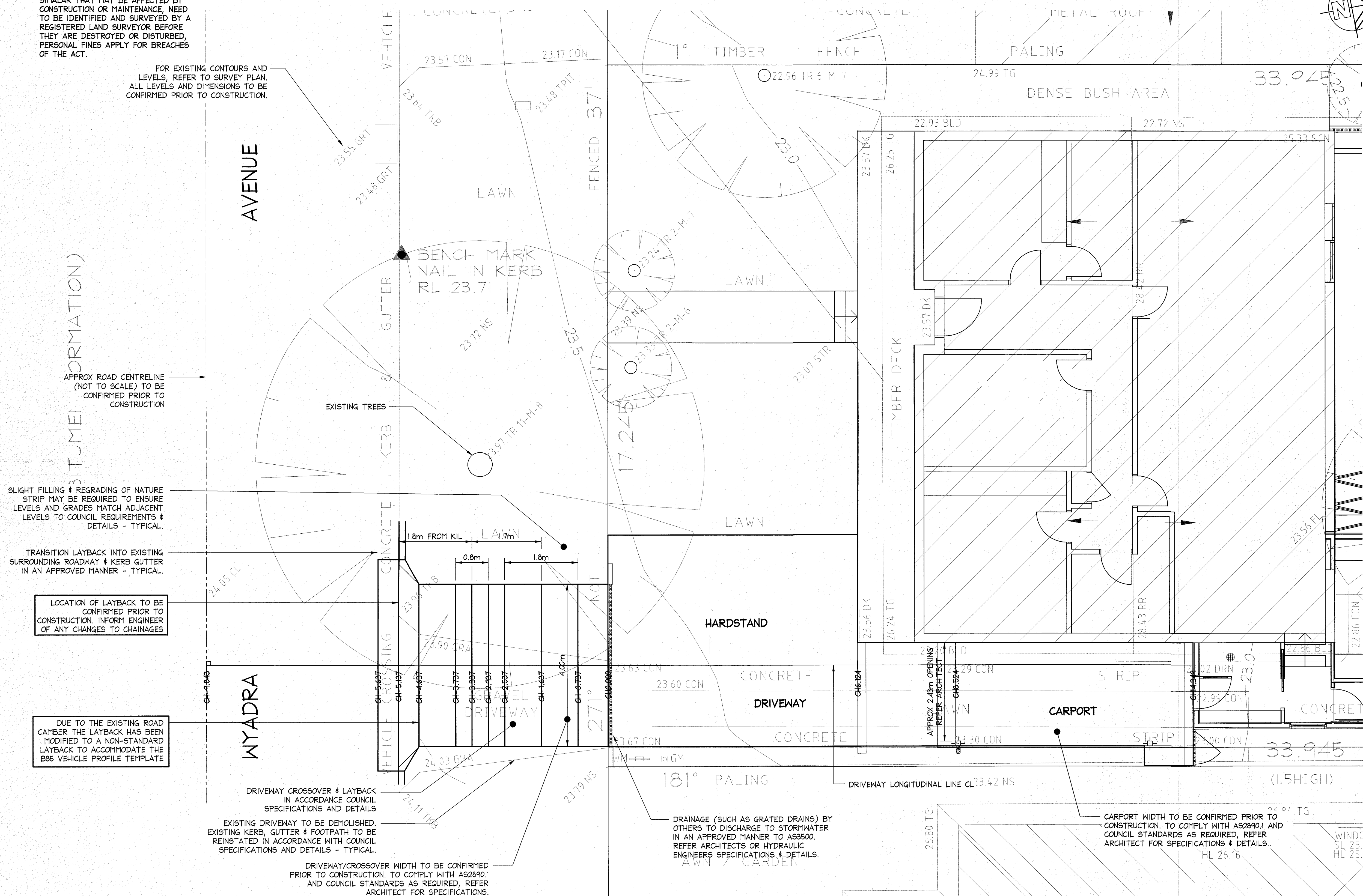
- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL
BEFORE YOU DIG. - TEL. 1100

1) PURSUANT TO THE SURVEYING AND SPATIAL INFORMATION ACT, ANY CADASTRAL REFERENCE MARKS, SURVEY PMS OR SSMs THAT ARE ON KERBS, FOOTPATHS OR SIMILAR THAT MAY BE AFFECTED BY CONSTRUCTION OR MAINTENANCE, NEED TO BE IDENTIFIED AND SURVEYED BY A REGISTERED LAND SURVEYOR BEFORE THEY ARE DESTROYED OR DISTURBED, PERSONAL FINES APPLY FOR BREACHES OF THE ACT.

COUNCIL: NORTHERN BEACH COUNCIL
 PROFILE/TITLE: NORMAL LOW STANDARD VEHICLE
 CROSSING PROFILE (WARRINGAH COUNCIL)
 DRAWING: PLAN No.: A4 3330/3 NL
 DATED: LAST AMENDED DEC 2006

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.



SCALE = 1 : 50

ISSUED FOR D.A.
SUBMISSION ONLY
NOT FOR
CONSTRUCTION

IF IN DOUBT ASK

										DOCUMENT CERTIFICATION		NB Consulting Engineers STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616 Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E: nb@nbconsulting.com.au W: www.nbconsulting.com.au		Architect: HARGROVES DESIGN CONSULTANTS		Project: PROPOSED DRIVEWAY AT 105 WYADRA AVE, NORTH MANLY		Date: JUL 2019	Design: D.K.	Drawn: D.K.	
11/07/2019 A ISSUED FOR DA SUBMISSION ONLY - NOT FOR CONSTRUCTION D.K. M.M.										Client: DEBORAH MILLENER				Drawing Title: DRIVEWAY ACCESS PLANS		Job No: 101058	Drawing No: C01	Issue: A			
Date: Issue: Description:										By: Review:											

B Consulting Engineers

COUNCIL DRIVEWAY CROSSOVER PROFILE

COUNCIL: NORTHERN BEACH COUNCIL
PROFILE/TITLE: NORMAL LOW STANDARD VEHICLE
CROSSING PROFILE (WARRINGAH COUNCIL)
DRAWING: PLAN No.: A4 3330/3 NL
DATED: LAST AMENDED DEC 2006

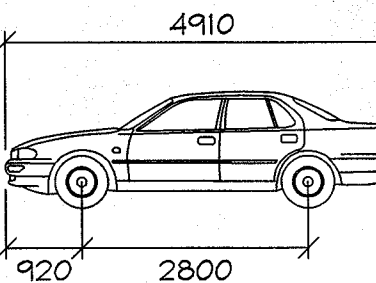
NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: C01.

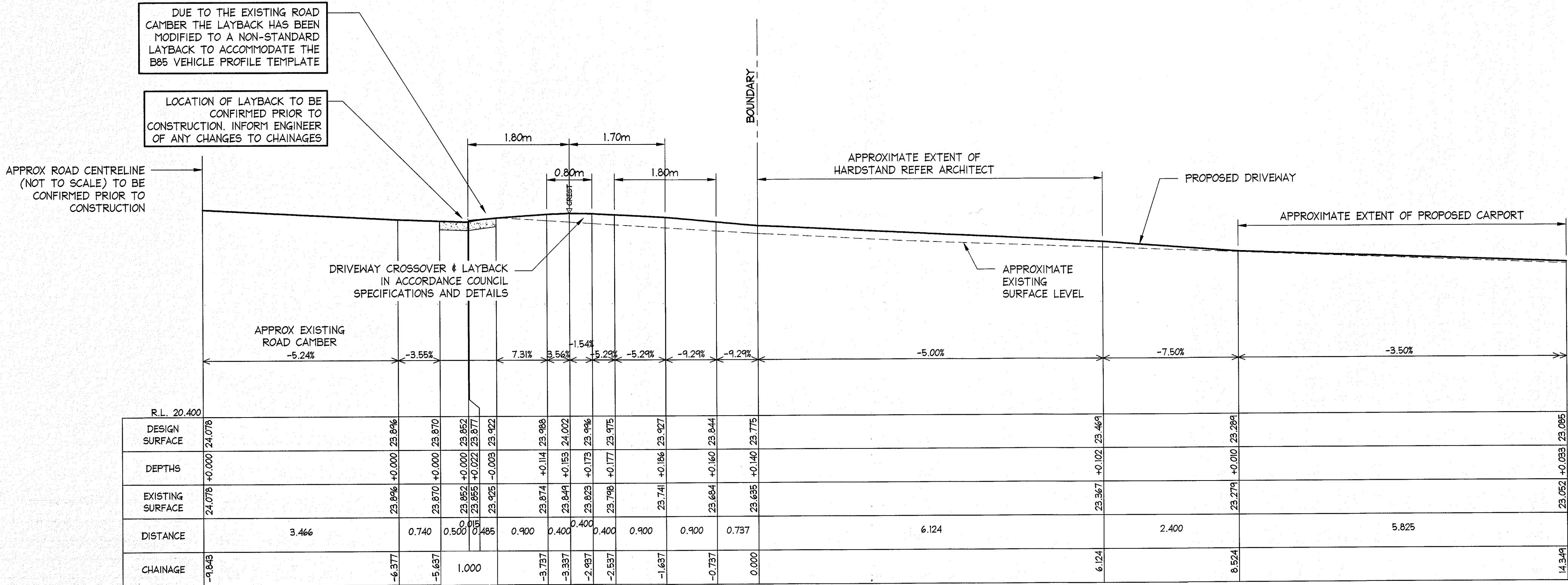
www.dialbeforeyoudig.com.au



B85 PROFILE:



Width : 1870
Track : 1770
Lock to Lock Time : 6.0
Steering Angle : 34.1



LONGITUDINAL SECTION DRIVEWAY CL
FROM CH: -9.843 TO CH: 14.349
SCALES: HORIZONTAL 1:50 VERTICAL 1:50

SECTION 1
C01

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A1

			DOCUMENT CERTIFICATION		NB Consulting Engineers STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616 Date: 10/07/19  Rick G Wray BE(Civil), CPEng, MIEAust., NER, RPEQ: 66293 (Director NB Consulting Engineers) The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd. Trading as NB Consulting Engineers		Architect: HARGROVES DESIGN CONSULTANTS		Project: PROPOSED DRIVEWAY AT 105 WYADRA AVE, NORTH MANLY		Date: JUL 2019	Design: D.K.	Drawn: D.K.	
11/07/2019	A	ISSUED FOR DA SUBMISSION ONLY - NOT FOR CONSTRUCTION	D.K.	M.J.W.			Client: DEBORAH MILLENER		Drawing Title: LONGITUDINAL SECTIONS - SHEET 1		Job No: 101058	Drawing No: C02	Issue: A	
Date:	Issue:	Description:	By:	Review:										

NB Consulting Engineers