

Site Location Map



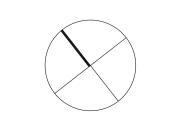




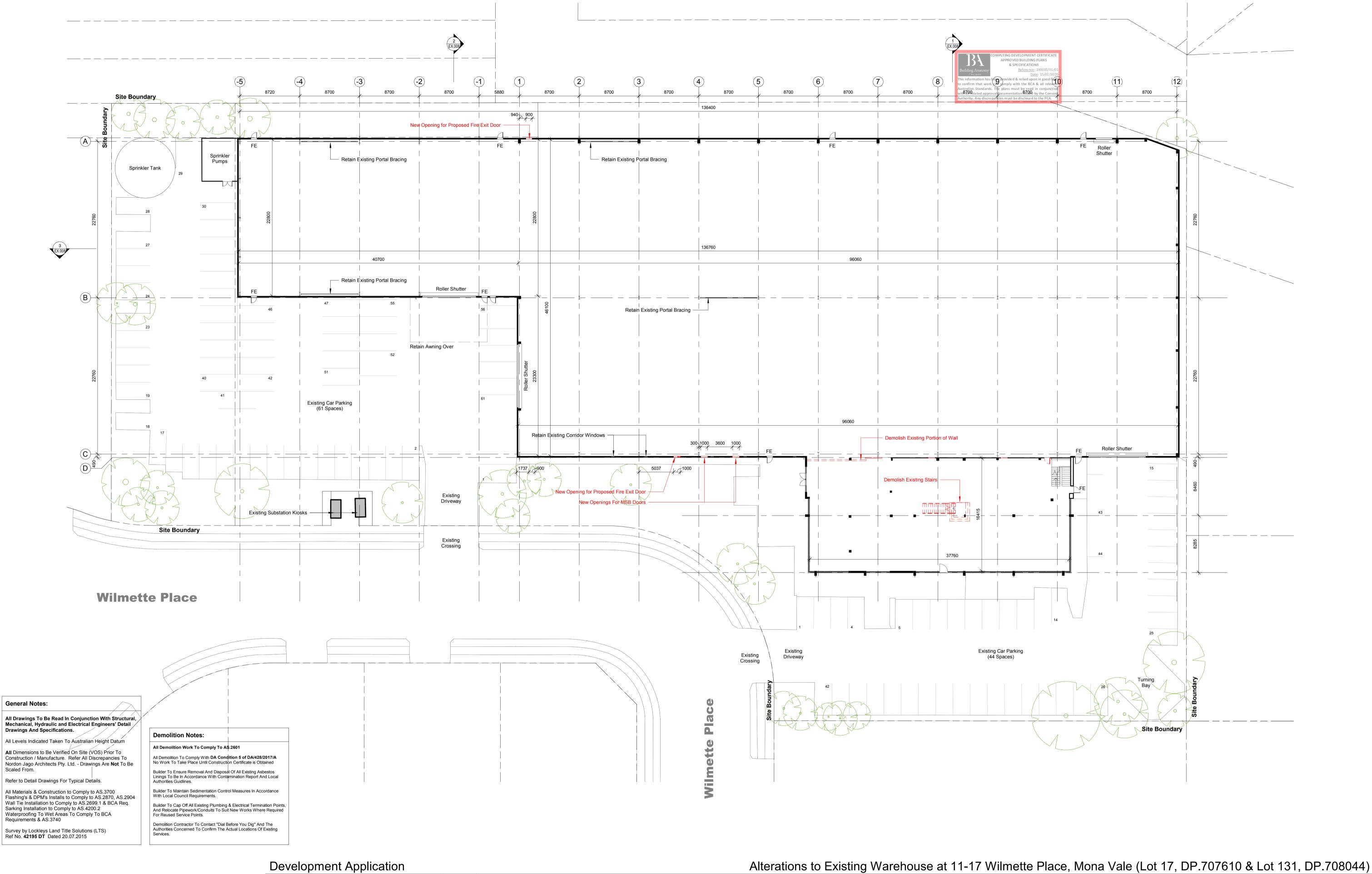
Rev	Description	Date
Α	Preliminary Issue for Review	11.05.19
В	General Revisions	21.05.19
С	Preliminary CDC Issue for Review	03.09.19
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Alterations to Existing Warehouse at 11-17 Wilmette Place, Mona Vale (Lot 17, DP.707610 & Lot 131, DP.708044)



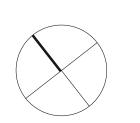
Existing Site Plan





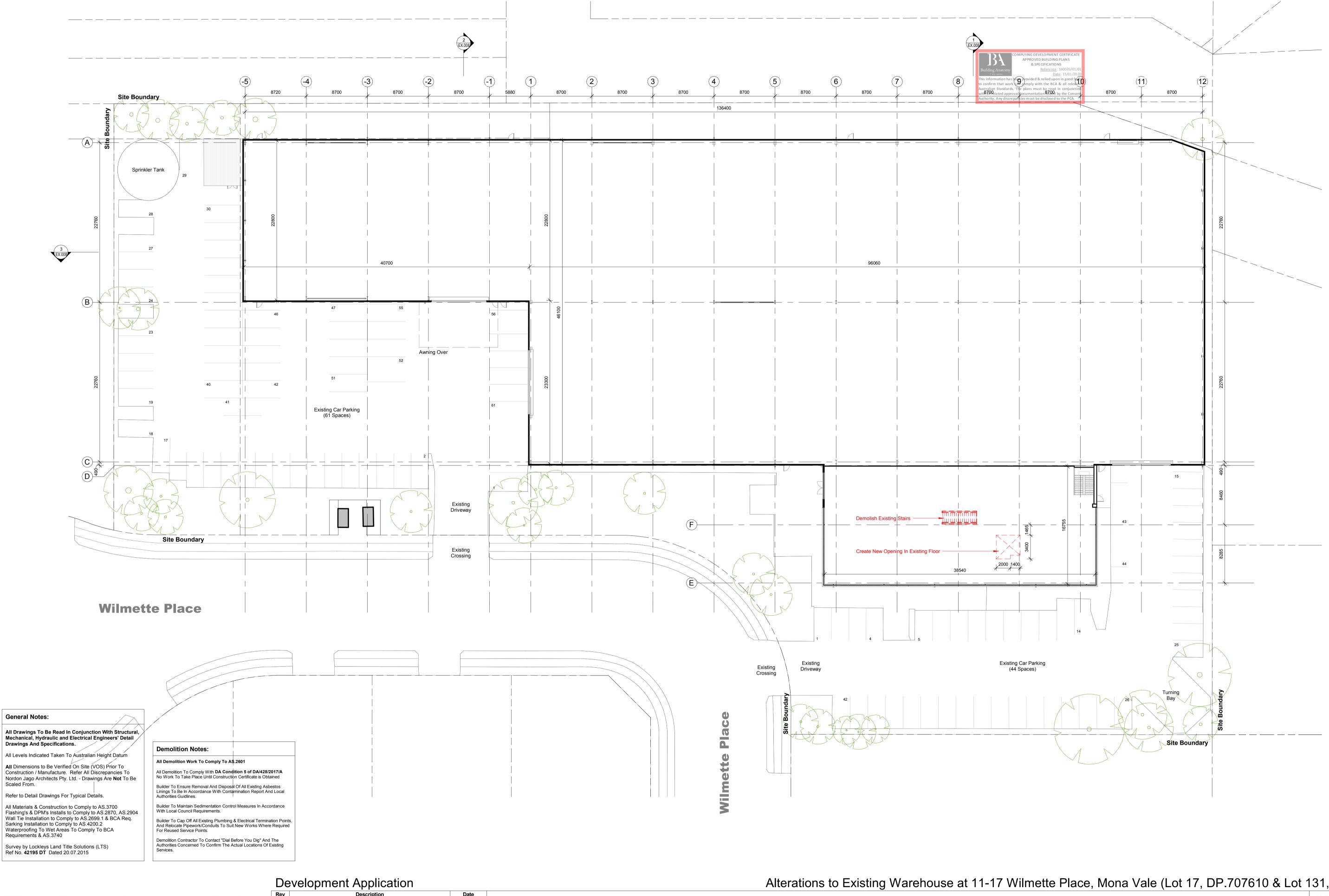
A Preliminary Issue for B General Revisions Dimensions & Clearance Heights Added for Information 03.09.19 Preliminary CDC Issue for Review E Internal Warehouse Walls Added
F Issue for CDC
G CDC Issue Following Recent Changes 0m 2.5m 5m 7.5m 10m 12.5m

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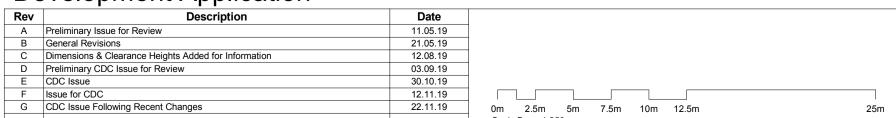


Existing & Demo Ground Floor Plan

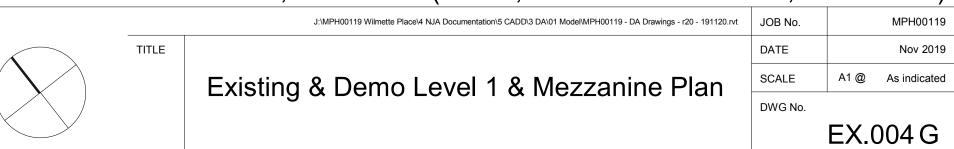
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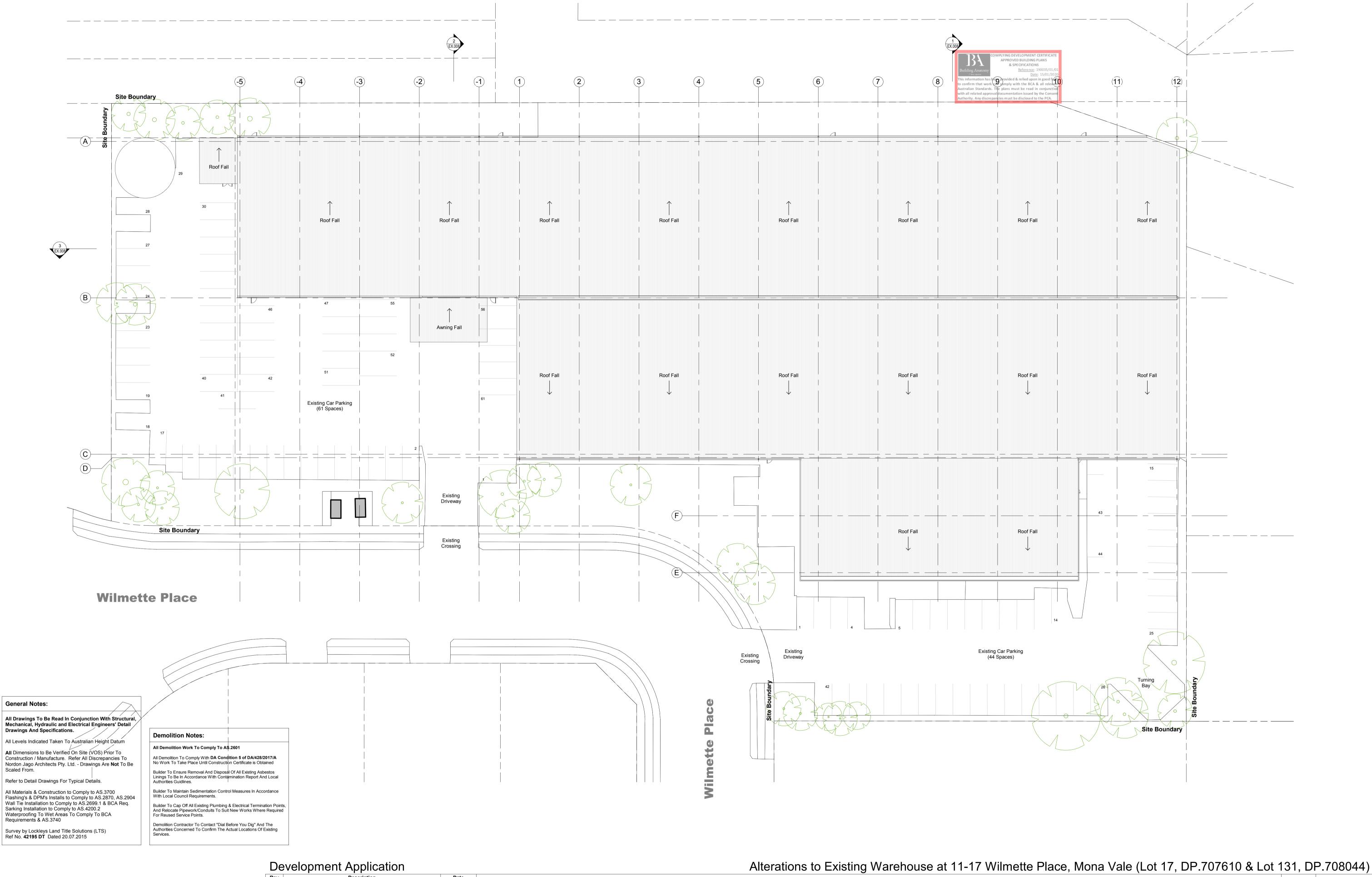






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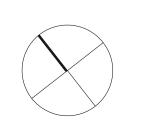






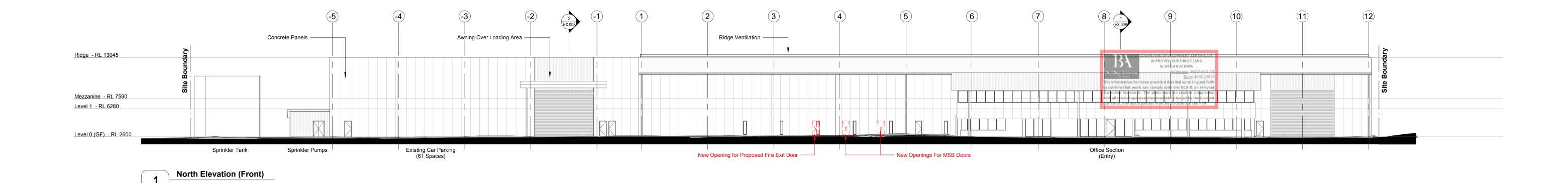
A Preliminary Issue for Review
B General Revisions
C Preliminary CDC Issue for Review
D CDC Issue
E Issue for CDC
F CDC Issue Following Recent Changes 30.10.19 12.11.19 22.11.19 0m 2.5m 5m 7.5m 10m 12.5m Scale Bar 1:250

TITLE



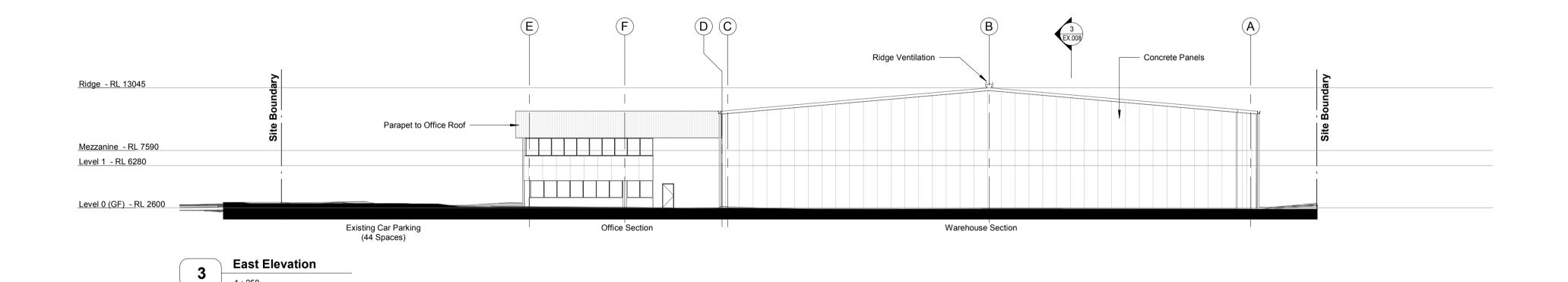
Existing & Demo Roof Plan

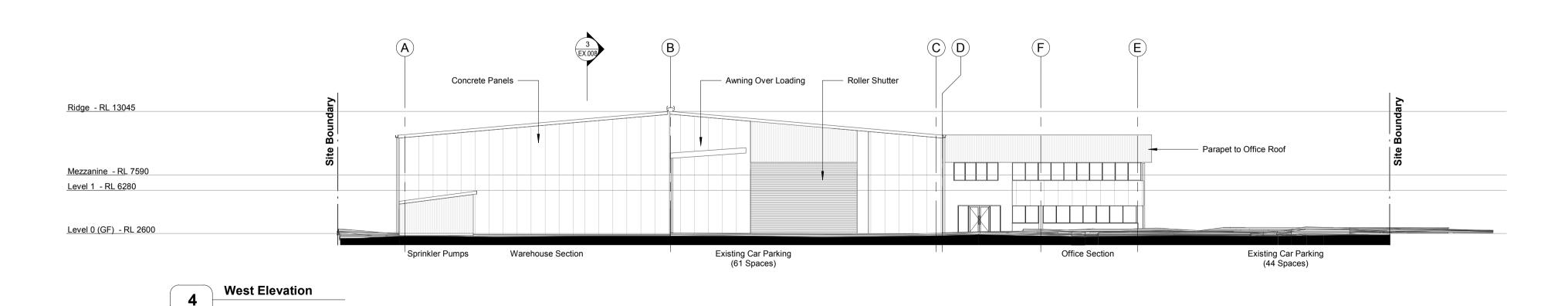
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South Elevation (Rear)





Demolition Notes:

All Demolition Work To Comply To AS.2601

All Demolition To Comply With DA Condition 5 of DA/428/2017/A

No Work To Take Place Until Construction Certificate is Obtained

Builder To Ensure Removal And Disposal Of All Existing Asbestos

Builder To Ensure Removal And Disposal Of All Existing Asbestos Linings To Be In Accordance With Contamination Report And Local Authorities Guidlines.

Builder To Maintain Sedimentation Control Measures In Accordance

Builder To Cap Off All Existing Plumbing & Electrical Termination Points, And Relocate Pipework/Conduits To Suit New Works Where Required For Reused Service Points.

Demolition Contractor To Contact "Dial Before You Dia"

Demolition Contractor To Contact "Dial Before You Dig" And The Authorities Concerned To Confirm The Actual Locations Of Existing Services.

General Notes:

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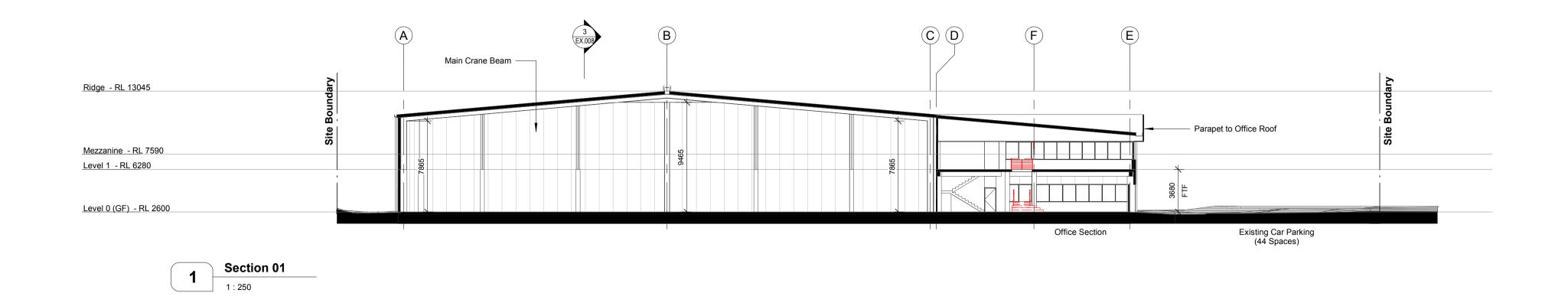
Survey by Lockleys Land Title Solutions (LTS) Ref No. **42195 DT** Dated 20.07.2015

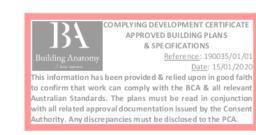


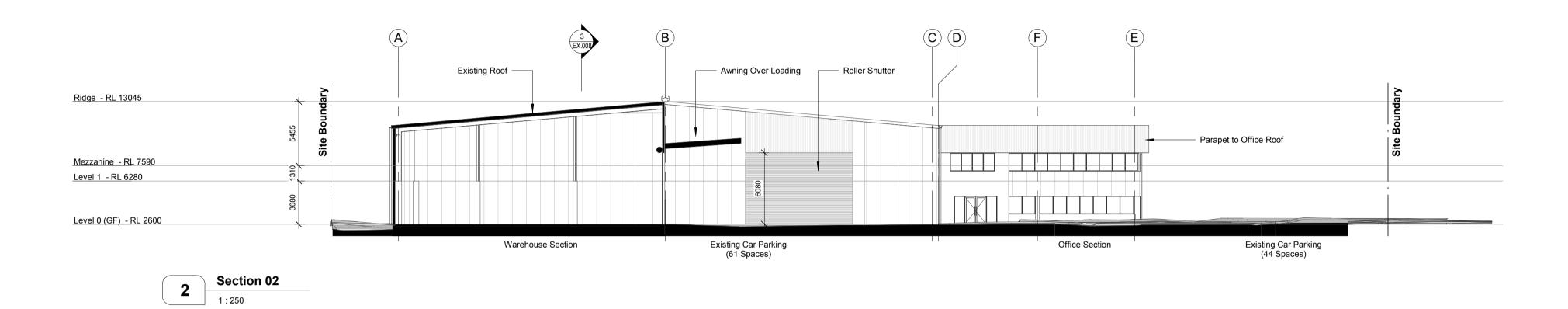
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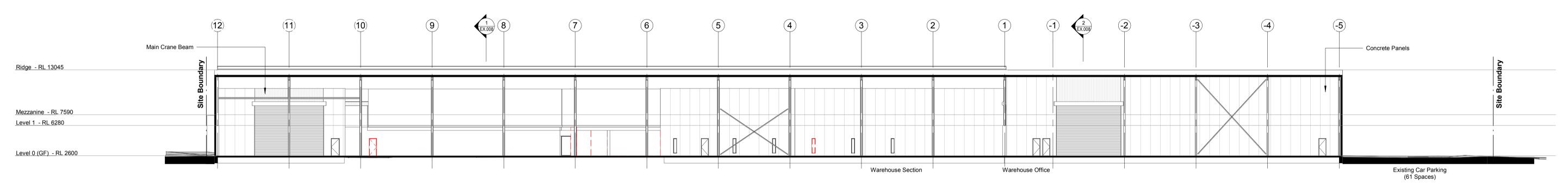
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TITLE		DATE		Nov 2019
	Existing & Demo Elevations	SCALE	A1 @	As indicated
	Existing a Berne Elevations	DWG No.		









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Waterproofing To Wet Areas To Comply To BCA
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SCALE

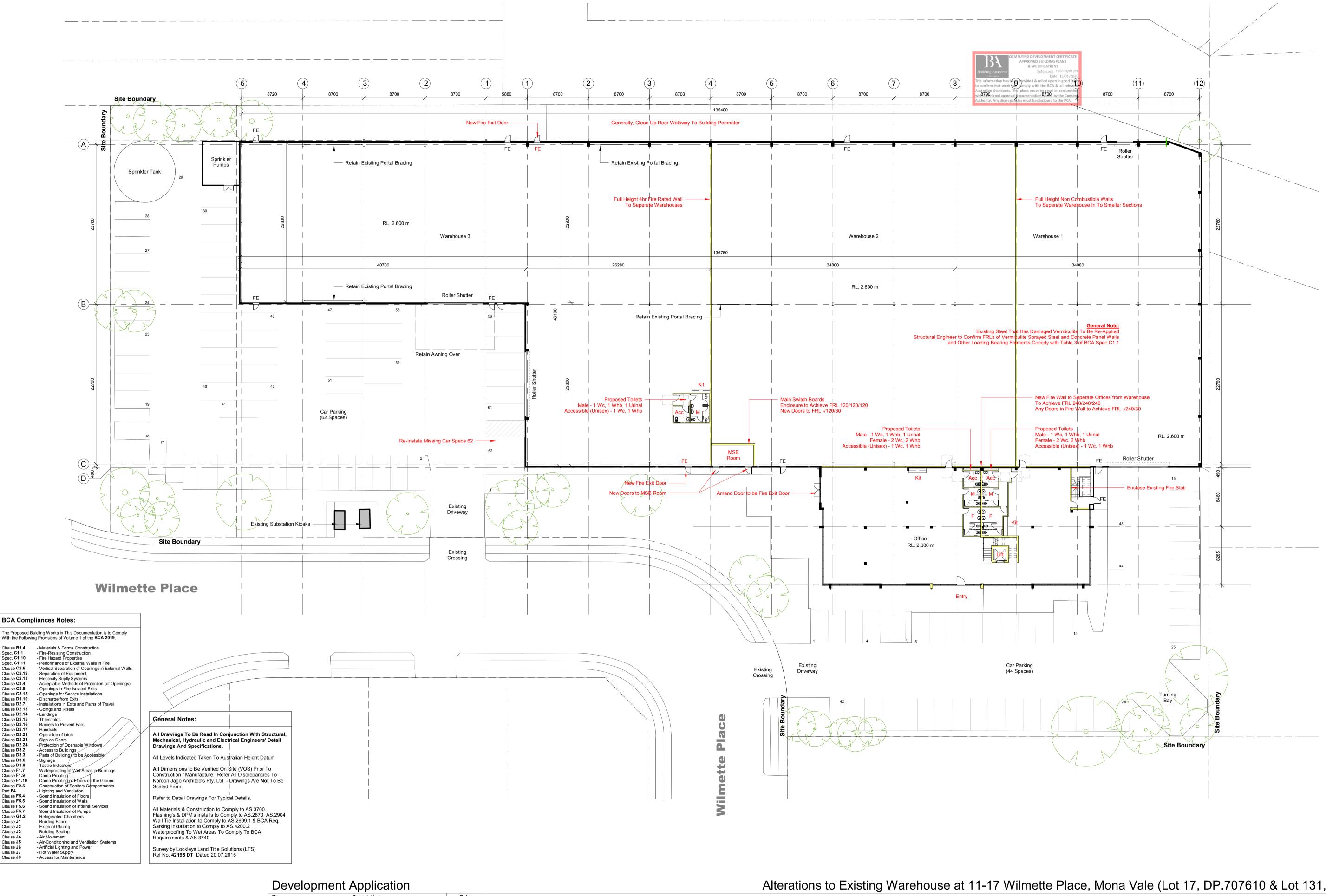
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De	evelopment Application		
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			Scale Bar 1:250

Alterations to Existing Warehouse at 11-17 Wilmette Place, Mona Vale (Lot 17, DP.707610 & Lot 131, DP.708044)

A1 @ As indicated





Clause B1.4

Spec. **C1.11**

Clause **C2.6** Clause **C2.12**

Clause C3.4 Clause C3.8 Clause C3.15

Clause **D2.7** Clause **D2.13**

Clause **D2.14**

Clause D2.15 Clause **D2.16**Clause **D2.17**Clause **D2.21**

Clause D2.24 Clause D3.2 Clause D3.3

Clause **D3.8** Clause **F1.7** Clause **F1.9**

Clause F1.10 Clause F2.5 Part F4

Clause **F5.4** Clause **F5.5**

Clause F5.6 Clause F5.7 Clause G1.2

Clause J1.2
Clause J2
Clause J3
Clause J4
Clause J5
Clause J6
Clause J7
Clause J8

Spec. **C1.1**

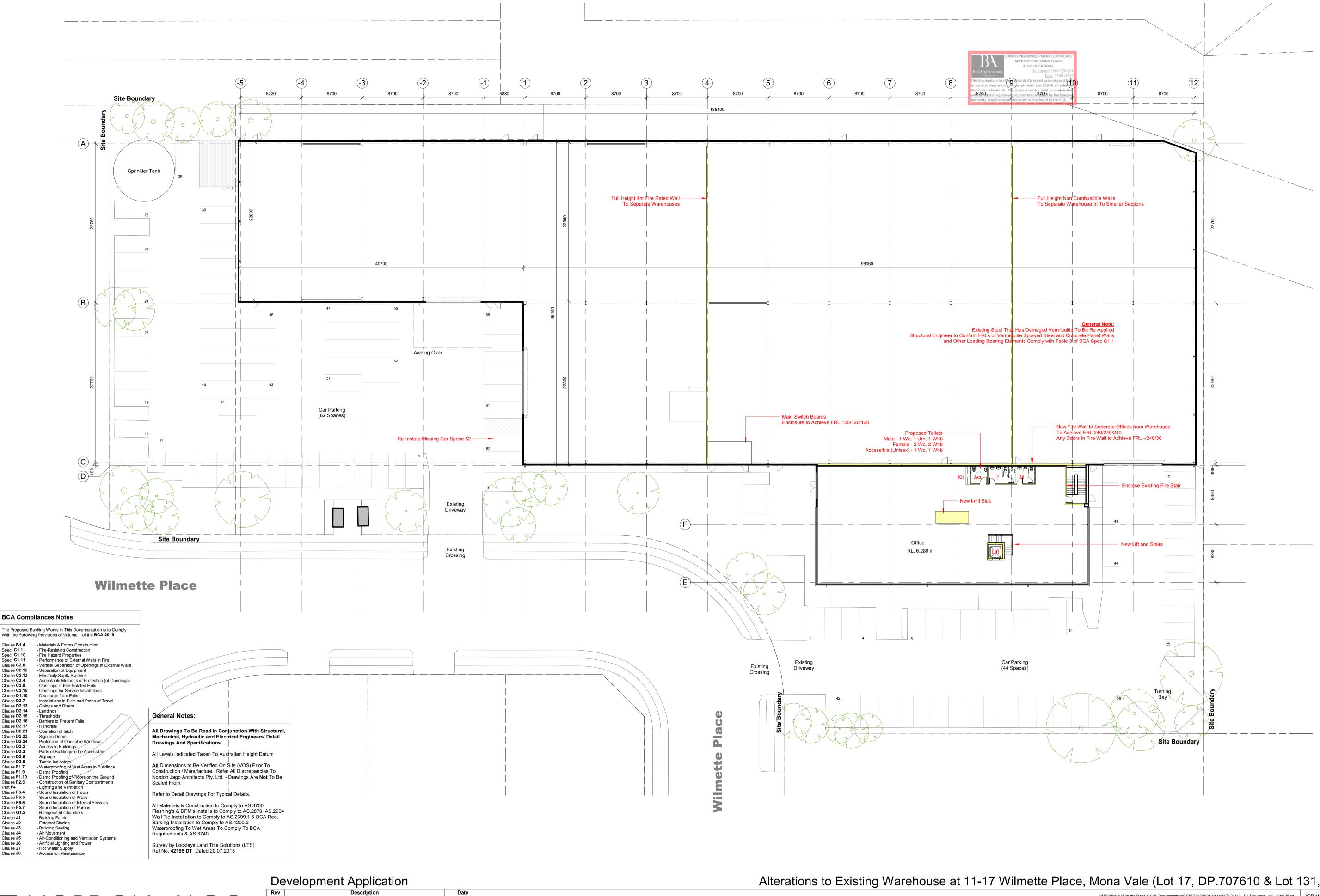
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Nov 2019

A1 @ As indicated





Clause **B1.4** Spec. **C1.1**

Spec. **C1.11**

Clause C2.6 Clause C2.12

Clause C3.4 Clause C3.8 Clause C3.15

Clause D1.10 Clause D2.7 Clause D2.13 Clause D2.14 Clause D2.15

Clause D2.16 Clause D2.17 Clause D2.21

Clause D2.23 Clause D2.24 Clause D3.2 Clause D3.3 Clause D3.6

Clause D3.8
Clause F1.7
Clause F1.9
Clause F1.10
Clause F2.5
Part F4

Clause **F5.4** Clause **F5.5**

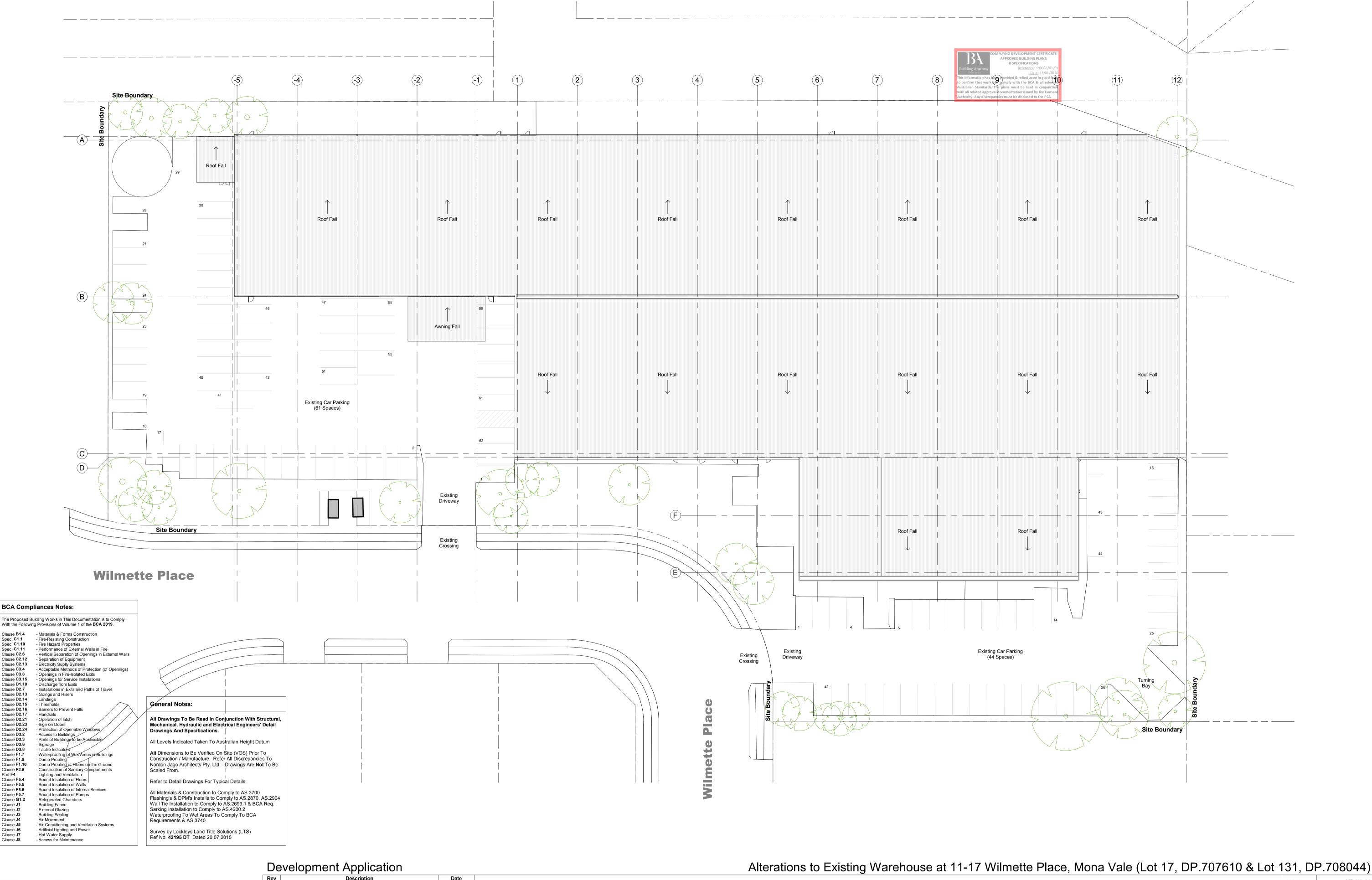
Clause F5.6 Clause F5.7 Clause G1.2

Clause J1.2
Clause J2
Clause J3
Clause J4
Clause J5
Clause J6
Clause J7
Clause J8

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Clause **B1.4** Spec. **C1.1**

Spec. **C1.11**

Clause C2.6 Clause C2.12

Clause C3.4 Clause C3.8 Clause C3.15

Clause D1.10 Clause D2.7 Clause D2.13 Clause D2.14 Clause D2.15

Clause D2.16 Clause D2.17 Clause D2.21

Clause D2.23 Clause D2.24 Clause D3.2 Clause D3.3 Clause D3.6

Clause D3.8
Clause F1.7
Clause F1.9
Clause F1.10
Clause F2.5
Part F4

Clause **F5.4** Clause **F5.5**

Clause F5.5 Clause F5.6 Clause F5.7 Clause G1.2 Clause J1 Clause J3 Clause J4 Clause J5 Clause J6 Clause J7 Clause J8

Date 03.09.19 30.10.19 12.11.19 D CDC Issue Following Recent Changes 0m 2.5m 5m 7.5m 10m 12.5m Scale Bar 1:250

J:\MPH00119 Wilmette Place\4 NJA Documentation\5 CADD\3 DA\01 Mode\MPH00119 - DA Drawings - r20 - 191120.rvt JOB No. TITLE Proposed Roof Plan

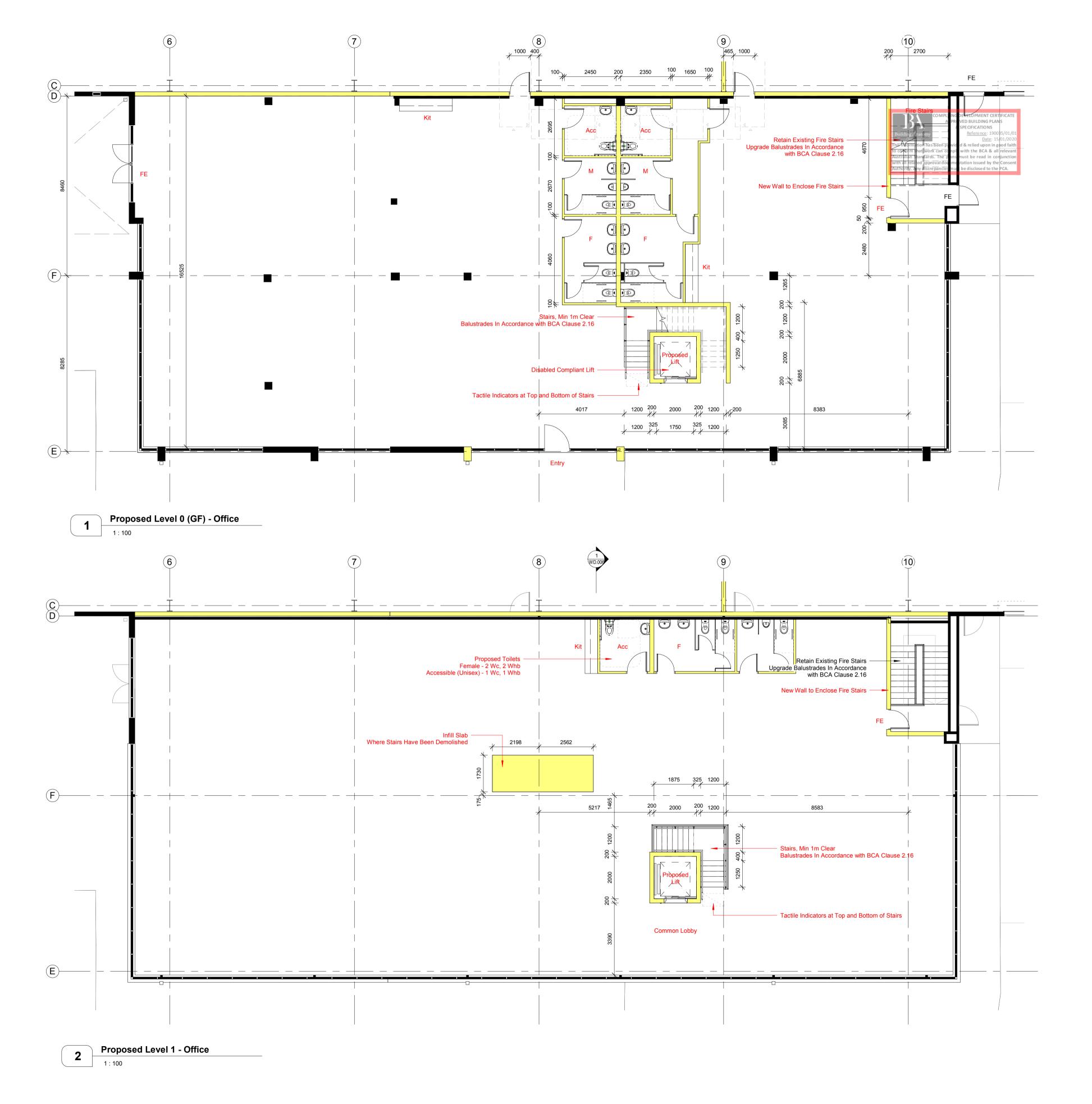
Nov 2019

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SCALE

DWG No.



The Proposed Buidling Works in This Documentation is to Comply With the Following Provisions of Volume 1 of the **BCA 2019**. - Materials & Forms Construction Spec. **C1.1** - Fire-Resisting Construction - Fire Hazard Properties - Performance of External Walls in - Vertical Separation of Openings in External Walls Clause C2.12 Separation of Equipment Clause C2.13 - Electricity Suplly Systems - Acceptable Methods of Protection (of Openings) - Openings in Fire-Isolated Exits Clause **C3.15** - Openings for Service Installations Clause **D1.10** Discharge from Exits Installations in Exits and Paths of Travel Clause D2.13 Clause **D2.14** Clause D2.15 - Thresholds - Barriers to Prevent Falls Clause **D2.21** Operation of latch Clause D2.23 Sign on Doors - Protection of Openable Windows Clause D2.24 - Parts of Buildings to be Accessible Clause D3.3 Clause D3.6 - Tactile Indicators - Waterproofing of Wet Areas in Buildings - Damp Proofing
- Damp Proofing of Floors on the Ground
- Construction of Sanitary Compartments Clause F1.9 Clause **F1.10** Clause F2.5 Lighting and Ventilation Clause F5.4 - Sound Insulation of Floors Clause F5.5 - Sound Insulation of Walls - Sound Insulation of Internal Services Clause F5.6 - Sound Insulation of Pumps Clause G1.2 - Refrigerated Chambers Clause **J1** - Building Fabric - External Glazing Clause J2 - Building Sealing - Air Movement- Air-Conditioning and Ventilation Systems Clause **J4** Clause **J5** Clause **J6** - Artificial Lighting and Power Clause **J8** - Access for Maintenance

BCA Compliances Notes:

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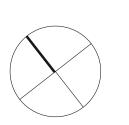
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Survey by Lockleys Land Title Solutions (LTS) Ref No. **42195 DT** Dated 20.07.2015



Alterations to Existing Warehouse at 11-17 Wilmette Place, Mona Vale (Lot 17, DP.707610 & Lot 131, DP.708044)

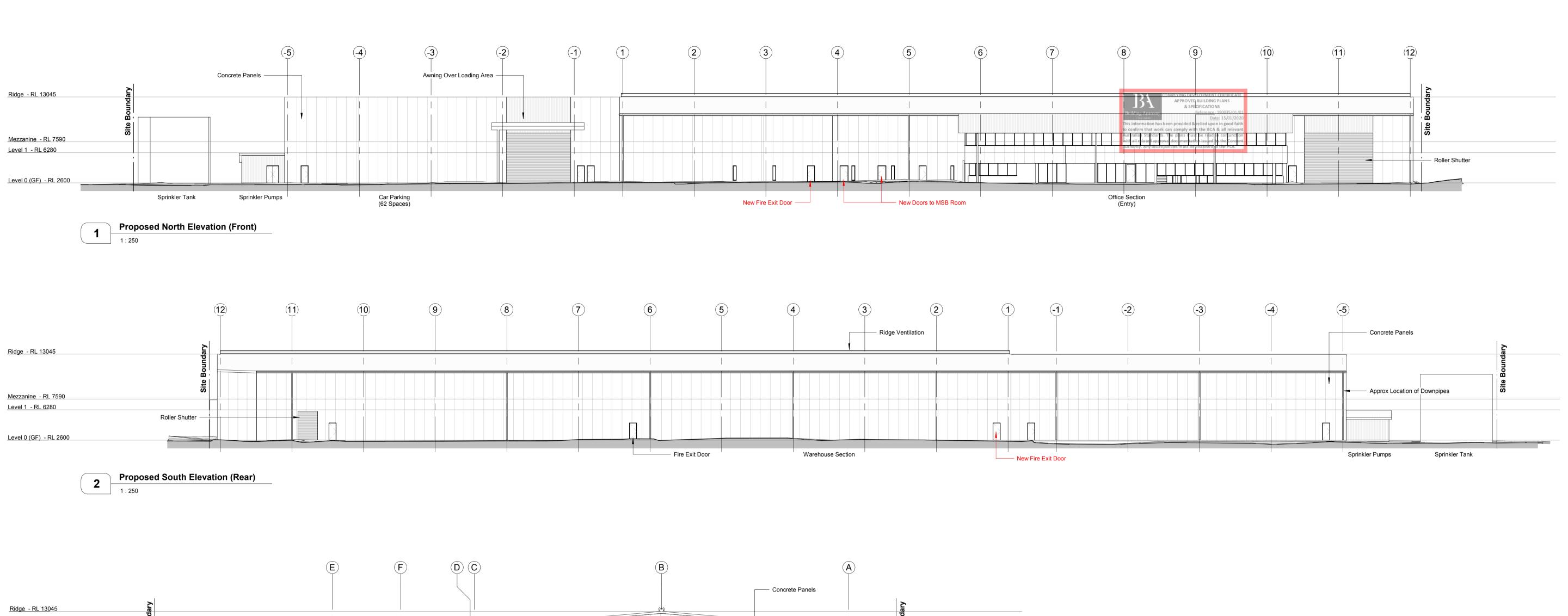
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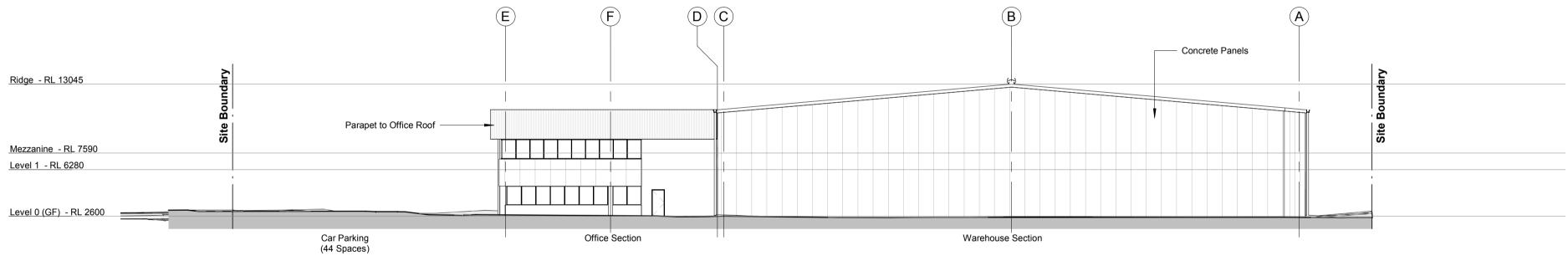


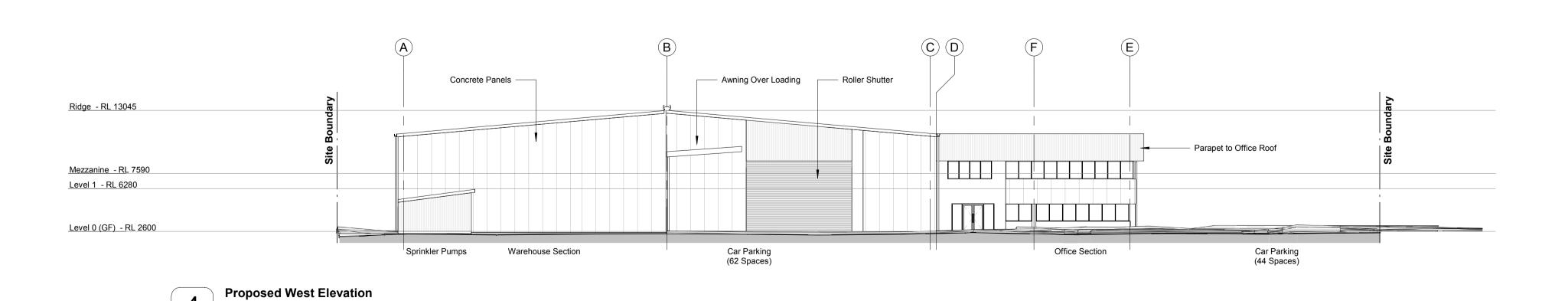
TITLE

STEPHEN J. NORDON Registration No. NSW - 4704 GRAHAM P. JAGO Registration No. NSW - 4926

NORDON - JAGO
ARCHITECTS







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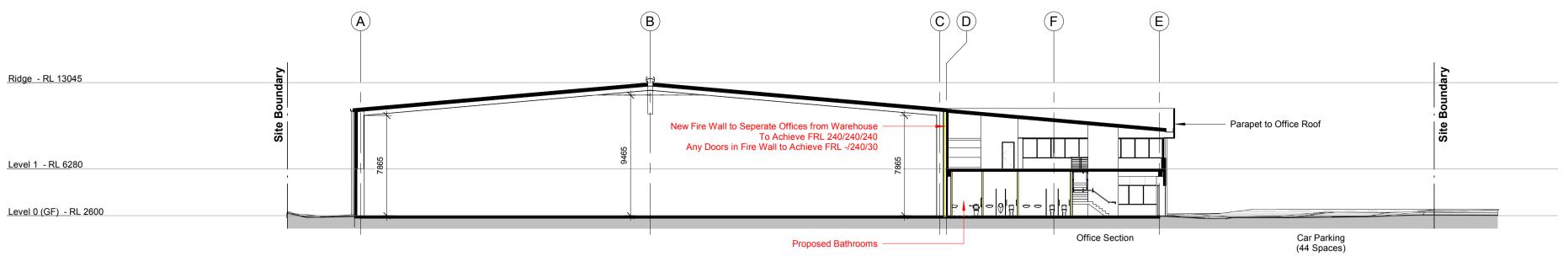
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BCA Compliances Notes:



Proposed East Elevation

De	evelopment Application		
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Building Anatomy
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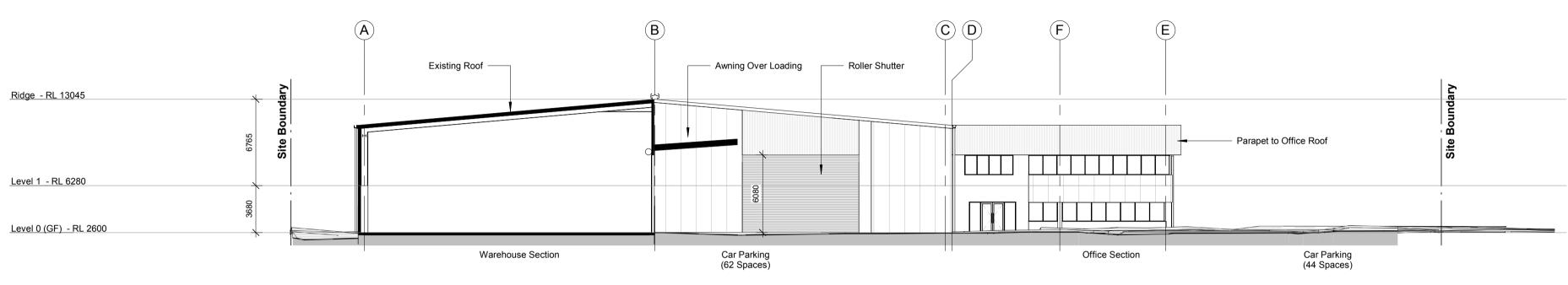
Building Anatomy

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Proposed Section 01

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Proposed Section 02

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Proposed Section 03

1:250

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 Vertical Separation of Openings in External Walls Spec. **C1.11** Clause C2.6 Clause C2.12 - Separation of Equipment Clause C2.13 - Electricity Suplly Systems Acceptable Methods of Protection (of Openings)Openings in Fire-Isolated Exits Clause C3.4 Clause C3.8 Clause C3.15 - Openings for Service Installations - Discharge from Exits Clause D2.7 - Installations in Exits and Paths of Travel Clause D2.13 Goings and Risers Clause D2.14 Clause D2.15 Clause D2.16 - Barriers to Prevent Falls Clause **D2.17** Handrails Clause D2.21 - Operation of latch Clause D2.24 - Protection of Openable Windows Clause D3.2 Access to BuildingsParts of Buildings to be Accessible Clause D3.3 - Tactile Indicators Clause D3.8 Clause F1.7 - Waterproofing of Wet Areas in Buildings Damp Proofing
 Damp Proofing of Floors on the Ground
 Construction of Sanitary Compartments Clause **F2.5** Part **F4** - Lighting and Ventilation Clause F5.4 - Sound Insulation of Floors Clause F5.5 - Sound Insulation of Walls Clause F5.6 - Sound Insulation of Internal Services Clause F5.7 - Sound Insulation of Pumps Clause G1.2 - Refrigerated Chambers Clause **J1** - Building Fabric Clause J2 External Glazing - Building Sealing - Air Movement Clause J3 Clause **J4** - Air-Conditioning and Ventilation Systems - Artificial Lighting and Power - Hot Water Supply - Access for Maintenance Clause J7 Clause J8

BCA Compliances Notes:

Clause **B1.4** - Materials & Forms Construction

The Proposed Buidling Works in This Documentation is to Comply With the Following Provisions of Volume 1 of the **BCA 2019**.

Alterations to Existing Warehouse at 11-17 Wilmette Place, Mona Vale (Lot 17, DP.707610 & Lot 131, DP.708044)

NORDON - JAGO
ARCHITECTS

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Description	Date	
Preliminary CDC Issue for Review	03.09.19	
Internal Warehouse Walls Added	13.09.19	
CDC Issue	30.10.19	
Issue for CDC	12.11.19	
Update to CDC	18.11.19	
CDC Issue Following Recent Changes	22.11.19	
		0m 2.5m 5m 7.5m 10m 12.5m
	Internal Warehouse Walls Added CDC Issue Issue for CDC Update to CDC	Description Date Preliminary CDC Issue for Review 03.09.19 Internal Warehouse Walls Added 13.09.19 CDC Issue 30.10.19 Issue for CDC 12.11.19 Update to CDC 18.11.19

MPH00119

Nov 2019