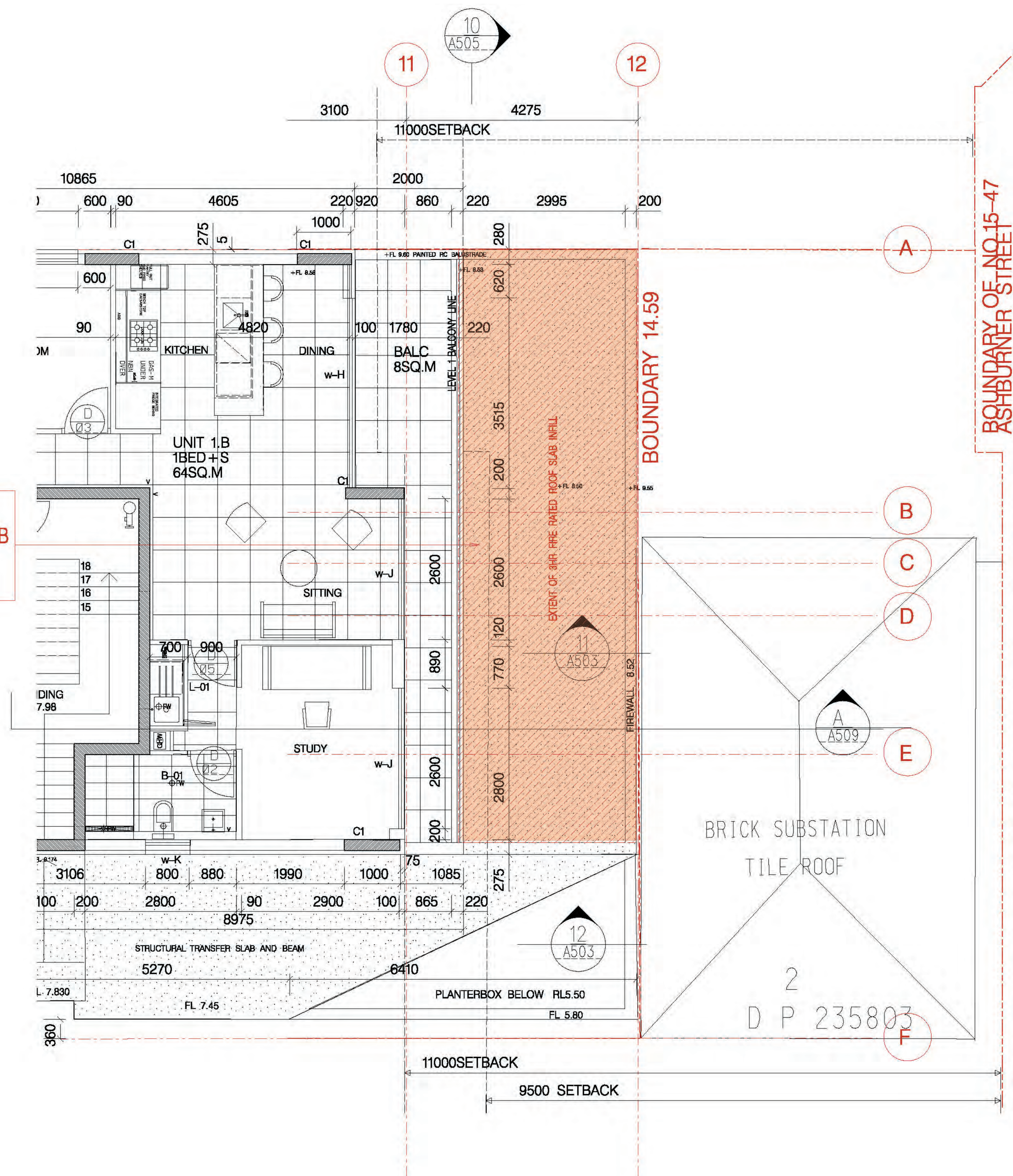


NON TRAFFICABLE
CARPARK ROOF INFILL SLAB
180/180/180 WITH GRAVEL
CONTAINMENT HOB

240/240/240 BLAST WALL
CONSTRUCTED

AUSGRID
SUBSTATION
S16124

DETAIL SECTION
WALL SECTION SOUTH FACADE



DETAIL L1 PLAN
LEVEL 1 SOUTH

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MANLY OWNER'S GROUP
46 Victoria Parade, Manly 2095

REV	DATE	DESCRIPTION	BY	CHK
1	09/01/19	APC ISSUE	SS	PR
2	02/01/19	NOTES ADDED	LC	PR
3	22/01/19	NOTED DIMENSIONS ADDED	LC	PR
4	09/01/19	REQUIRED AUSGRID HAS ADDED	LC	PR
5	10/01/19	ROOF FIRE RATING 100MM/180	LC	PR

Residential Development @
VICTORIA PARADE, MANLY, NSW

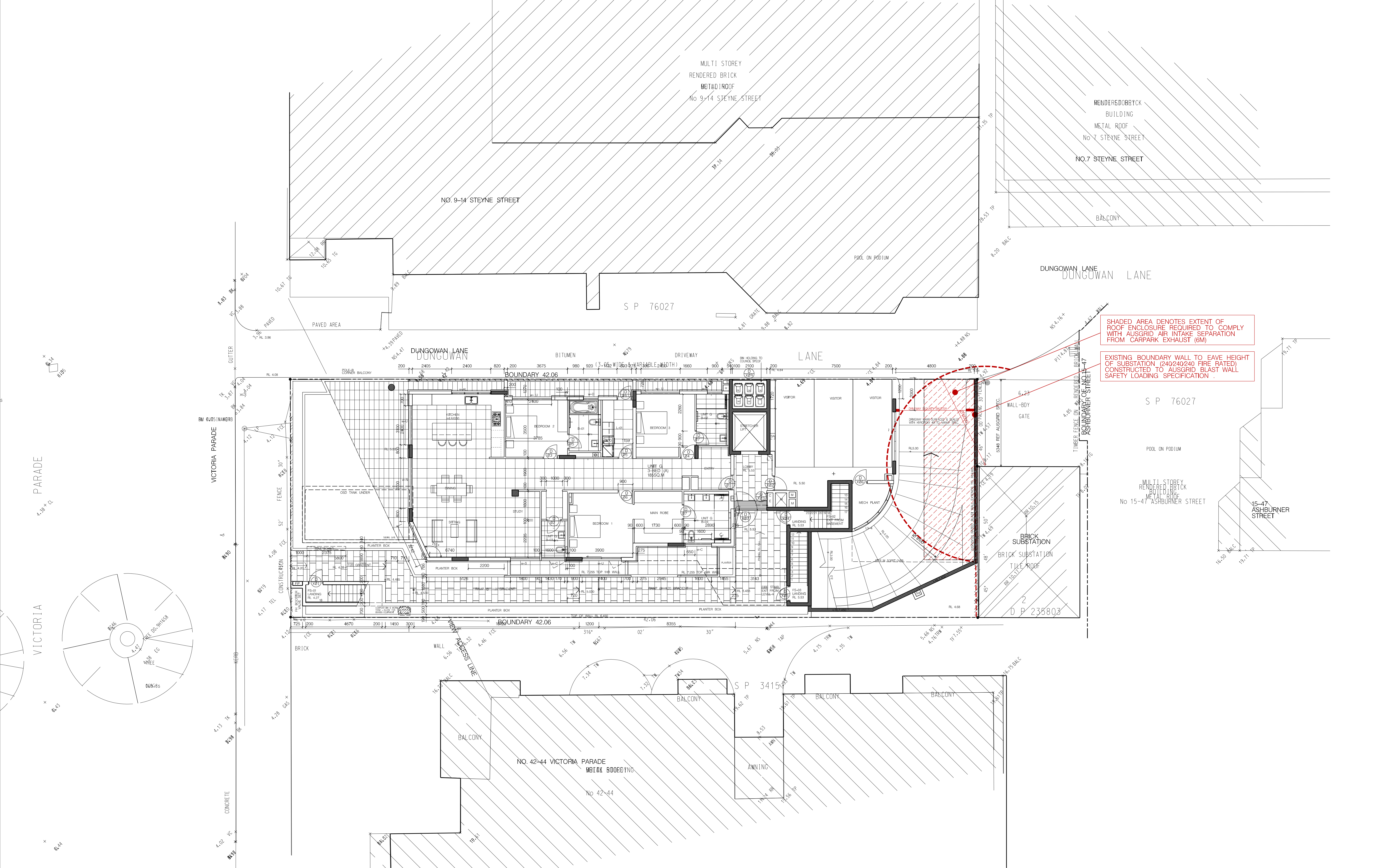
JANUARY 2020
1:50 @ A1

FOR APPROVAL

AUSGRID

2424- A509

5



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MANLY OWNER'S GROUP
46 Victoria Parade, Manly, 2095

ISSUE	REV	DATE	DESCRIPTION	OWN	CHK	ISSUE	REV	DATE	DESCRIPTION	OWN	CHK
SUB	A	08/05/18	ISSUED FOR APPROVAL/PRICING	SS	PR						
CC	B	19/08/18	CONSULTANT ISSUE FOR COORDINATION	SS	PR						
C	20/08/18		SERVICE REBBS FOR COORDINATION	SS	PR						
D	22/08/18		SERVICE REBBS ADJUSTED	SS	PR						
1	05/09/18		AFC ISSUE	SS	PR						
2	07/09/18		NOTES ADDED	LO	PR						
3	27/09/18		NOTES/DIMENSIONS ADDED	LO	PR						
4	22/09/19		FOR AUSGRID APPROVAL	LO	PR						
5	10/01/20		NOTES ADDED	LO	PR						

Residential Development @
VICTORIA PARADE, MANLY, NSW

CC-AUGUST 2018
1=100 @ A1

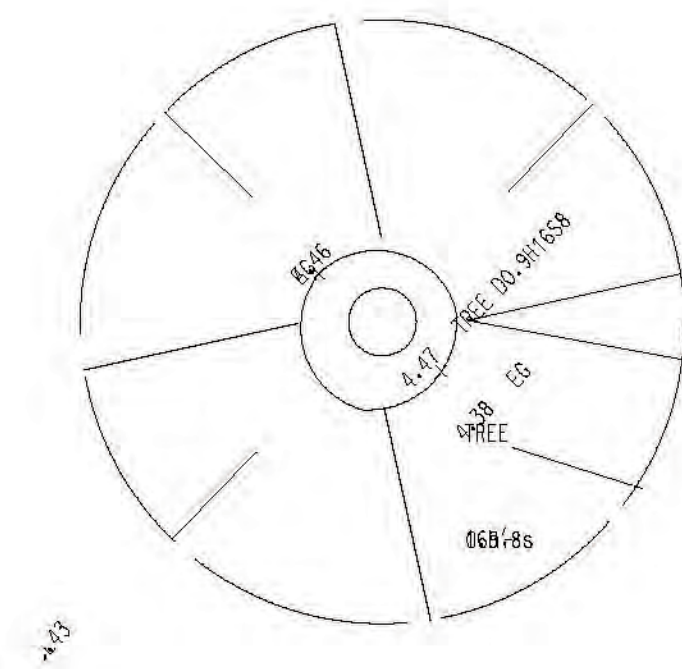
FOR APPROVAL

SITE GROUND PLAN

2424-A001

5

1
R139



6.43

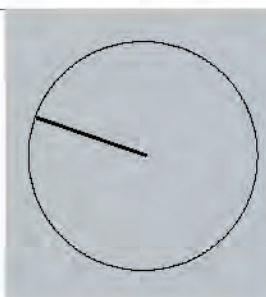
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MANLY OWNER'S GROUP
46 Victoria Parade, Manly, 2095



ISSUE	REV	DATE	DESCRIPTION	DRW	CHK	ISSUE	REV	DATE	DESCRIPTION	DRW	CHK
SS	A	06/09/19	ISSUED FOR APPROVAL/ISSUING	SS	PR	SS	A	06/09/19	3HR FIRE RATED DRIVEWAY ROOF ADDED FOR AUSGRID COMPLIANCE	LO	PR
DC	B	13/09/19	CONSULTANT ISSUE FOR COORDINATION	SS	PR						
C	20/09/19		SPRINKLE RISERS FOR COORDINATION	SS	PR						
D	23/09/19		SPRINKLE RISERS ADJUSTED	SS	PR						
1	05/10/19		ATC ISSUE	SS	PR						
2	07/10/19		NOTES ADDED	LO	PR						
3	22/09/19		NOTED DIMENSIONS ADDED	LO	PR						
4	24/09/19		FOR ALIGNED APPROVAL	LO	PR						
5	01/10/19		3HR FIRE RATED BOUNDARY PARAMETER ADDED FOR AUSGRID APPROVAL	LO	PR						

Residential Development @
VICTORIA PARADE, MANLY, NSW

JANUARY 2020
1=100 @ A1

FOR APPROVAL

LEVEL 1 SITE PLAN

2424-A002

6



F

E

D

C

B

A

5245

2565

960

840

4970

ROOF RL 20.98
CEILING RL 20.43

TOP OF PARAPET RL19.61

LEVEL 4 RL 17.73

LEVEL 3 RL 14.68

LEVEL 2 RL 11.63

LEVEL 1 RL 8.58

GROUND RL 5.53

BASEMENT RL 1.00

STACKER PIT RL -1.00

RENDERED & PAINTED MASONRY

FIXED TG BALUSTRADE WITH TOPRAIL
MASONARY BALUSTRADE END PANEL

ADJOINING SUBSTATION

TOP OF PLANTER BOX
ANGLED WALL TO
BASEMENT PARKING

TOP OF PILE CAP RETAINING WALL

REQUIRED DRIVEWAY ROOF SLAB
180/180/180 TO AUSGRID SPEC.

CARPARK DRIVEWAY 240/240/240 BOUNDARY BLAST WALL

800

650

1600

3250

1000

350

1700

3050

1000

350

1700

3050

1000

350

1700

3050

1000

350

100

2800

3050

ENTRY TO
BASEMENTDUNGOWAN
LANE RL 4.90

1400

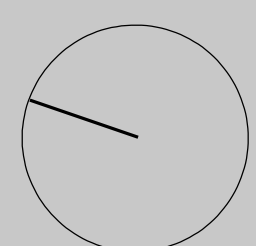
EXISTING FENCE ON BALCONY EDGE

BALCONY RL 9.89

NO. 9-14 STEYNE STREET

NO. 42-44
VICTORIA PARADE

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46 Victoria Parade, Manly.2095

ISSUE NO.	DATE	DESCRIPTION	DRYV	CHK	ISSUE NO.	DATE	DESCRIPTION	DRYV	CHK
SB A	08/05/18	ISSUED FOR APPROVAL/PARKING	SS	PR	7	09/09/19	level & 2 busses removed (SB REQ)	EV	PR
CD B	10/09/18	CONSULTANT ISSUE FOR COORDINATION	SS	PR	8	05/09/19	NOTES ADDED	EV	PR
C	04/09/18	SERVICE RISERS FOR COORDINATION	SS	PR	9	09/09/19	AUSGRID ROOF ENCLOSURE OF DRIVEWAY REQ.	EV	PR
D	05/09/18	SERVICE RISERS ADJUSTED	SS	PR					
1	04/01/18	APC ISSUE	SS	PR					
2	07/01/18	NOTES ADDED	LD	PR					
3	27/02/19	NOTES/DIMENSIONS ADDED	LD	PR					
4	15/03/19	LOWLINE THIS ADDED	LD	PR					
5	02/04/19	RD BALUSTRADE LEVEL WINDOW W-J REV	LD	PR					
6	20/06/19	L1/L2 GEN REVISION	EV	PR					

Residential Development @
VICTORIA PARADE, MANLY, NSWCC-AUGUST 2018
1:50 @ A1

FOR APPROVAL

SOUTH ELEVATION

2424-A202

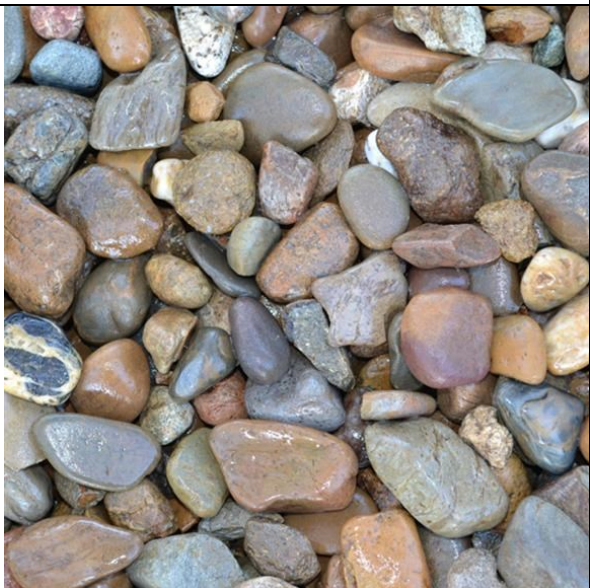
9



ARCHITECTURAL NON TRAFFICABLE CONCRETE ROOF AREAS - EXTERNAL FINISH

Job No:	Job Name / Address	Date	Revision
2424	46 Victoria Parade, Manly	JAN 2020	A

EXTERIOR MATERIALS – Addendum 1 - Non Trafficable Roof Terrace

CONCRETE ROOF					
Code	Image	Location	Description	Specification	R
CR1		Level 1 – South Concrete Roof over driveway entry ramp	200mm RC suspended slab 180/180/180 with seamless Waterproof membrane covered with impact board for 60mm deep pebble ballast evenly spread. Ref drawing A002 for extent	Sandy/Brown washed river gravel. Ensure gravel size is adequate to prevent removal by birds. (30mm-40mm diameter) Australian Native Landscapes (\$106/tonne)	A