

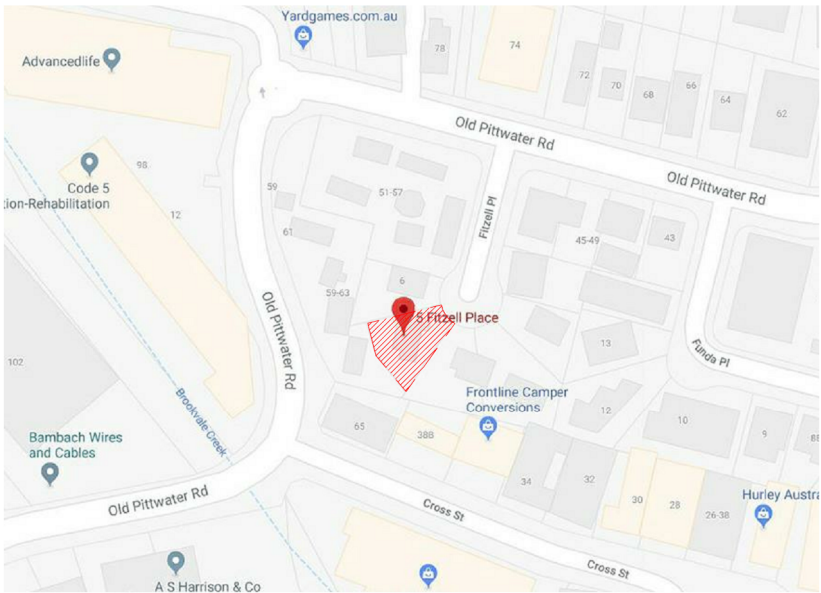
S4.55 Modification Application

Boarding House

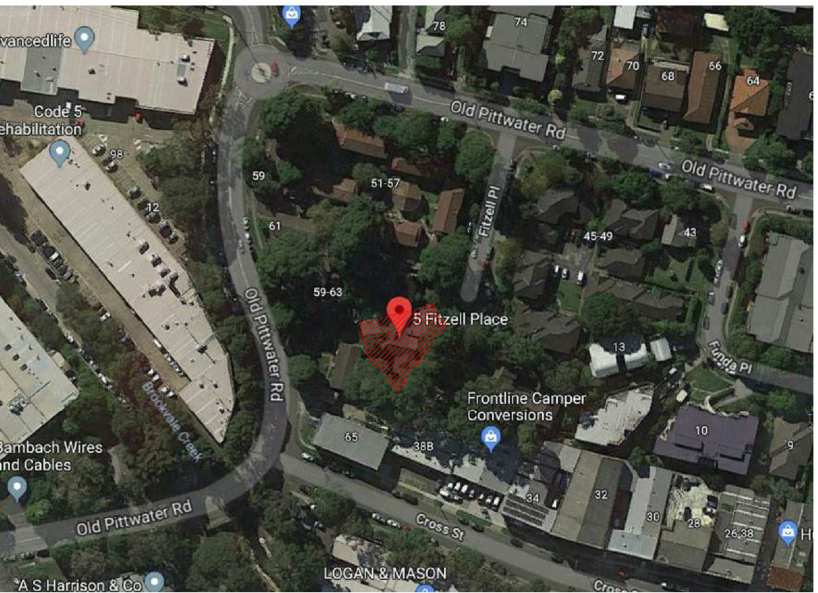
Address: 5 Fitzell Pl, Brookvale, NSW 2100

Drawing List

Sheet Number	Sheet Name	Revision
DA000	Cover Page	H
DA012	Demolition Plan	B
DA014	Site Plan & Site Analysis Plan	H
DA050	Excavation and / or Fill Plan	E
DA090	Basement 1 Plan	H
DA100	Ground Floor Plan	G
DA101	First Floor Plan	F
DA103	Roof Plan	H
DA200	Section 1	G
DA201	Section 2	H
DA202	Section 3	H
DA300	Elevations - East and West	H
DA301	Elevations - North and South	H
DA400	External Finish	E



Site Map



Aerial Photo



LOT 40, DP 527962, 5 Fitzell Pl, Brookvale, NSW 2100

S4.55 SUBMISSION

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-Refer to Landscape Drawings for Landscape Detail

Color Legend

EXISTING TO REMAIN

EXISTING BUILDING TO BE DEMOLISHED

EXISTING TREE,DA APPROVED TO BE REMOVED, DA 2017/0067

7.6

Average star rating

NATIONWIDE HOUSE

Building & Construction

www.nathem.gov.au

Certificate no.: 0004462200

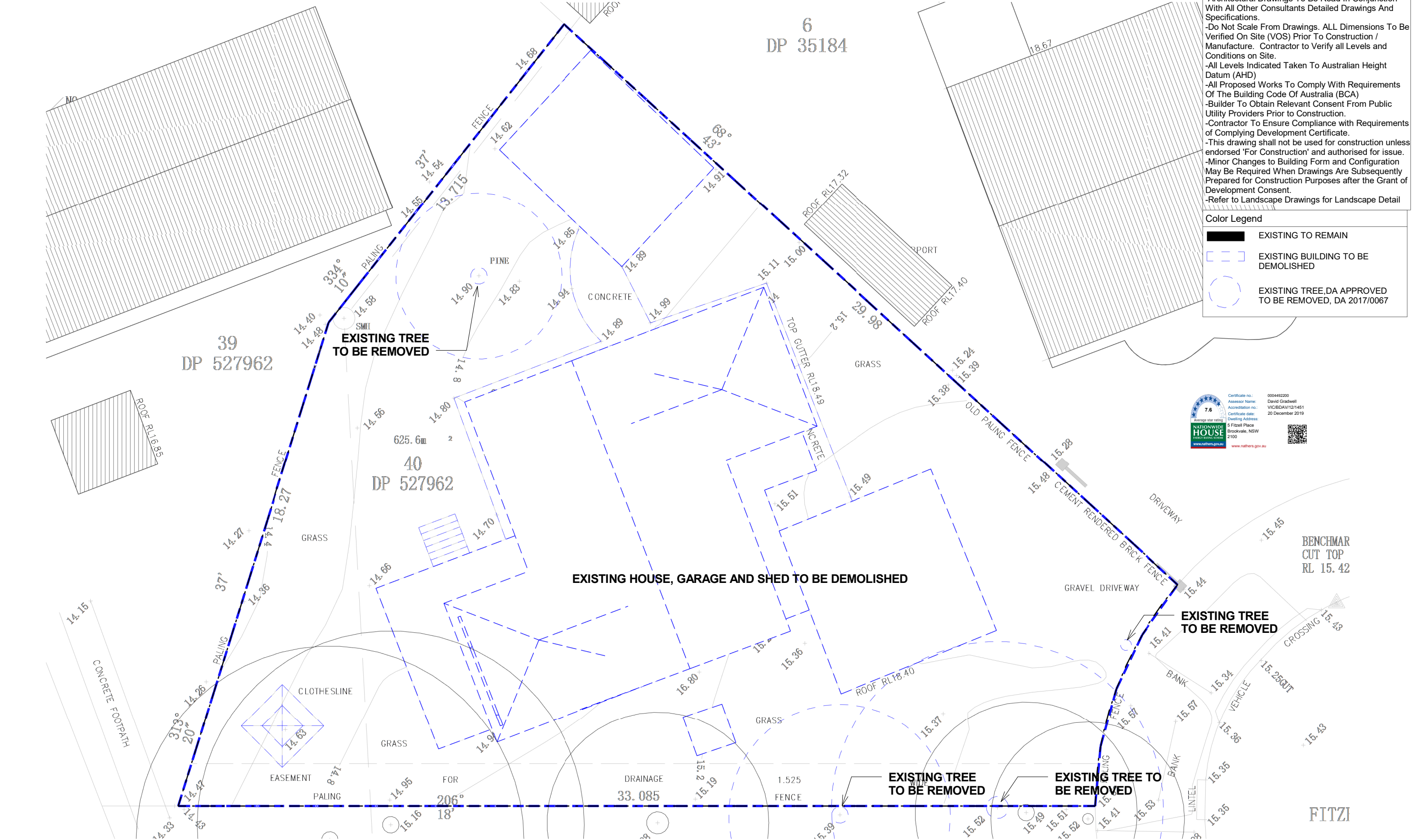
Assessor Name: David Gradwell

Accreditation no: VICRDAW121451

Certificate date: 20 December 2019

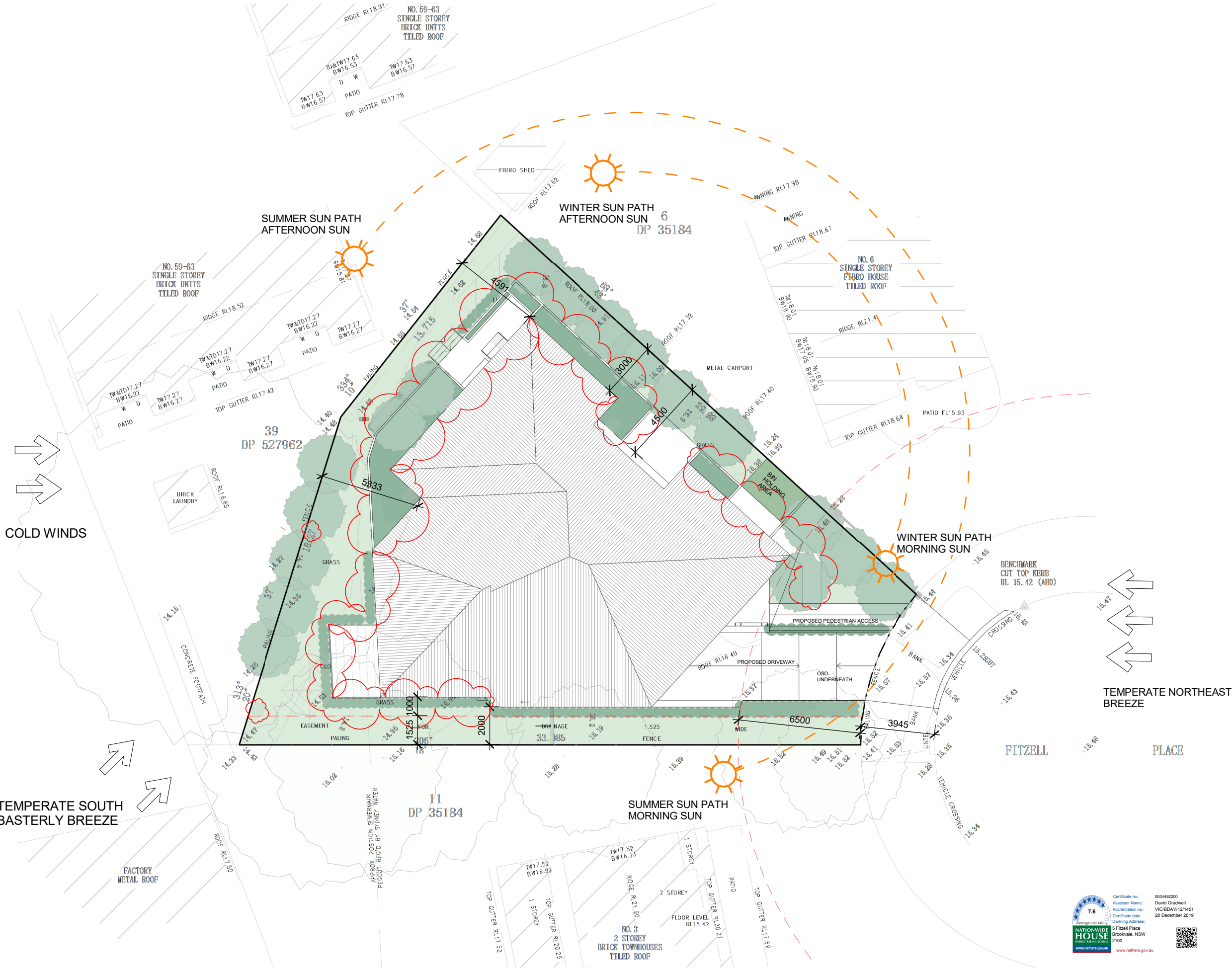
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www.nathem.gov.au



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- BASIX NOTES:**
- All Showerheads:** 3 star(>4.5 but <=6 L/min)
 - All Toilet Flushing Systems:** 4 star
 - All Kitchen Taps:** 3 star
 - All Bathroom Taps:** 5 star

- DESIGN STATISTICS:**
- SITE AREA:** 652.6sqm
 - ZONING:** R3 Medium Density Residential
 - PERMITTED USE:** Boarding House
 - HEIGHT OF BUILDING:** 8.5m
 - PARKING SPACE:** Proposed 5 Car Parking Spaces with 1 Disabled Car Park Space, 4 Motorbike Parking Spaces, 4 Bicycle Parking Spaces
 - DWELLING:** 13 Boarding Rooms (including 9 Double Rooms; 2 Single Rooms; 2 Adaptable Units); 1 Boarding House Manager Room, 1 Communal Living Room



S4.55 SUBMISSION

Rev	Description	Date
B	Contention - Carstacker	13/11/2018
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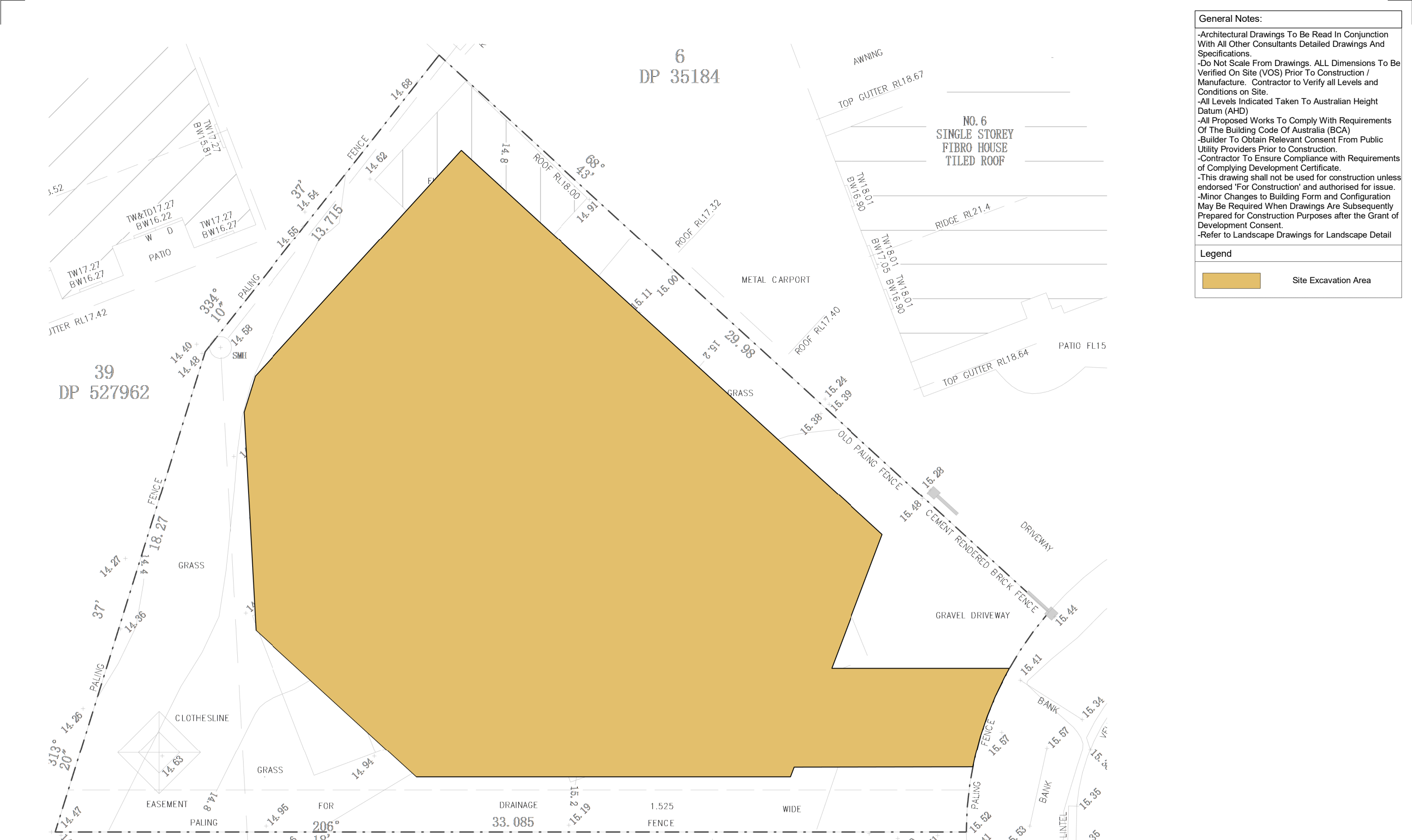
TITLE		JOB No.	CP01
Site Plan & Site Analysis Plan		DATE	SEP 2019
		SCALE	A3 @ As indicated
		DWG No.	DA014 H

ENHANCE GROUP PROJECT PTY LTD

LEO WANG
NSW Nominated Architect:
No. 9898
NSW Registered Project
Manager: MAIPM, CPPM

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P +61 2 8004 3281
A Suite 79 Level 4 89-97 Jones St
Ultimo NSW 2007

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Legend

Site Excavation Area

Average Approx. Excavation Depth:

Approx. Excavation Volume:

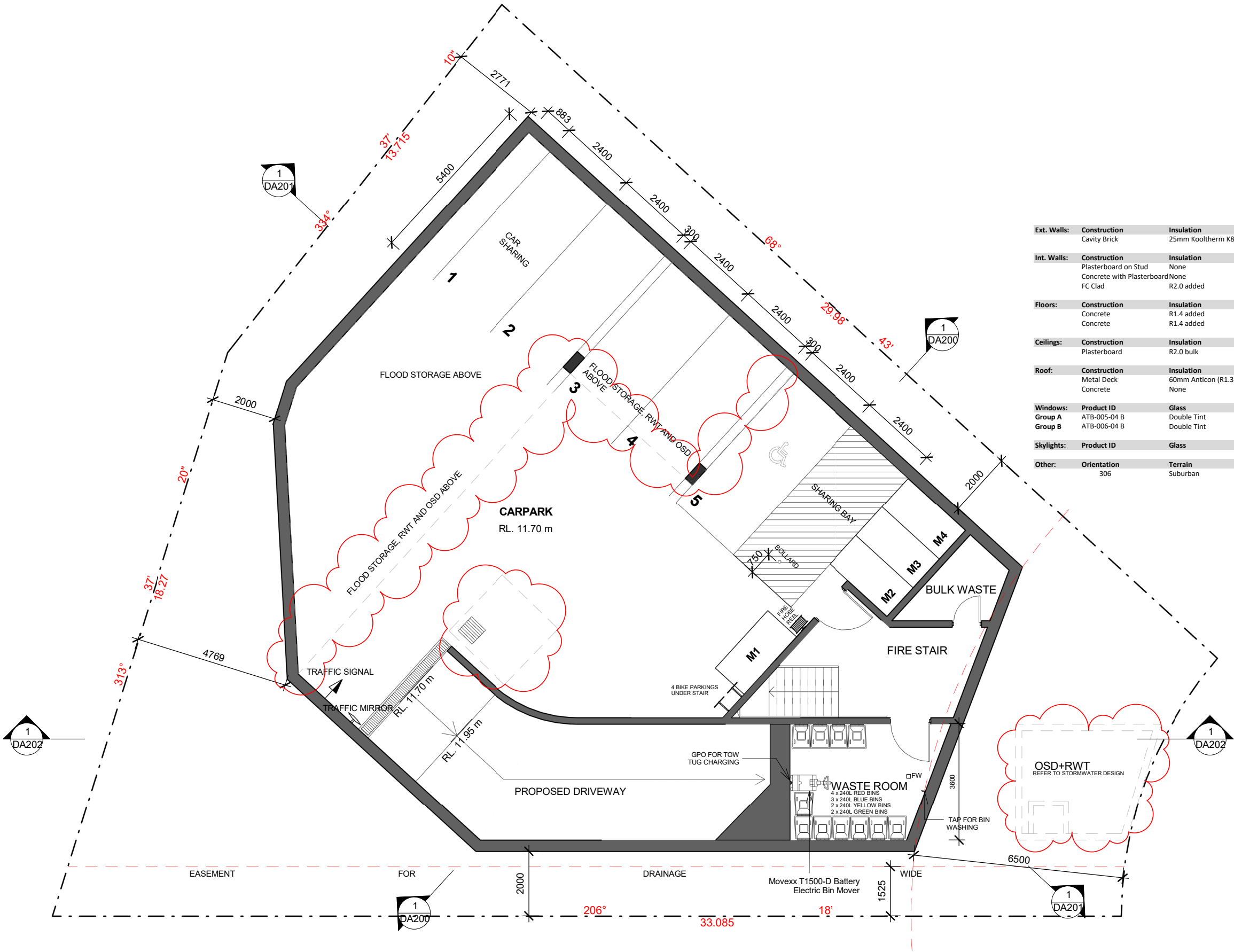
3.5m

1313m³

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Ext. Walls:	Construction	Insulation	Colour	Details	
	Cavity Brick	25mm Kooltherm K8 (or equiv)	Light	As per plans	
Int. Walls:	Construction	Insulation	Details		
	Plasterboard on Stud	None	Intertenancy		
	Concrete with Plasterboard	None	To stairs		
	FC Clad	R2.0 added	To corridor		
Floors:	Construction	Insulation	Details		
	Concrete	R1.4 added	Where car park below		
	Concrete	R1.4 added	Manager unit only		
Ceilings:	Construction	Insulation	Details		
	Plasterboard	R2.0 bulk	As per plans		
Roof:	Construction	Insulation	Colour	Details	
	Metal Deck	60mm Anticon (R1.3)	Dark	As per plans	
	Concrete	None	Medium	Balconies - as per plans	
Windows:	Product ID	Glass	Frame	Uw/SHGCw	Details
	Group A ATB-005-04 B	Double Tint	Aluminium	3.0/0.27	Awning
Group B	ATB-006-04 B	Double Tint	Aluminium	3.0/0.26	Sliding
Skylights:	Product ID	Glass	Frame	Uw	Details
Other:	Orientation	Terrain	Weatherseals	Exhaust Dampers	Recessed Downlights
	306	Suburban	Yes	Yes	No



S4.55 SUBMISSION

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0m 2m 4m 6m

Scale Bar 1:125

TITLE

Basement 1 Plan

JOB No.	CP01
DATE	SEP 2019
SCALE	A3 @ As indicated
DWG No.	DA090 H

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FITZELL PLACE

S4.55 SUBMISSION

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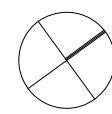
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0m 2m 4m 6m

Scale Bar 1:125



TITLE

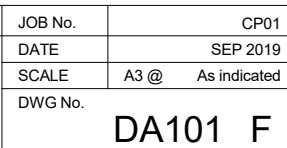
Ground Floor Plan

JOB No.	CP01
DATE	SEP 2019
SCALE	A3 @ As indicated
DWG No.	DA100 G

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 7.6
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au

Certificate no.: 0004492200
Assessor Name: David Gradwell
Accreditation no.: VIC/BDAY/12/1451
Certificate date: 20 December 2019
Dwelling Address: 5 Fitzell Place, Brookvale, NSW 2100



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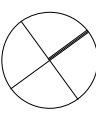


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0m 2m 4m 6m

Scale Bar 1:125

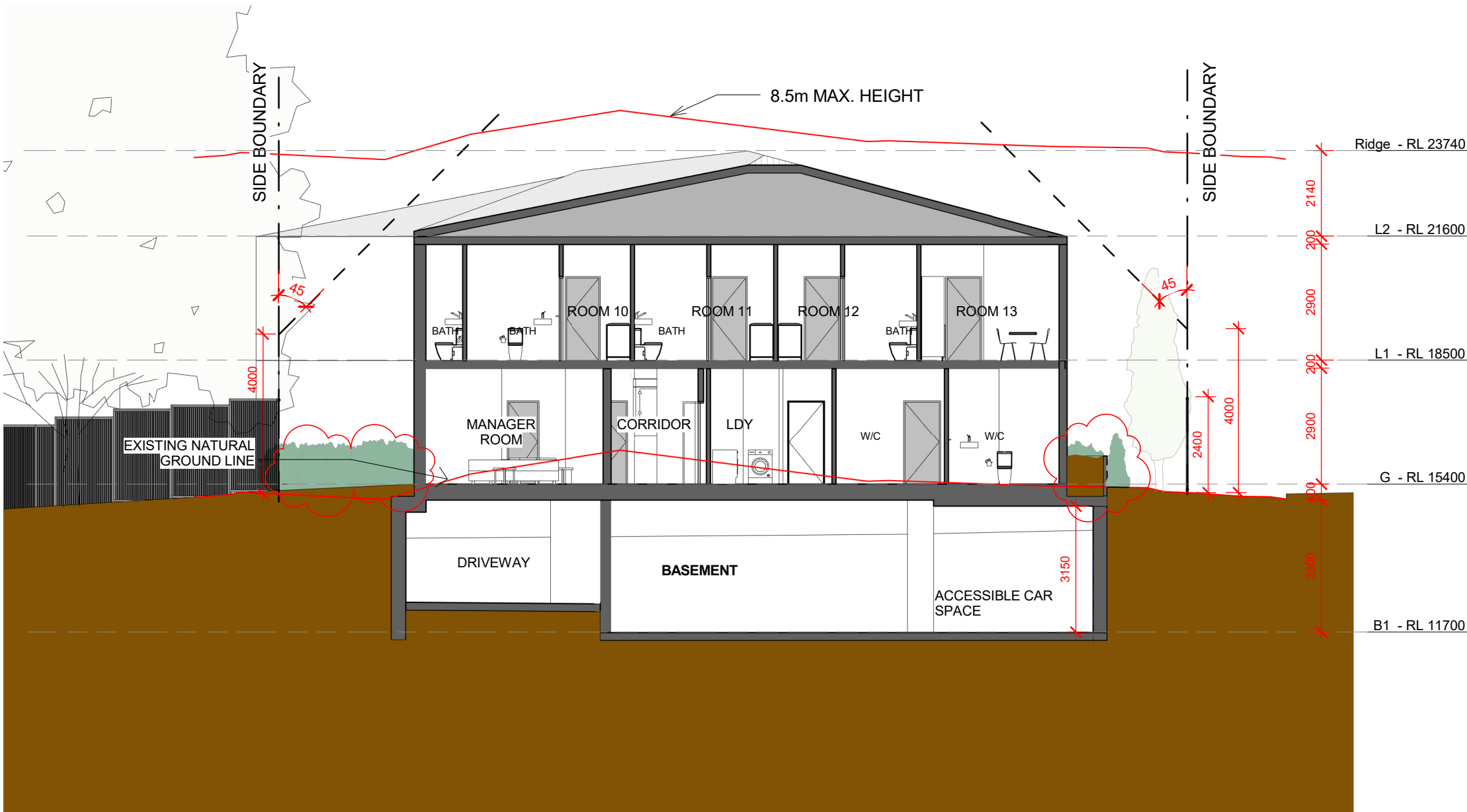


TITLE	
Roof Plan	

JOB No.	CP01
DATE	SEP 2019
SCALE	A3 @ As indicated
DWG No.	DA103 H

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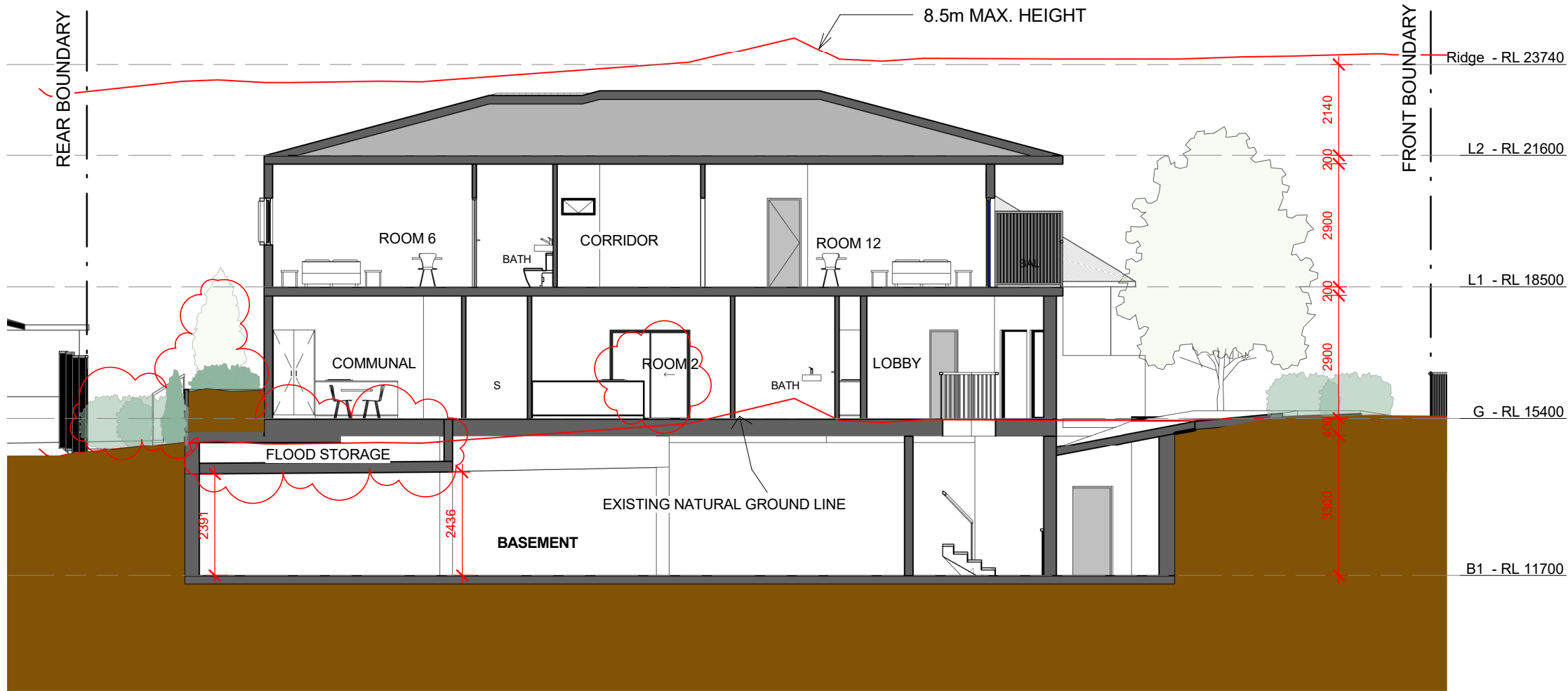


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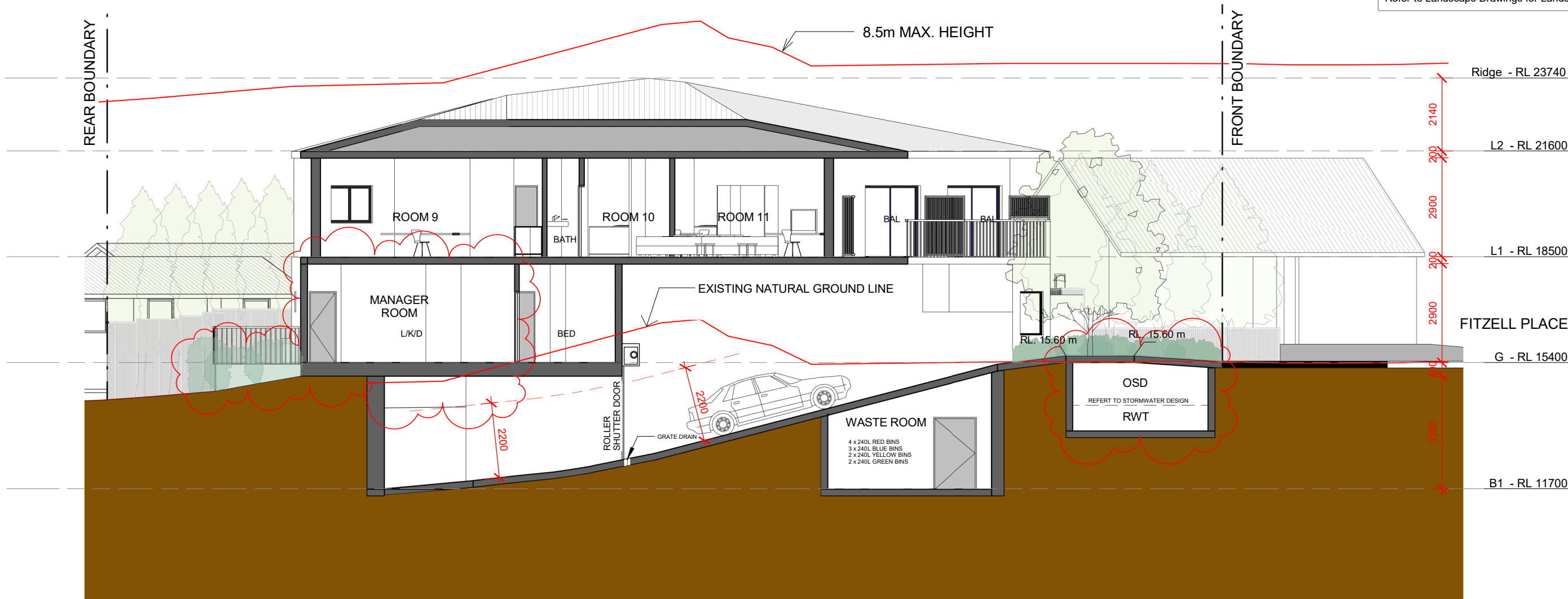


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S4.55 SUBMISSION

LOT 40, DP 527962, 5 Fitzell Pl, Brookvale, NSW 2100

 AIPM	 Member Australian Institute of Architects		ENHANCE GROUP PROJECT PTY LTD LEO WANG NSW Nominated Architect: No. 9898 NSW Registered Project Manager: MAIPM, CPPM E leo.w@enhanceproject.com.au P +61 2 8004 3281 A Suite 79 Level 4 89-97 Jones St Ultimo NSW 2007	<table><tr><th>Rev</th><th>Description</th><th>Date</th></tr><tr><td>B</td><td>Contention - Carstacker</td><td>13/11/2018</td></tr><tr><td>C</td><td>Issue for Contention</td><td>11/02/2019</td></tr><tr><td>D</td><td>Issue for Hearing</td><td>09/08/2019</td></tr><tr><td>E</td><td>Issue for Hearing</td><td>18/09/2019</td></tr><tr><td>F</td><td>Issue for Hearing</td><td>23/09/2019</td></tr><tr><td>G</td><td>Issue for Hearing</td><td>24/09/2019</td></tr><tr><td>H</td><td>Issue for S4.55</td><td>12/12/2019</td></tr></table>	Rev	Description	Date	B	Contention - Carstacker	13/11/2018	C	Issue for Contention	11/02/2019	D	Issue for Hearing	09/08/2019	E	Issue for Hearing	18/09/2019	F	Issue for Hearing	23/09/2019	G	Issue for Hearing	24/09/2019	H	Issue for S4.55	12/12/2019	 0m 2m 4m 6m Scale Bar 1:125	<table><tr><th colspan="2">TITLE</th></tr><tr><td colspan="2">Section 3</td></tr></table>	TITLE		Section 3		<table><tr><td>JOB No.</td><td>CP01</td></tr><tr><td>DATE</td><td>SEP 2019</td></tr><tr><td>SCALE</td><td>A3 @ As indicated</td></tr><tr><td>DWG No.</td><td>DA202 H</td></tr></table>	JOB No.	CP01	DATE	SEP 2019	SCALE	A3 @ As indicated	DWG No.	DA202 H
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1 Elevation - East
1 : 125



2 Elevation - West
1 : 125

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Legend

ALW - ALUMINIUM FRAME WINDOW

ALD - ALUMINIUM FRAME DOOR

COLOURBOND METAL ROOF:
Medium Colour

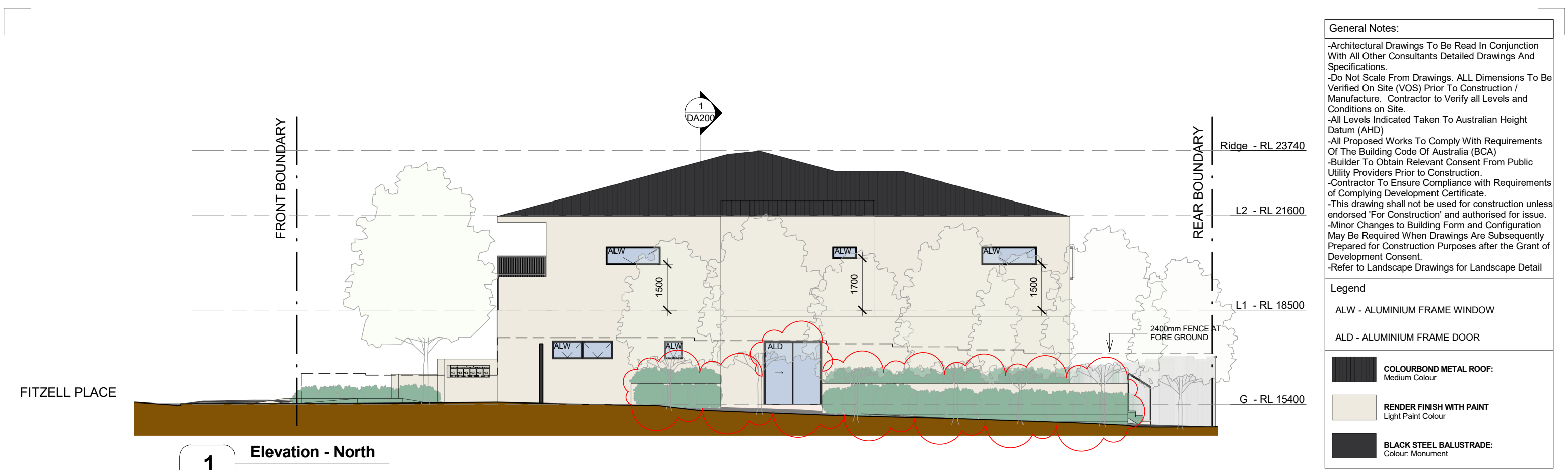
RENDER FINISH WITH PAINT
Light Paint Colour

BLACK STEEL BALUSTRADE:
Colour: Monument






S4.55 SUBMISSION

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Legend	
ALW - ALUMINIUM FRAME WINDOW	
ALD - ALUMINIUM FRAME DOOR	
 COLOURBOND METAL ROOF: Medium Colour	
 RENDER FINISH WITH PAINT Light Paint Colour	
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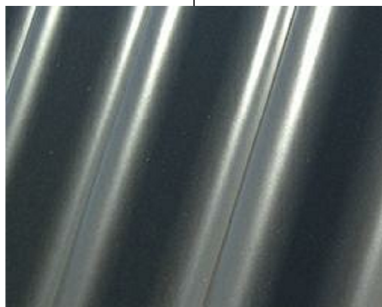


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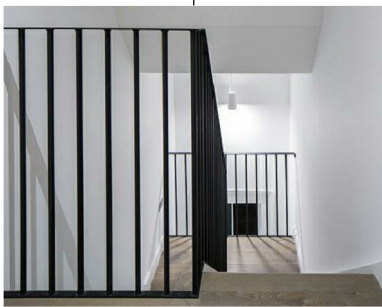

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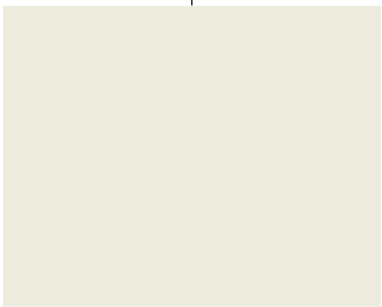
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COLOURBOND METAL ROOF:
Medium Colour



STEEL BALUSTRADE:
Dark Colour






RENDER FINISH WITH PAINT:
Light Paint Colour



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