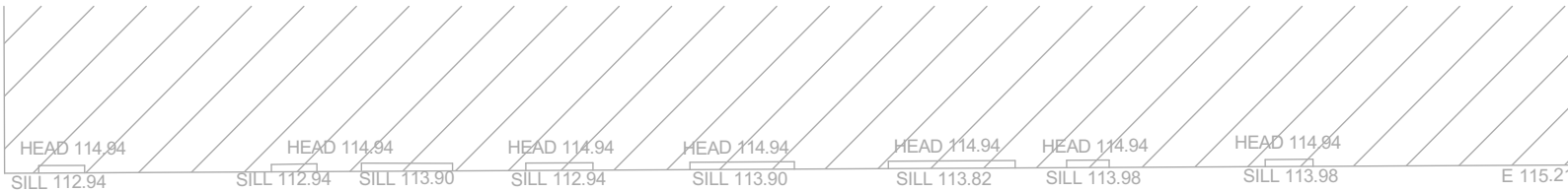


340°00' 38.1



Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



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NOTES
22 Deakin Street, Forestville is zoned R2-Low Density Residential
22 Deakin Street, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction

Framed Floors, Cavity Brick Walls
Roof Framed to have R1.45 Insulation
Insulation to External Cavity Brick Walls Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743.3
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These
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Certifying Authority without the written permission of Rapid Plans or the
supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A399624
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor
(s), walls, and ceilings/roofs) in accordance with the specifications
listed in the table below, except that a) additional insulation is not
required where the area of new construction is less than 2m², b)
insulation specified is not required for parts of altered construction
where insulation already exists.

The applicant must install the windows, glazed doors and shading
devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each
window and glazed door.
For projections described in millimetres, the leading edge of each
eave, veranda, balcony or awning must be no more
than 500 mm above the head of the window or glazed door and
no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and
distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	696m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.6m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 3/12/2020
Project NO.: RP0920NUS
Project Status DA

Client Michael and Sheri Nuss

Site: 22 Deakin Street, Forestville

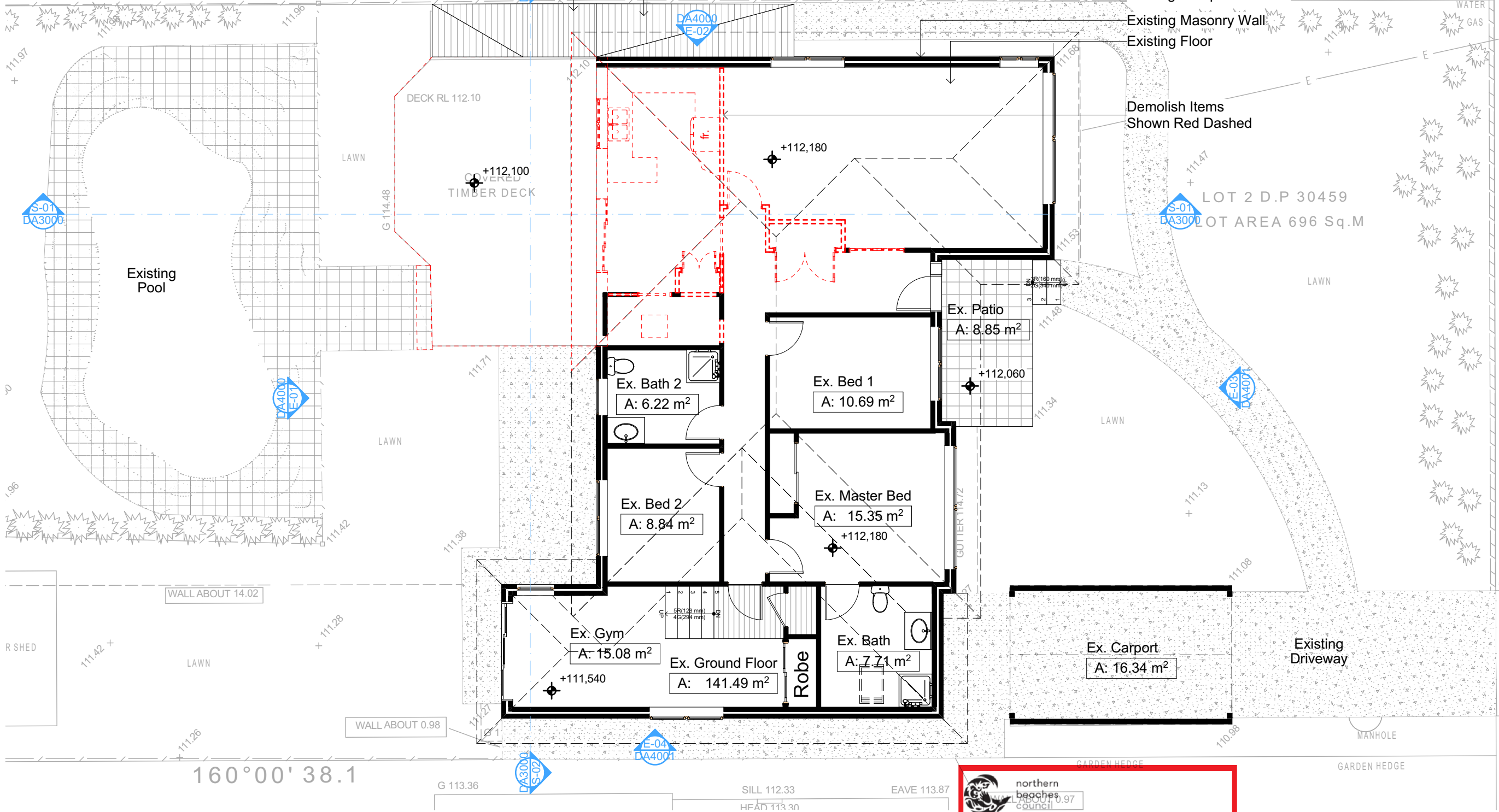
DRAWING TITLE SITE AND LOCATION
**Demolition Ground Floor
Plan**

PROJECT NAME:
**Alterations &
Additions**

REVISION NO. DATE
3-12-2020

DRAWING NO.
DA1006

Plot Date: 3/12/2020
Sheet Size: A3



THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1665

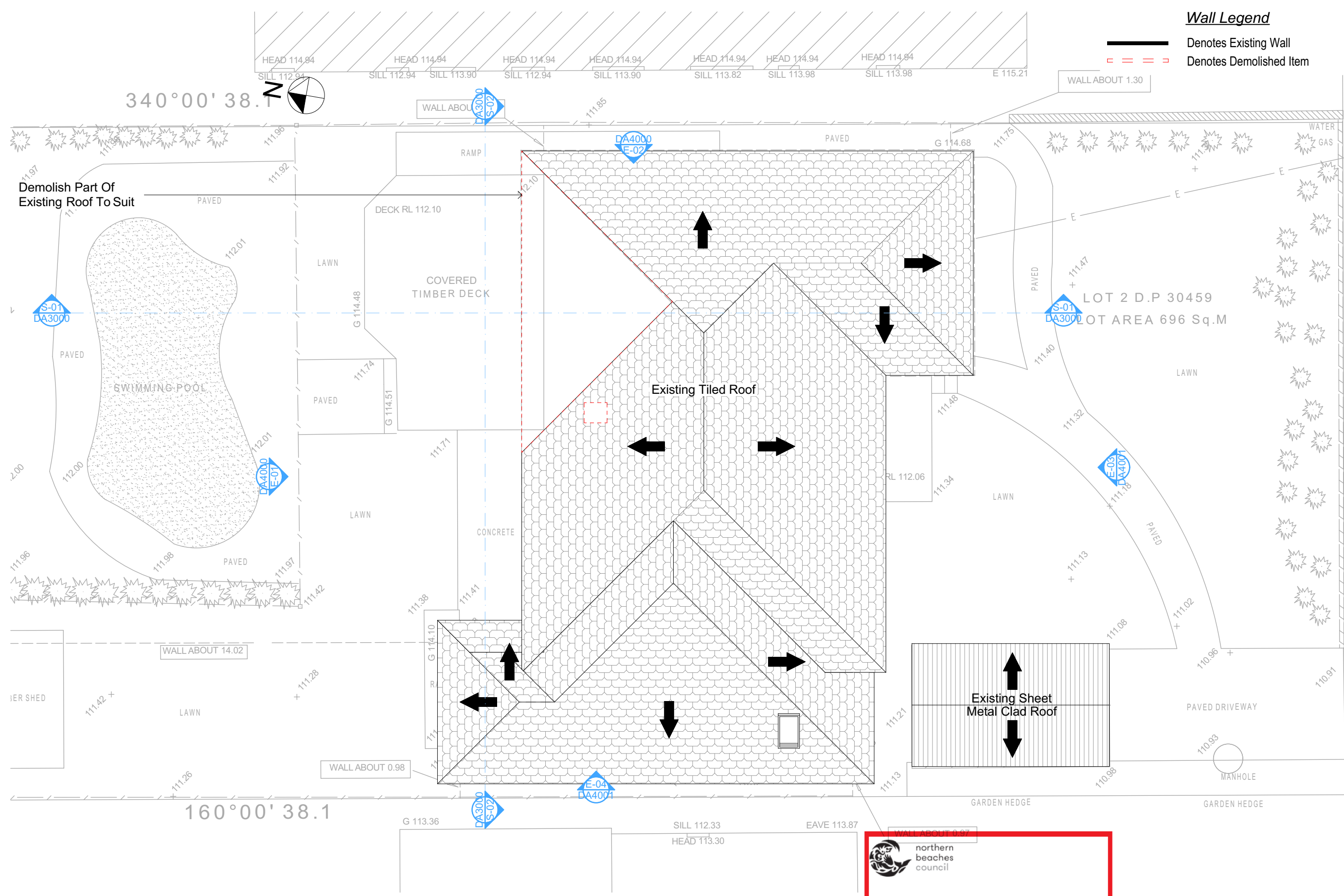
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only. These plans are not to be used for construction.

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

2

DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian
Standards, BCA and Workcover Regulations



Wall Legend
— Denotes Existing Wall
- - - Denotes Demolished Item

Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
22 Deakin Street, Forestville is zoned R2-Low Density Residential
22 Deakin Street, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed Floors, Cavity Brick Walls
Roof Framing to have R1.45 Insulation
Insulation to External Cavity Brick Walls Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1742
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A39624
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	696m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.6m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 3/12/2020
Project NO.: RP0920NUS
Project Status DA

Client Michael and Sheri Nuss

Site: 22 Deakin Street, Forestville

DRAWING TITLE :
SITE AND LOCATION
Demolition Roof Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
3-12-2020

DRAWING NO.
DA1007

Plot Date: 3/12/2020
Sheet Size: A3

3 DEMOLITION ROOF 1:100

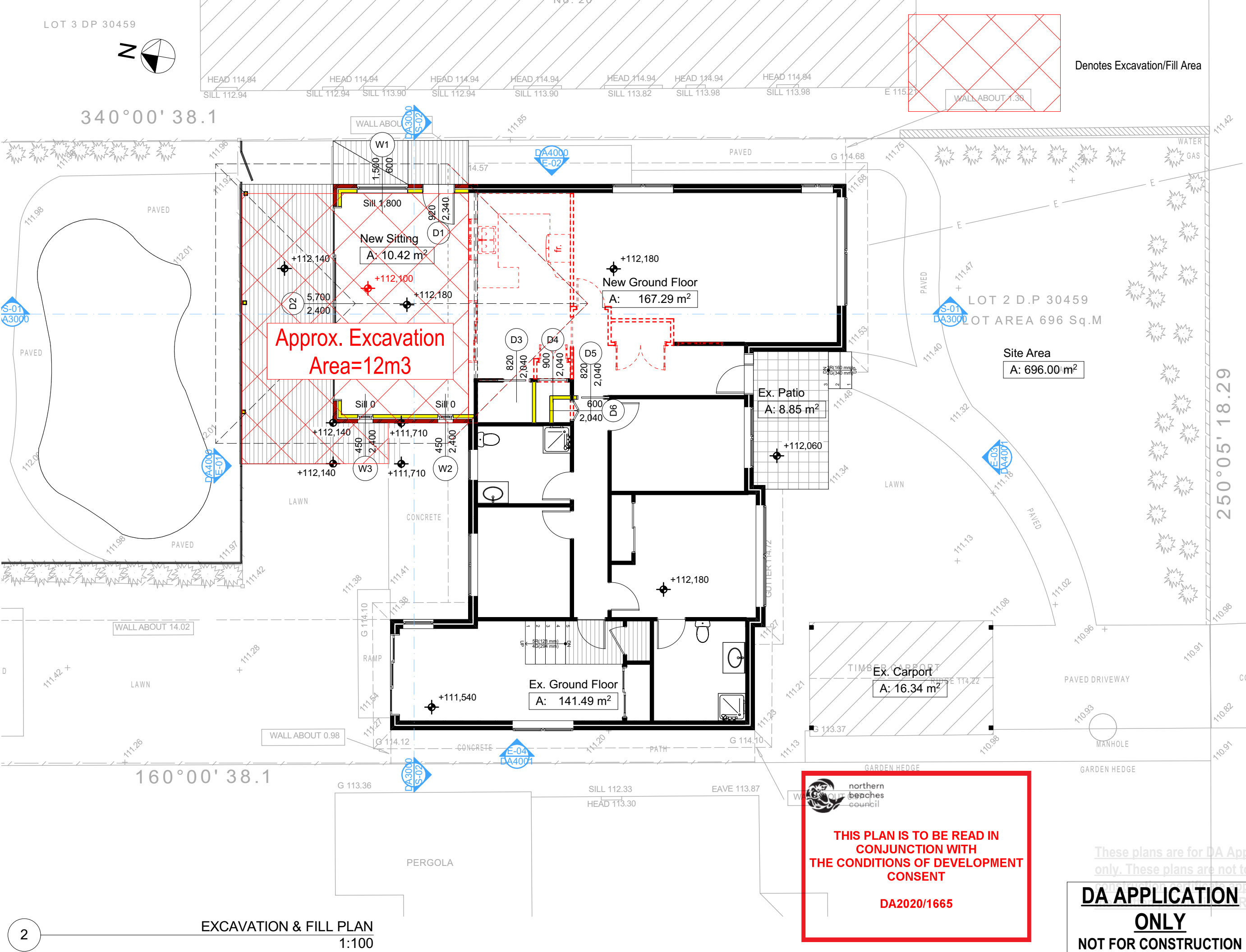
All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1665

DA APPLICATION ONLY
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
22 Deakin Street, Forestville is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed Floors, Cavity Brick Walls
Roof Framing to have R1.45 Insulation
Insulation to External Cavity Brick Walls Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1742.2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the
Requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	696m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.6m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 3/12/2020
Project NO.: RP02020NUS
Project Status: DA

Client: Michael and Sheri Nuss

Site: 22 Deakin Street, Forestville

DRAWING TITLE:
SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
3-12-2020

DRAWING NO.
DA1008

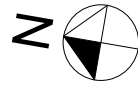
Plot Date: 3/12/2020
Sheet Size: A3

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1665

DA APPLICATION ONLY

NOT FOR CONSTRUCTION



340°00' 38.1

New Masonry Wall To Match Existing

900mm Side Setback Line DA

New Timber Floor Frame To Match Existing FFL To BCA & Aust. Stds

Line Of Roof Above

New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds. Builder To Confirm Type & Colour

Existing Pool

New Timber Post. Builder To Confirm Type & Colour

New Ramp. Builder To Confirm Type & Colour

FILTER BOX

WALL ABOUT 14.02

GROUND FLOOR
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

22 Deakin Street, Forestville is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
22 Deakin Street, Forestville is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised construction certificate drawings by Rapid Plans

Construction

Framed, Cavity Brick Walls
Roof Framed to have R1.45 Insulation
Insulation to External Cavity Brick Walls Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A399624

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Note:

All works are to be in accordance with the NCC including, but not limited to:

1. NCC Part 3.1 Site Preparation
2. NCC Part 3.2 Footing & Slabs
3. NCC Part 3.3 Masonry
4. NCC Part 3.4 Framing
5. NCC Part 3.5 Roof & Wall Cladding
6. NCC Part 3.6 Glazing
7. NCC Part 3.7 Fire Safety
8. NCC Part 3.8 Health & Amenity
9. NCC Part 3.9 Safe Movement & Access
10. NCC Part Ancillary Provisions & Additional Construction Requirements
11. NCC Part 3.12 Energy Efficiency

WALL ABOUT 1.30

Existing Deck To Remain

Existing Ramp To Remain

Existing Masonry Wall

Existing Floor

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item

Demolish Items Shown Red Dashed

LOT 2
LOT ARE

New Gyprock Clad 90mm Timber Stud Walls

Line Of Skylight Above

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1665

Ex. Carport
A: 16.34 m²

Existing Driveway

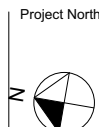
Site Information	Proposed	Compliance
Site Area	696m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into ground (m)	0.6m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Project North
Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

DRAWING TITLE :

PLANS
GROUND FLOOR

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
3-12-2020
DRAWING NO.
DA2001

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor; framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: cavity brick	nil	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes New Paving

Denotes Existing Wall

Denotes Demolished Item

New Timber Framed Tiled Roof Pitch, Type & Colour To Match Existing

+117,270
4 ROOF

Beam Over To Engineering Details

New Masonry Wall To Match Existing

+114,950
3 FCL

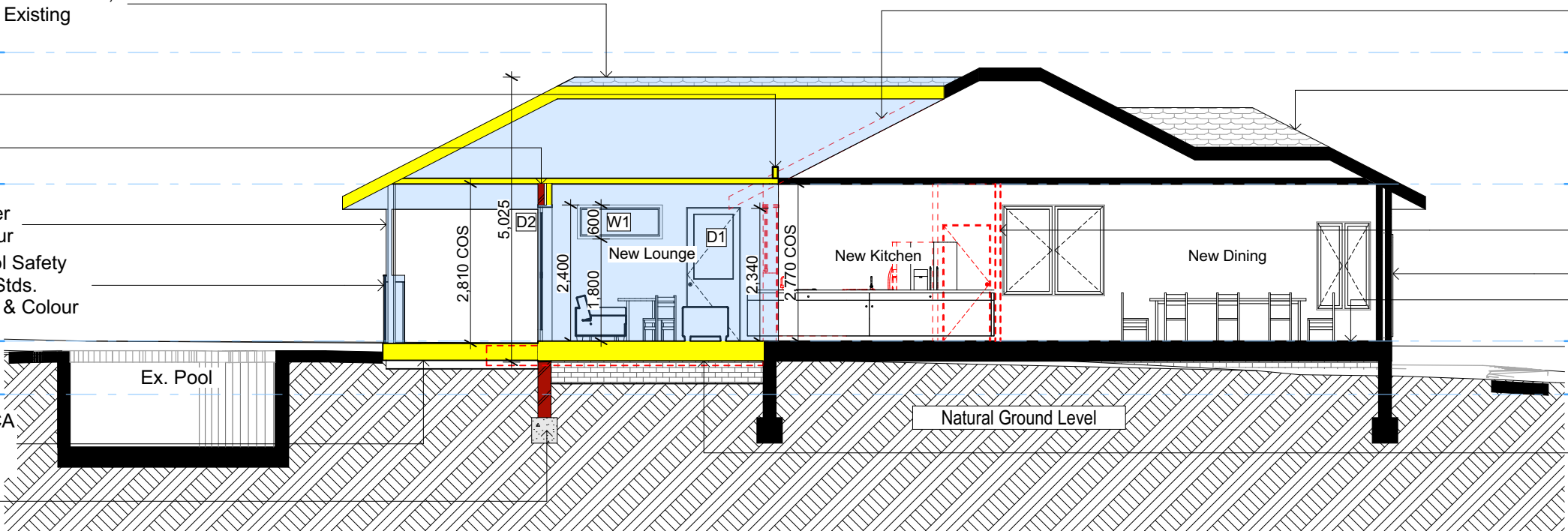
New Timber Post. Builder To Confirm Type & Colour

New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds. Builder To Confirm Type & Colour

+112,180
2 GROUND FLOOR

+111,240
1 LOWER GROUND

New Timber Deck To BCA & AS1684. Builder To Confirm Type & Colour
New Strip Footings To Eng. Details



SECTION 1
1:100

S-01

Demolish Part Of Existing Roof To Suit

+117,270
4 ROOF

Existing Tiled Roof

+114,950
3 FCL

Demolish Items Shown Red Dashed

Existing Masonry Wall
Existing Floor

+112,180
2 GROUND FLOOR

+111,240
1 LOWER GROUND

New Timber Floor Frame To Match Existing FFL To BCA & Aust. Stds

New Skylight To Manufacturers Details

+117,270
4 ROOF

New Timber Framed Tiled Roof Pitch, Type & Colour To Match Existing

+114,950
3 FCL

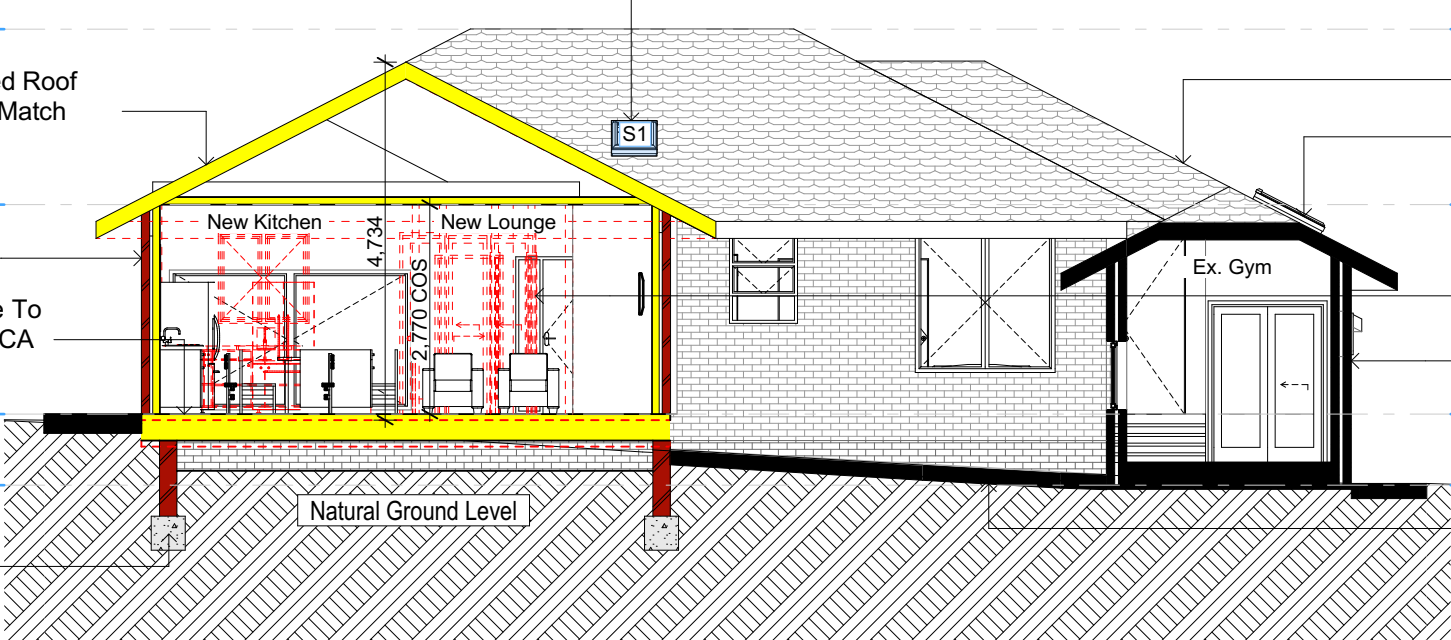
New Masonry Wall To Match Existing

New Timber Floor Frame To Match Existing FFL To BCA & Aust. Stds

+112,180
2 GROUND FLOOR

+111,240
1 LOWER GROUND

New Strip Footings To Eng. Details



SECTION 2
1:100

S-02

+117,270
4 ROOF

Existing Tiled Roof

Existing Skylight

+114,950
3 FCL

Demolish Items Shown Red Dashed

Existing Masonry Wall

+112,180
2 GROUND FLOOR

+111,240
1 LOWER GROUND

Existing Concrete Path



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1665

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NOT FOR CONSTRUCTION

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Building Design and Architectural Drafting

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bdaa
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa
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NOTES
22 Deakin Street, Forestville is zoned R2-Low Density Residential
22 Deakin Street, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed Floor, Cavity Brick Walls
Roof Framed to have R1.45 Insulation
Insulation to External Cavity Brick Walls Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic
Basic Certificate Number A399624
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	696m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.6m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 3/12/2020
Project NO.: RPB2020NUS
Project Status DA

Client Michael and Sheri Nuss

Site: 22 Deakin Street, Forestville

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE: 3-12-2020

DRAWING NO. **DA3000**

Plot Date: 3/12/2020
Sheet Size: A3

Max Building Height 8500 Above GL

Denotes New Works

Wall Legend

Denotes New Timber Ramp

Denotes New Paving

Denotes Existing Paving

Denotes Demolished Item

+117,270
4 ROOF

Existing Tiled Roof

Demolish Items
Shown Red Dashed

+114,950

3 FCL

Existing Sheet
Metal Clad Roof

Existing Masonry Wall

+112,180

2 GROUND FLOOR

+111,240

Existing Ramp
To Remain

Natural Ground Level

E-02

East
1:100

Glazing requirements

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.4	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	E	1	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	W	1.1	0	0	eave/verandah/pergola/balcony >=800 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	W	1.1	0	0	eave/verandah/pergola/balcony >=800 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D1	E	2.25	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	N	13.7	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

New Timber Framed Tiled Roof Pitch, Type & Colour
To Match Existing

+117,270

4 ROOF

+114,950

3 FCL

New Timber Post. Builder
To Confirm Type & Colour
New Min. 1200 high Pool
Safety Barrier To BCA & Aust.
Stds. Builder To Confirm Type
& Colour

+112,180

2 GROUND FLOOR

+111,240

1 LOWER GROUND

Max Building Height 8500 Above GL

New Skylight To
Manufacturers Details

+117,270

4 ROOF

Existing Tiled Roof

Existing Skylight

+114,950

3 FCL

New Min. 1200 high Pool Safety
Barrier To BCA & Aust. Stds.
Builder To Confirm Type & Colour

Existing Masonry Wall

+112,180

2 GROUND FLOOR

+111,240

1 LOWER GROUND

Natural Ground Level

E-01

North
1:100

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1665

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

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Building Design and Architectural Drafting

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NOTES
22 Deakin Street, Forestville is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Formed Floors, Cavity Brick Walls
Roof Frames to have R1.45 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1742
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Table 1: Site Information

Site Information	Prop.	Comp.
Site Area	696m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.6m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**

Project North

Drawn | Checked GBJ
Plot Date: 3/12/2020
Project NO.: RP2020NUS
Project Status: DA

Client: Michael and Sheri Nuss

Site: 22 Deakin Street, Forestville

DRAWING TITLE: ELEVATIONS 1

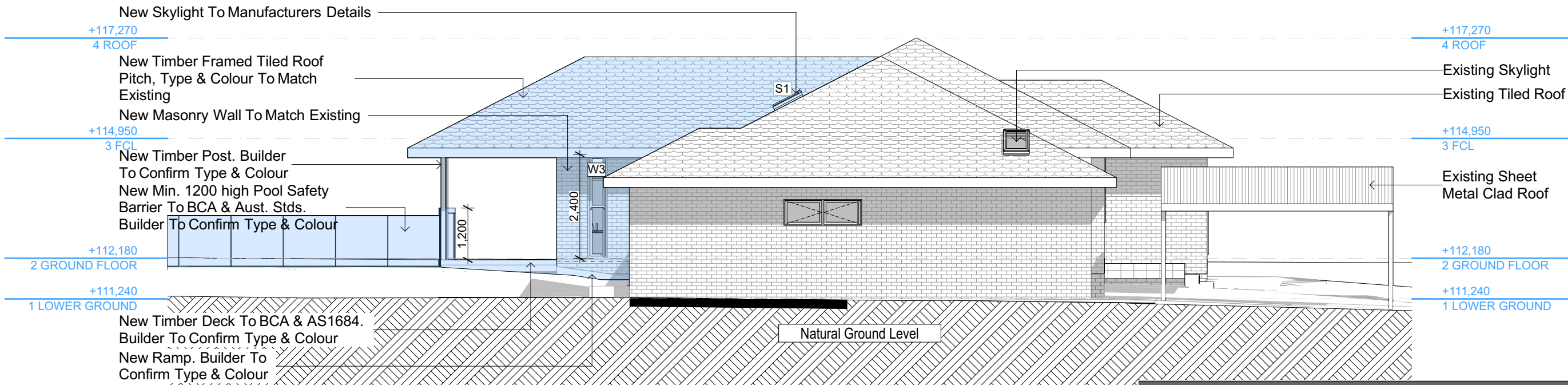
PROJECT NAME: Alterations & Additions

REVISION NO. DATE
3-12-2020

DRAWING NO. DA4000

Plot Date: 3/12/2020
Sheet Size: A3

Max Building Height 8500 Above GL



E-04

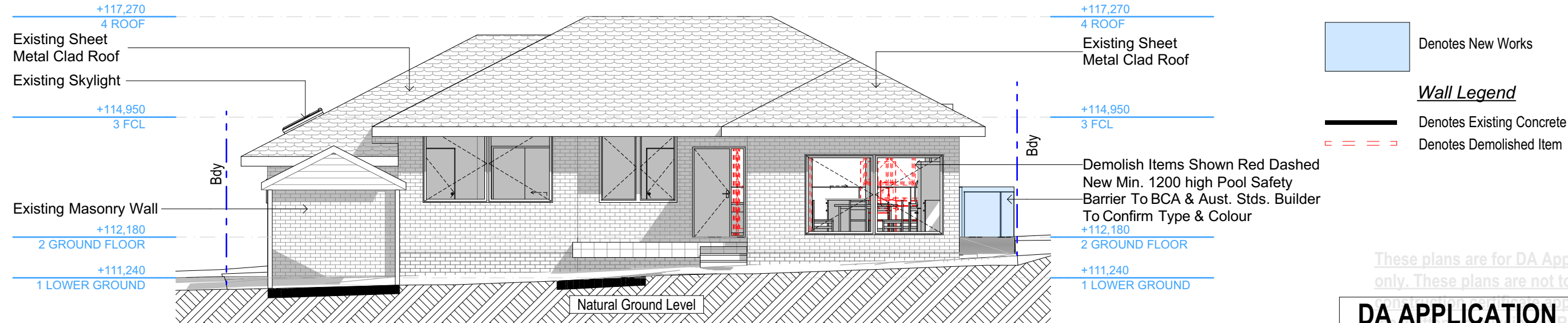
West
1:100



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1665

Max Building Height 8500 Above GL



E-03

South
1:100

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must be no more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	E	1	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	W	1.1	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	W	1.1	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D1	E	2.25	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	N	13.7	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



Denotes New Works

Wall Legend

Denotes Existing Concrete

Denotes Demolished Item

These plans are for DA Application purposes only. These plans are not to be used for construction.

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NOTES
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22 Deakin Street, Forestville is not considered a heritage item
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Construction
Formed Floors, Cavity Brick Walls
Roof Frames to have R1.45 Insulation
Insulation to External Cavity Brick Walls Nil
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1019.2-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 1000 lux compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Caravans
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A399624
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

Site Information	Prop.	Comp.
Site Area	696m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
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Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.6m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 3/12/2020
Project NO.: RP0920NUS
Project Status DA

Client Michael and Sheri Nuss

Site: 22 Deakin Street, Forestville

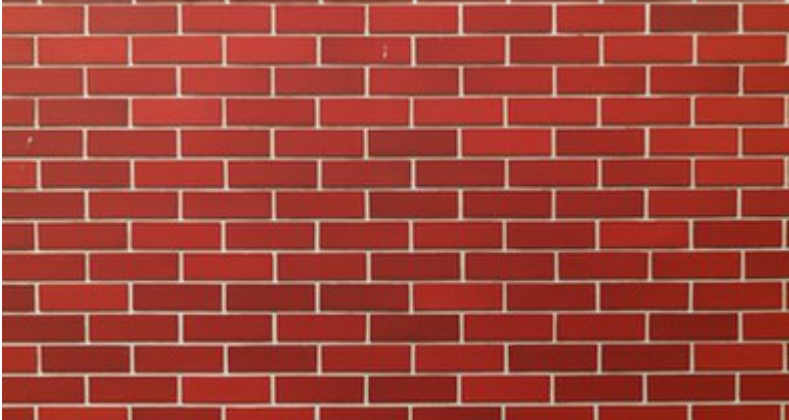
DRAWING TITLE :
ELEVATIONS 2

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
3-12-2020

DRAWING NO. DA4001

Plot Date: 3/12/2020
Sheet Size: A3



Denotes Masonry Wall To Match Existing. Owner To Confirm Type & Colour



Denotes Alloy Doors & Windows (Typical). Owner To Confirm Type & Colour



Denotes Timber Deck (Typical). Owner To Confirm Type & Colour



Denotes Tiled Roof To Match Existing. Owner To Confirm Type & Colour



northern
beaches
council

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Insulation to External Cavity Brick Walls Nil
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Glazing to BCA and AS1742-2017
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Certifying
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Basic
Basic Certificate Number A399624
All Plans to be read in conjunction with Basic Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	696m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.6m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

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Project North



Drawn | Checked GBJ
Plot Date: 3/12/2020
Project NO. RP0920NUS
Project Status DA

Client Michael and Sheri Nuss

Site: 22 Deakin Street, Forestville

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR
SAMPLE BOARD

PROJECT NAME: Alterations & Additions

REVISION NO. DATE 3-12-2020

DRAWING NO. DA5000

Plot Date: 3/12/2020
Sheet Size: A3