

# DEVELOPMENT APPLICATION

## 23 Reynolds Crescent BEACON HILL

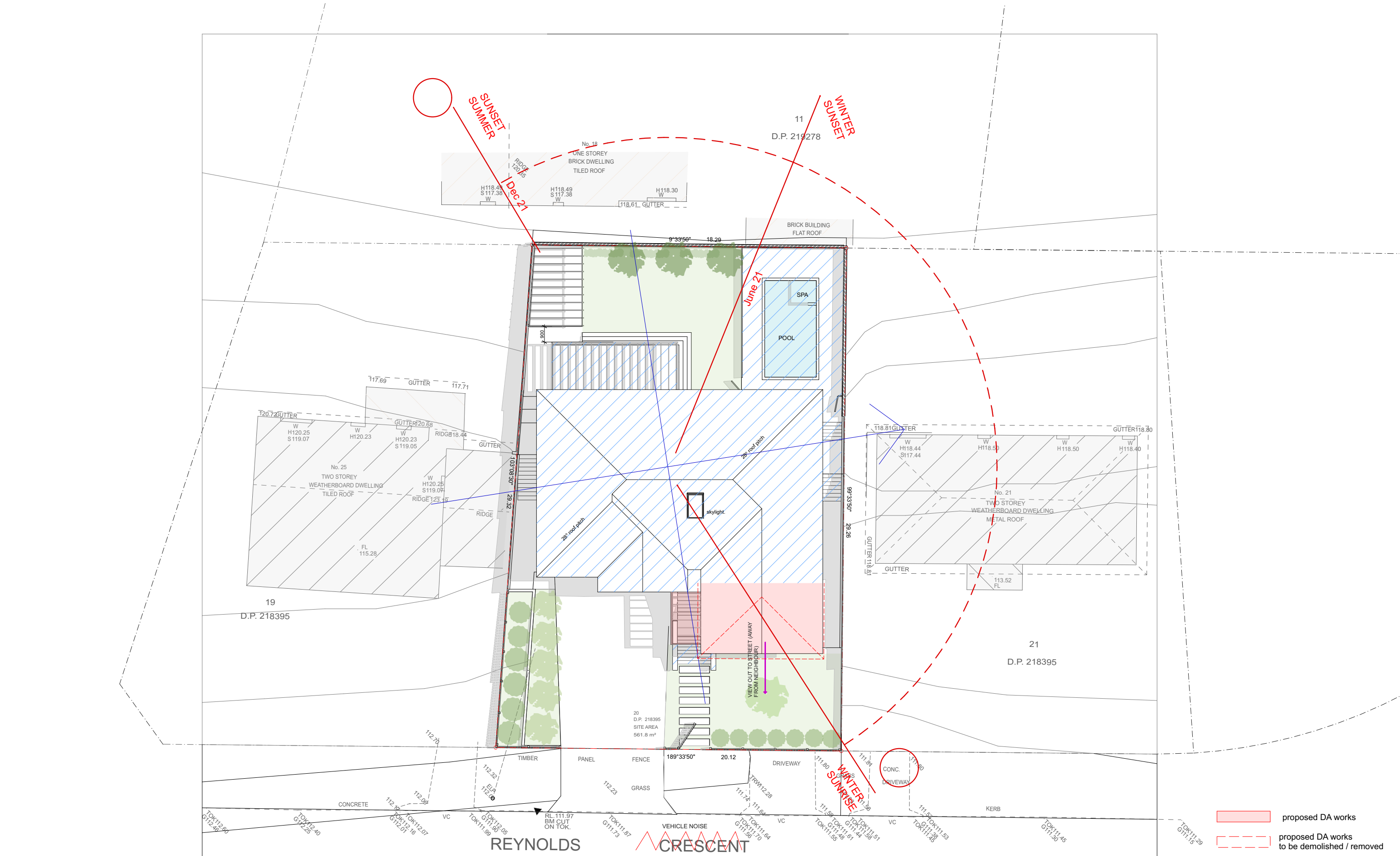
Proposed alterations and additions to a two (2) storey dwelling approved under the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

The proposed alterations and addition include new windows and doors, increase wall height, entry awning and partial new roof to the eastern facade.

Dwg No:	Drawing Name
DA.00	COVER PAGE
DA.01	SITE ANALYSIS PLAN
DA.02	SITE PLAN
DA.03	GROUND FLOOR
DA.04	GROUND FLOOR 1
DA.05	LOWER GROUND
DA.06	LOWER GROUND 1
DA.07	ROOF PLAN
DA.08	ELEVATION - EAST
DA.09	ELEVATION - NORTH
DA.10	ELEVATION - SOUTH
DA.11	ELEVATION - WEST
DA.12	SECTION AA
DA.13	PERSPECTIVES
DA.14	PERSPECTIVES
DA.15	PERSPECTIVES
DA.16	PERSPECTIVES
DA.17	PERSPECTIVES
DA.18	SHADOW DIAGRAMS
DA.19	SHADOW DIAGRAMS
DA.20	SHADOW DIAGRAMS
DA.21	COLOURS & FINISHES SCHEDULE
DA.22	SEDIMENT AND EROSION PLAN
DA.23	SEDIMENT AND EROSION PLAN
DA.24	NOTIFICATION PLAN



design : **STUDI**o ML



SITE ANALYSIS PLAN  
1:200

Note

- Dimensions in millimeters.  
- Confirm all dimensions on site prior to commencing work.  
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Issue A  
Revision Development Application

Date 23/07/20

m : 0403 324 888  
e : michael@studioml.com.au  
w : www.studioml.com.au

design : **STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial



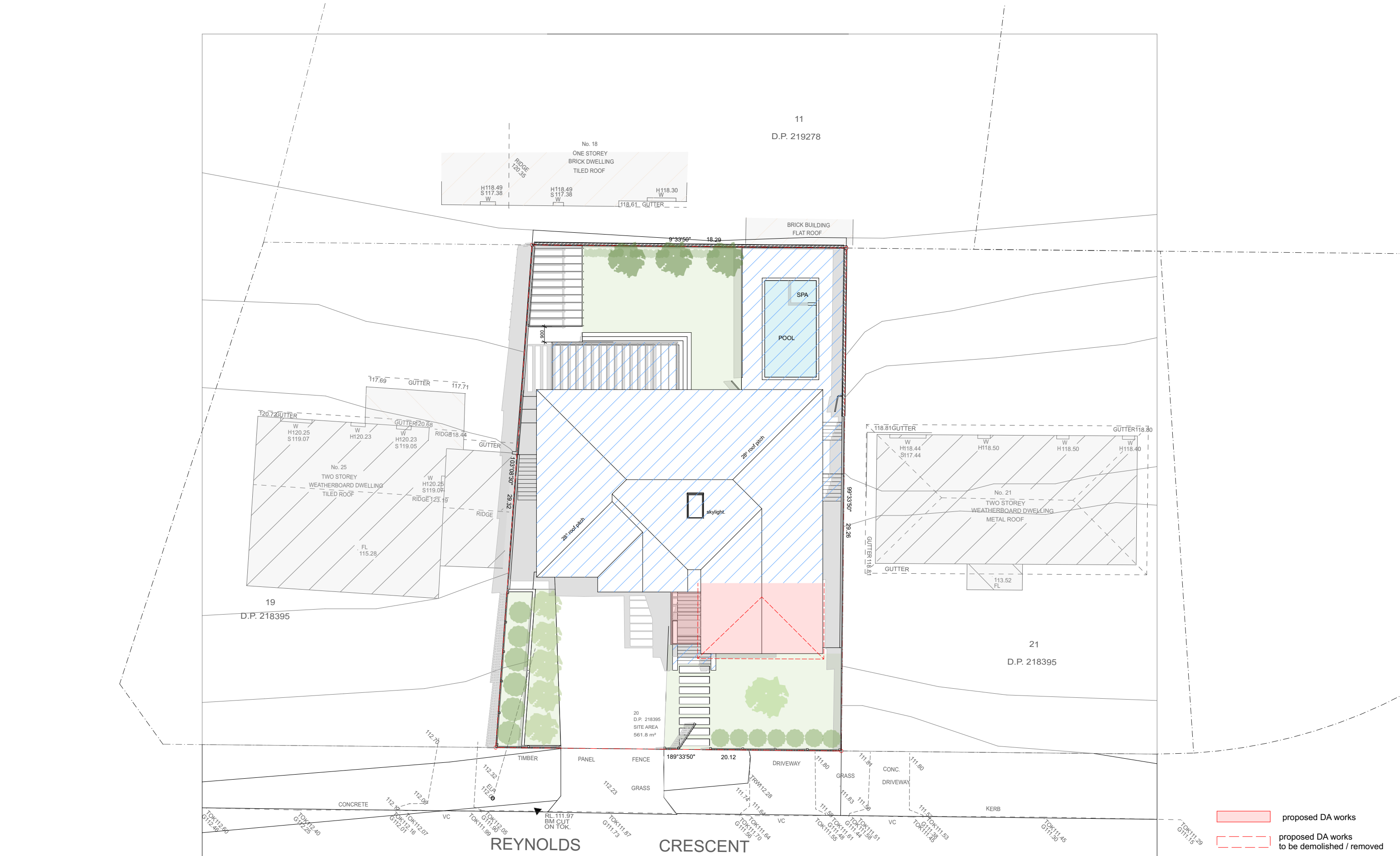
Project  
Proposed Alterations and Additions Residential Dwelling  
Project Address  
23 Reynolds Crescent, Beacon Hill  
Lot 20 D.P. 218395

Client  
Mr & Mrs Calci  
Drawing  
SITE ANALYSIS PLAN

Job  
1805  
Dwg no  
DA.01

Development Application





**SITE PLAN**  
1:200

- proposed DA works
- proposed DA works to be demolished / removed
- CDC approved works

## Development Application

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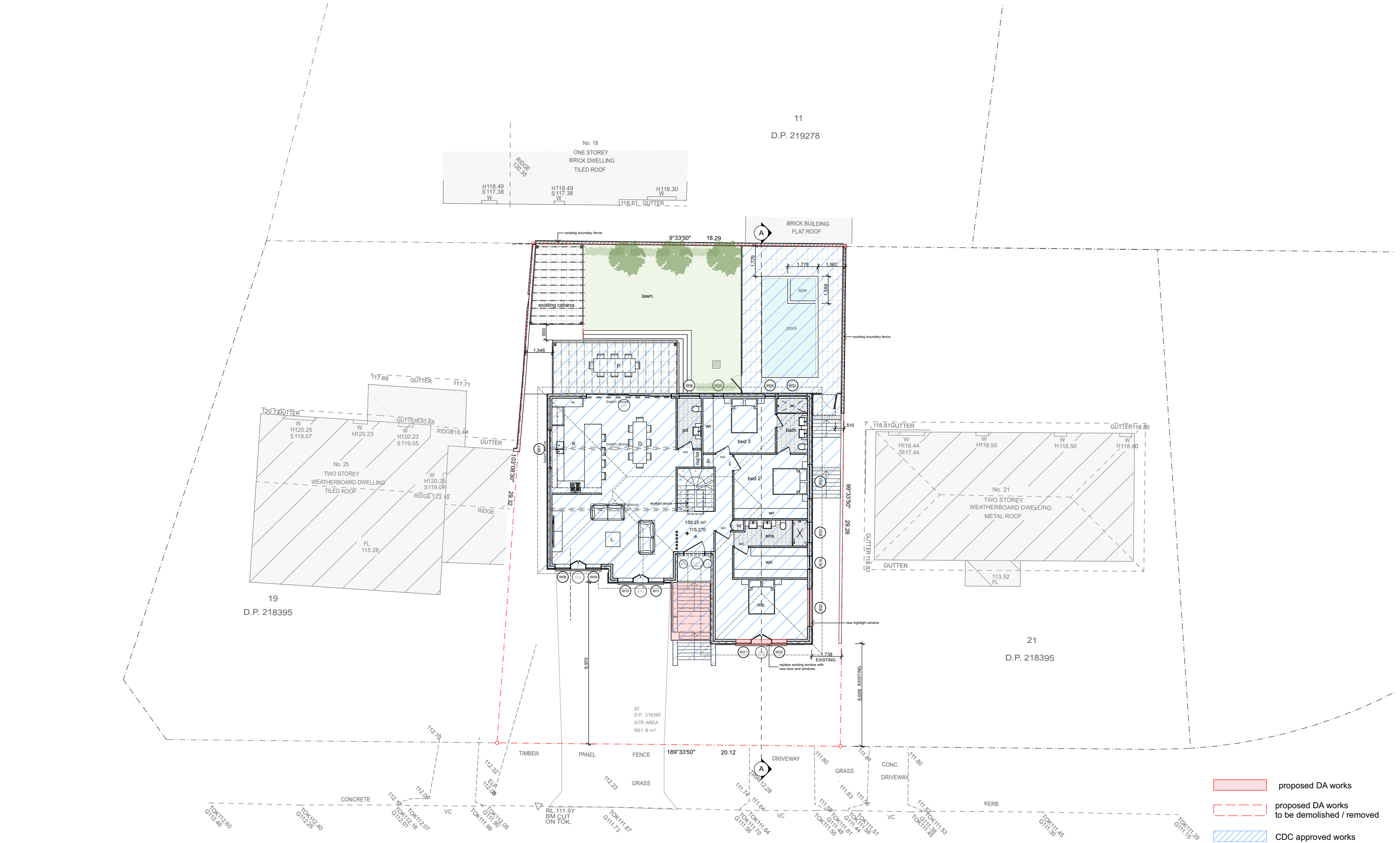
Project  
**Proposed Alterations and Additions Residential Dwelling**  
Project Address  
**23 Reynolds Crescent, Beacon Hill**  
Lot 20 D.P. 218395

Client  
**Mr & Mrs Calci**  
Drawing  
**SITE PLAN**

Job  
**1805**  
Dwg no  
**DA.02**



GROUND FLOOR  
1:100



GROUND FLOOR  
1:200

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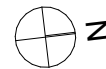
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23 Reynolds Crescent, Beacon Hill  
Lot 20 D.P. 218395

Client  
Mr & Mrs Calci  
Drawing  
GROUND FLOOR 1

Job  
1805  
Dwg no  
DA.04

Development Application







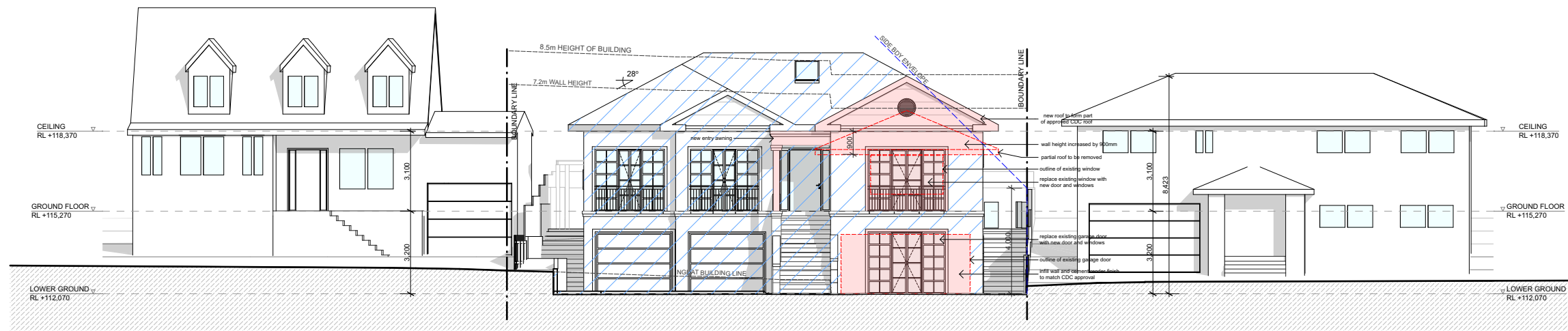
LOWER GROUND  
1:200







**EAST ELEVATION**  
1:100



**EAST ELEVATION**  
1:200

- proposed DA works
- proposed DA works to be demolished / removed
- CDC approved works

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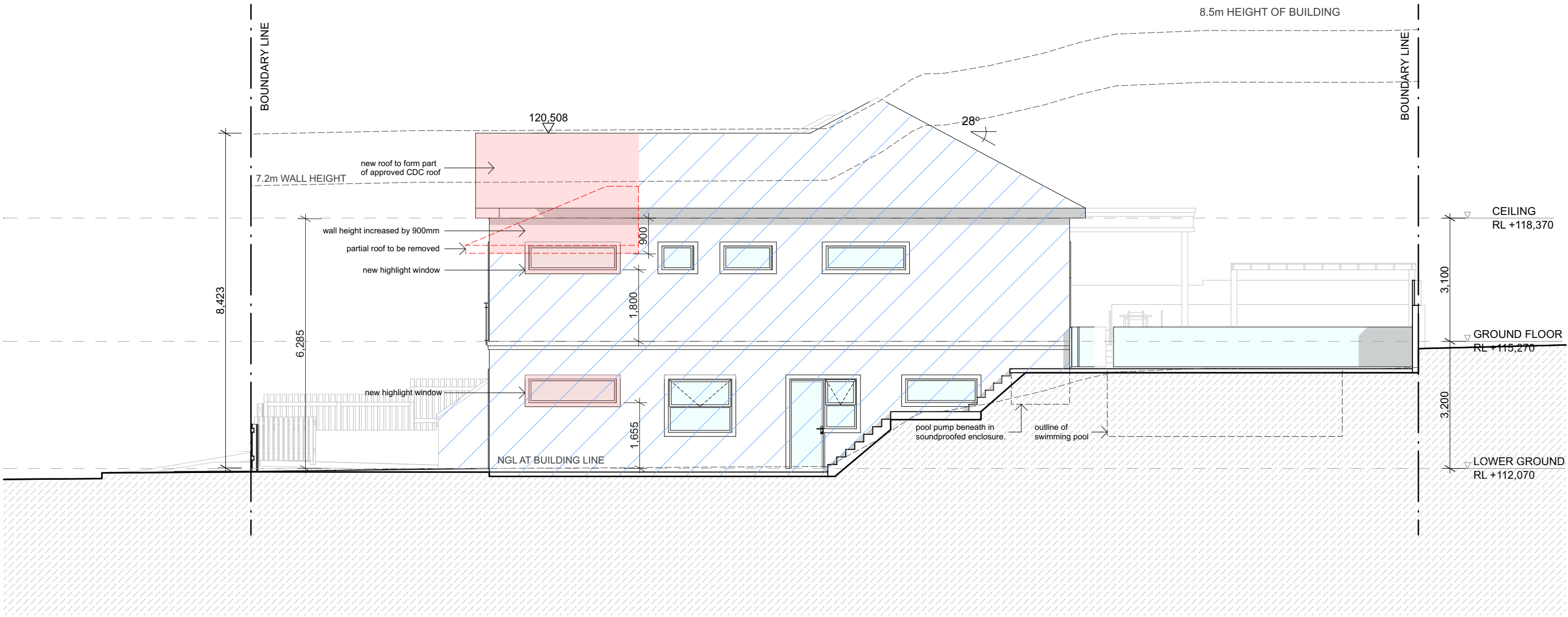
residential : multi - unit dwellings : alterations & additions : commercial

Project  
**Proposed Alterations and Additions Residential Dwelling**  
Project Address  
**23 Reynolds Crescent, Beacon Hill Lot 20 D.P 218395**

Client  
**Mr & Mrs Calci**  
Drawing  
**ELEVATION - EAST**

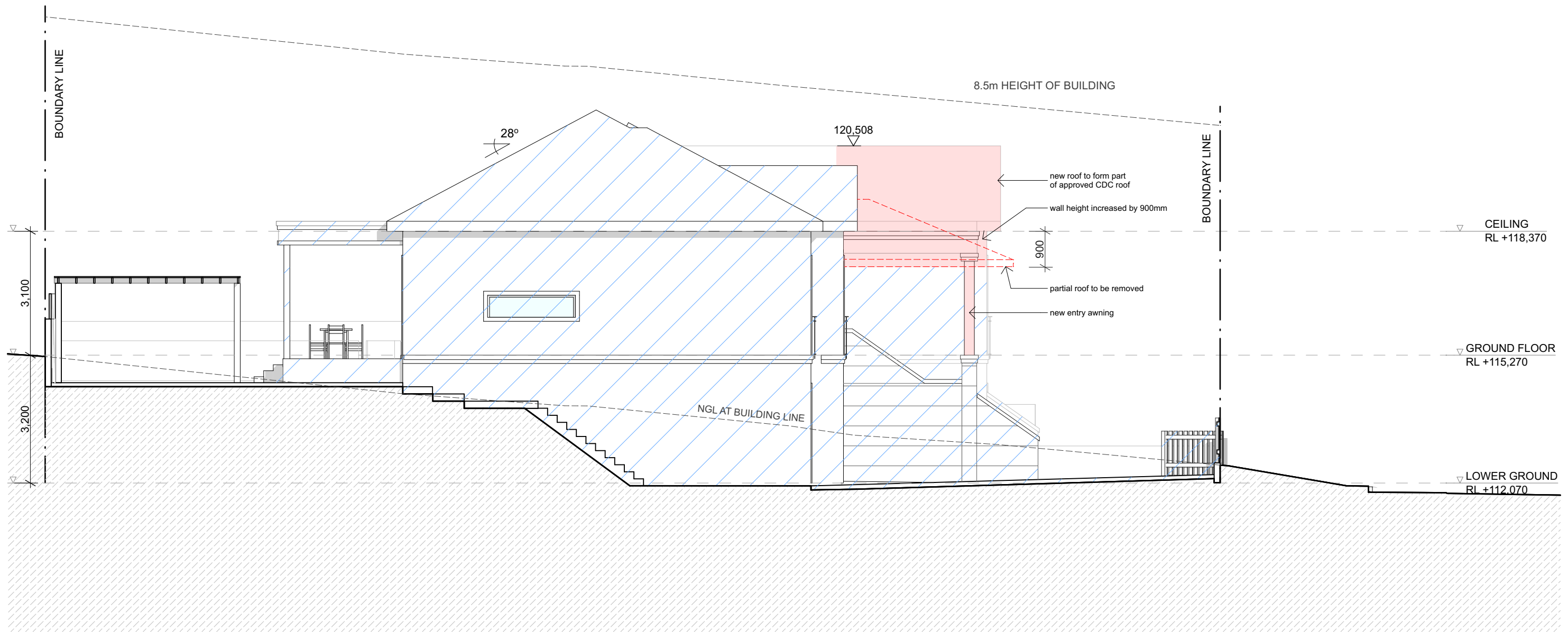
Job  
**1805**  
Dwg no  
**DA.08**

**Development Application**



**NORTH ELEVATION**  
1:100

- proposed DA works
- proposed DA works to be demolished / removed
- CDC approved works



**SOUTH ELEVATION**  
1:100

- proposed DA works
- proposed DA works to be demolished / removed
- CDC approved works

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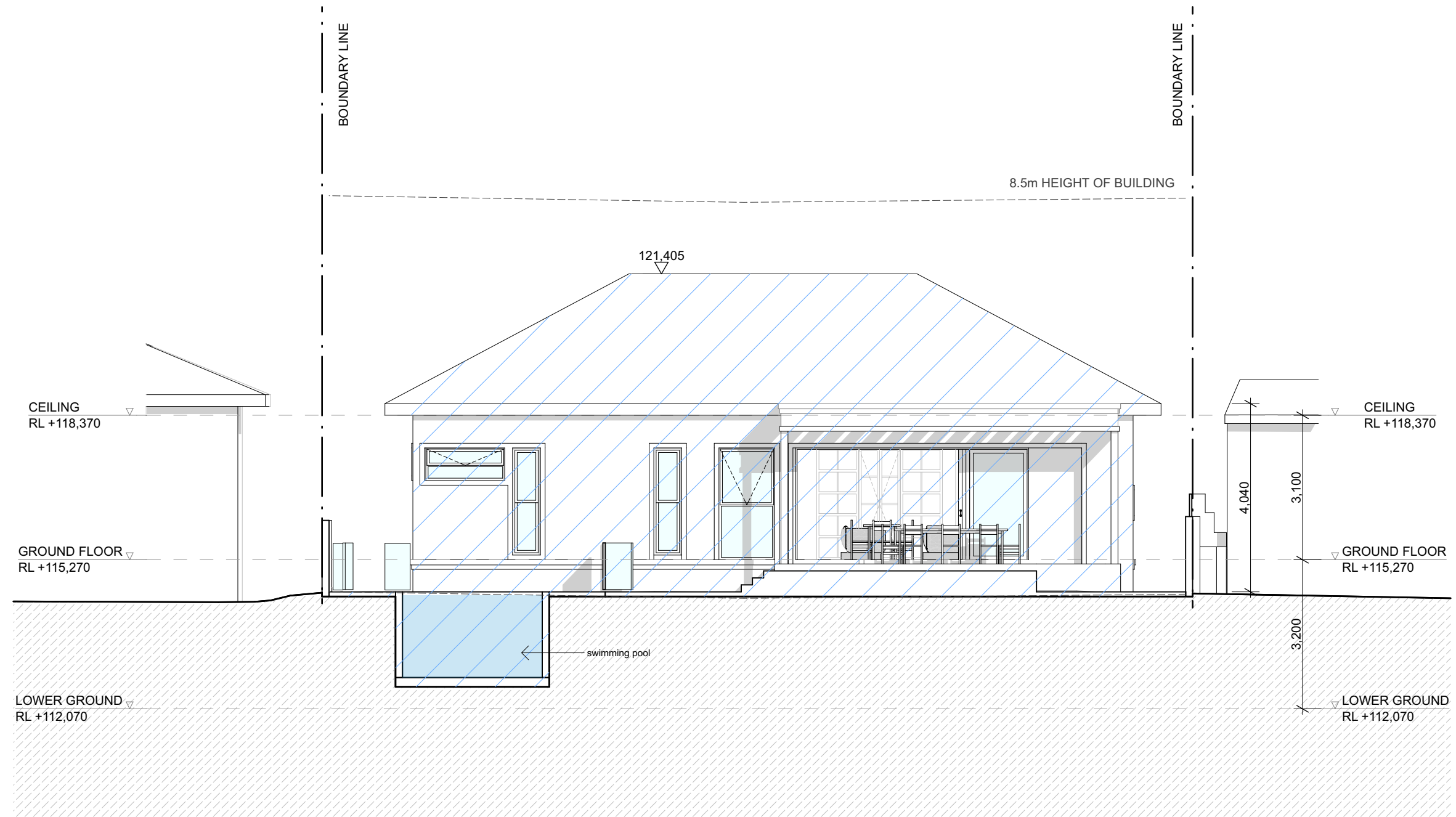
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Residential Dwelling  
Project Address  
23 Reynolds Crescent, Beacon Hill  
Lot 20 D.P. 218395

Client  
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Drawing  
ELEVATION - SOUTH

Job  
1805  
Dwg no  
DA.10

Development Application



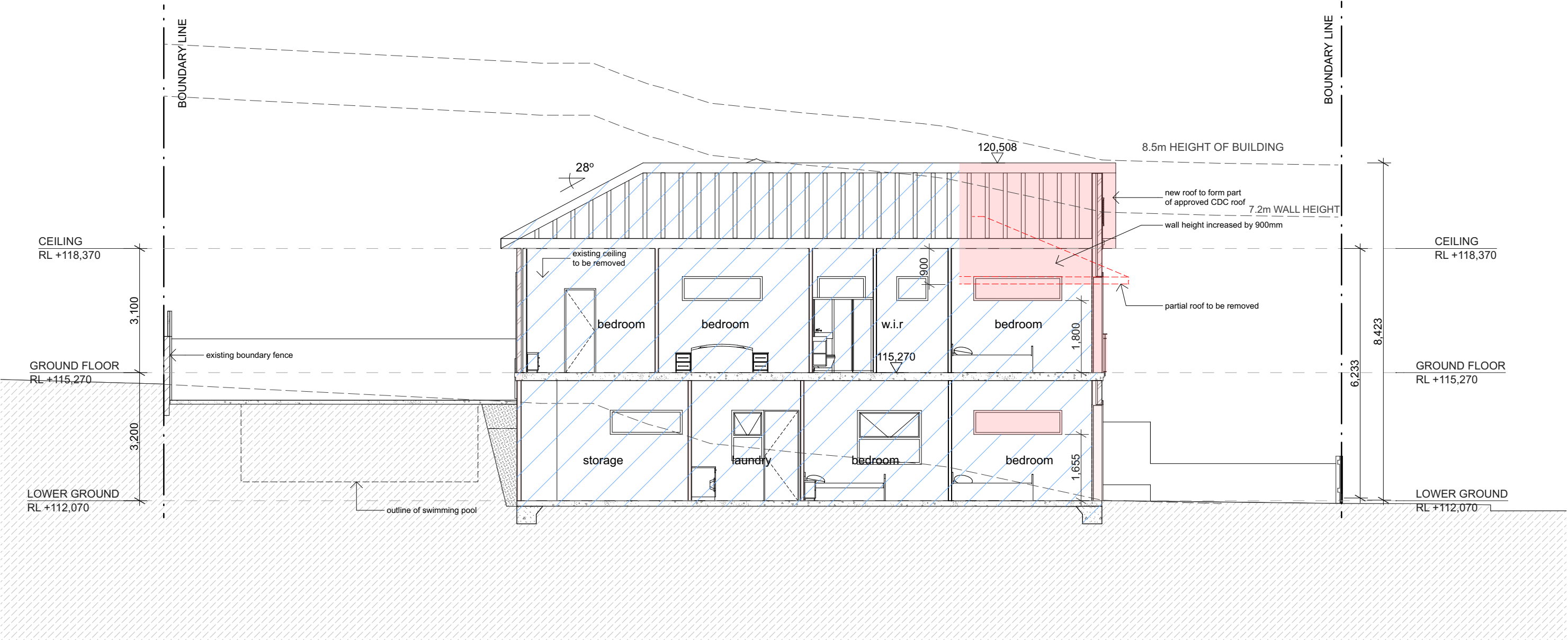


WEST ELEVATION  
1:100

- proposed DA works
- proposed DA works to be demolished / removed
- CDC approved works

## Development Application

<b>Note</b> <ul style="list-style-type: none"><li>- Dimensions in millimeters.</li><li>- Confirm all dimensions on site prior to commencing work.</li><li>- Use figured dimensions only.</li><li>- Do not scale.</li><li>- If discrepancy exists notify designer.</li><li>- If in doubt ask.</li></ul> Copyright in all documents and drawings prepared by Design:Studio ML and in any works executed from those documents and drawings shall remain the property of Design: Studio ML.	<b>Issue</b> A	<b>Revision</b> Development Application	<b>Date</b> 23/07/20	<b>design : STUDIO ML</b>  residential : multi - unit dwellings : alterations & additions : commercial	<b>Project</b> Proposed Alterations and Additions Residential Dwelling <b>Project Address</b> 23 Reynolds Crescent, Beacon Hill Lot 20 D.P 218395	<b>Client</b> Mr & Mrs Calci  <b>Drawing</b> ELEVATION - WEST	<b>Job</b> 1805  <b>Dwg no</b> DA.11
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SECTION\_AA  
1:100

- proposed DA works
- proposed DA works to be demolished / removed
- CDC approved works

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Mr & Mrs Calci  
Drawing  
SECTION AA

Job  
1805  
Dwg no  
DA.12

Development Application





proposed DA works

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Client  
Mr & Mrs Calci  
Drawing  
PERSPECTIVES

Job  
1805  
Dwg no  
DA.13





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Client  
Mr & Mrs Calci  
Drawing  
PERSPECTIVES

Job  
1805  
Dwg no  
DA.14

Development Application









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Drawing  
PERSPECTIVES

Job  
1805  
Dwg no  
DA.16





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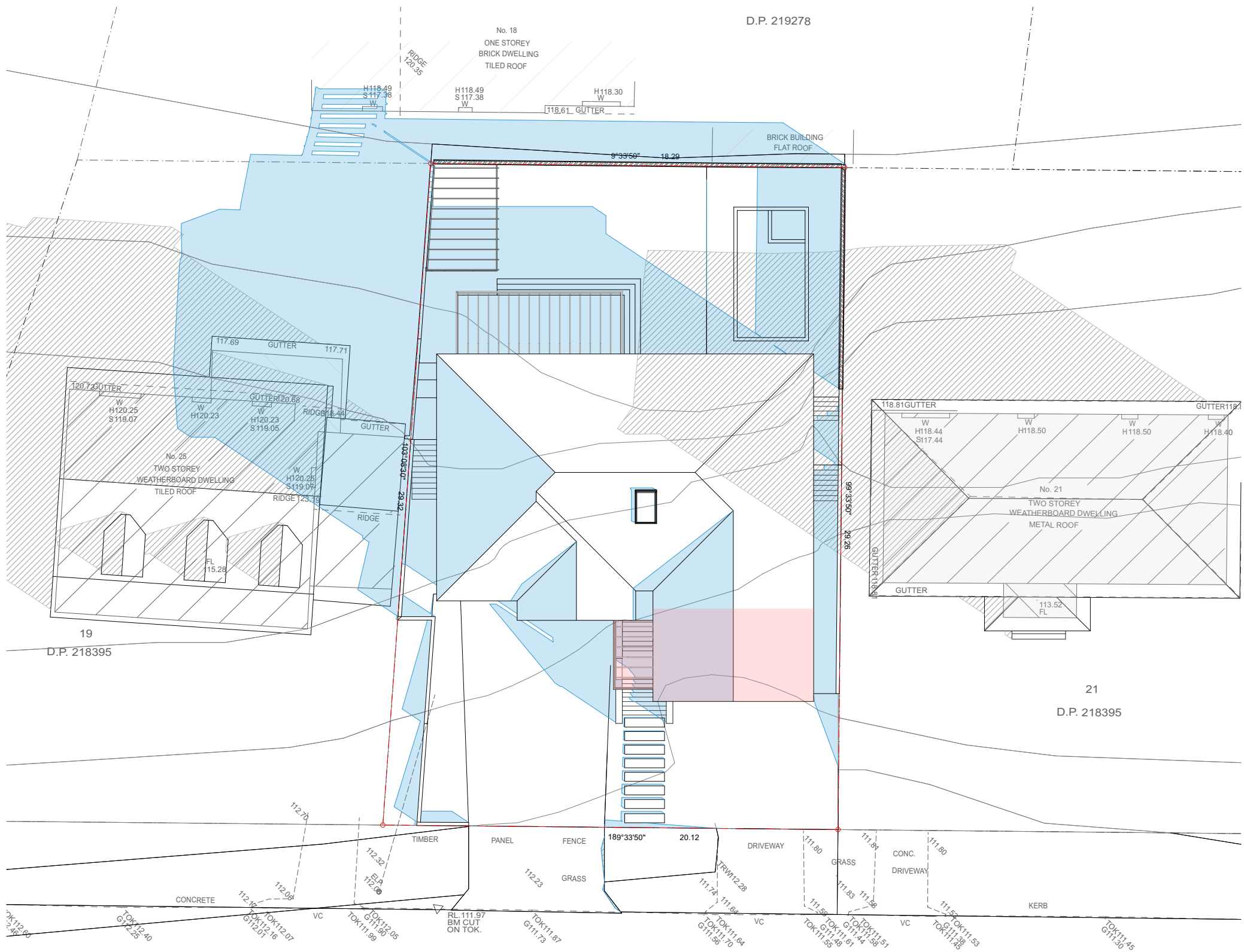
Development Application

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PERSPECTIVES

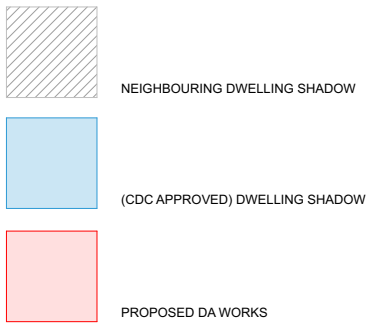
Job  
1805  
Dwg no  
DA.17





REYNOLDS CRESCENT

Jun-21-9am



Development Application

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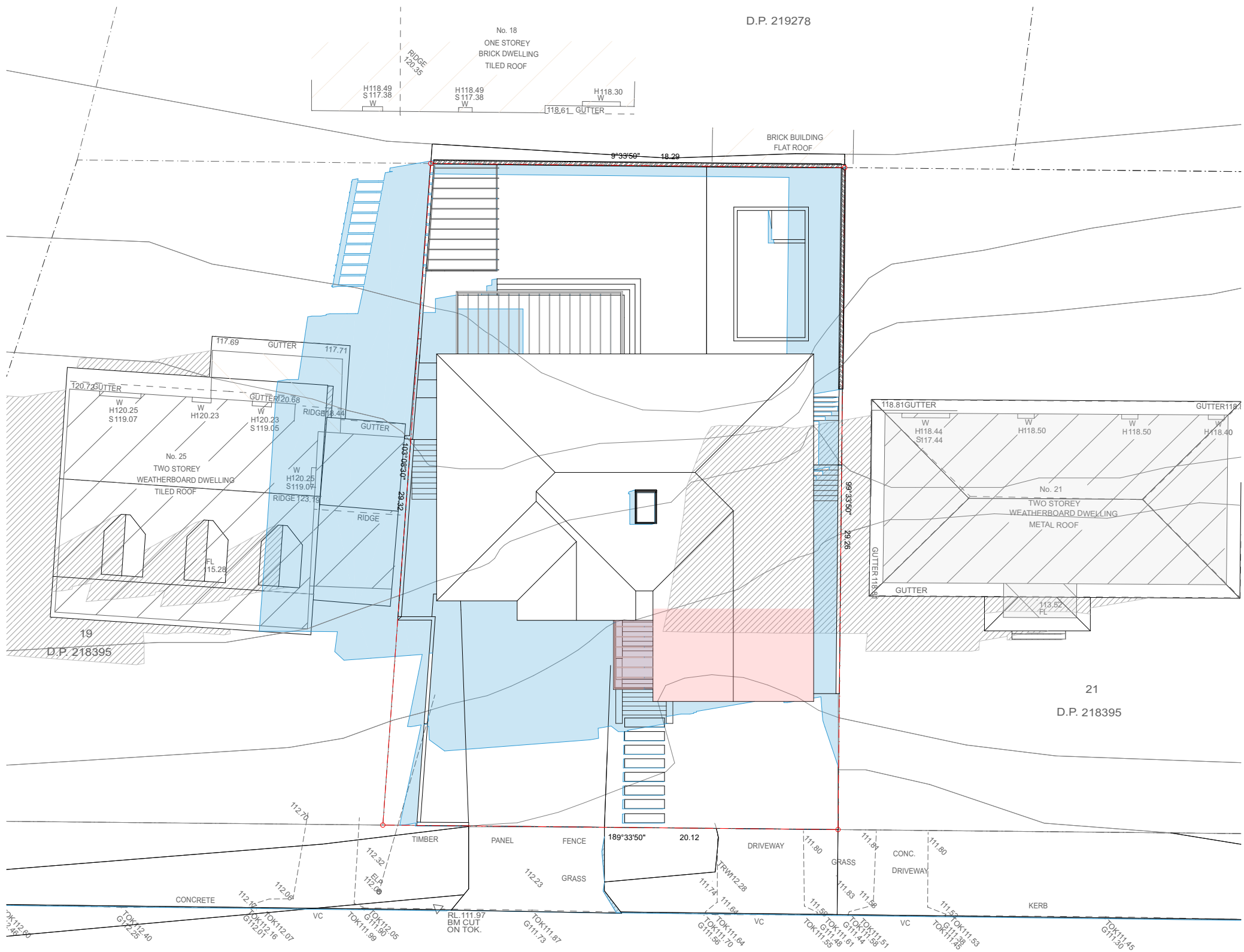
residential : multi - unit dwellings : alterations & additions : commercial



Project  
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23 Reynolds Crescent, Beaconsfield  
Lot 20 D.P. 218395

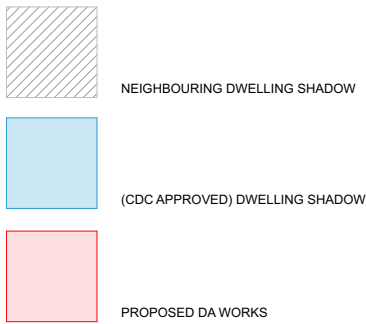
Client  
Mr & Mrs Calci  
Drawing  
SHADOW DIAGRAMS

Job  
1805  
Dwg no  
DA.18



REYNOLDS CRESCENT

Jun-21-12PM



## Development Application

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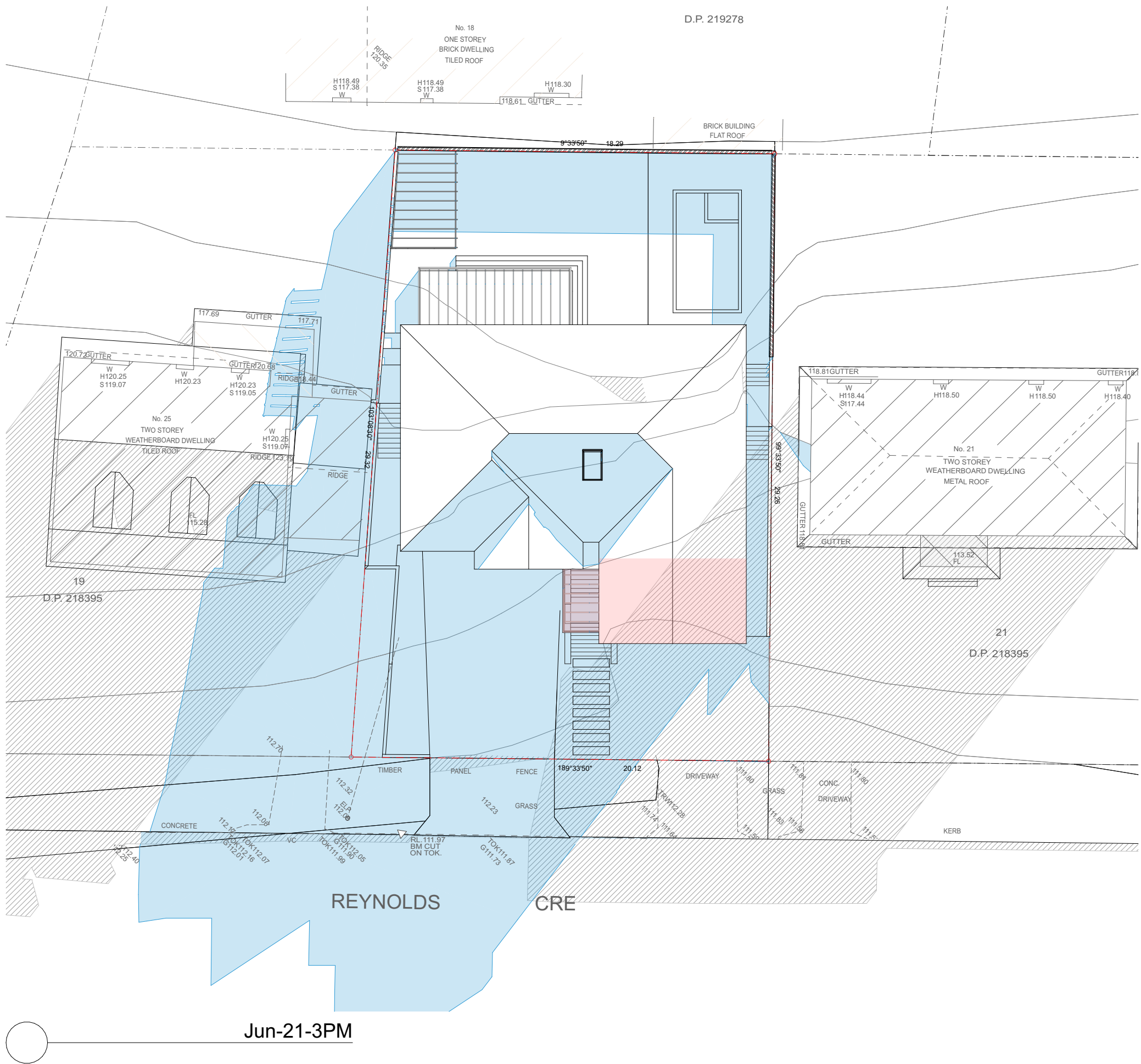


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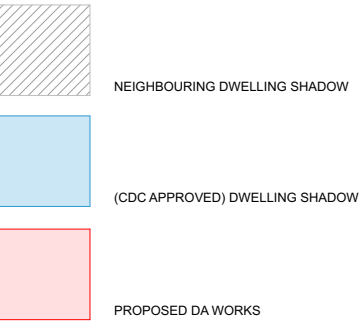
Client  
Mr & Mrs Calci  
Drawing  
SHADOW DIAGRAMS

Job  
1805  
Dwg no  
DA.19





Jun-21-3PM



Development Application

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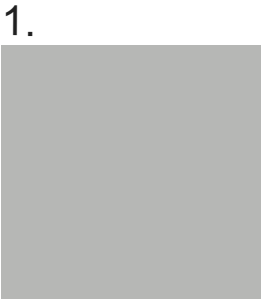
residential : multi - unit dwellings : alterations & additions : commercial



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Lot 20 D.P. 218395

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SHADOW DIAGRAMS

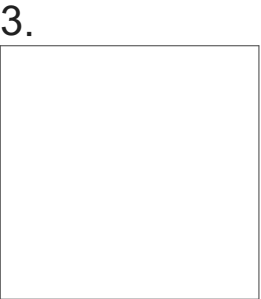
Job  
1805  
Dwg no  
DA.20



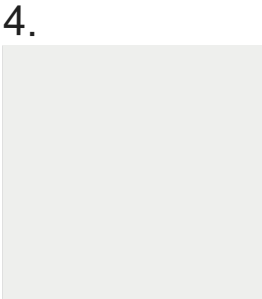
1.  
WALLS - CEMENT RENDER  
DULUX - ' TRANQUIL RETREAT '



2.  
WALLS - CLADDING  
ENTRY AWNING FRAME  
DULUX - ' TIMELESS GREY '



3.  
ALUMINIUM FRAME  
WINDOWS + DOORS  
WHITE COLOURSFRAME



4.  
DULUX - ' LEXICON QUARTER '

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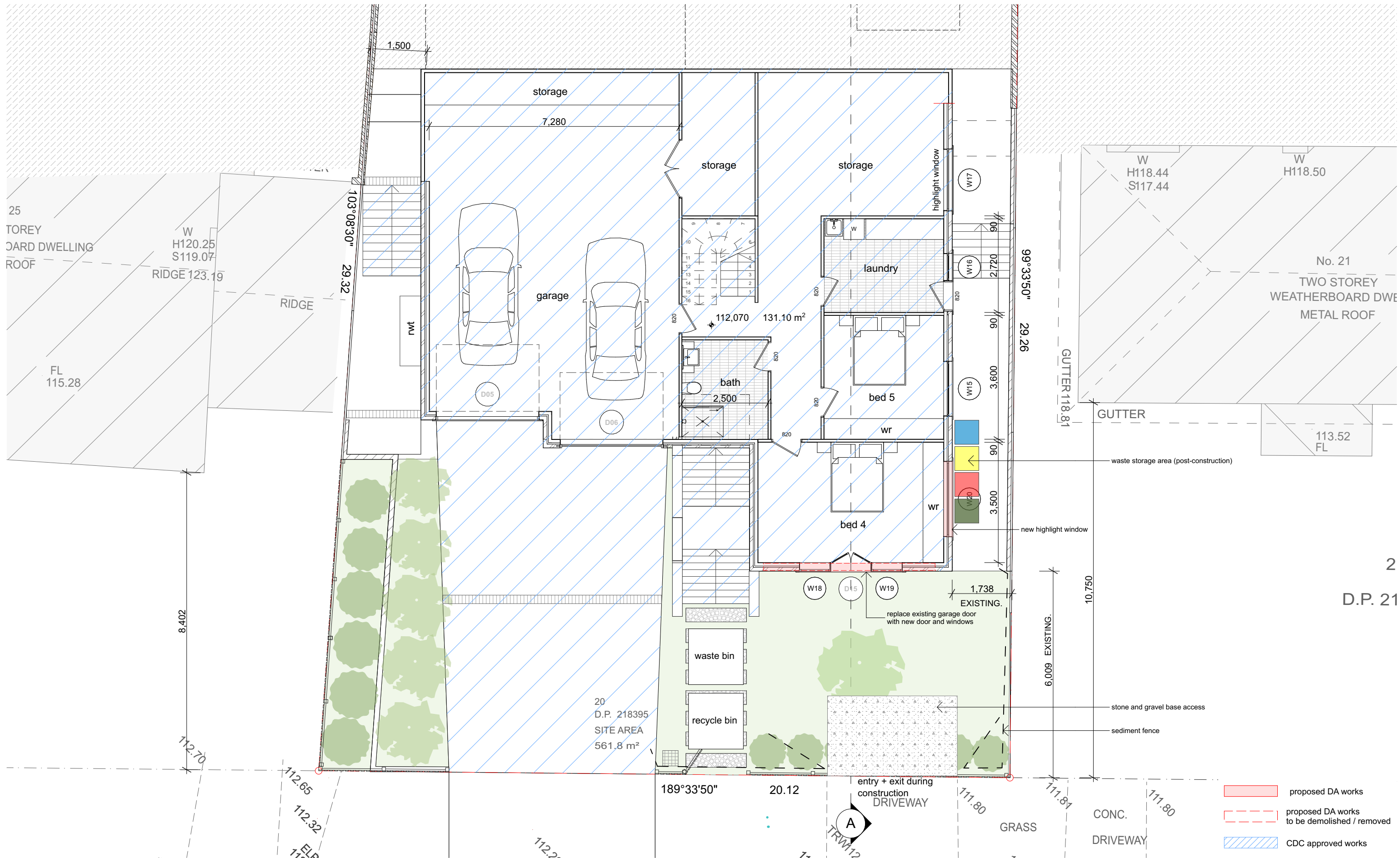
## Development Application

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Mr & Mrs Calci  
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COLOURS & FINISHES SCHEDULE

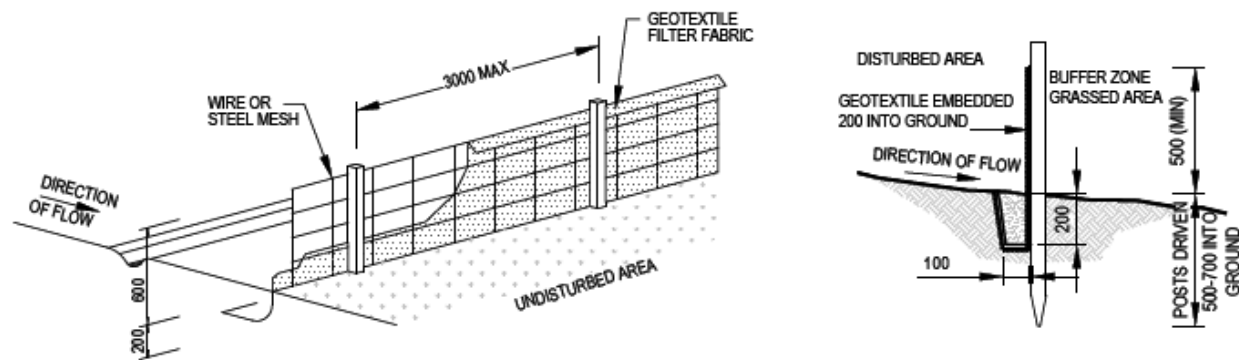
Job  
1805  
Dwg no  
DA.21





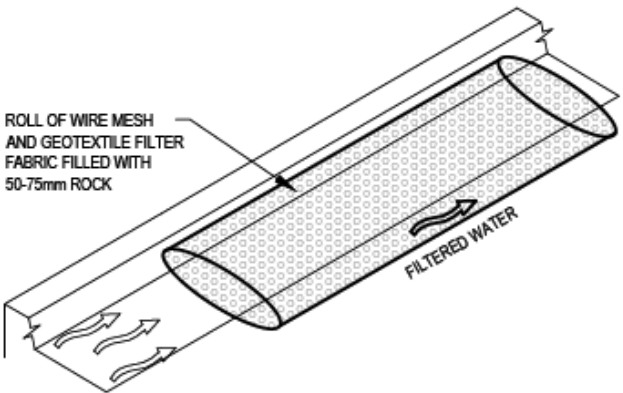
LOWER GROUND  
1:100





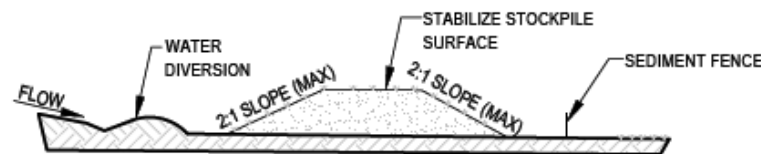
SEDIMENT FENCE DETAIL  
NTS

- CONSTRUCTION NOTES:**
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENTS AREA OF ANY ONE SECTION. THE CATCHMENTS AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
  2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
  3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.5m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
  4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
  5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150mm OVERLAP.
  6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



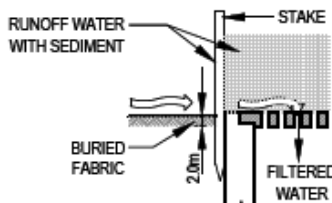
MESH AND GRAVEL FILTER  
NTS

- CONSTRUCTION NOTES:**
1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS
  2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
  3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm(h) x 400mm(w).
  4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
  5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
  6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.



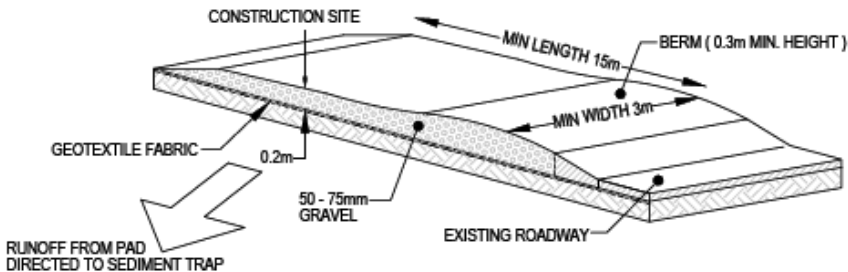
STOCKPILE  
NTS

- NOTE:**
1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METERS FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
  2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
  3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METERS IN HEIGHT.
  4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILIZE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
  5. CONSTRUCT EARTH BANKS (LOW FLOW) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METERS ON THE DOWNSLOPE.



SEDIMENT BARRIER AROUND PIT  
NTS

- CONSTRUCTION NOTES:**
1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
  2. FOLLOW STRAW FILTER AND SEDIMENT FENCE FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOFABRIC. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
  3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
  4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.



STABILIZED SITE ACCESS  
NTS

- CONSTRUCTION NOTES:**
1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE
  2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE
  3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASED OR 30mm AGGREGATE
  4. ENSURE THE STRUCTURE IS AT LEAST 15m LONG OR TO BUILD ALIGNMENT AND AT LEAST 3 METERS WIDE.
  5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILIZED ACCESS, CONSTRUCT A HUMP IN THE STABILIZED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

## Development Application

Note

- Dimensions in millimeters.  
- Confirm all dimensions on site prior to commencing work.  
- Use figured dimensions only.  
- Do not scale.  
- If discrepancy exists notify designer.  
- If in doubt ask.  
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Issue  
A  
Revision  
Development Application

Date  
23/07/20

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design : **STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial



Project  
Proposed Alterations and Additions  
Residential Dwelling  
Project Address  
23 Reynolds Crescent, Beacon Hill  
Lot 20 D.P. 218395

Client  
Mr & Mrs Calci  
Drawing  
SEDIMENT AND EROSION PLAN

Job  
1805  
Dwg no  
DA.23