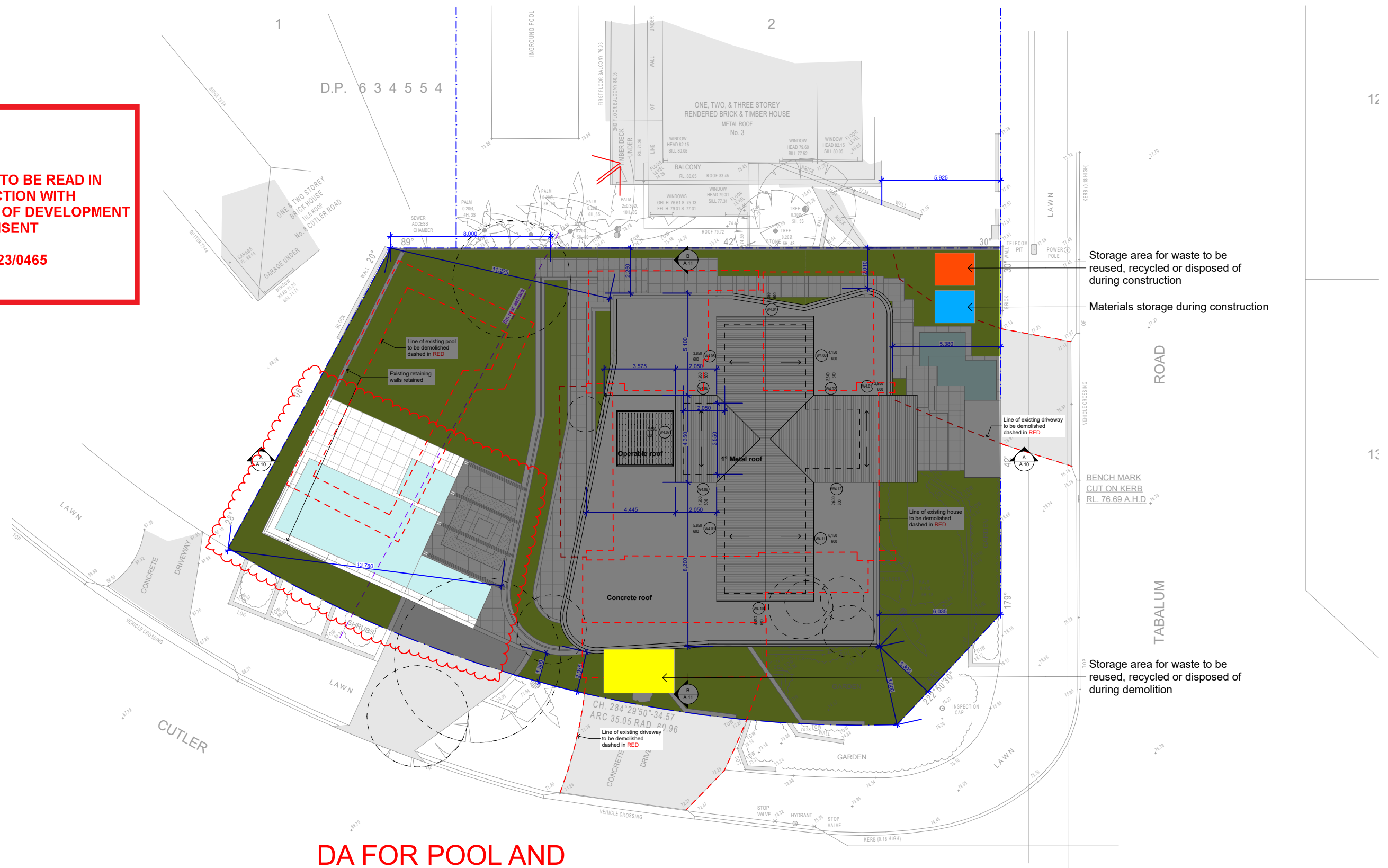




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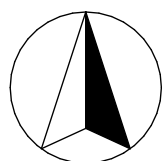
SITE PLAN
1:200

DA FOR POOL AND
ASSOCIATED WORKS ONLY.
REFER TO APPROVED
DA 2020/0077 FOR OTHER WORKS

Trees to be removed or transplanted.
See accompanying arborist report

Refer to separate landscape plans
for detailed design/planting etc.

FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\MOO 0219 - House Mooney Pool DA.pln



Revision	Date	Revision Note
A	21.09.22	Pool DA, added to approved DA 2020/0077

General Notes:

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Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **SITE PLAN**
Project #: **MOO 0219** Issue Type: **DA02**
Original Sheet Size: **A3** Issue Date: **21/09/2022**
Scale @ A3: **1:200** Sheet #: **A 01**
Chkd: **ML** Drawn: **ML** Revision: **A**

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EXISTING POOL TO BE
DEMOLISHED DASHED IN RED

**TREES TO BE REMOVED
DASHED IN RED**

**EXISTING HOUSE TO BE
DEMOLISHED DASHED IN RED**

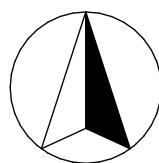
EXISTING DRIVEWAY TO BE
DEMOLISHED DASHED IN RED

ALL DEMOLITION
APPROVED BY
DA 2020/0077

**EXISTING DRIVEWAY TO BE
DEMOLISHED DASHED IN RED**

DEMOLITION PLAN
1:100

FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\MOO 0219 - House Mooney Pool DA.pln



Revision	Date	Revision Note
A	21.09.22	Pool DA, added to approved DA 2020/0077

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Project:

New Dwelling

Client:

Kevin Mooney

**Address: 1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing:

DEMOLITION PLAN

Project #:

MOO 0219

Issue Type:

DA02

Original Sheet Size:

A3

Issue Date:

21/09/2022

Chkd:

Drawn:

ML

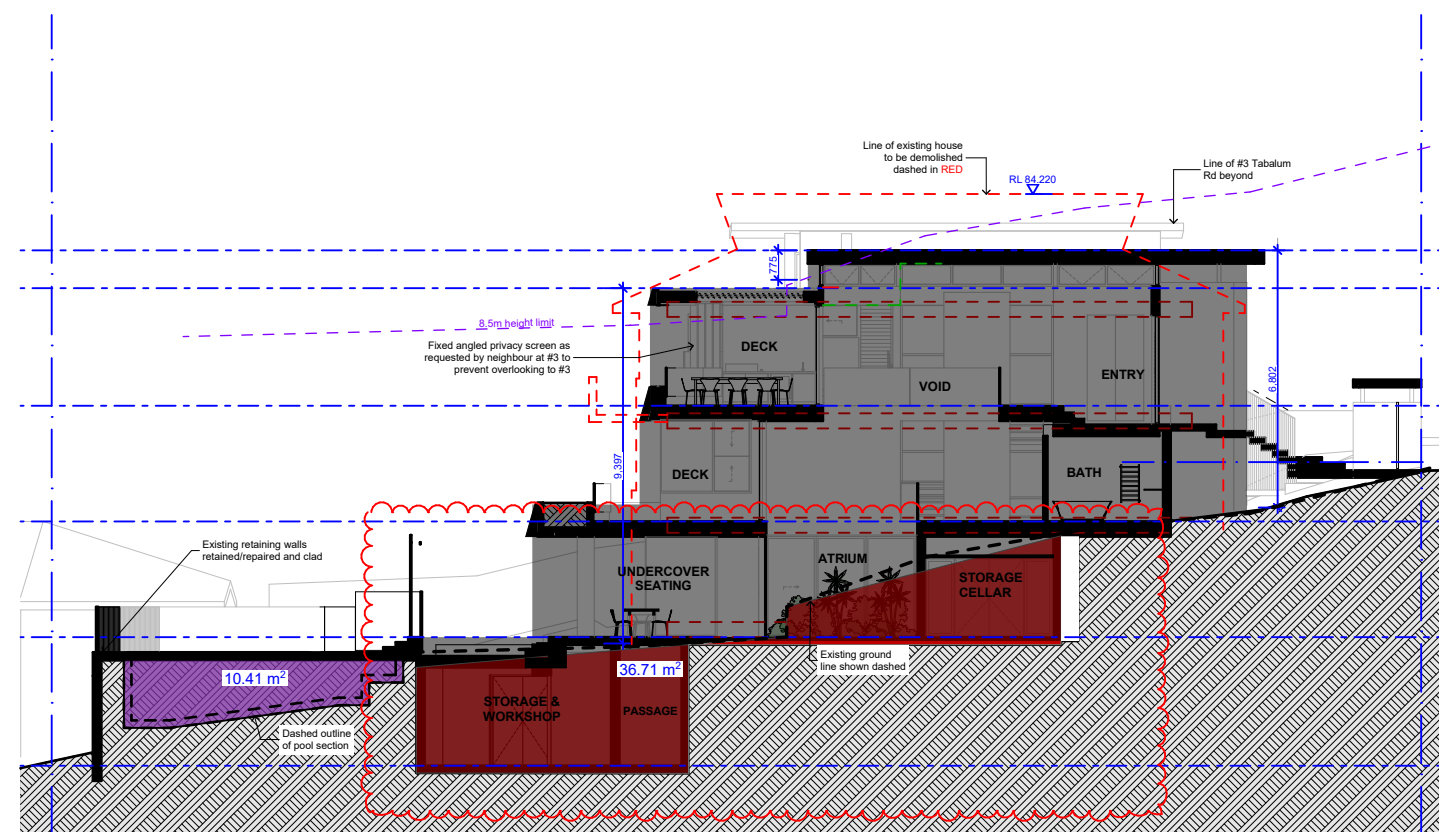
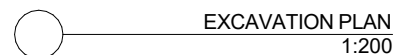
A 03

Revision:
A

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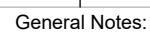


EXCAVATION SECTION
1:200

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FILE: C:\Users\micha\Dropbox\ Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\MOO 0219 - House Mooney Pool DA.pln



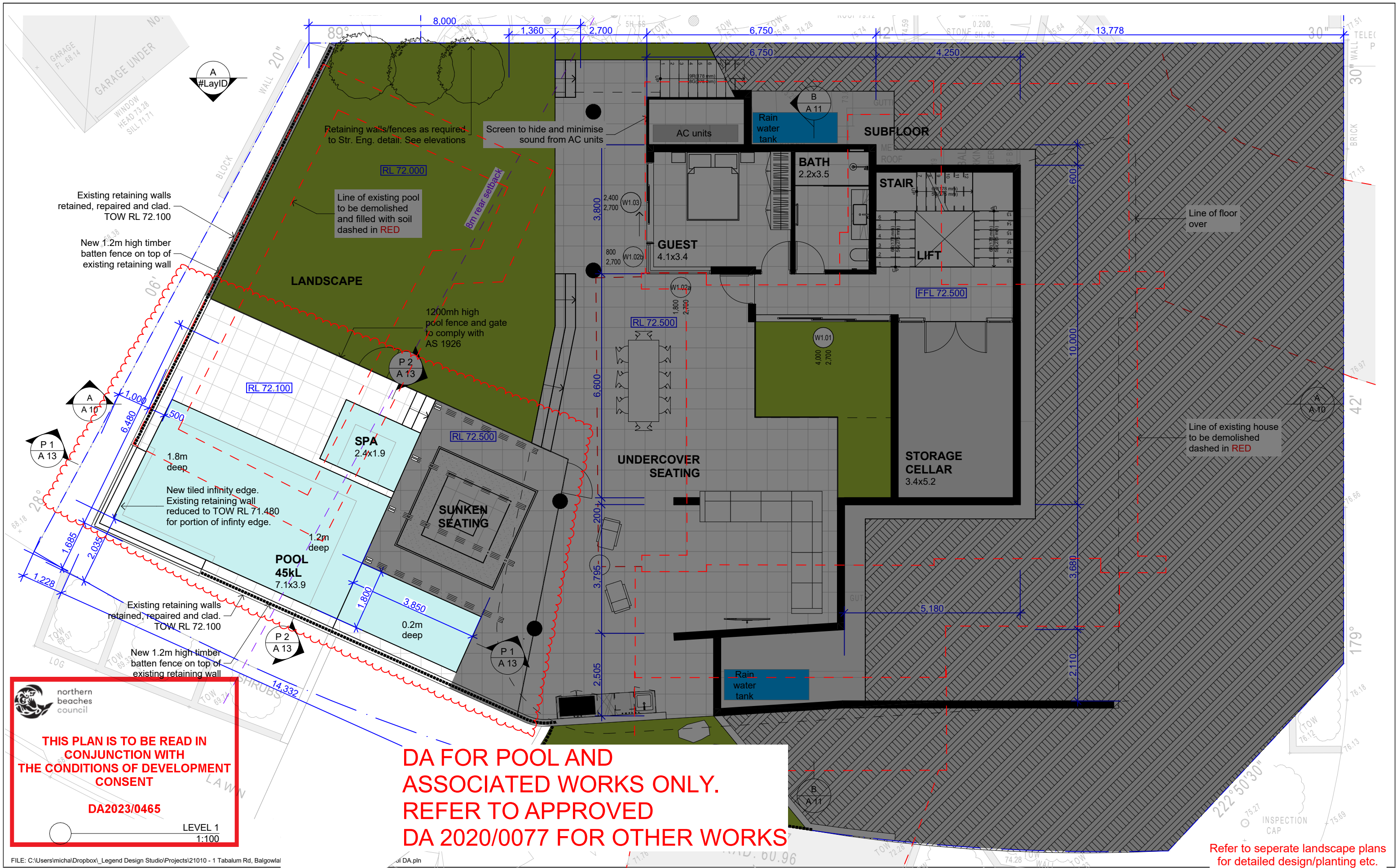
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Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Chkd: Drawn: ML **A 04** **A**

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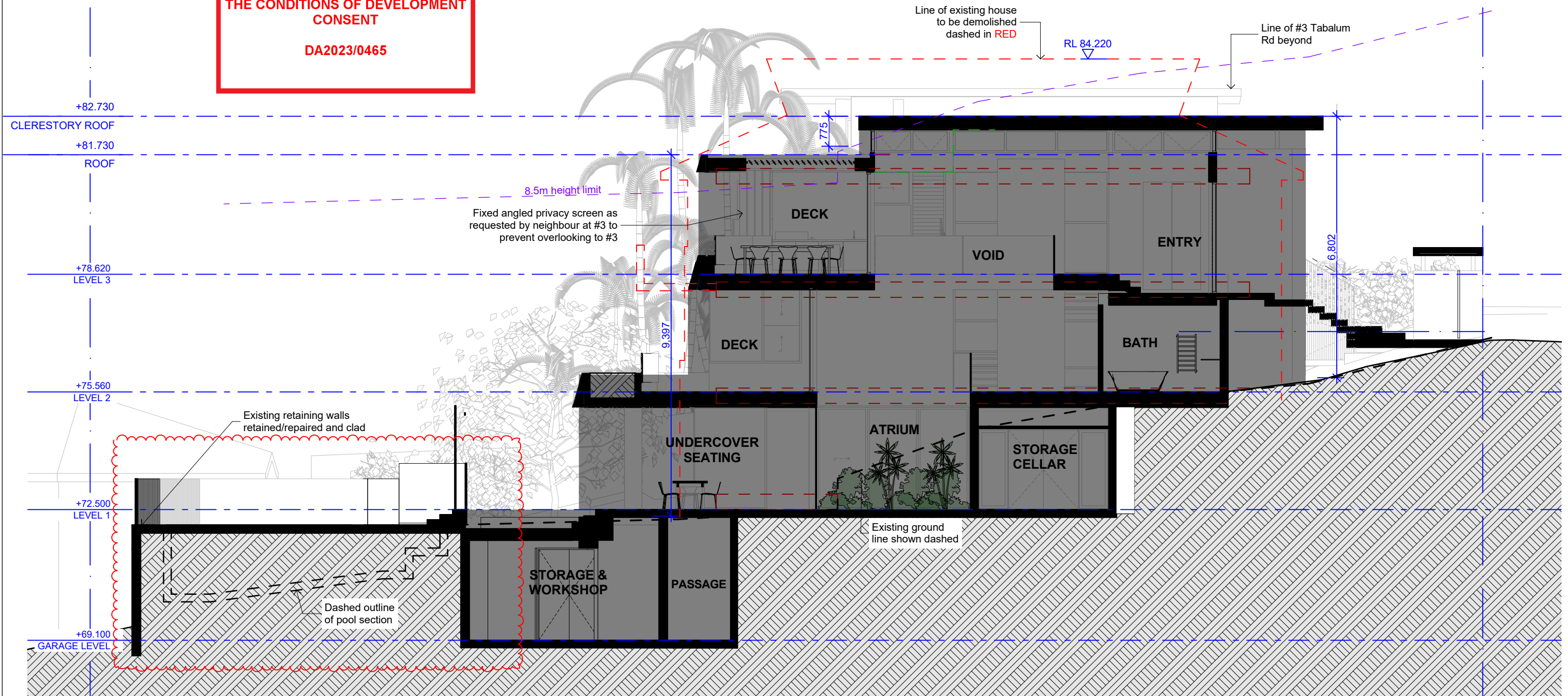


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	General Notes:				Client: Kevin Mooney		Project #: MOO 0219		Issue Type: DA02					
					Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044		Original Sheet Size: A3		Issue Date: 21/09/2022					
					Scale @ A3: 1:100		Sheet #: A 05		Revision: A		0431 835 531 michael@legendds.com.au			
					Chkd:		Drawn: ML							



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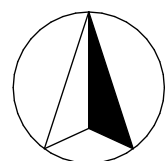
DA2023/0465



SECTION A
1:100

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Revision	Date	Revision Note
A	21.09.22	Pool DA, added to approved DA 2020/0077

General Notes:

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Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **SECTION A**
Project #: **MOO 0219** Issue Type: **DA02**
Original Sheet Size: **A3** Issue Date: **21/09/2022**
Scale @ A3: **1:100** Sheet #: **A 06**
Chkd: **ML** Drawn: **ML** Revision: **A**

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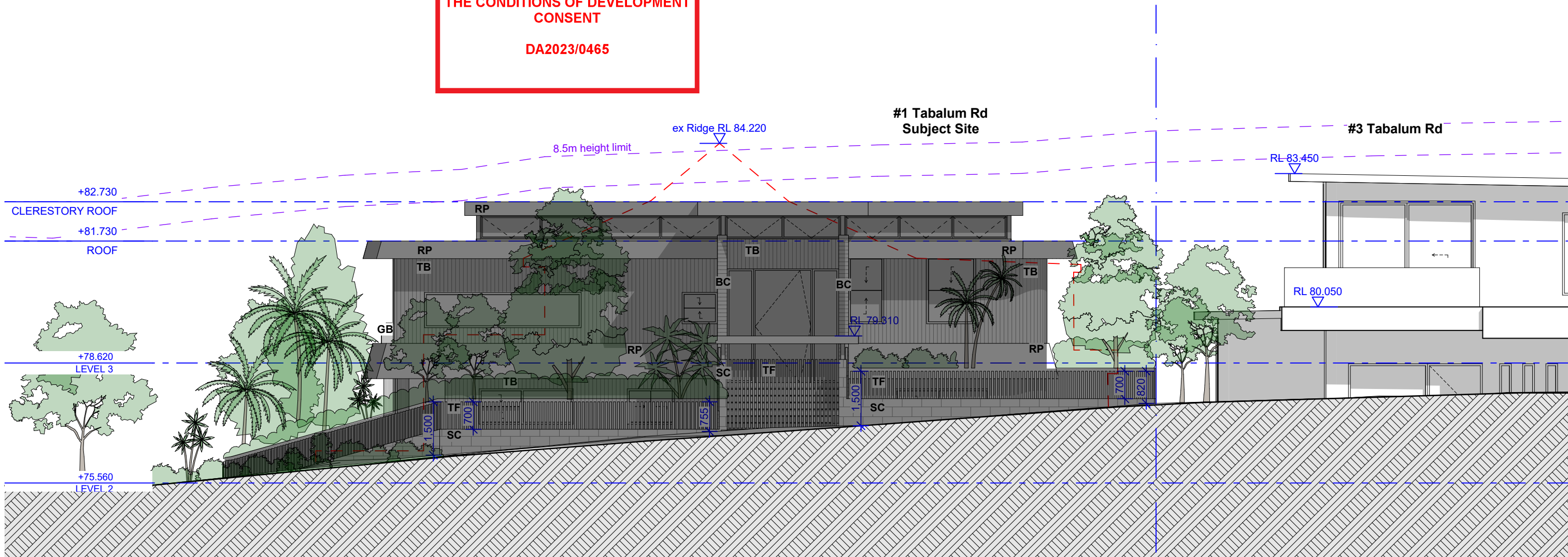
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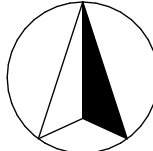

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 EAST (TABALUM RD STREETSCAPE) ELEVATION
1:100

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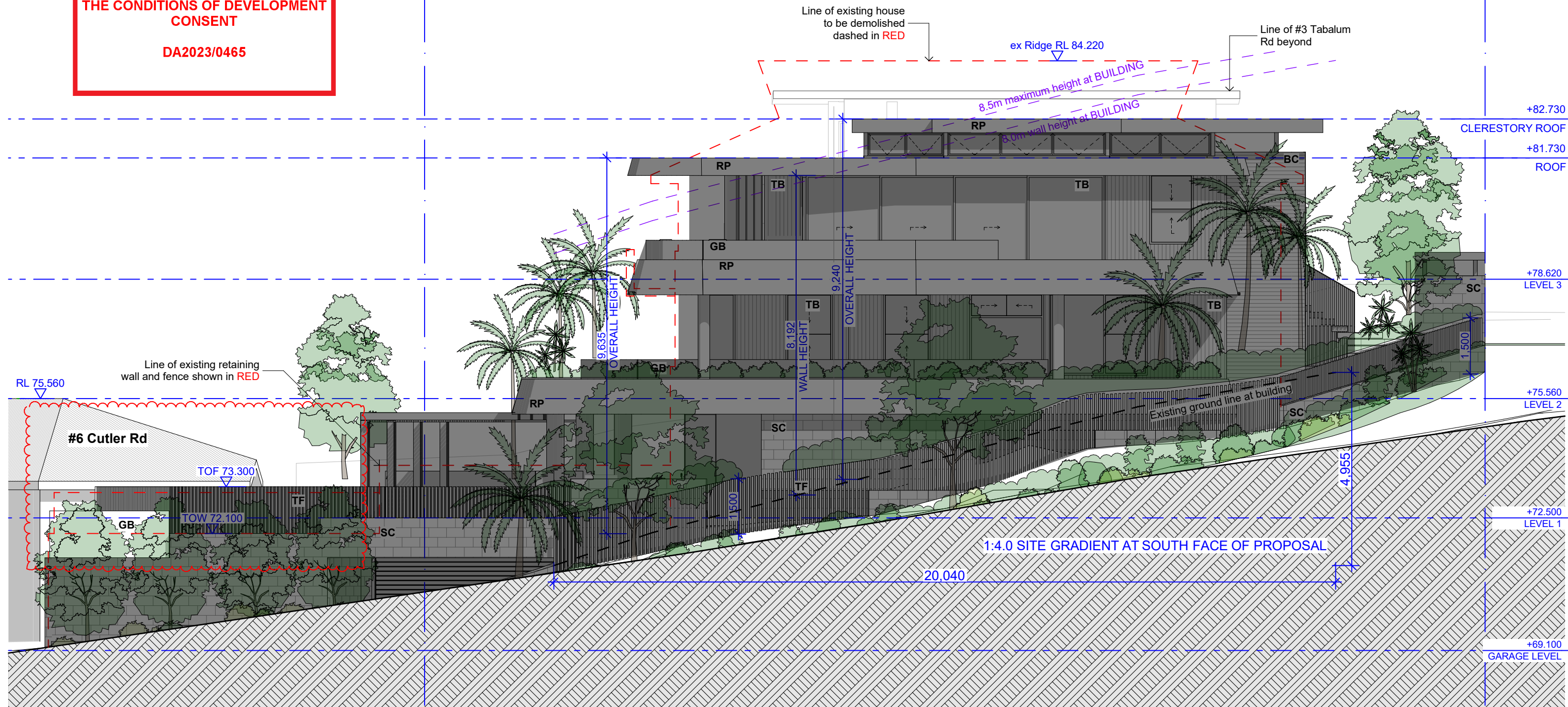
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	General Notes:				Client: Kevin Mooney		Project #: MOO 0219				Issue Type: DA02		
					Original Sheet Size: A3		Issue Date: 21/09/2022						
					Scale @ A3: 1:100		Sheet #: A 07						
					Chkd: ML		Drawn: ML						
					Revision: A								



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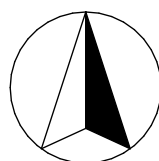


SOUTH (CUTLER RD STREETSCAPE) ELEVATION

1:100

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Revision	Date	Revision Note
A	21.09.22	Pool DA, added to approved DA 2020/0077

General Notes:

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Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **SOUTH (CUTLER RD STREETSCAPE) ELEVATION**

Project #:	MOO 0219	Issue Type:	DA02
Original Sheet Size:	A3	Issue Date:	21/09/2022
Scale @ A3:	1:100	Sheet #:	A 08
Chkd:	Drawn:	ML	Revision: A

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Line of existing house
to be demolished
dashed in RED

ex Ridge RL 84.220

RL 83.450

RL 80.050

RL 76.930

RL 75.560

+82.730

CLERESTORY ROOF

+81.730

ROOF

+78.620

LEVEL 3

+75.560

LEVEL 2

+72.500

LEVEL 1

+69.100

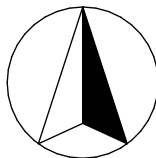
GARAGE LEVEL

WEST ELEVATION

1:100

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Revision
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Date
21.09.22

Revision Note
Pool DA, added to approved DA 2020/0077

General Notes:

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Project:

New Dwelling

Client:

Kevin Mooney

Address: 1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044

Drawing:

WEST ELEVATION

Project #:

MOO 0219

Issue Type:

DA02

Original Sheet Size:

A3

Issue Date:

21/09/2022

Scale @ A3:

1:100

Sheet #:

Revision:

Chkd:

Drawn:

ML

A 09

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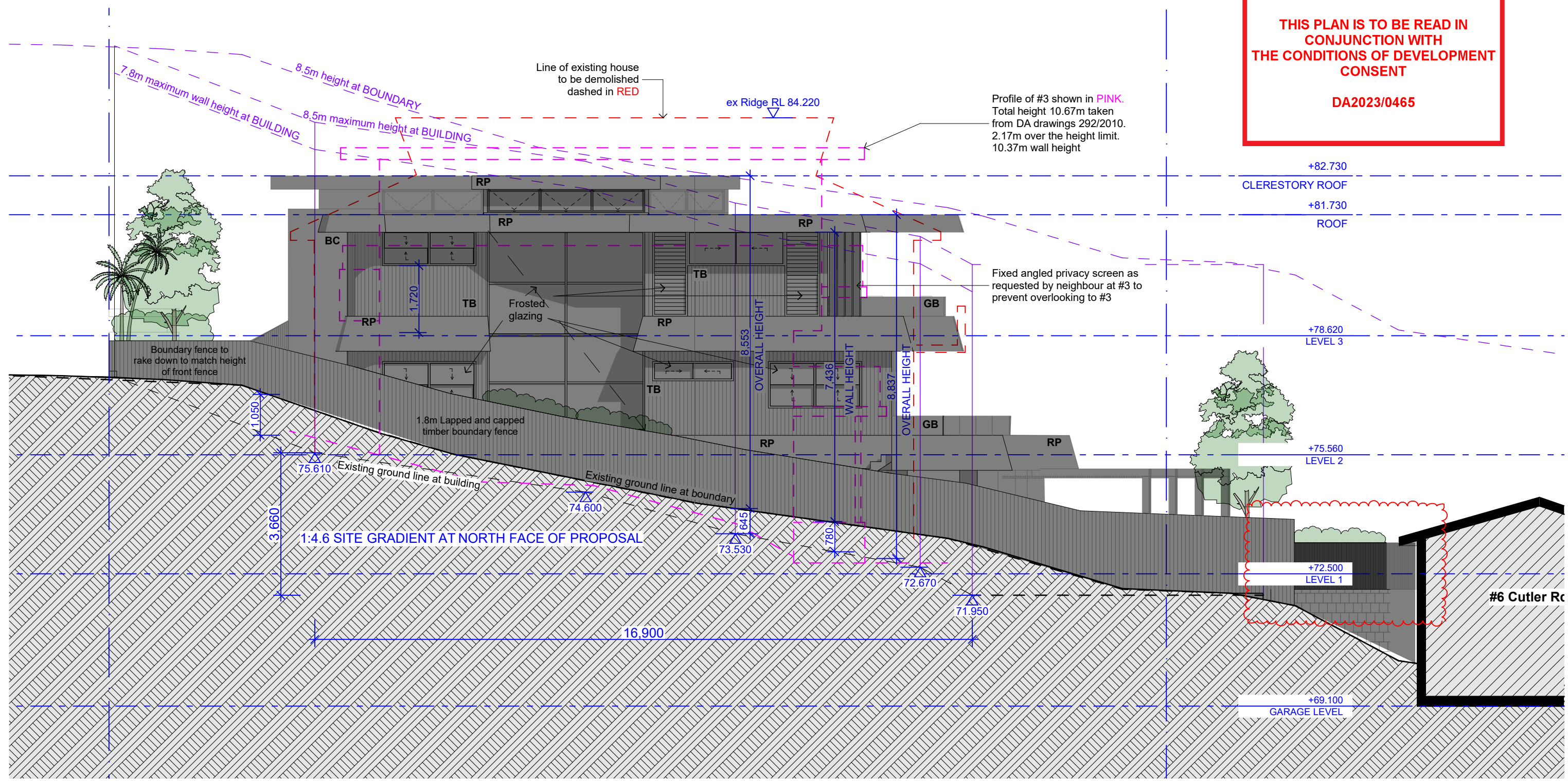
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DA2023/0465



 NORTH ELEVATION
1:100

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REFER TO APPROVED
DA 2020/0077 FOR OTHER WORKS

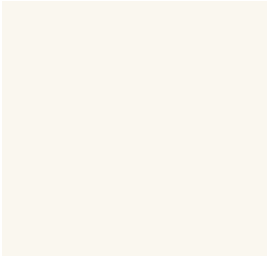



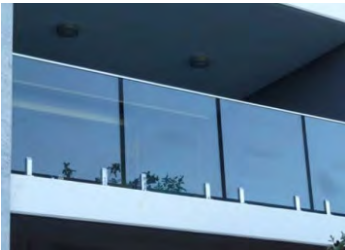


FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\MOO 0219 - House Mooney Pool DA.pln

	Revision A	Date 21.09.22	Revision Note Pool DA, added to approved DA 2020/0077	CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. L.D.S. IS TO BE NOTIFIED OF ANY DISCREPANCIES IN THE DIMENSIONS AND SETTING OUT OF THE WORK. COPYRIGHT OF DESIGNS SHOWN WHEREON IS RETAINED BY L.D.S. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION.	Project: New Dwelling Client: Kevin Mooney Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044	Drawing: NORTH ELEVATION		Legend Design Studio 20 Carefree Rd North Narrabeen NSW 2101 0431 835 531 michael@legendds.com.au LEGEND DESIGN STUDIO
	General Notes:					Project #: MOO 0219	Issue Type: DA02	
			Original Sheet Size: A3			Issue Date: 21/09/2022		
			Scale @ A3: 1:100			Sheet #: A 10	Revision: A	
			Chkd: ML			Drawn: ML		



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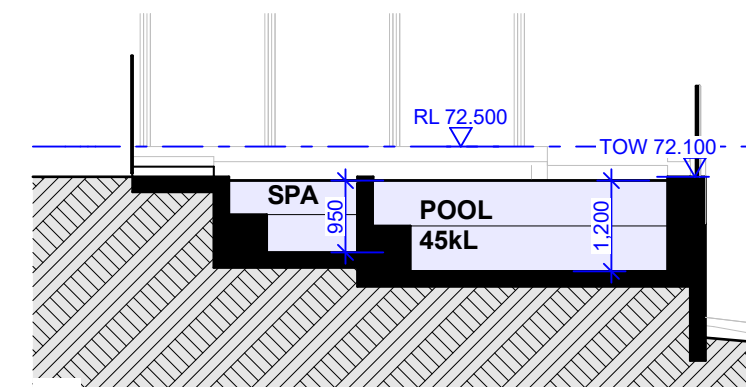
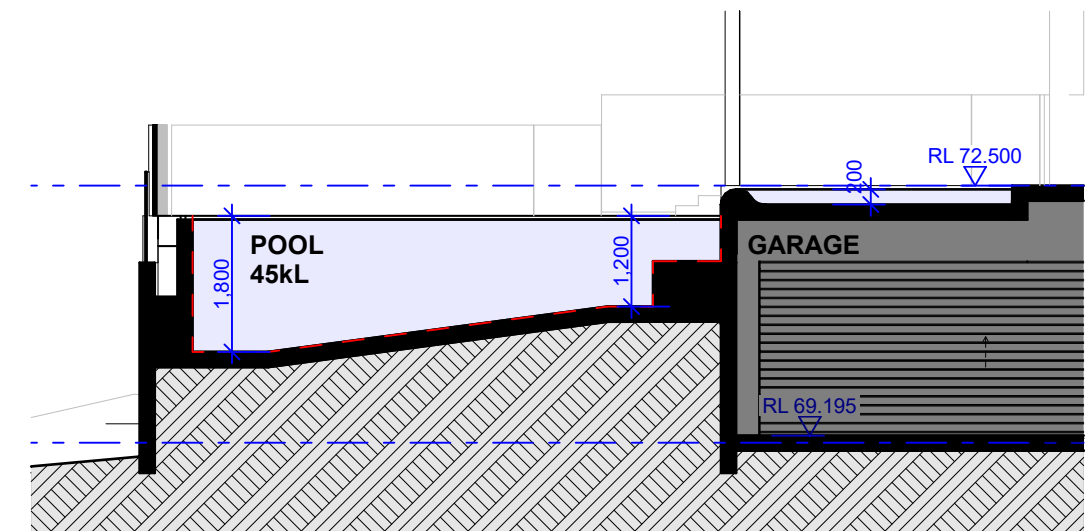
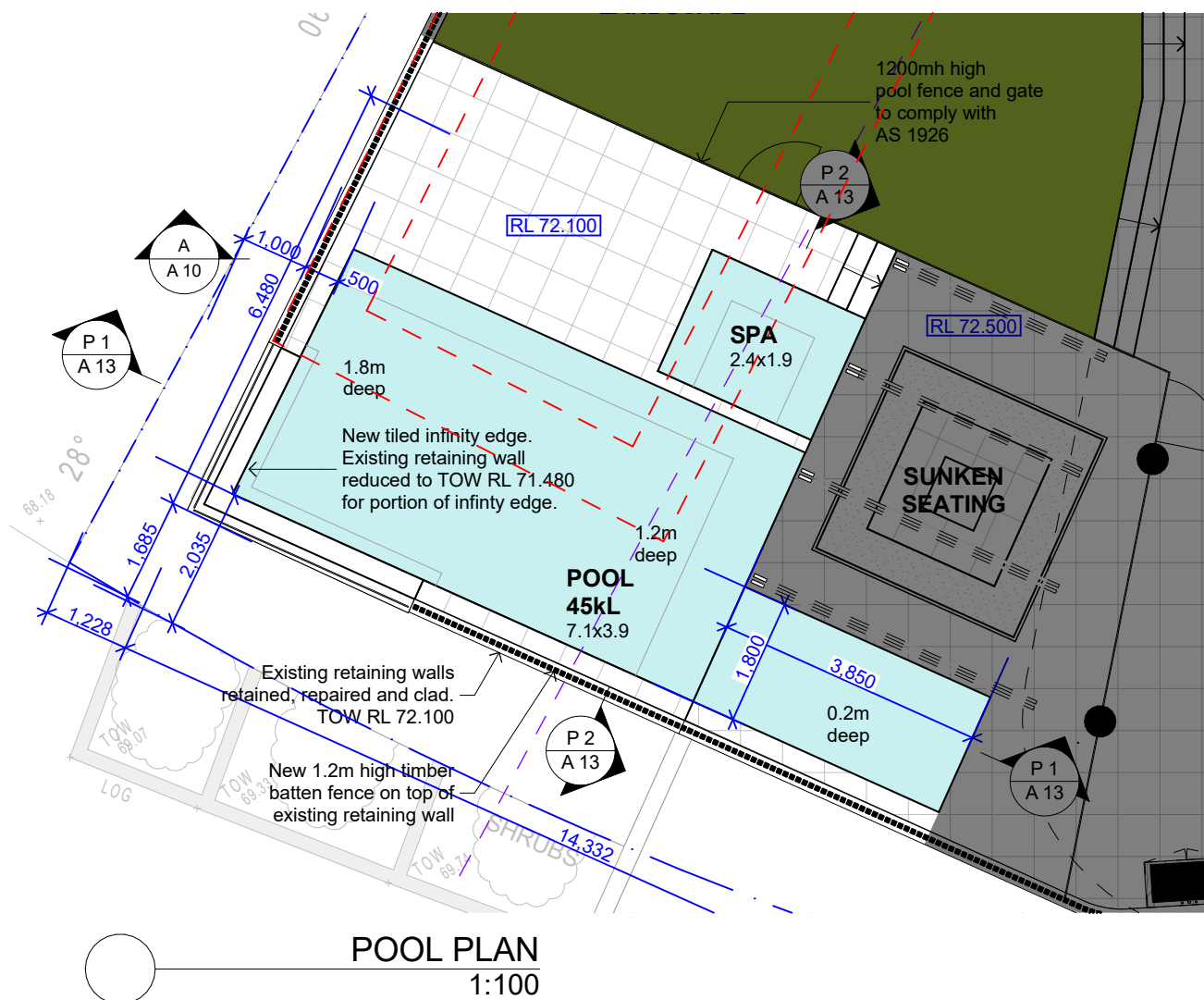
RP Render and paint Painted Dulux 'Natural White'		TB Timber Battens	
SC Sandstone cladding		BC Board-formed concrete	
GB Glass balustrade		TF Timber batten fence	
CS Cobblestone paving Stone TBC			

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NOTE:
All colour selections
shall be sampled and
swatch tested on
subject surface prior
to final application.
Colours represented
on this schedule do
NOT necessarily
reflect true colours.

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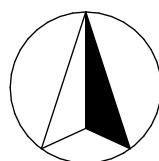
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	General Notes:				Client: Kevin Mooney	Project #:	MOO 0219	Issue Type:	DA02						
					Original Sheet Size:		A3	Issue Date:	21/09/2022						
					Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044				Scale @ A3:			Sheet #:	Revision:		
					Chkd:		Drawn:	ML	A 12			A			



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Revision	Date	Revision Note
A	21.09.22	Pool DA, added to approved DA 2020/0077

General Notes:

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Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **POOL DETAILS**

Project #: **MOO 0219** Issue Type: **DA02**

Original Sheet Size: A3 Issue Date: 21/09/2022

Scale @ A3: 1:100 Sheet #: Revision:

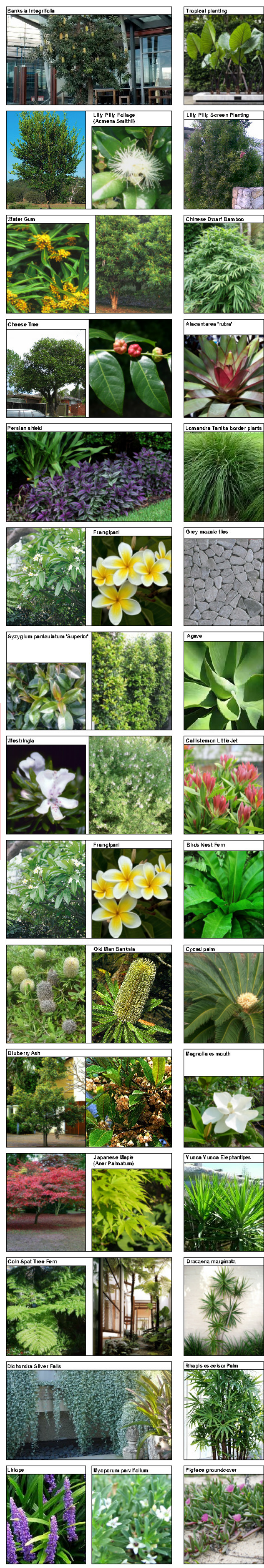
Chkd:	Drawn:	ML	A 13	A
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0 1 2 3 4 5 10



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- Sheet 1: Site plan
- Sheet 2: Elevations & detail plan
- Sheet 3: Planting plan and details
- Sheet 4: Soil & landscape areas

AMENDMENTS		
E	1.4.22	\$4.55
D	31.3.22	\$4.55
C	17.9.21	-



PO Box	4050.	ACT	2602
ABN:	16 949 100 279		
PHONE:	02 9907 8011		
WWW:	SCRIVENER-DESIGN.COM		
EMAIL:	PAUL@SCRIVENER-DESIGN.COM		
PROJECT:	NEW DWELLING, 1 TABALUM ROAD BALGOWLAH HEIGHTS LOT 20, SECTION 58, DP 758044		
DWG:	LANDSCAPE SITE PLAN		






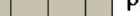

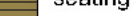















DATE:	1.4.22	SCALE:	1:100 @A1	<div>1 OF 4</div> <div>S4.55</div> <div>SSSE-E</div>
JOB REF:	19/2100			

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 FIGURED DIMENSIONS SHOULD BE USED IN PREFERENCE TO THOSE SOILED OFF.

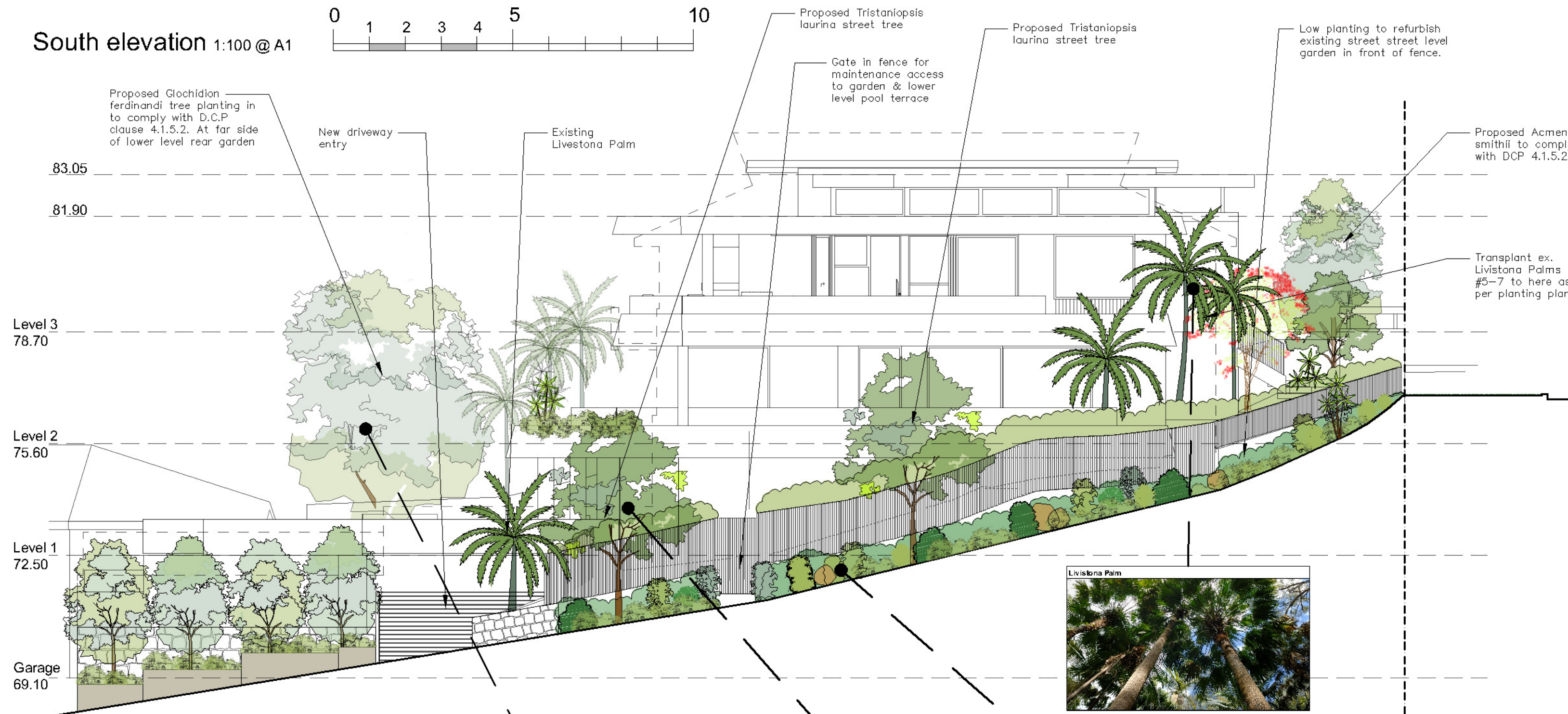
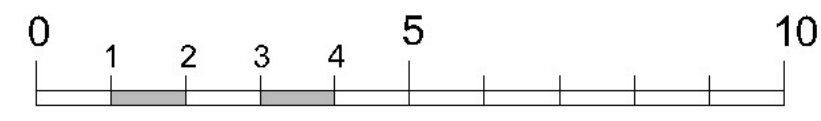
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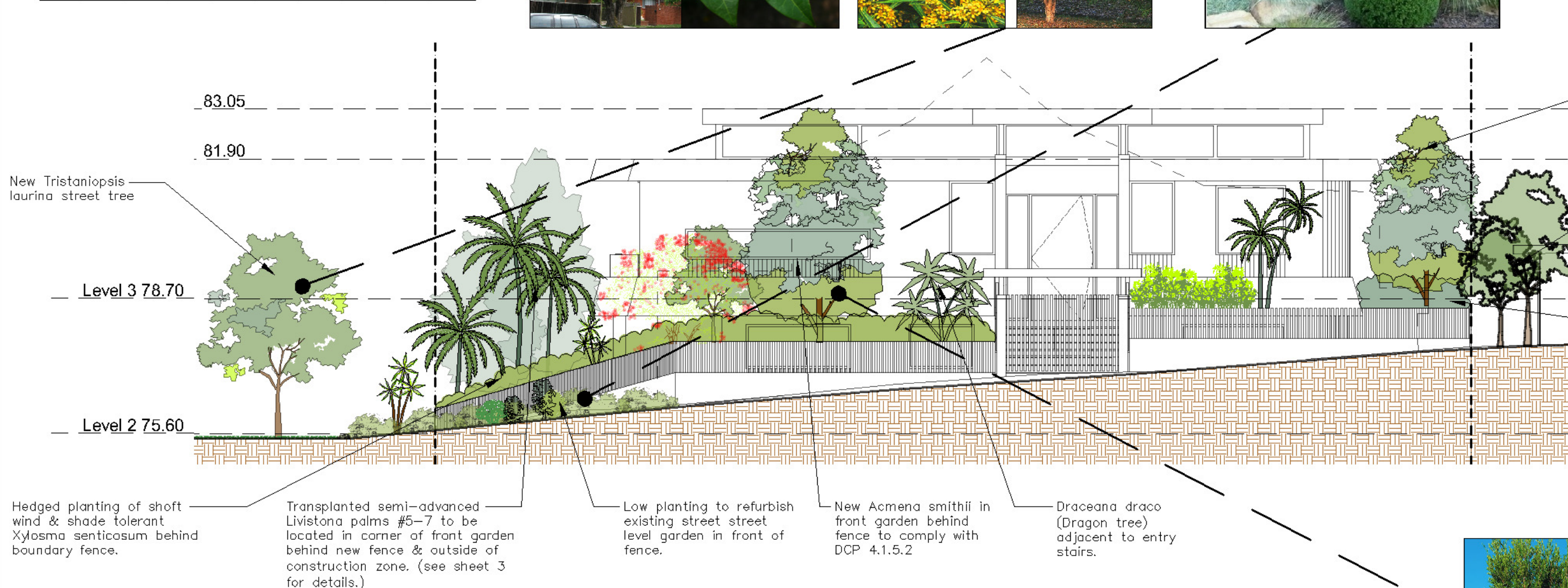
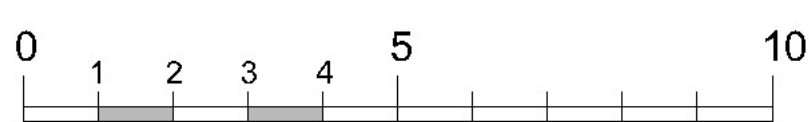
Legend

	Existing trees to be removed		Proposed evergreen trees		Palm		Strappy leaved understorey plants		Low shrubs / ornamental grasses		Concrete stepping stones in garden bed		Balustrading/ fence		Concrete
	Existing trees		Proposed Deciduous tree		Tropical planting/ large leaves		Tree Ferns		Screen plants		Flagstones in garden		Water		Proposed levels
									Private open paving		Lawn areas		Walls		Survey lay under
									Common open paving		Timber decking / seating		Stone clad walls		

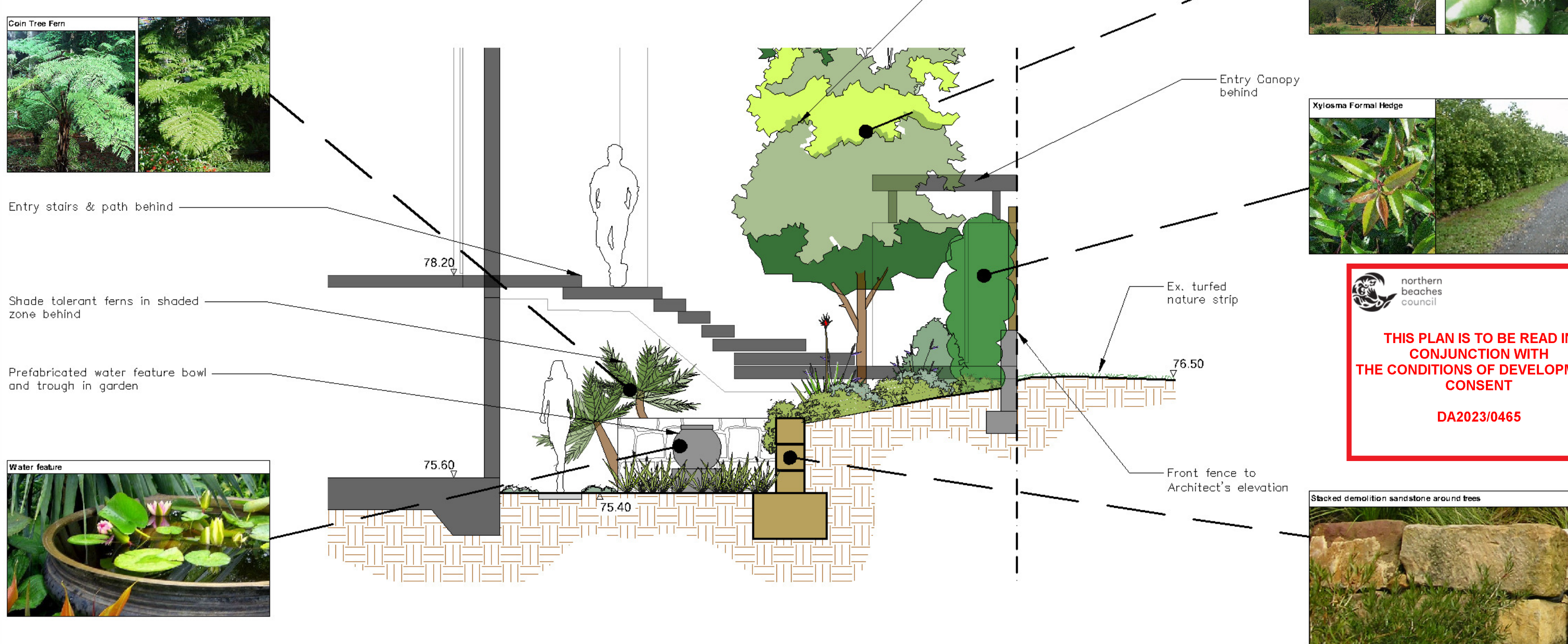
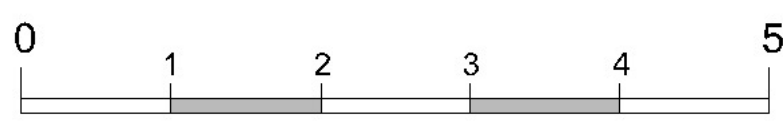
South elevation 1:100 @ A1



East elevation 1:100 @ A1

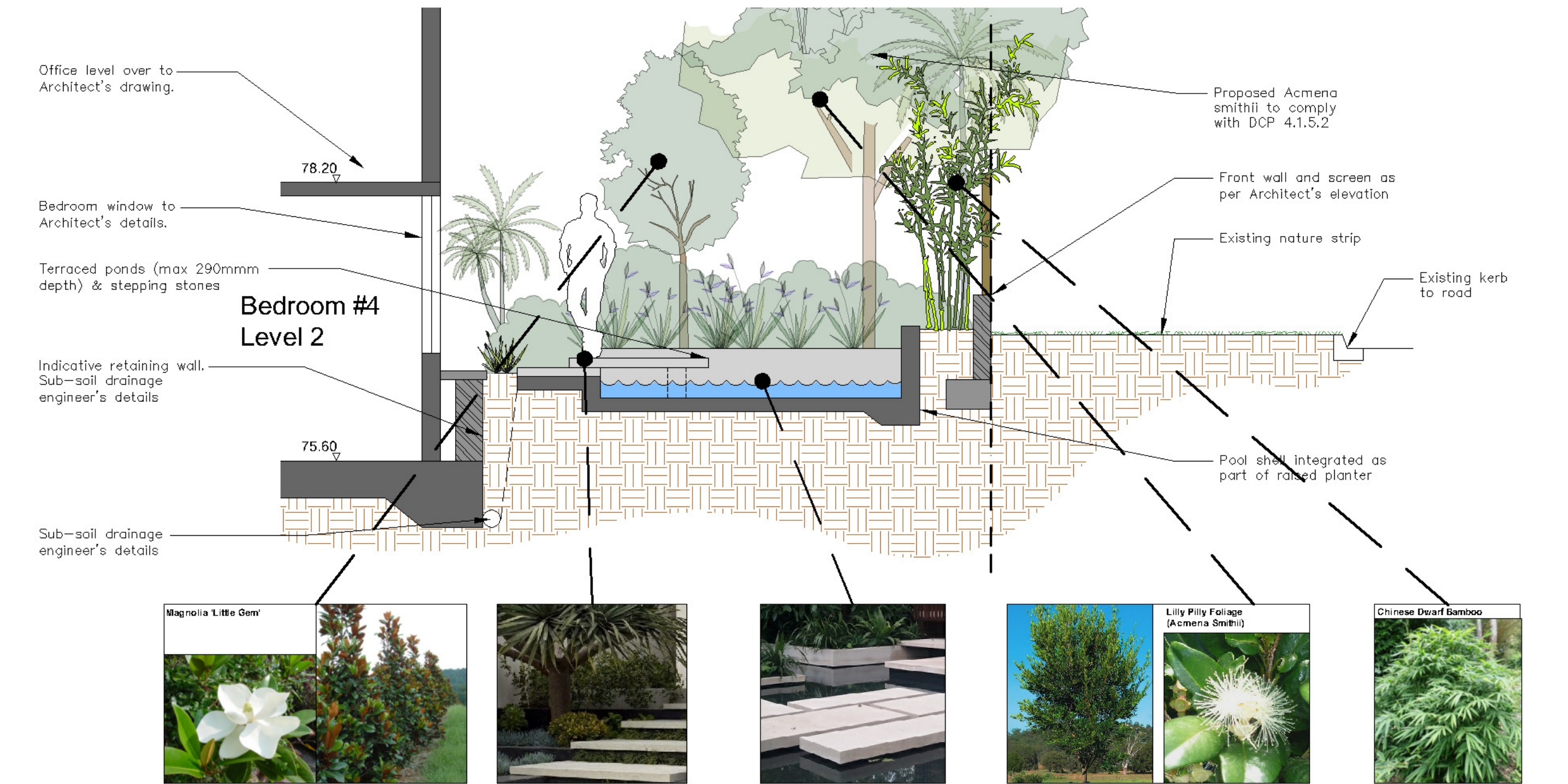
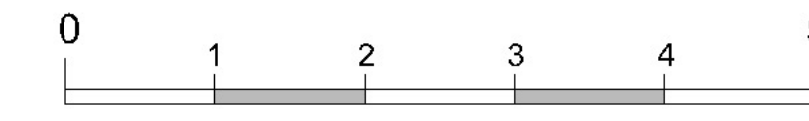


Section AA 1:50 @ A1

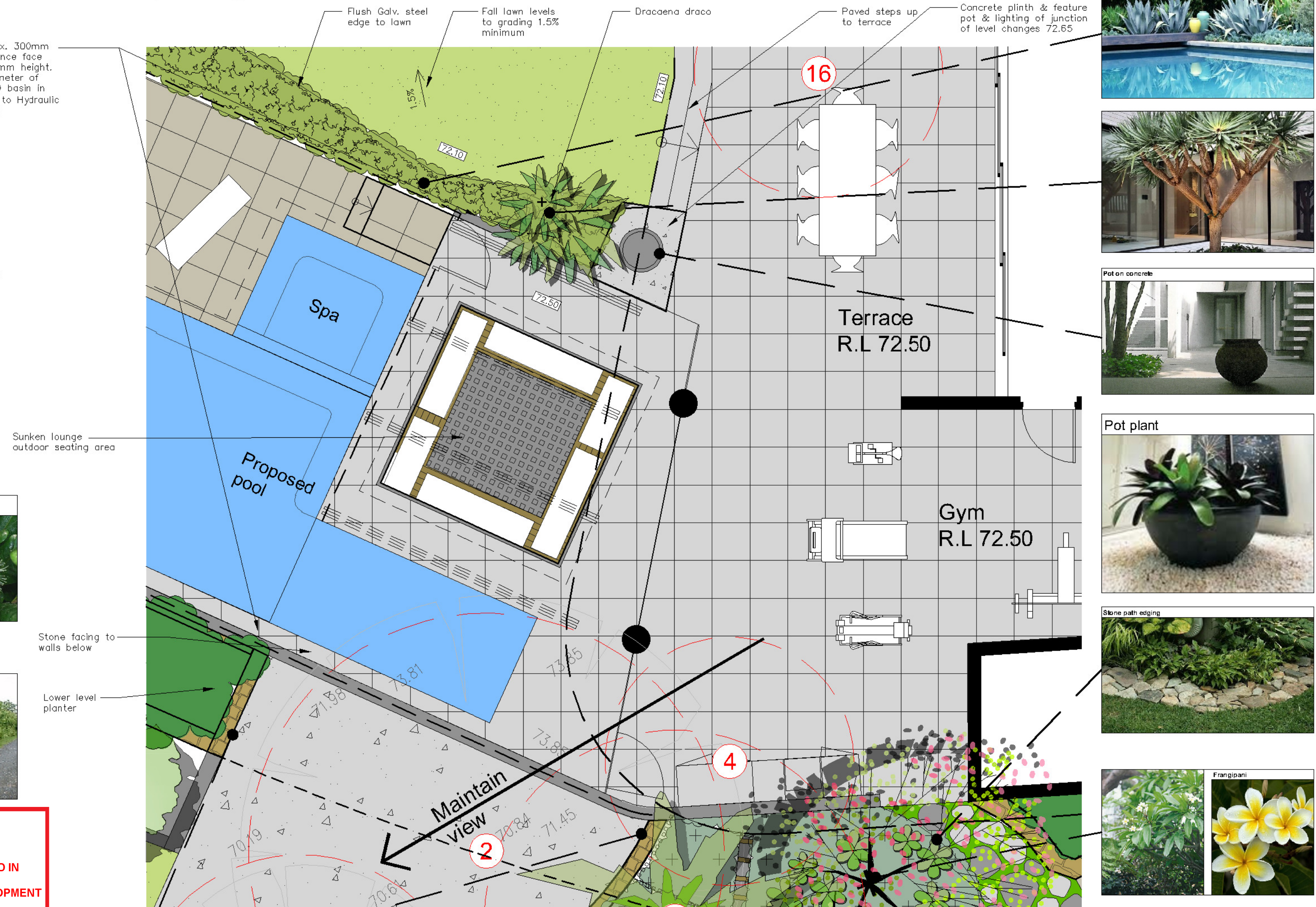
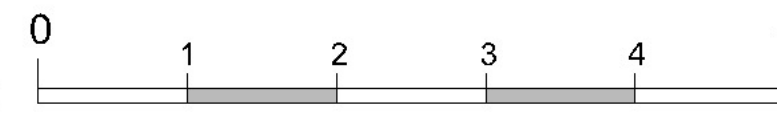


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Section BB 1:50 @ A1

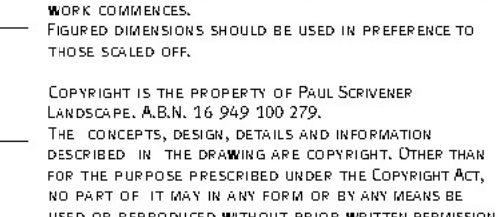


Pool detail plan 1:50 @ A1



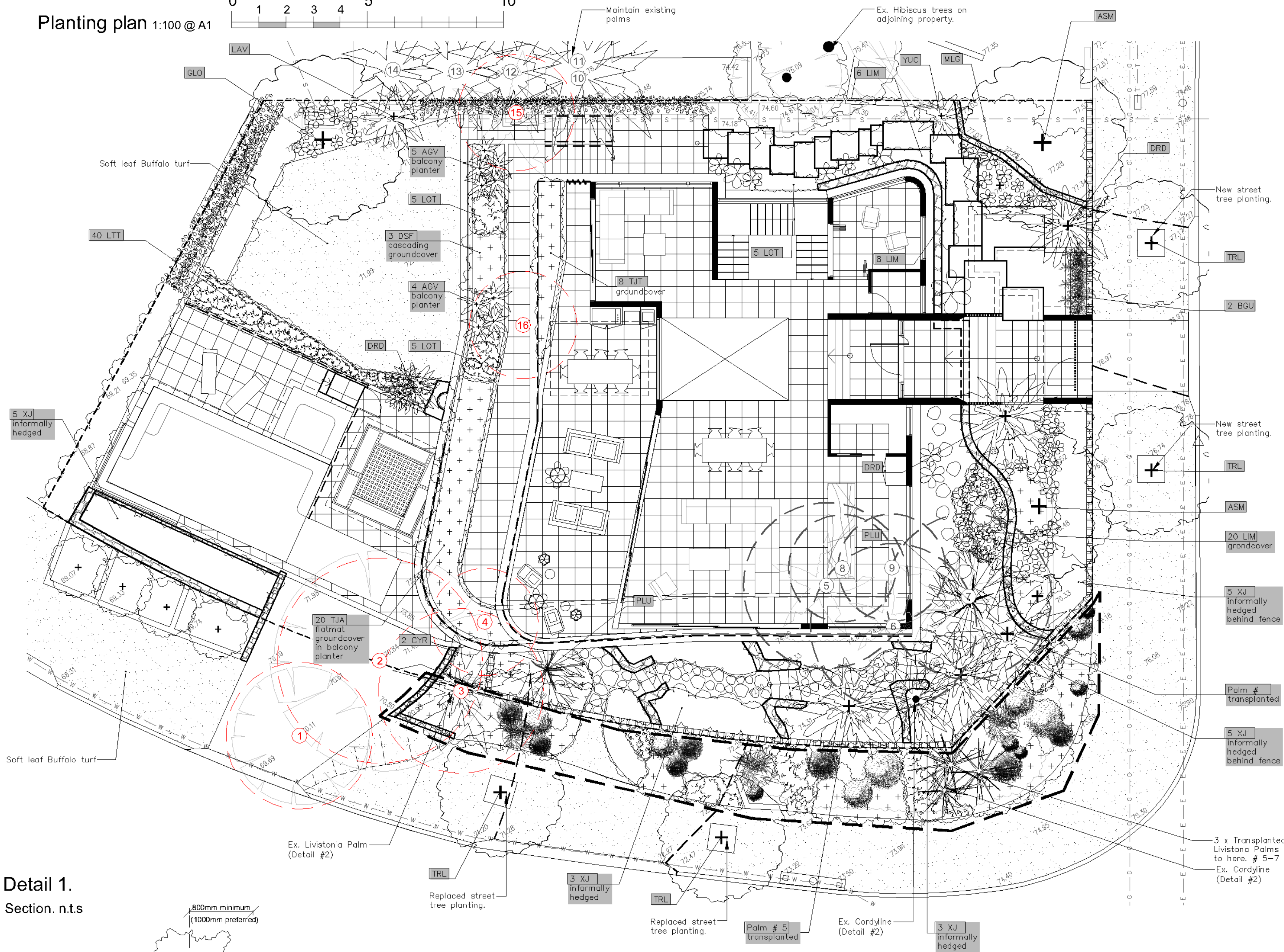
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PROJECT: NEW DWELLING, 1 TABALUM ROAD
BALGOWLAH HEIGHTS LOT 20, SECTION 58, DP 758044
DWG: ELEVATIONS AND DETAIL PLAN

DATE: 1.4.22 SCALE: 1:100 @ A1
JOB REF: 19/2100
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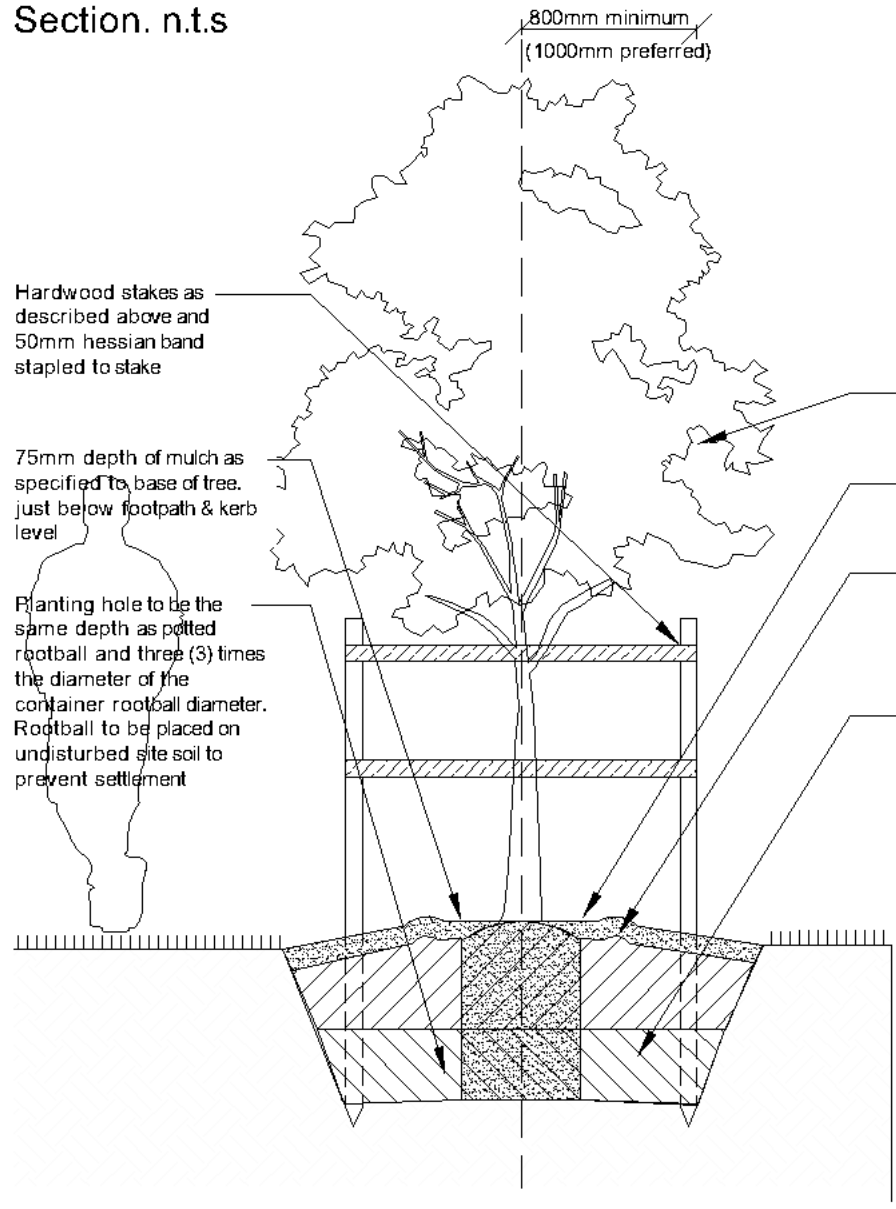


Planting plan 1:100 @ A1

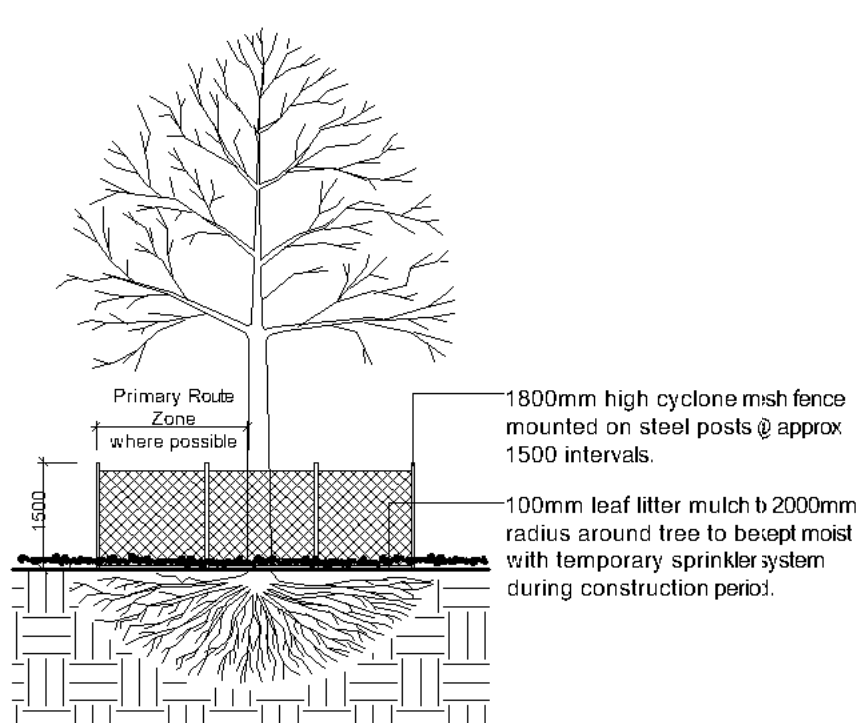
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Detail 1.
Section. n.t.s

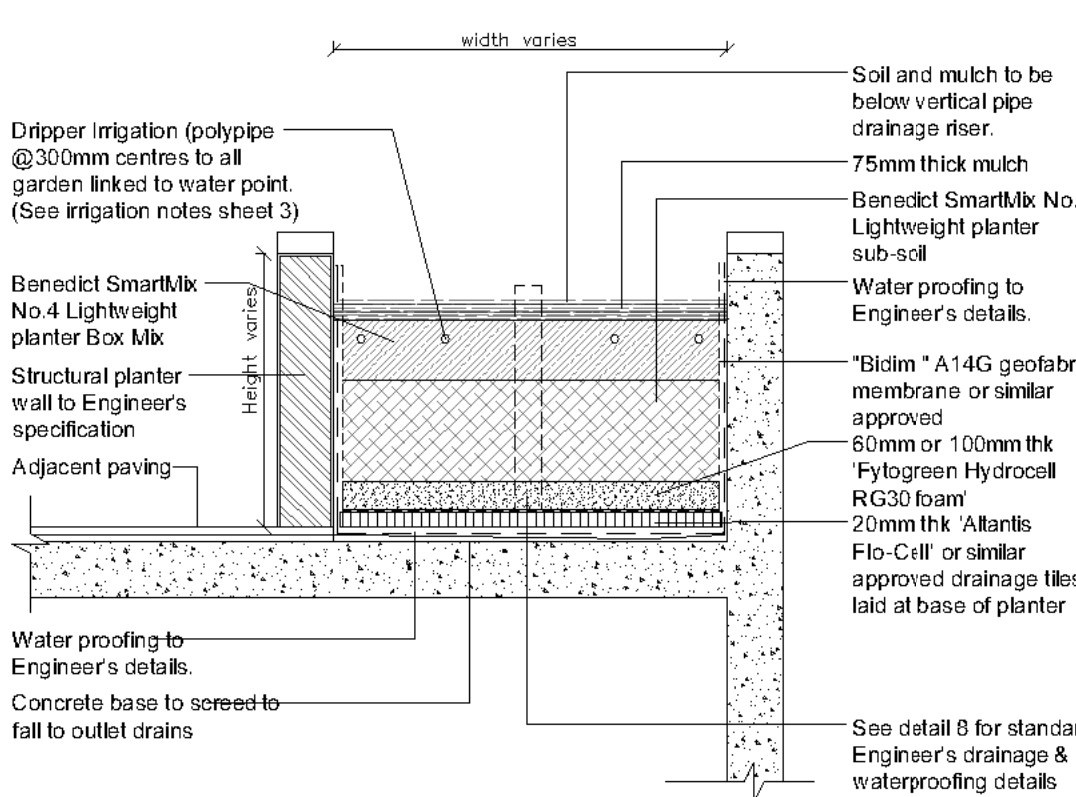


Detail 2.
Tree protection measure
Type 2 n.t.s.

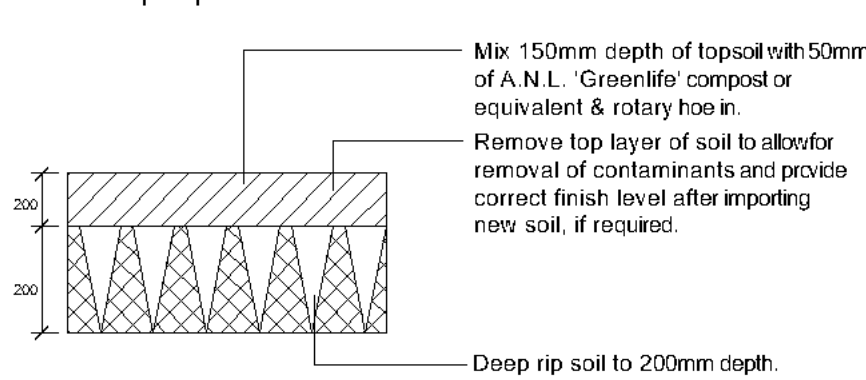


Detail 3.
On structure planter typical soil installation detail n.t.s

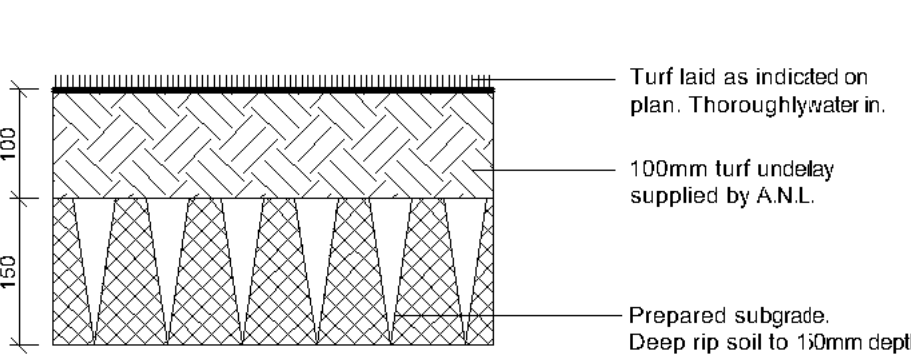
For soil & irrigation methodology only Structural & drainage to relevant Engineers details



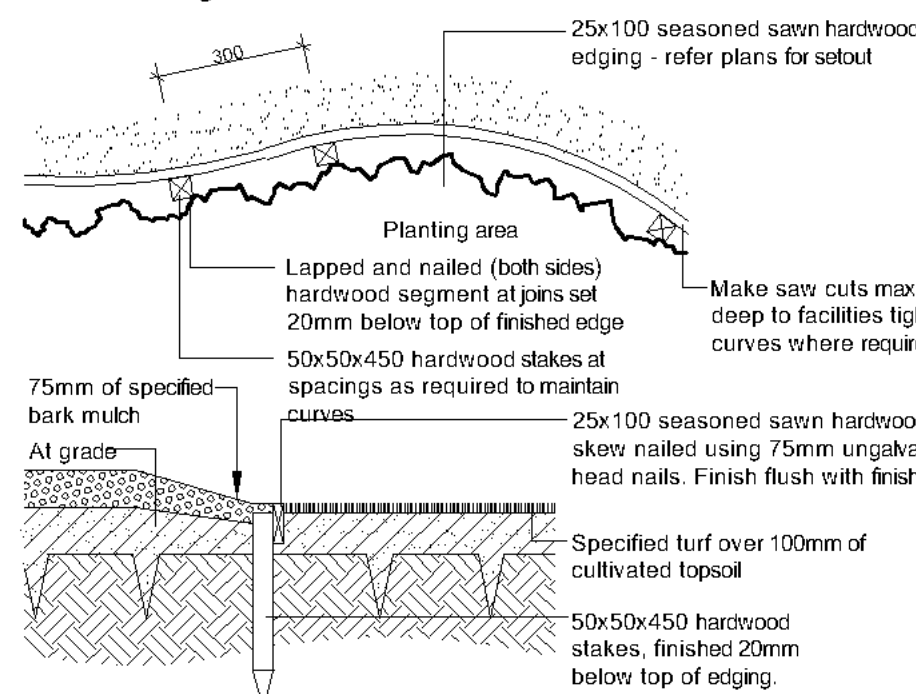
Detail 4.
Soil preparation detail n.t.s.



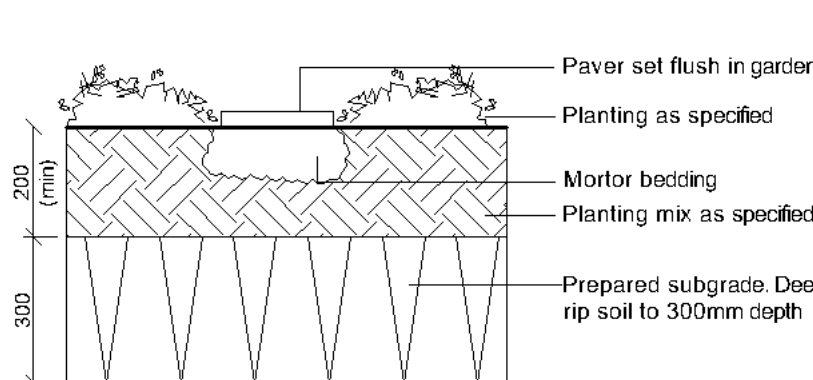
Detail 5.
Turf over soil n.t.s



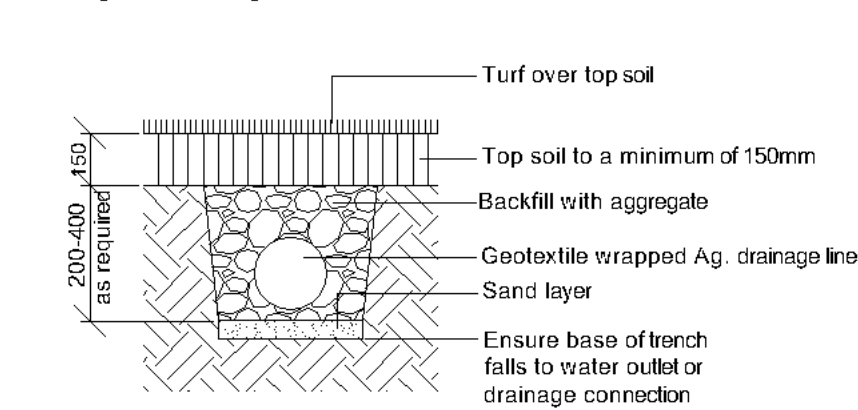
Detail 6.
Timber edge detail n.t.s.



Detail 7.
Stepping stones in garden n.t.s



Detail 8.
Ag. drainage line n.t.s.



Irrigation notes

Automatic drip line watering system to be selected. To extend to all garden areas except lawn areas. To include all raised planter boxes over slab structures. Water supply tap hosecocks to each installed planterbox for separate irrigation lines with battery timers. (To be coordinated with Hydraulic Engineer's details). Drip line supply system only to be incorporated. Contractor is to provide an irrigation design to meet the following requirements.

Generally: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropylene reticulation as required to provide water supply to the nominated areas. To be coordinated with Hydraulic Engineer's plans. To include all bends, junctions, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source for top up valves to rainwater tanks (where applicable).

Irrigation system to be supplied from rainwater tanks as nominated on the Hydraulic Engineer's plans with town water top up system.

Chemical root control: Provide standard chemical root inhibiting chemical cartridge. These are to be industry standard, in-line replaceable cartridges located for easy access for replacement cartridge installation.

Automatic Controller: Provide automatic 2 week timer with four multi-cycle operation for each zone as noted on the irrigation areas plan on sheet 2.

Performance: It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term vitality.

Testing: After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.

Warranty: A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.

Approvals: The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS).

All construction & landscape works to be read in conjunction with Arborist's report prepared by 'Hugh the Arborist'.



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PROJECT: NEW DWELLING, 1 TABALUM ROAD
BALGOWLAH HEIGHTS LOT 20, SECTION 58, DP 758044
DWG: PLANTING PLAN AND DETAILS

DATE: 1.4.22 SCALE: 1:100 @A1
JOB REF: 19/2100
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Planting schedule

Symbol	Botanical name	Common name	Cont. size	Staking	Mature height	No.
Trees						
ASM	Acmena smithii	Lilly Pilly (shade tree in deep soil. Prune lower branches)	75L	3x50x50x1800	8-10 DM	2
GLO	Gleichenia ferdinandii	Cheese Tree (Indigenous medium tree)	75L	3x50x50x1800	8-10 DM	1
PLU	Plumaria acutifolia	Frangipani (small flowering deciduous tree)	45L	2x50x50x1800	3-4 DM	2
TRL	Tristanopsis laurina 'luscious'	Water Gum cultivar (Indigenous small-med tree)	75L	3x50x50x1800	5-7 DM	4
Shrubs / small feature trees						
MLG	Magnolia 'Little Gem'	Little Gem (small ornamental standard tree)	300mm	2x50x50x1800	2.5-3 DM	1
XJ	Xylosma sanctosum (japonicum)	Glossy Xylosma (Screening plant)	300mm	nil	3-4 DM	21
Ferns / Palms / Succulents / ornamental bamboos						
AGV	Agave attenuata	Century plant (striking silky leaved succulent)	200mm	nil	0.5M	9
BGU	Bambusa guangxiensis	Dwarf Chinese Bamboo (ornamental bamboo can be hedged)	200mm	nil	2-3.5M	2
CYR	Cycas revolutum	Sago Palm (striking native low palm like)	300mm	nil	1-1.2M	2
DRD	Dracaena draco	Dragon Tree (striking feature plant)	semi adv.	wire guys	2.5-3.5M	3
LAV	Livistonia australis	Cabbage Palm (all indigenous palm)	semi adv.	wire guys	8-12 DM	1
YUC	Yucca elephantipes	Giant Yucca (multi trunked spiky feature plant)	300mm	nil	1.5M	1
Ground covers/Climbers						
DSF	Dichondra 'Silver Falls'	Silver Falls (cascading groundcover in roof garden)	200mm	nil	0.15M	3
TJA	Trachelospermum asiaticum	Flatrat Star Jasmine (ET01 Ozbreed hybrid groundcover)	200mm	nil	0.2M	20
TRL	Trachelospermum tricolor	Variegated Star Jasmine (variegated colour groundcover)	200mm	nil	0.5M	8
Ornamental grasses/strappy leaved plants						
LIM	Liriope Evergreen Giant	Turf Lily (shade tolerant groundcover)	150mm	nil	0.4M	34
LOT	Lomandra 'Tanika'	Dwarf Mat Rush (native mass planted groundcover)	150mm	nil	0.4M	15
LTT	Lomandra Lime Tuff	Dwarf Lomandra (ornamental grass)	150mm	nil	0.4M	40

Planting schedule species to be sourced from local nurseries supplying plants of local provenance wherever possible. Landscape contractor is to check plant numbers on plan against the schedule prior to submitting tender price. Contact landscape architect if any number discrepancies are found. Council compliance controls require that any substitution of species variety or container size MUST be confirmed with landscape architect to ensure a compliance certificate can be issued that meets the specific development consent conditions of the project.

General construction notes

- Site preparation**
Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works should be carried carefully using hand tools. To ensure the survival and growth of existing trees during landscaping works, protected by fencing or arming where necessary. Trees shall not be removed or topped unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials, within the dripline of existing trees. Vehicular access shall not be permitted within three (3) metres of any tree.
- Soil preparation**
All proposed planting areas to be deep ripped to 200mm (where possible) and clay soils to be treated with clay breaker. Apply at least 200mm depth good quality garden soil mix to all garden planting areas. To comply with AS 4419 Turfed areas to be Soft Leaf Buffalo or Soft Leaf Buffalo to be laid over 150mm good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. To be worked in with rotary hoe except where tree root damage would otherwise occur. In such situations care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees and to comply with the requirements of the Arborist's report. Where planting is to occur in existing soil profiles ensure soil conditions and compact worked into the top 200mm profile. To comply with AS 4454:1999.
- New plantings**
Newly planted trees and large shrubs should be secured to stakes with hessian ties to prevent rocking by wind. Planting holes for plant material should be large enough in size to take root ball with additional space to take back filling of good quality planting mix. (Please note mature heights of planting as shown on planting schedule can vary due to site conditions, locations in constricted deep soil or over slab planters and so forth) Also shallow soils in certain locations may affect planting heights. Nominated heights for plantings in raised planters over slabs are nominated as less than their normal expected heights in acknowledgement of the contained soil environment. For other deep soil trees heights are subject to particular site conditions, and intended hedging or pruning for functional requirements such as available planting width, intended access under branches and solar access.
- Planter boxes & waterproofing**
All slab areas to be waterproofed and 'Atlantis' drainage cell installed with geotextile fabric. Refer Engineer's details for structural details for planter box construction. All internal planter slab levels to fall to drainage outlets as detailed by Stormwater Engineer. Ensure cavity between planter box and building wherever planter joins habitable rooms of building. Keep cavity clear of debris by providing capping row bolted against building. Exterior finishes as per Architects detail. Ensure base of cavity is able to drain via weep holes in event water seeps into cavity so as to not build up against building wall. Containers to be at height as indicated on Architects drawing. All planting containers to have the following:
 - Imperious waterproof membrane along base and up to top of soil level of containers to Engineer's details
 - 'Atlantis' drainage cell (or engineer's approved equivalent at base to be connected to drainage system of development) as per stormwater Engineer's details.
 - A.N.L. planter box soil mix or equivalent. To comply with AS 4419 and AS 4743.Contractor to install all planter box finishes after other site works are completed to ensure no deterioration of waterproofing membrane. Contractor to be responsible for the integrity of the waterproofing of the planter boxes throughout construction and installation period.
 - All planter boxes are to have automatic dripline irrigation system. Connecting pipes to be installed during construction of planters and to be coordinated with all Engineer's details
- Mulching**
All planting areas to be mulched with a minimum 75mm thick cover of recycled hard wood chip mulch and then all plant areas to be thoroughly soaked with water. To comply with AS 4454.
- Fertiliser**
All planting areas to be fertilised with 9 month NPK slow release fertiliser.
- Staking**
To those plants indicated on the planting schedules provide: hardwood stakes as nominated and driven into ground to a depth able to achieve rigid support.
- Lawn edging**
All ground level garden beds adjacent to site boundary or paved areas to have edging as nominated on the plans.
- Turfing**
Turfed nature strip areas to be Soft Leaf Buffalo or Soft Leaf Buffalo 'shademaster' (as nominated on plans) to be laid over 100mm good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation.
- Structural**
All structural details whatsoever to Engineer's details. All drainage and waterproofing details to Engineers details.

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