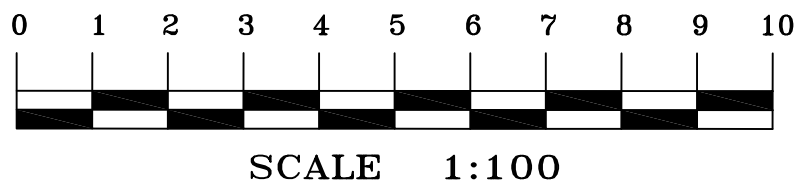


TITLE INDICATES THAT LOT 62 IN D.P.14682 IS SUBJECT TO:  
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS(S).



**LEGEND:**

BL = BALCONY  
BIT = BITUMEN  
BW = BOTTOM WALL  
BLD = EXTERNAL BUILDING  
CL = CENTRELINE  
CH = CHIMNEY  
CON = CONCRETE  
DS = DOOR SILL LEVEL  
FCE = FENCE  
HL = HOOD LEVEL  
IL = INVERT LEVEL  
NS = NATURAL SURFACE  
PAR = PARAPET  
PAT = PATIO  
PAV = PAVING  
PIT = TOP OF PIT  
PP = POWER POLE  
RF = TOP OF ROOF  
RR = ROOF RIDGE  
SIP = SEWER INSPECTION PIT  
SMH = SEWER MAN HOLE  
SHD = SHED  
SL = SILL LEVEL  
STR = STAIRS  
TEL = TELSTRA  
TG = TOP OF GUTTER  
TW = TOP WALL  
TR = TREE

—E— = ELECTRICITY OVERHEAD  
—S— = SEWER UNDERGROUND

TREE  
SPREAD-DIAMETER-HEIGHT

- NOTES**
- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
  - WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
  - IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
  - THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
  - TREE SIZES ARE ESTIMATES ONLY.
  - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF VERONICA STEVENS.
  - RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
  - EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
  - ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (ph 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
  - SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
  - CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
  - CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
  - CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
  - POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
  - THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
  - DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
  - COPYRIGHT © CMS SURVEYORS 2022.
  - NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
  - ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
  - THIS NOTICE MUST NOT BE ERASED.

MURRAY LEARMONT  
REGISTERED SURVEYOR BOSSI NUMBER 1462.

**HORIZONTAL DATUM:**  
CO-ORDINATE SYSTEM: ASSUMED  
MARKS ADOPTED: N/A

**VERTICAL DATUM:**  
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)  
B.M. ADOPTED: PM 16502  
R.L. 2.474 (CLASS L3)  
SOURCE: S.C.I.M.S. (06/04/2017)

I FIRST ISSUE 20/06/2022

**CLIENT:**  
**VERONICA STEVENS**  
**No.72 CABRAMATTA ROAD**  
**MOSMAN, NSW, 2088**

**BOUNDARY IDENTIFICATION**  
**AND DETAIL & LEVEL SURVEY**  
**OVER LOT 62 IN DP14682**  
**No.13 ILUKA ROAD**  
**PALM BEACH, NSW, 2108**

**C.M.S. Surveyors**  
**Pty Limited**  
ACN: 096 240 201  
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Facsimile: (02) 9971 4822  
E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES SHEET 1 OF 1			
SURVEYED PB/JT	DRAWN GP/MC	CHECKED JT	APPROVED RM
SURVEY INSTRUCTION 16889A		SCALE 1:100 A1 1:200 A3	DATE OF SURVEY 15/06/2022
DRAWING NAME <b>16889A detail</b>			ISSUE 1
CAD FILE 16889A detail 1.dwg			