Rapíd Plans www.rapídplans.com.au

P.O. Box 6193 Frenchs Forest DC NSW 2086

Fax: (02) 9905-8865 Mobile: 0414-945-024

Email: gregg@rapidplans.com.au

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet		-
DA1001	A4 NOTIFICATION PLAN	1	- 4/05/21
DA1002	SITE SURVEY	1	- 4/05/21
DA1003	SITE PLAN	1	- 4/05/21
DA1004	Existing Lower Ground Floor Plan	1	- 4/05/21
DA1005	Existing Ground Floor Plan	1	- 4/05/21
DA1006	Existing First Floor Plan	1	- 4/05/21
DA1007	Demolition Lower Ground Floor Plan	1	- 4/05/21
DA1008	Demolition Ground Floor Plan	1	- 4/05/21
DA1009	Demolition First Floor Plan	1	- 4/05/21
DA1010	Excavation & Fill Plan	1	- 4/05/21
DA1011	Landscape Open Space Plan Existing	1	- 4/05/21
DA1012	Landscape Open Space Plan Proposed	1	- 4/05/21
DA1013	Landscape Plan Lower Ground Floor	1	- 4/05/21
DA1014	Landscape Plan First Floor	1	- 4/05/21
DA1015	Sediment & Erosion Plan	1	- 4/05/21
DA1016	Waste Management Plan	1	- 4/05/21
DA1017	Stormwater Plan	1	- 4/05/21
DA2001	GARAGE	1	- 4/05/21
DA2002	STUDIO	1	- 4/05/21
DA2003	GROUND FLOOR	1	- 4/05/21
DA2004	FIRST FLOOR	1	- 4/05/21
DA2005	SECOND FLOOR	1	- 4/05/21
DA2006	ROOF	1	- 4/05/21
DA3000	SECTION 1	1	- 4/05/21
DA3001	SECTION 2	1	- 4/05/21
DA3002	SECTION DRIVE	1	- 4/05/21
DA4000	ELEVATIONS 1	1	- 4/05/21
DA4001	ELEVATIONS 2	1	- 4/05/21
DA4002	ELEVATIONS 3	1	- 4/05/21
DA4003	ELEVATIONS 4	1	- 4/05/21
DA4004	ELEVATION FRONT FENCE	1	- 4/05/21
DA5000	PERSPECTIVE	1	- 4/05/21
DA5001	MATERIAL & COLOUR SAMPLE BOARD	1	- 4/05/21
DA5002	Shadow Plan 21 Jun at 0900h	1	- 4/05/21
DA5003	Shadow Plan 21 Jun at 1200h	1	- 4/05/21
DA5004	Shadow Plan 21 Jun at 1500h	1	- 4/05/21
DA5005	WALL ELEVATION SHADOWS	1	- 4/05/21



DEVELOPMENT APPLICATION

Alterations & Additions

To Existing Residence

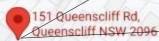
For Jasmine Tan & Domenico Capogreco

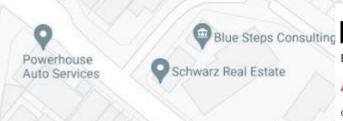
153 Queenscliff Road, Queenscliff 2096

Lot 13 D.P.300716

Project Number: RP0320TAN







Blue Steps Consulting BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A415449_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

ecretary

Date of issue: Tuesday, 31, August 2021

To be valid, this certificate must be lodged within 3 months of the date of issue







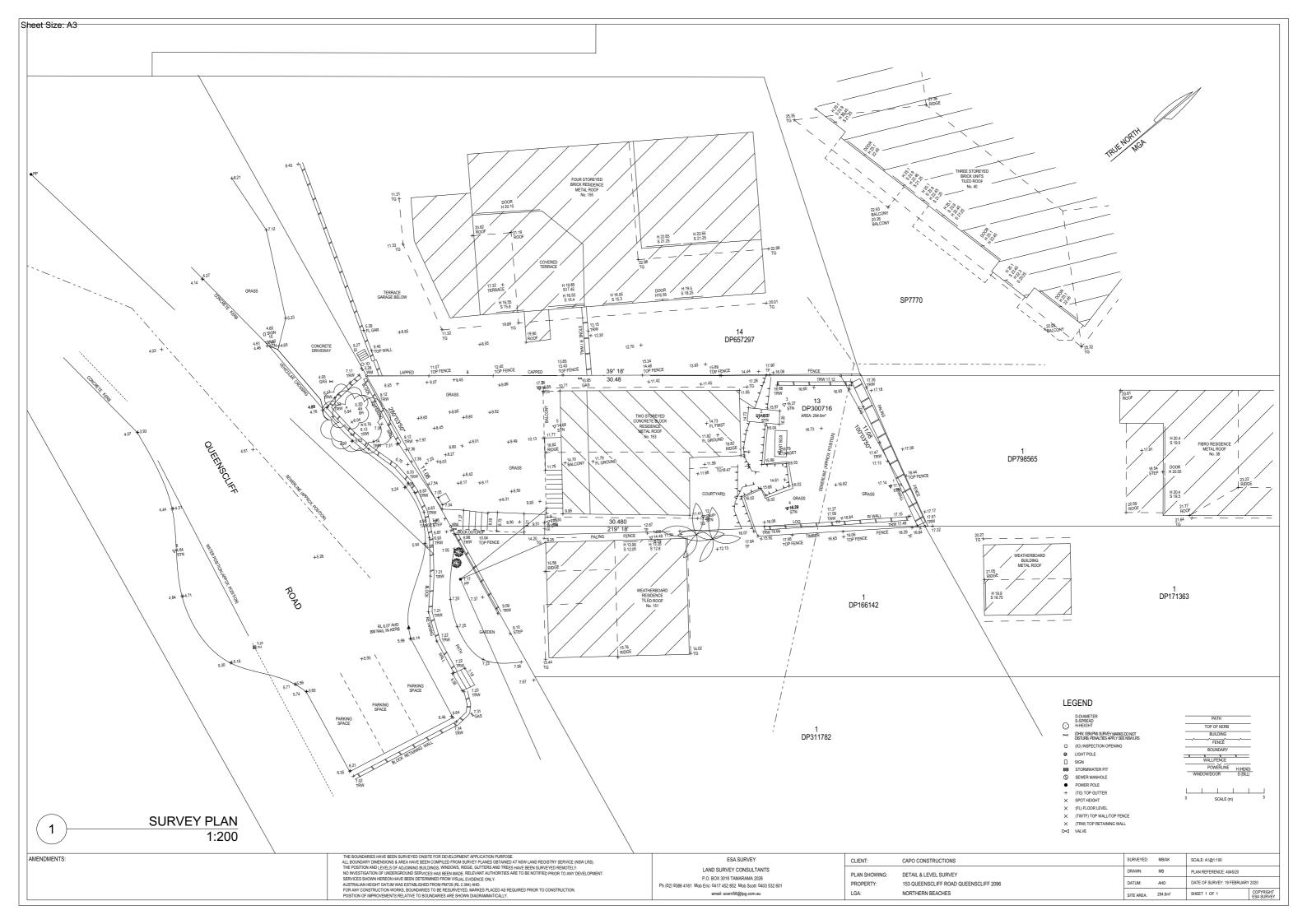


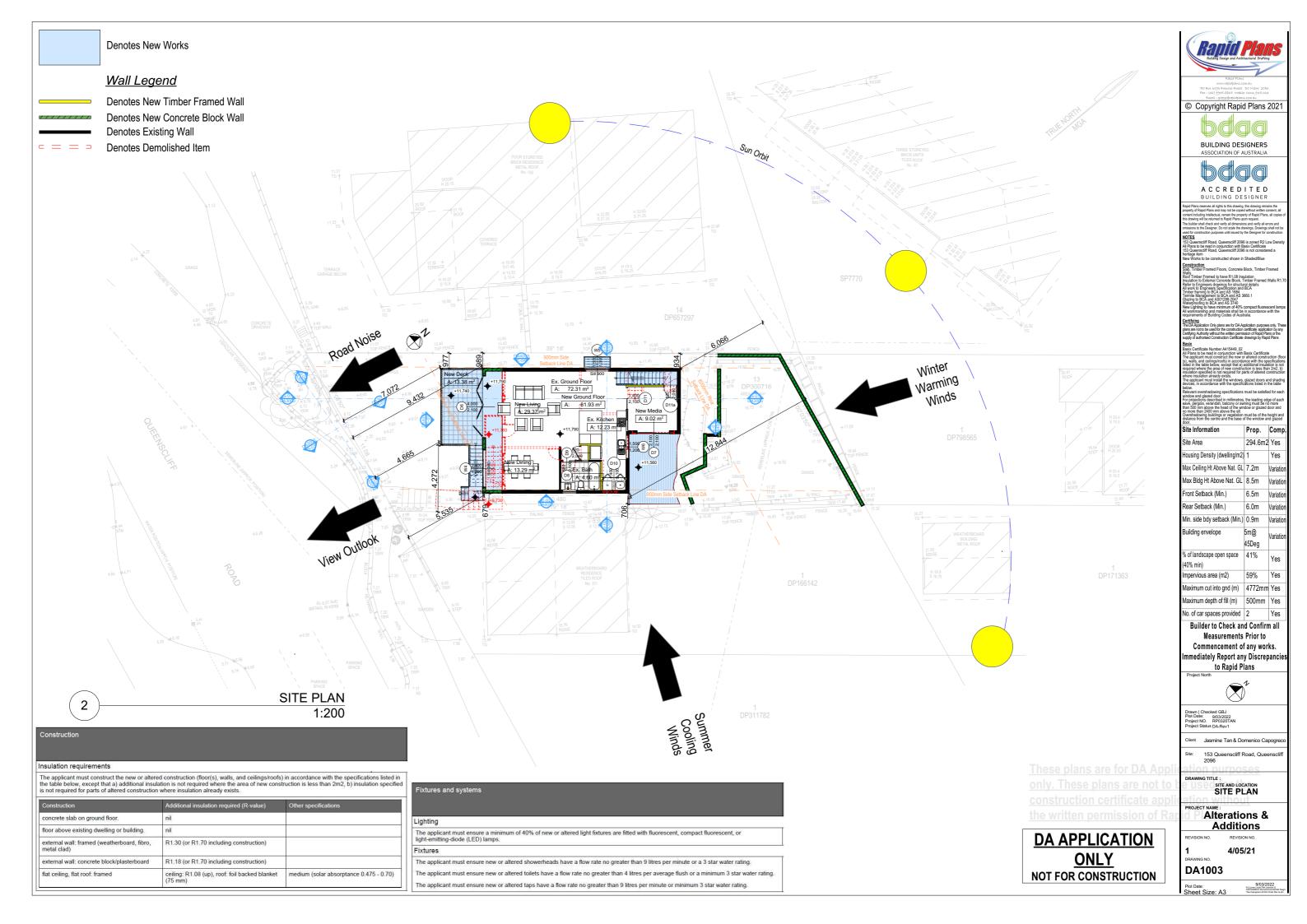
Project name	Tan-Capogreco_02
Street address	153 Queenscliff Road Queenscliff 2096
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 300716
Lot number	13
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more and does not include a pool (and/or spa).

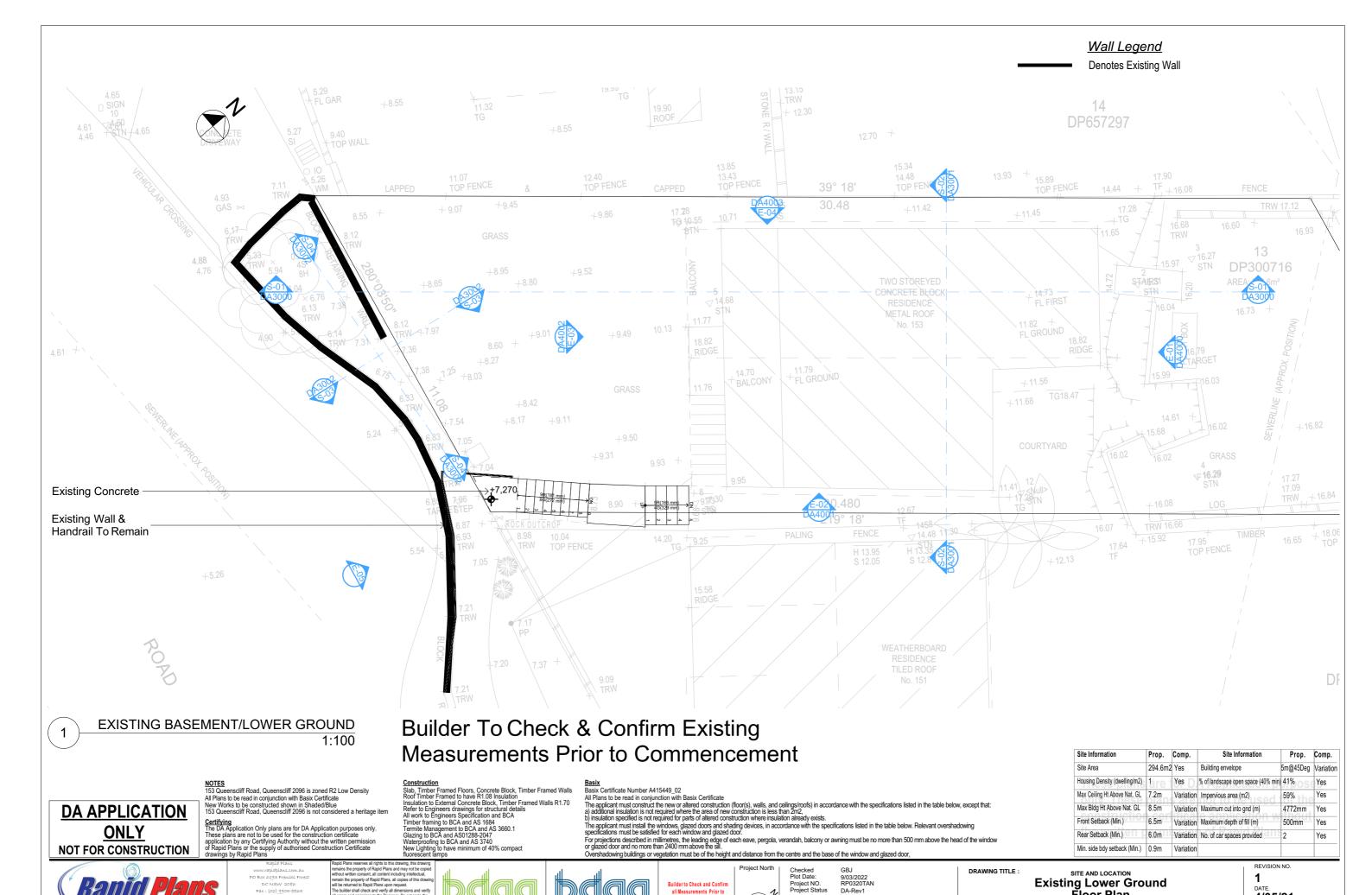
Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592







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ACCREDITED

BUILDING DESIGNER

Discrepancies to Rapid Plans

DATE. 4/05/21

DA1004

Floor Plan

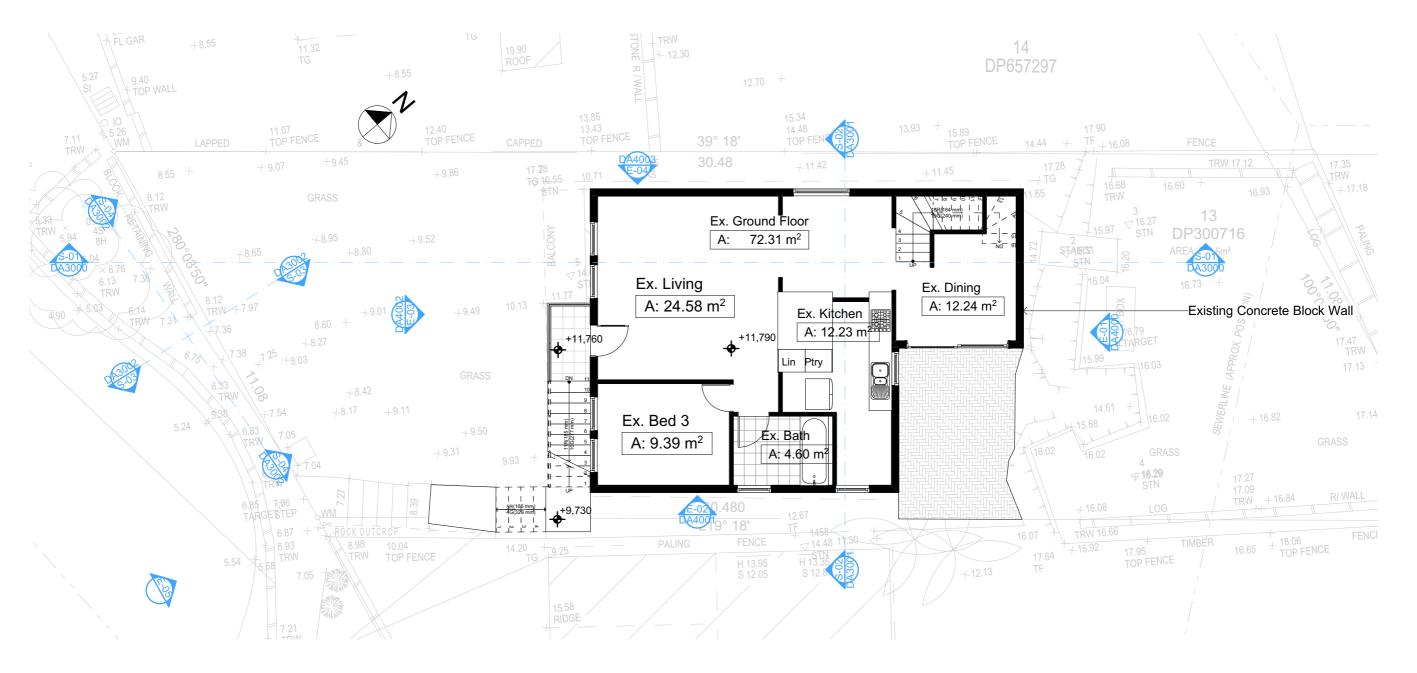
Alterations & Additions

Jasmine Tan & Domenico Capogreco

153 Queenscliff Road.

Queenscliff 2096

PROJECT NAME



EXISTING GROUND FLOOR 2 1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not conside

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate descriptions by Ranid Plans.

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 3740
Neterproofing to BCA and AS 3740
New Lightling to have minimum of 40% compact New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications lia additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table bels specifications must be satisfied for each window and glazed doors.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above th or glazed door and no more than 2400 mm above the sill.

DRAWING TITLE :	SITE AND LOCATION			REVISION 1	NO.	
	Min. side bdy setback (Min.)	0.9m	Variation			
ne head of the window	Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
ershadowing	Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
below, except that:	Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
	Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes

294.6m2 Yes

Housing Density (dwelling/m2) 1 Yes % of landscape open space (40% min) 41%

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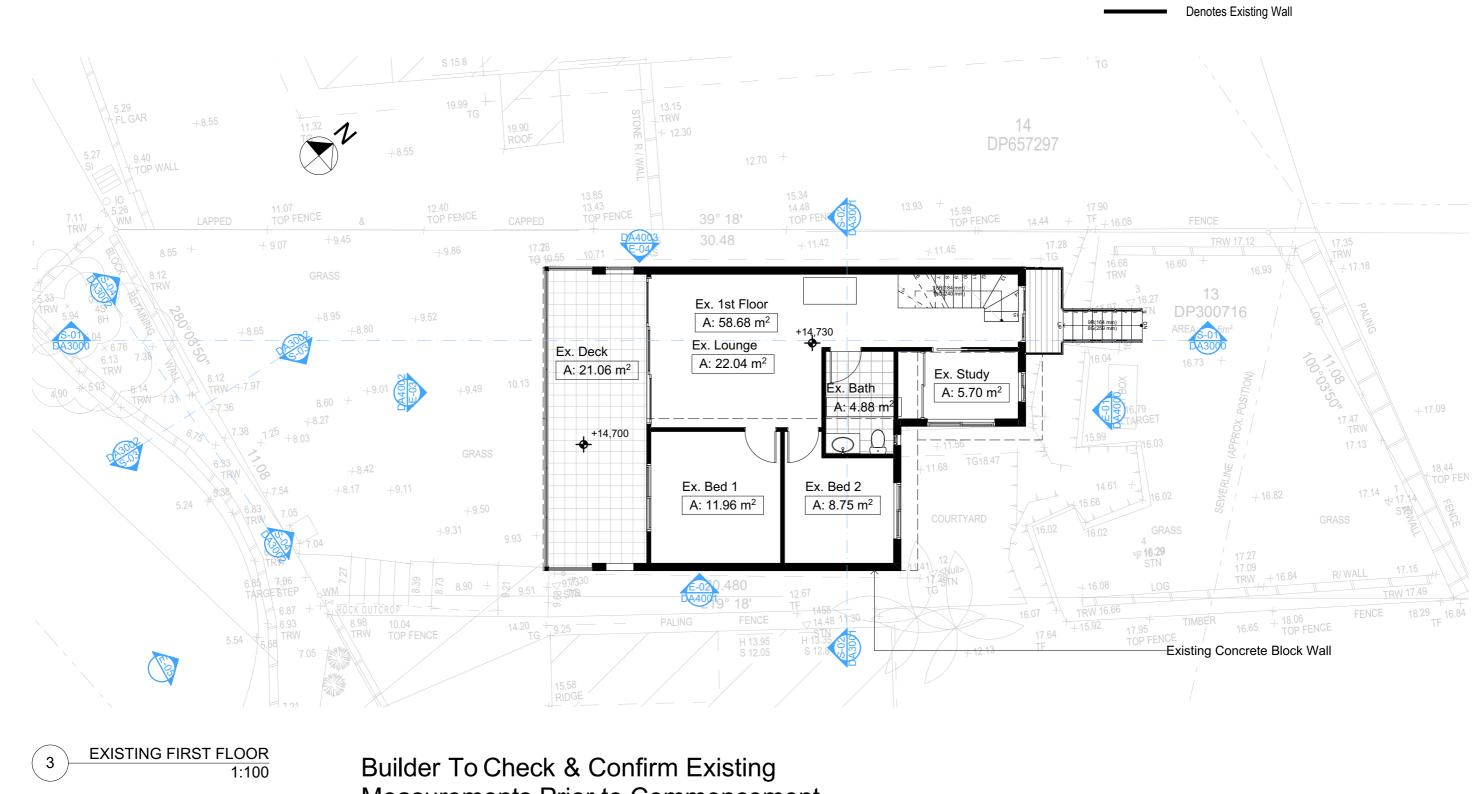




Plot Date: Project NO. Project Status	9/03/2022 RP0320TAN DA-Rev1
Client	Jasmine Tan & Domenico Capogreco
Site:	153 Queenscliff Road,
	Queenscliff 2096
Sheet Size:	A3

Existing Ground Floor Plan **Alterations & Additions** DATE. 4/05/21 **DA1005**

5m@45Deg Variation



Measurements Prior to Commencement

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not conside

Certifying
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Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1.08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 0188-047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact

New Lighting to have minimum of 40% compact fluorescent lamps

Basix Certificate Number A415449_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

or glazed door and no more than 2400 mm above the sill.	
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glaz	red

Site Information	Prop.	Comp.	Site Information	Prop.	Comp. Variation	
Site Area	294.6m2	Yes	Building envelope	5m@45Deg		
Housing Density (dwelling/m2)	are f	Yes	% of landscape open space (40% min)	41% os	Yes	
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes	
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes	
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes	
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes	
Min. side bdy setback (Min.)	0.9m	Variation				

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roject North	
	-

9/03/2022 RP0320TAN DA-Rev1

Jasmine Tan & Domenico Capogreco 153 Queenscliff Road.

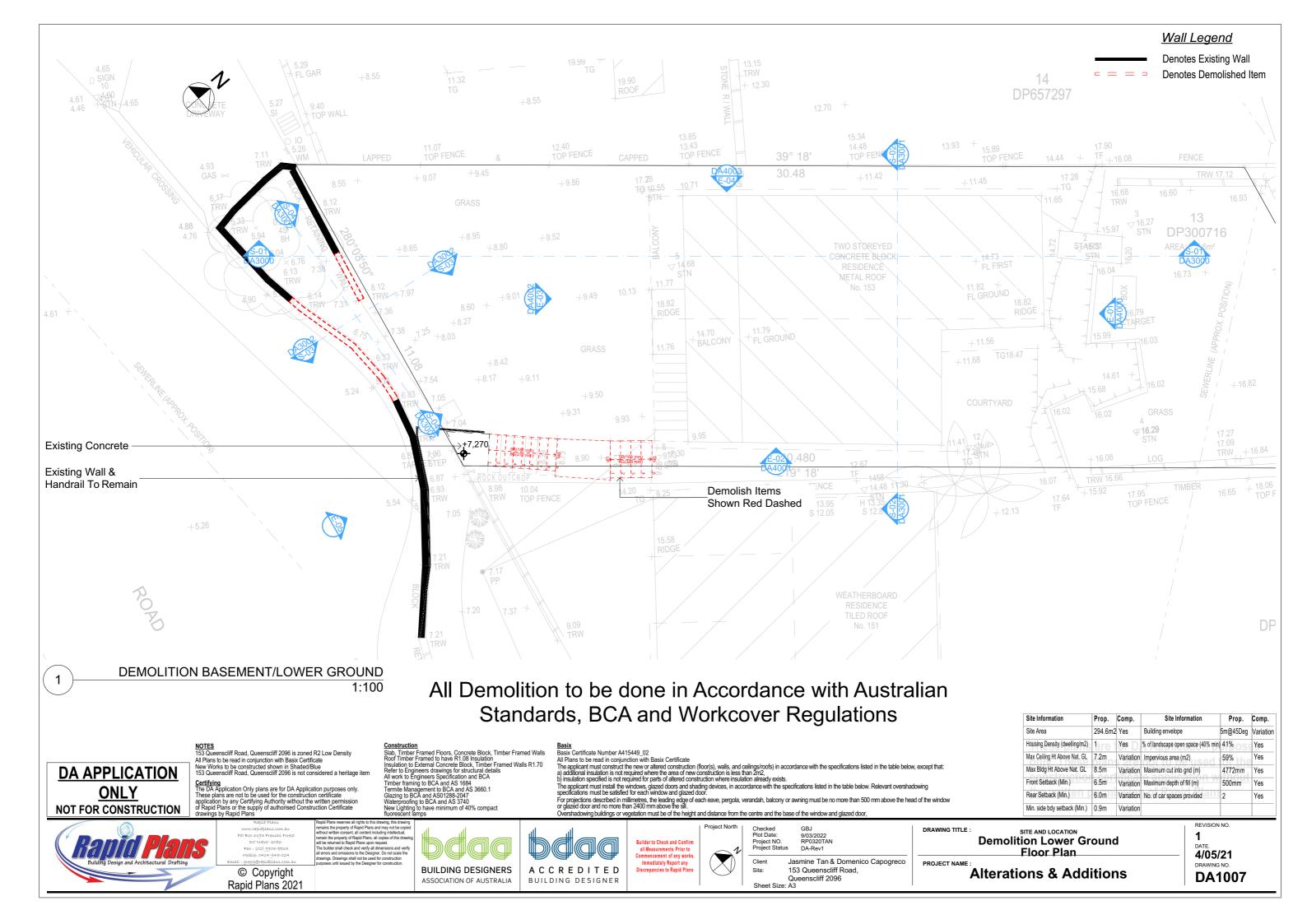
DRAWING TITLE : SITE AND LOCATION

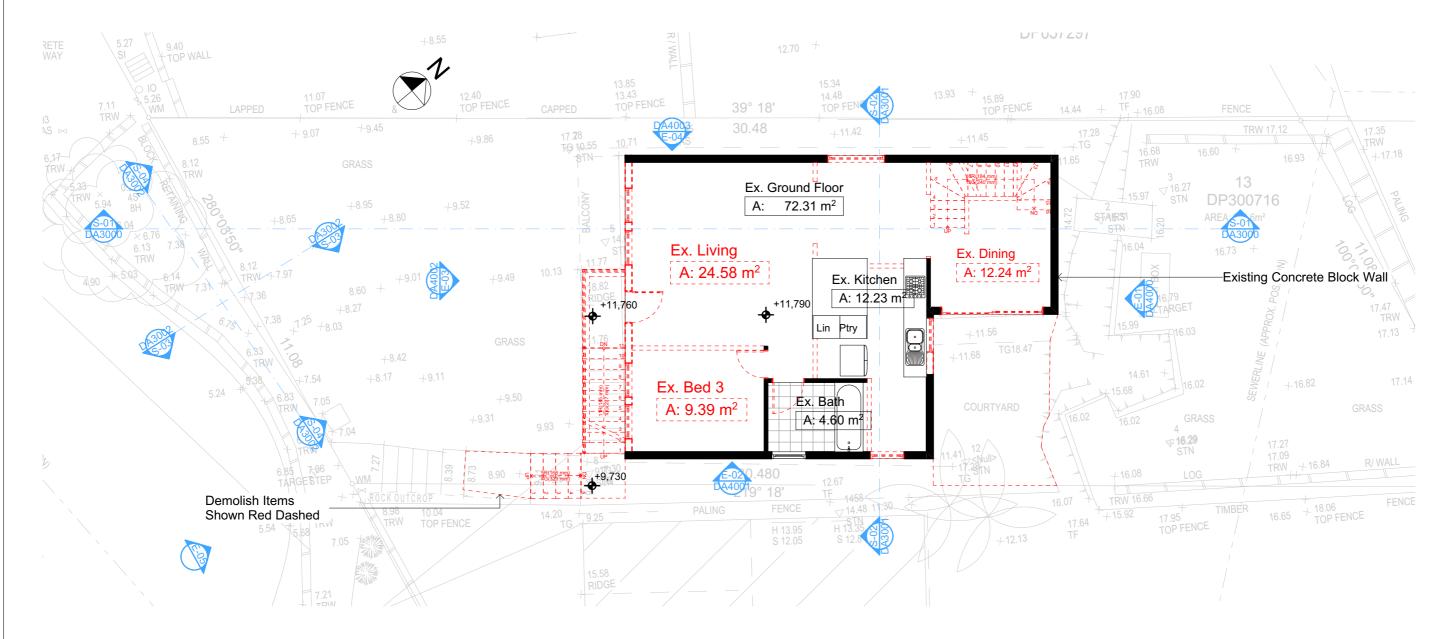
Existing First Floor Plan PROJECT NAME

Alterations & Additions

Wall Legend

REVISION NO. DATE. 4/05/21 **DA1006**





DEMOLITION GROUND FLOOR

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density 133 Queensciiii Road, Queensciiii 2000 is 20160 n.c. All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 153 Queenscliff Road, Queenscliff 2096 is not conside

Certifying
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Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls
Roof Timber Framed to have R1 08 Insulation
Insulation to External Concrete Block, Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2047
Waterproofing to BCA and AS 3740
New Lightling to have principum of 40% compact New Lighting to have minimum of 40% compact fluorescent lamps

Basix Certificate Number A415449_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specification a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below, specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Rapiding Design and Architectural Drafting

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Checked	GBJ
Plot Date:	9/03/2022
Project NO.	RP0320TAN
Project Status	DA-Rev1
Client	Jasmine Tan & Domenico Capogreco
Site:	153 Queenscliff Road,
	Queenscliff 2096
Sheet Size:	A3

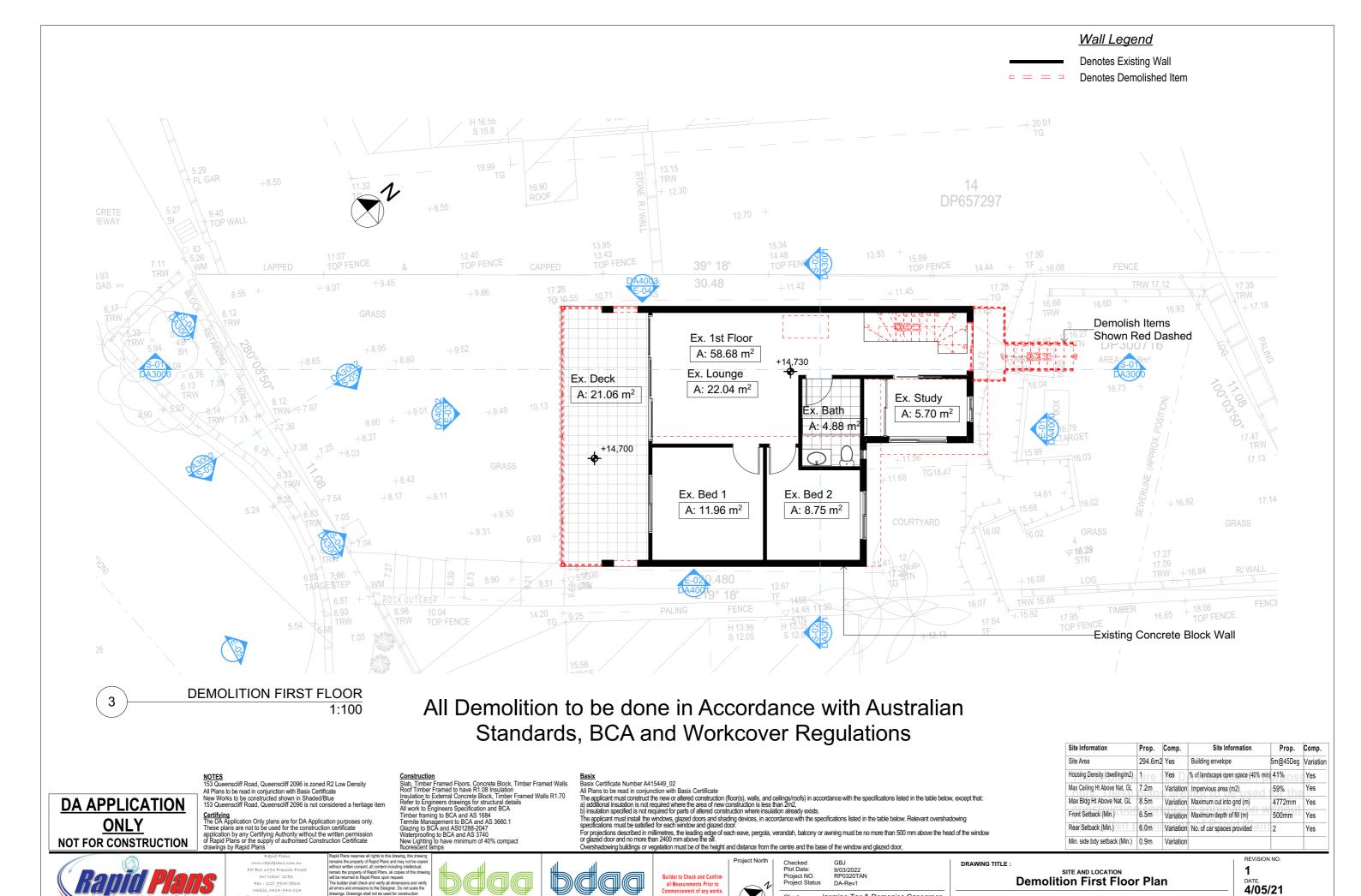
% of landscape open space (40% min) 41% 4772mm Yes Yes Variation Maximum depth of fill (m) 500mm 6.0m Variation No. of car spaces provided Yes Min. side bdy setback (Min.) 0.9m Variation REVISION NO.

Prop. Comp.

294 6m2 Yes

DRAWING TITLE : **Demolition Ground Floor** Plan PROJECT NAME **Alterations & Additions** DATE. 4/05/21 **DA1008**

5m@45Deg Variation



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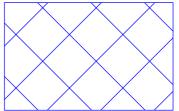
Jasmine Tan & Domenico Capogreco

Alterations & Additions

DA1009

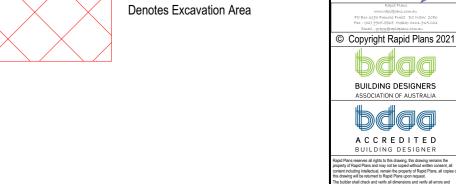
153 Queenscliff Road.

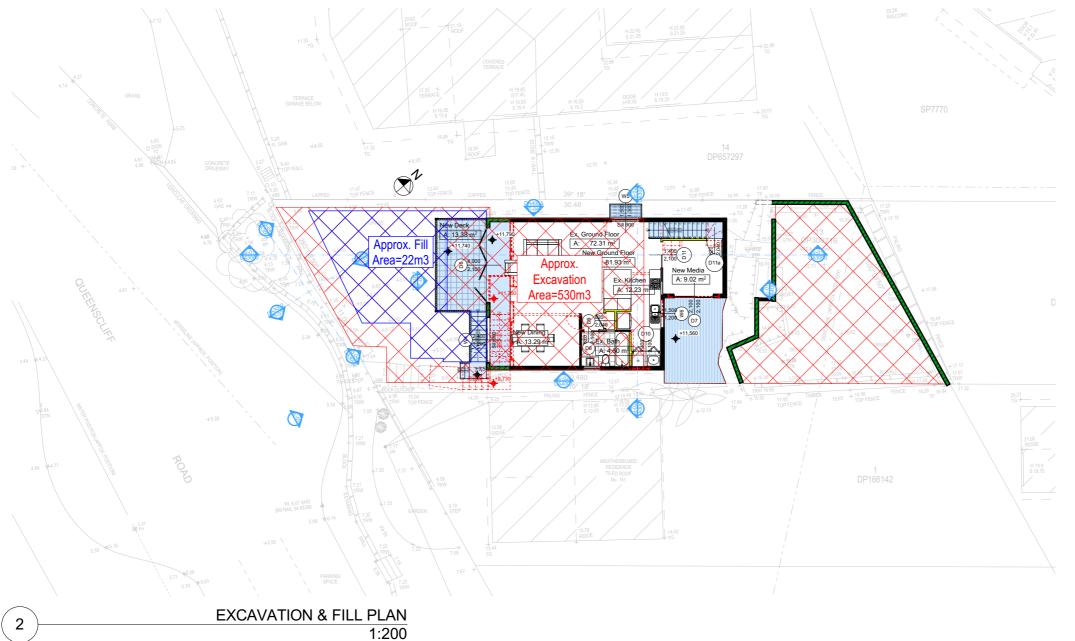
Queenscliff 2096



Denotes Fill Area







DA APPLICATION ONLY NOT FOR CONSTRUCTION



Prop. Com 294.6m2 Yes ousing Density (dwelling/m2) 1 Max Ceiling Ht Above Nat. GL 7.2m Front Setback (Min.) 6.5m 6.0m Rear Setback (Min.) Min. side bdy setback (Min.) 0.9m 45Deg % of landscape open space 41% (40% min) mpervious area (m2)

No. of car spaces provided 2 Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancies

to Rapid Plans

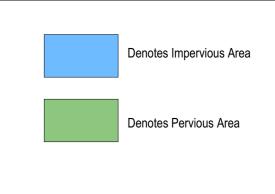
ient Jasmine Tan & Domenico Capogreo

DRAWING TITLE:
SITE AND LOCATION
Excavation & Fill Plan

Alterations &

Additions

4/05/21





Rapid Plans
Dulling Design and Architectural Drafting

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bdaa

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NOTES

153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Der All Plans to be read in conjunction with Basix Certificate 153 Queenscliff Road, Queenscliff 2096 is not considered a heritane item.

ritage item
sw Works to be constructed shown in Shaded/Blue

b. Timber Framed Floors, Concrete Block, Timber Framed III
of Timber Framed to have R1.08 insulation
to External Concrete Block, Timber Framed Walls R1.1
dation to External Concrete Block, Timber Framed Walls R1.1
work to Engineers Standington and BCA, before the Standington and BCA, before Time to BCA and AS 1984.
mittle Management to BCA and AS 394.
tertproofful to BCA and AS 394.

Lighting to have minimum of 40% compact nucrescent tamps orkmanship and materials shall be in accordance with the irements of Building Codes of Australia.

Iffying

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six Certificate Number A415449, 02 Plans to be read in conjunction with Basix Certificate e applicant must construct the new or altered construction walls, and ceilings/roofs) in accordance with the specified of in the table below, except that a) additional insulation

insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For principions described in millimetres, the leading edge of each state of the part of the principion of the part of the principion of the parts of th

ow and giazed ooor, projections described in millimetres, the leading edge of each rojections, verandah, balcory or awning must be no more 500 mm above the head of the window or glazed door and nore than 2400 mm above the sill. shadowing buildings or vegetation must be of the height and ince from the centre and the base of the window and glazed

 Site Information
 Prop.
 Comp

 Site Area
 294.6m2
 Yes

 Housing Density (dwelling/m2)
 1
 Yes

 Max Ceiling Ht Above Nat. GL
 7.2m
 Variatio

 Max Bldg Ht Above Nat. GL
 8.5m
 Variatio

 Front Setback (Min.)
 6.5m
 Variatio

 Min. side bdy setback (Min.)
 0.9m
 Variatio

 Min. side bdy setback (Min.)
 0.9m
 Variatio

 45Deg
 Variatio
 Ves

 % of landscape open space (40% min)
 41%
 Yes

 Maximum cut into gnd (m)
 4772mm
 Yes

 Maximum depth of fill (m)
 500mm
 Yes

 No. of car spaces provided
 2
 Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

Project North

Drawn | Checked GBJ Plot Date: 9/03/2022 Project NO. RP0320T. Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogreo

ite: 153 Queenscliff Road, Queenscliff 2096

DRAWING TITLE THE AND LOCATION

Landscape Open Space

Plan Existing

Alterations &

Additions
ISION NO. REVISION NO.

4/05/21 RAWING NO.

DA1011

ONLY

NOT FOR CONSTRUCTION

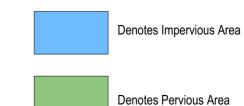
Plot Date: 9/03/2022

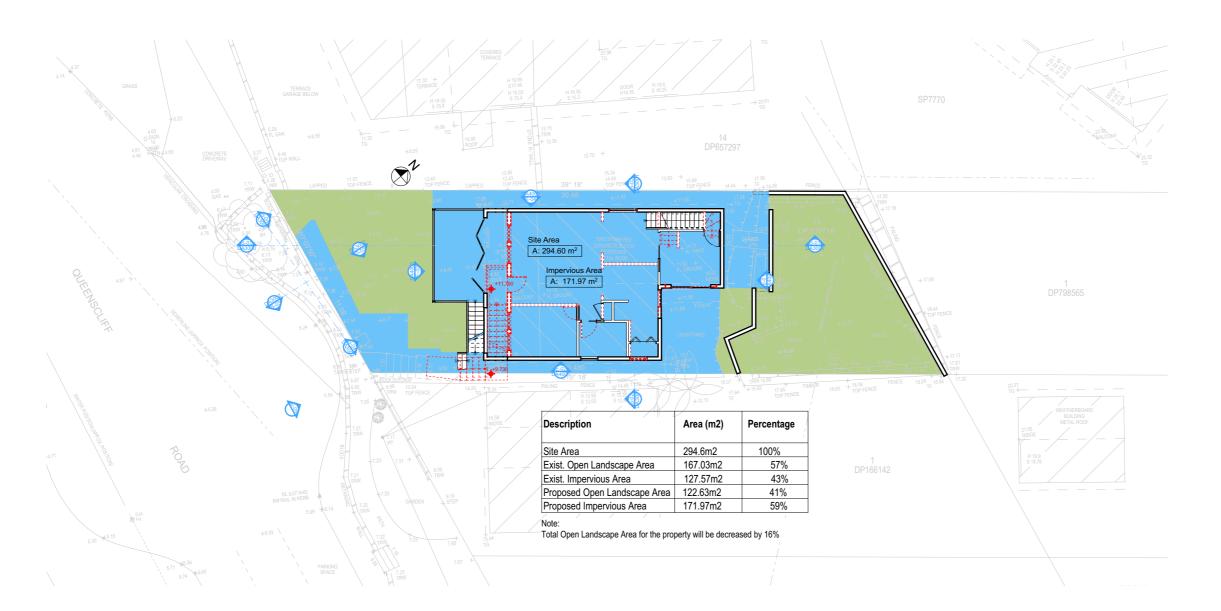
Plot Date: Properties (1987)

Sheet Size: A3

Plot Date: Properties (1987)

Properties





LANDSCAPE OPEN SPACE PROPOSED 1:200

2

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DA APPLICATION
ONLY
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Fax: (02) 9905-8865 Mobile: 0414-945-024
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153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Dens All Plans to be read in conjunction with Basix Certificate 153 Queenscliff Road, Queenscliff 2096 is not considered a heritage item

eritage item iew Works to be constructed shown in Shaded/Blue

Instruction.

Ja, Timber Framed Floors, Concrete Block, Timber Framed do, Timber Framed to have R 1.08 Insulation suitant Concrete Block, Timber Framed Walls R1.7 fetr to Engineers drawings for structural dotains work to Engineers Specification and BCA work to Engineers Specification and BCA unable Management to BCA and AS 3680.1 acrite Management Manag

New Lighting to have minimum of 40% compact fluorescent lamps All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia. Certifying

trying.

A Application Only plans are for DA Application purposes only. These are not to be used for the construction certificate application by any ying Authority without the written permission of Rapid Plans or the yol authorised Construction Certificate drawings by Rapid Plans

six six Certificate Number A415449_02 Plans to be read in conjunction with Basix Certific

All Plans to be read in conjunction with Basix Certificate The applicant must construct he new or altered construction (floot (s), walls, and ceilingstroofs) in accordance with the specifications lasted in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of allered construction where insulation already exists.

The applicant must install the windruse clazed dross and shading

selow.

Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each awa, pergoda, verandah, balcomy or awning must be no more han 500 mm above the head of the window or glazed door and no more than 2400 mm above the head of the sill.

Overshadowing buildings or vegetation must be of the height at digitance from face certifie and the base of the window and glazzed Stite Information

Site Area

294.6m2

Yes

Housing Density (dwelling/m2)

Max Ceiling Ht Above Nat. GL

7.2m

Variation

Max Bldg Ht Above Nat. GL

6.5m

Variation

Front Setback (Min.)

Rear Setback (Min.)

Min. side bdy setback (Min.)

0.9m

Variation

Building anyselone

5m@

Proint setback (Min.) 6.5m Variating Rear Setback (Min.) 6.0m Variating Min. side bdy setback (Min.) 0.9m Variating Building envelope 5m@ 45Deg 7% of landscape open space (40% min) 7% 4772mm 7% 47

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

Project North

Plot Date: 9/03/2022 Project NO. RP0320TAI Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogred

Site: 153 Queenscliff Road, Queenscl

DRAWING TITLESTITE AND LOCATION

Landscape Open Space

Plan Proposed

Plan Proposed
PROJECT NAME:
Alterations &

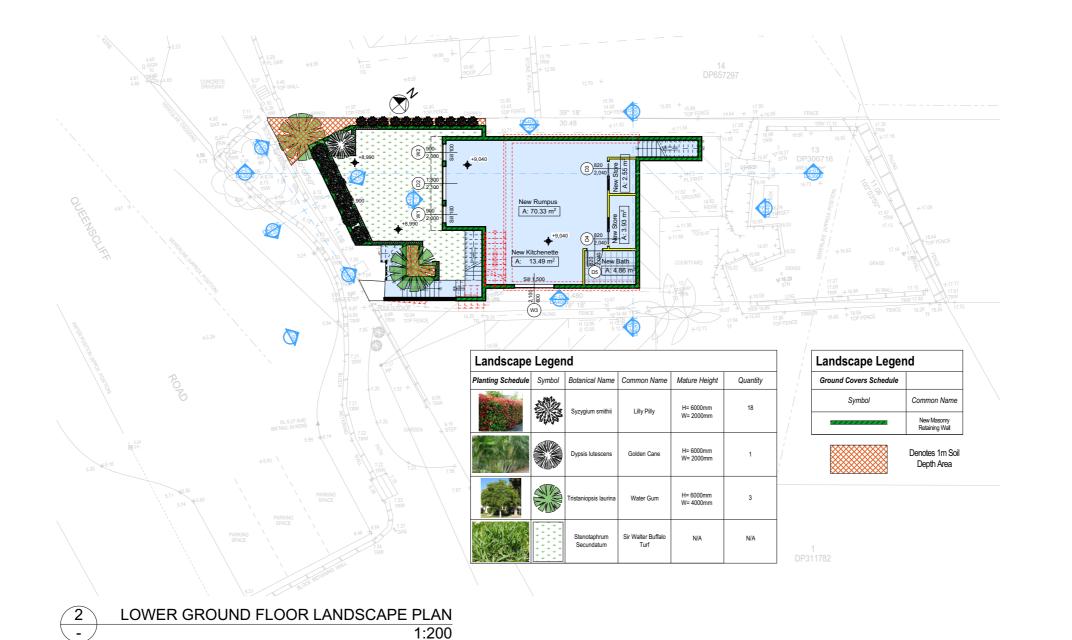
Alterations & Additions

1 4/05/21

DA1012

DA1012

of Date: 9// Deet Size: A3





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Prop. Comp 294.6m2 Yes Max Ceiling Ht Above Nat. GL 7.2m ront Setback (Min.) Rear Setback (Min.) 6.0m Min. side bdy setback (Min.) 0.9m 45Deg % of landscape open space 41% (40% min) npervious area (m2)

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancies

No. of car spaces provided 2

to Rapid Plans

ient Jasmine Tan & Domenico Capogre

DRAWING TITLE THE AND LOCATION

Landscape Plan Lower

Ground Floor

Alterations &

Additions

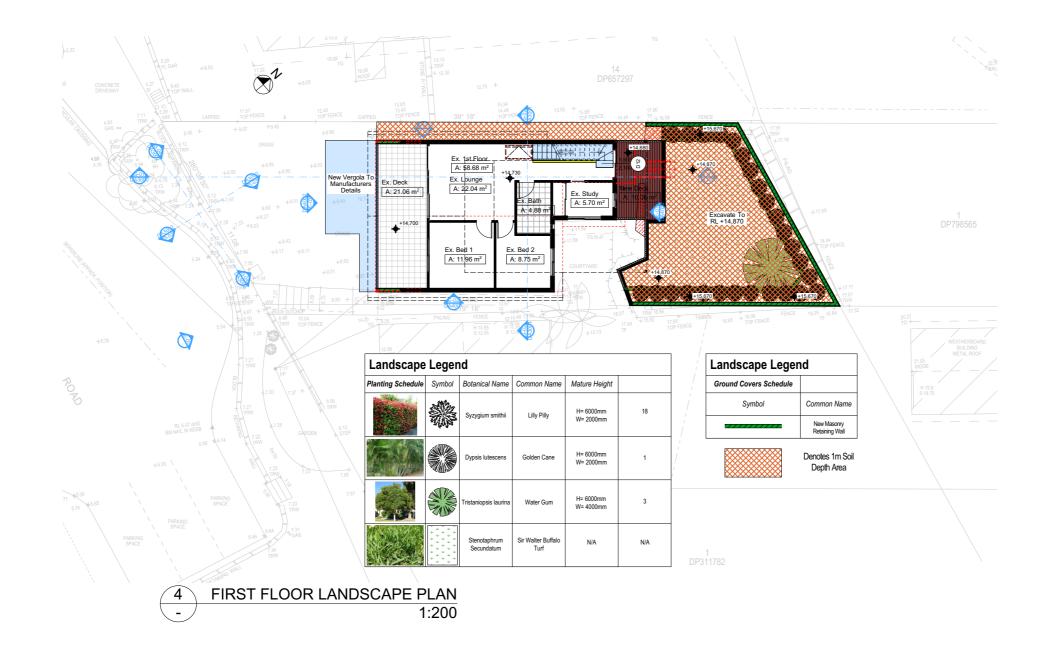
4/05/21

DA1013

DA APPLICATION

ONLY

NOT FOR CONSTRUCTION





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Prop. Com 294.6m2 Yes Max Ceiling Ht Above Nat. GL 7.2m ront Setback (Min.) 6.5m 6.0m Rear Setback (Min.) Min. side bdy setback (Min.) 0.9m 45Deg % of landscape open space 41% (40% min) pervious area (m2)

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancies

No. of car spaces provided 2

to Rapid Plans

ient Jasmine Tan & Domenico Capogre

Landscape Plan First

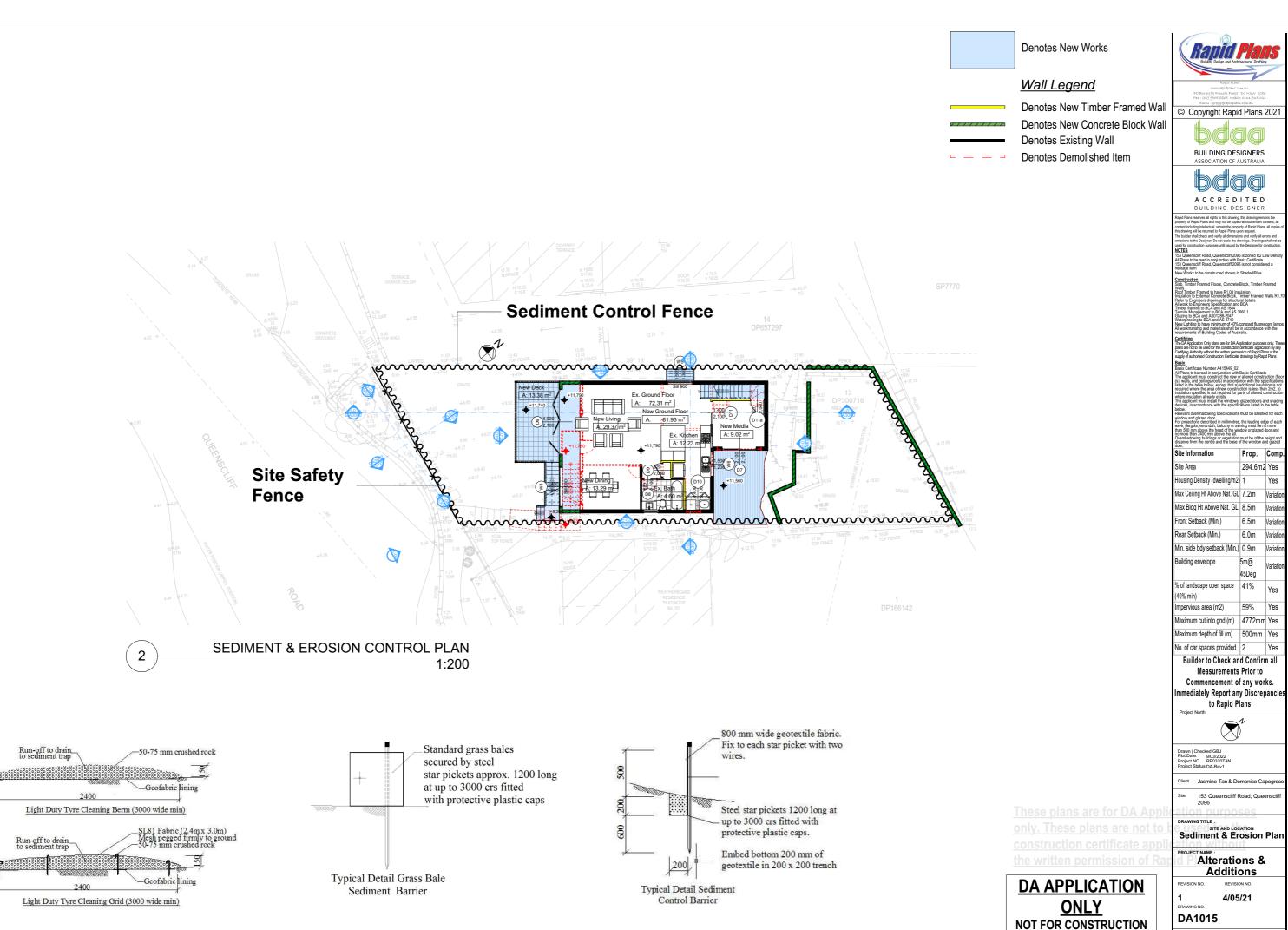
Alterations & **Additions**

DA APPLICATION

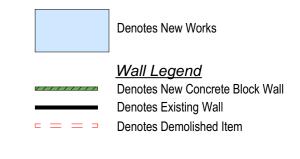
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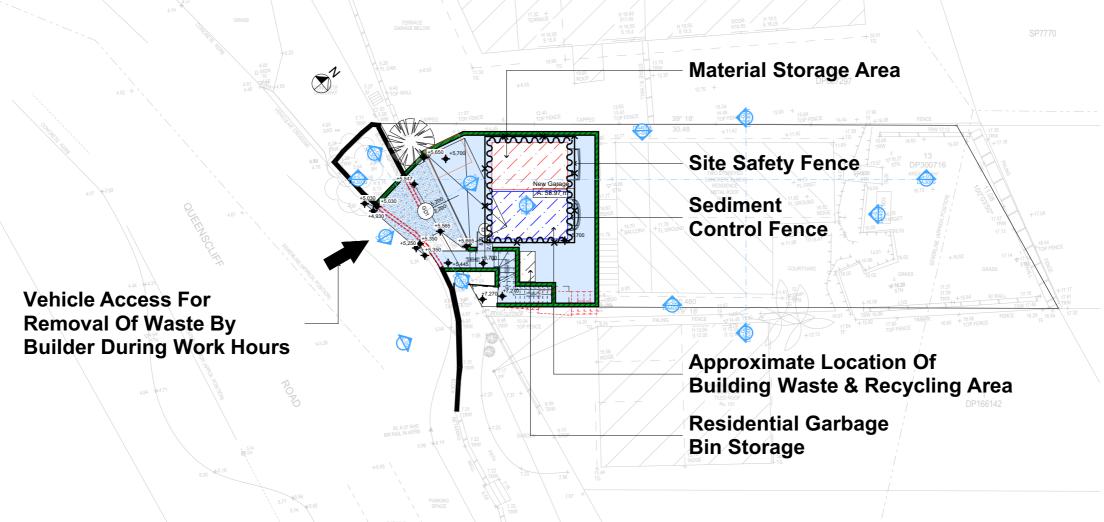
NOT FOR CONSTRUCTION

4/05/21



9/03/2022 RiCument Joseff NA Jameiro & CAPOGRECO Designation Activity Tran-Congress 02/2014 Frenis Re-





NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a herita

Certifying
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1:200

Construction

Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls Roof Timber Framed to have R1.08 Insulation Insulation to External Concrete Block, Timber Framed Walls R1.70 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix extrificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and cellings/roofs) in accordance with the specification a) additional insulation is not required where the area of new construction is less than 2m2.
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

DRAWING TITLE :

Waste Management Plan

ı	REVISION NO.
	1
	DATE.
	4/05/21
	DRAWING NO.

DA1016

% of landscape open space (40% min) 41%

Variation Maximum depth of fill (m)

6.0m Variation No. of car spaces provided

5m@45Deg Variation

Yes

Yes

Yes

4772mm

500mm

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WASTE MANAGEMENT PLAN

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



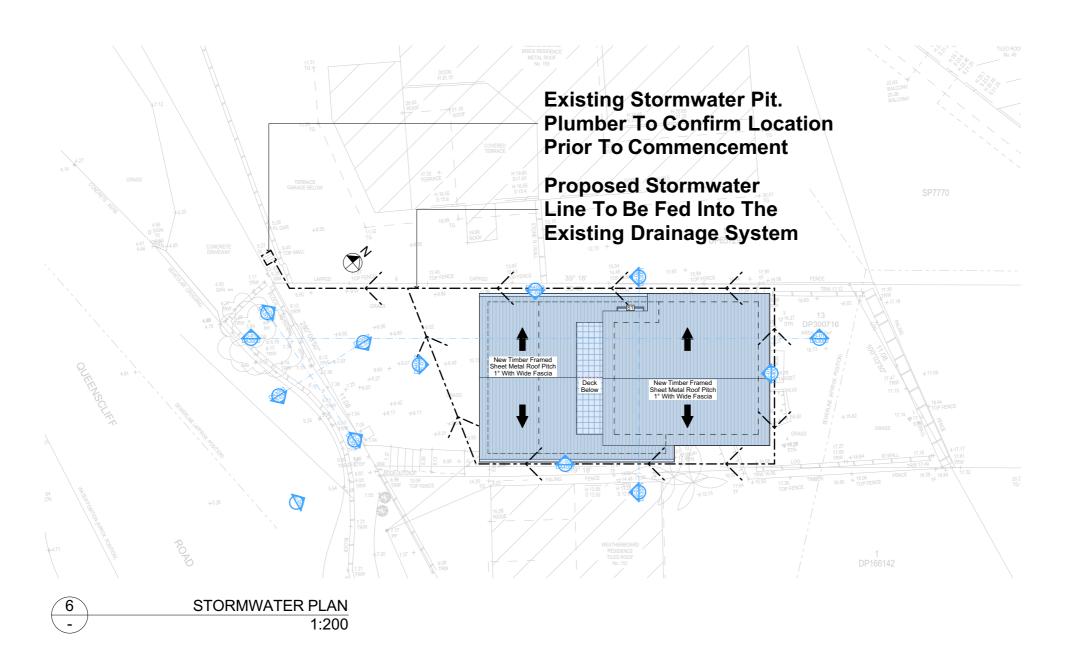


9/03/2022 RP0320TAN DA-Rev1 Jasmine Tan & Domenico Capogreco 153 Queenscliff Road.

Alterations & Additions

Prop. Comp. 294 6m2 Yes

Min. side bdy setback (Min.) 0.9m Variation



Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement



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Measurements Prior to Commencement of any works. nmediately Report any Discrepand

to Rapid Plans

Alterations & **Additions**

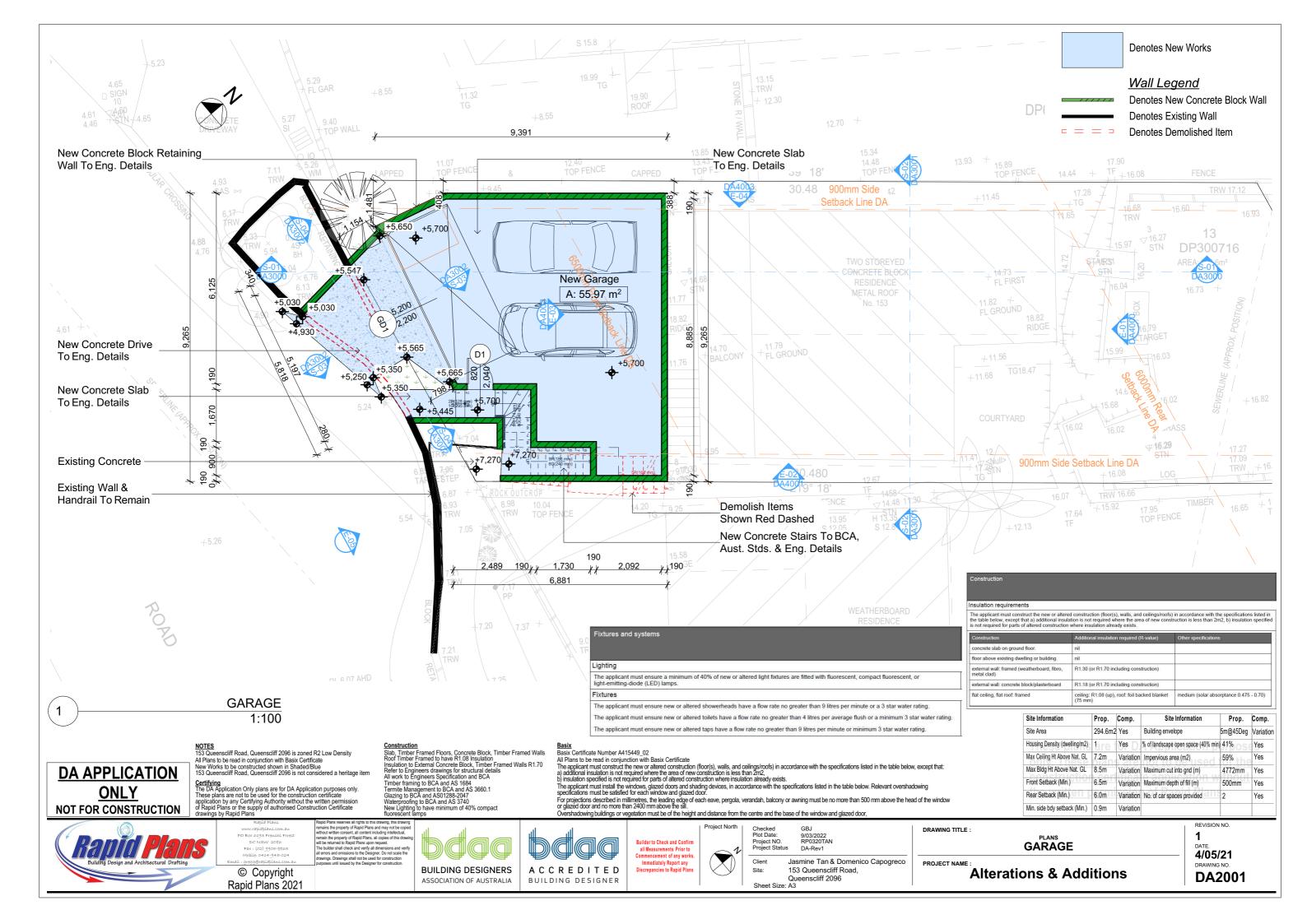
4/05/21

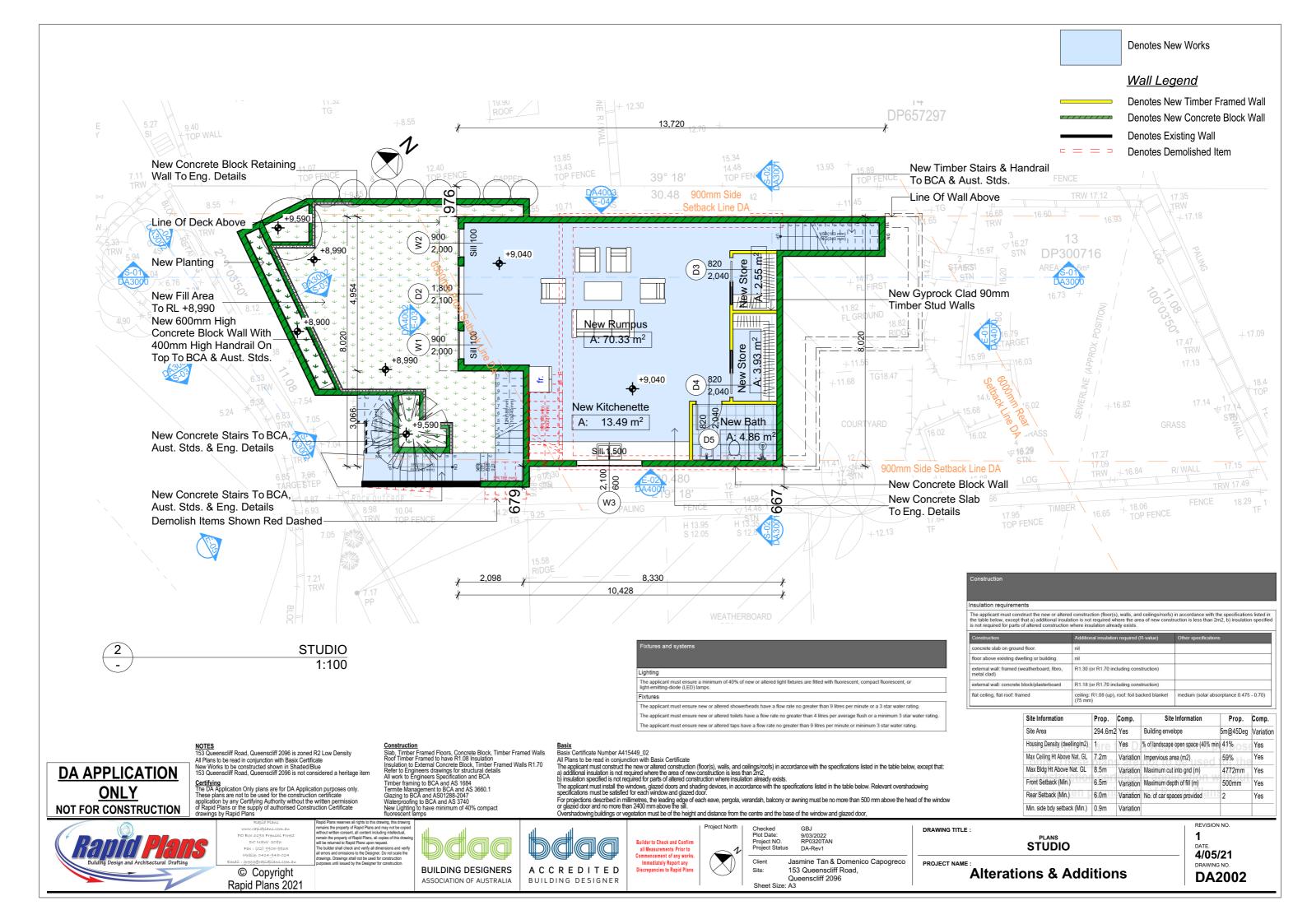
DA1017

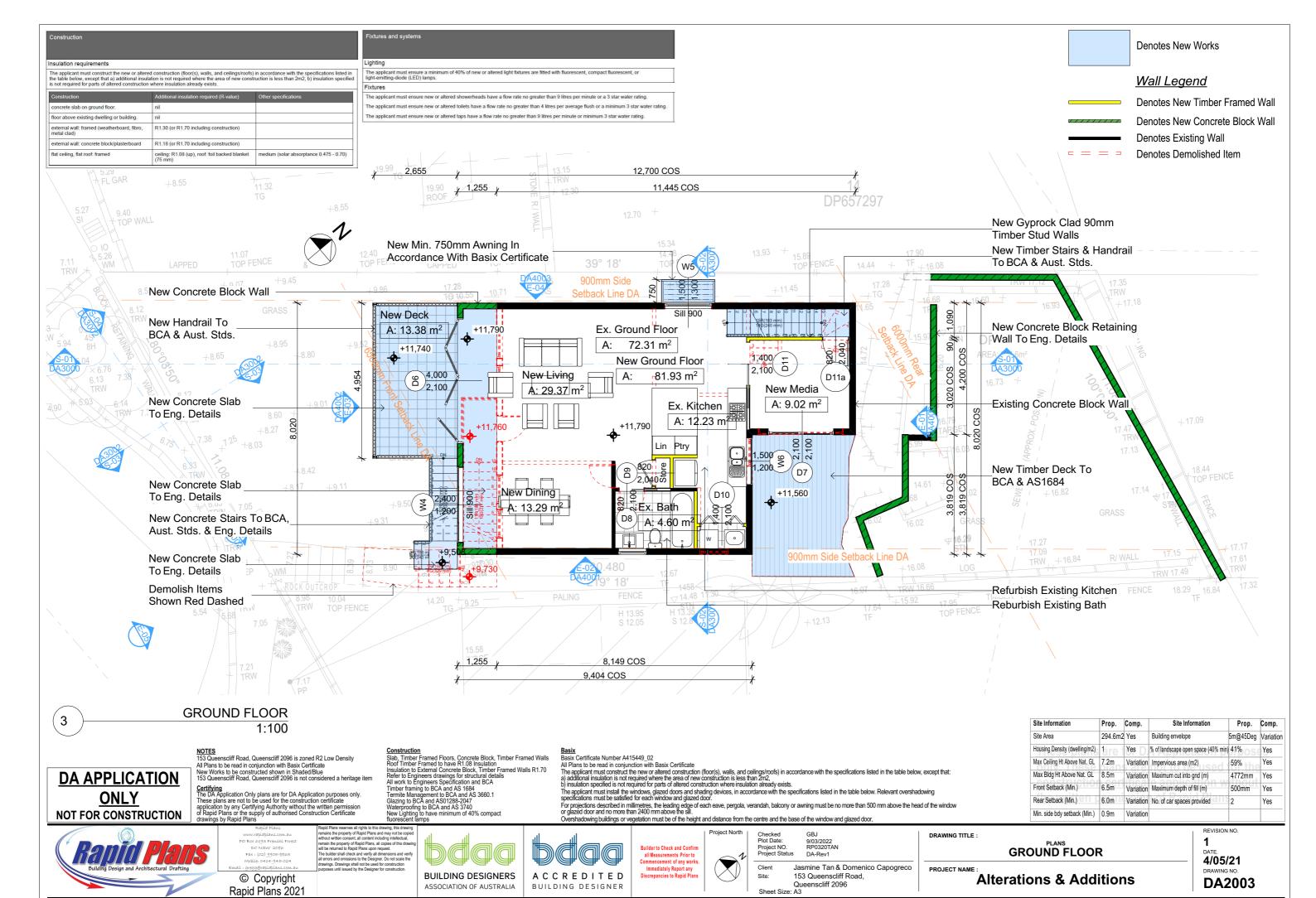
DA APPLICATION

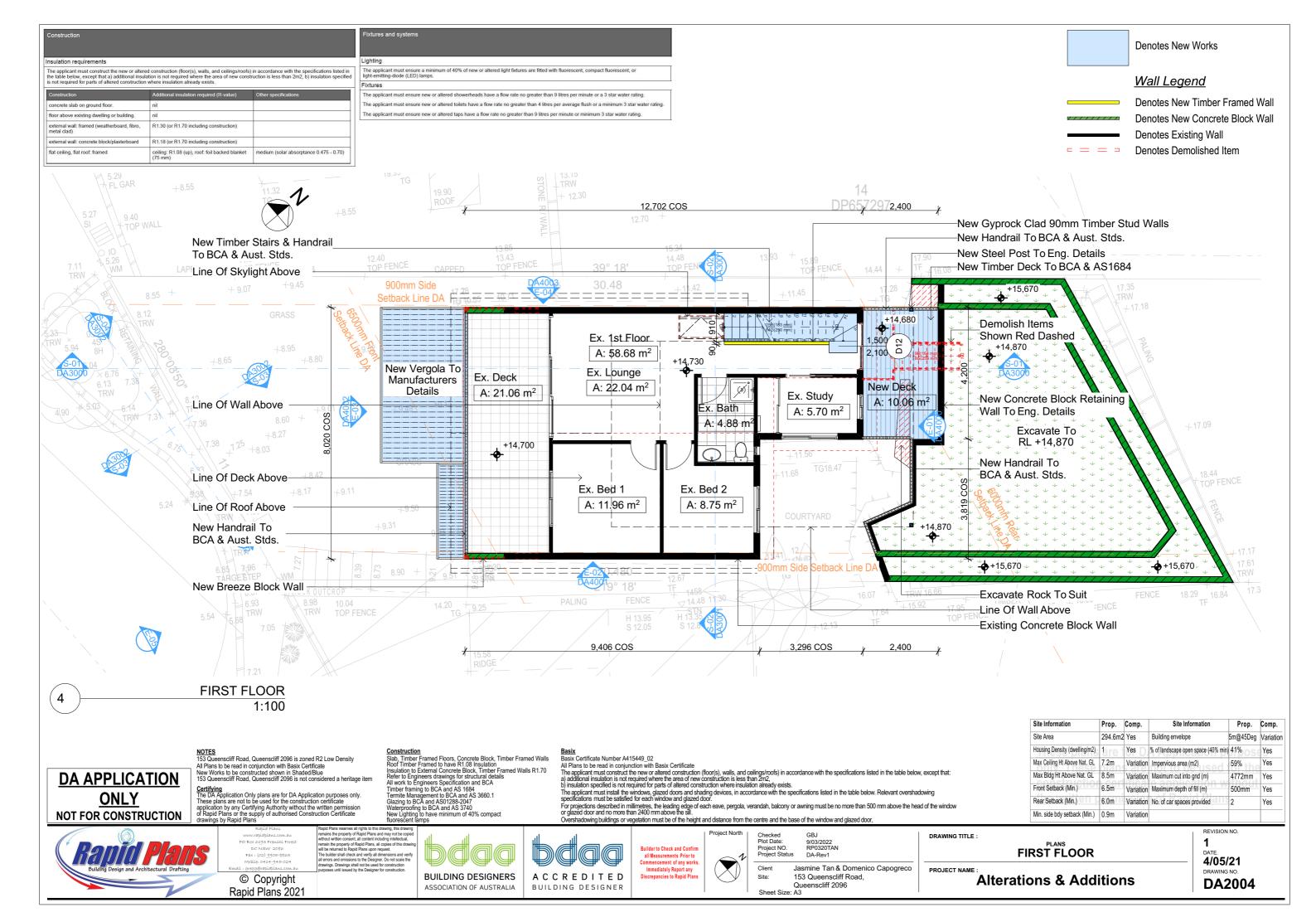
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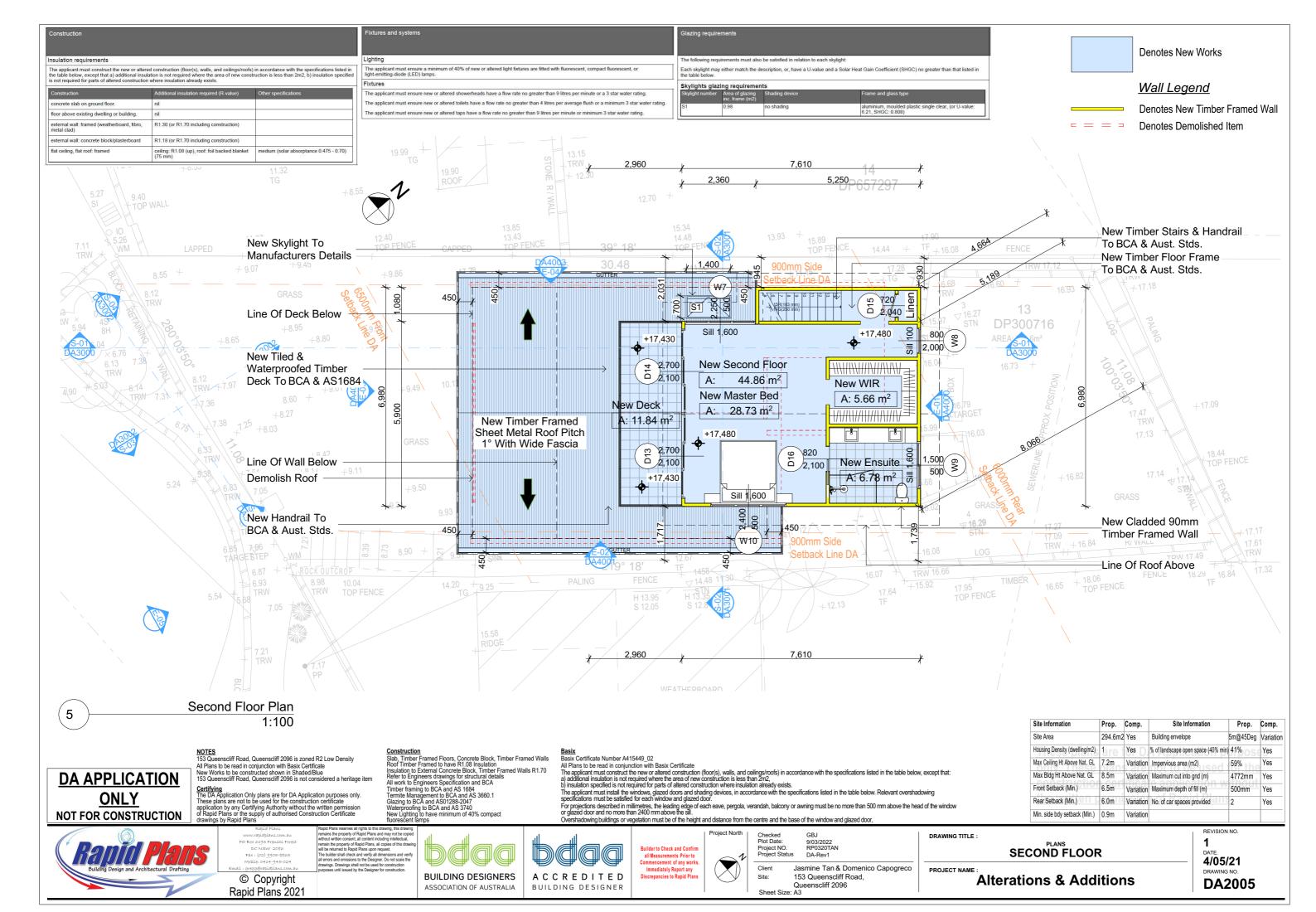
NOT FOR CONSTRUCTION

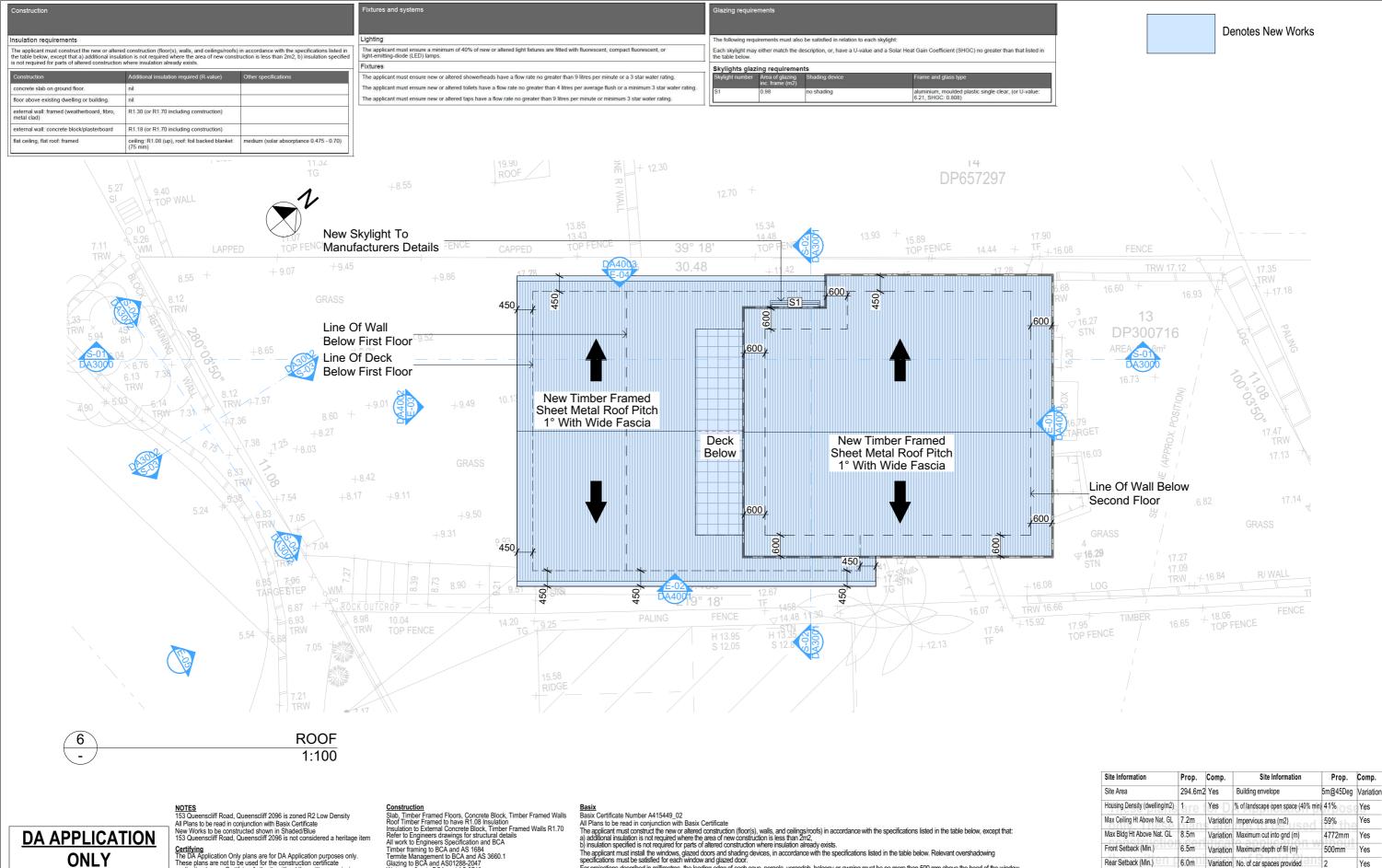












ONLY NOT FOR CONSTRUCTION

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Construction
Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls Roof Timber Framed to have R1.08 insulation Insulation to External Concrete Block, Timber Framed Walls R1.70 Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the hea or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

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North	Chec Plot I Proje Proje
	Clien

cked Date: ect NO. 9/03/2022 RP0320TAN DA-Rev1 ect Status

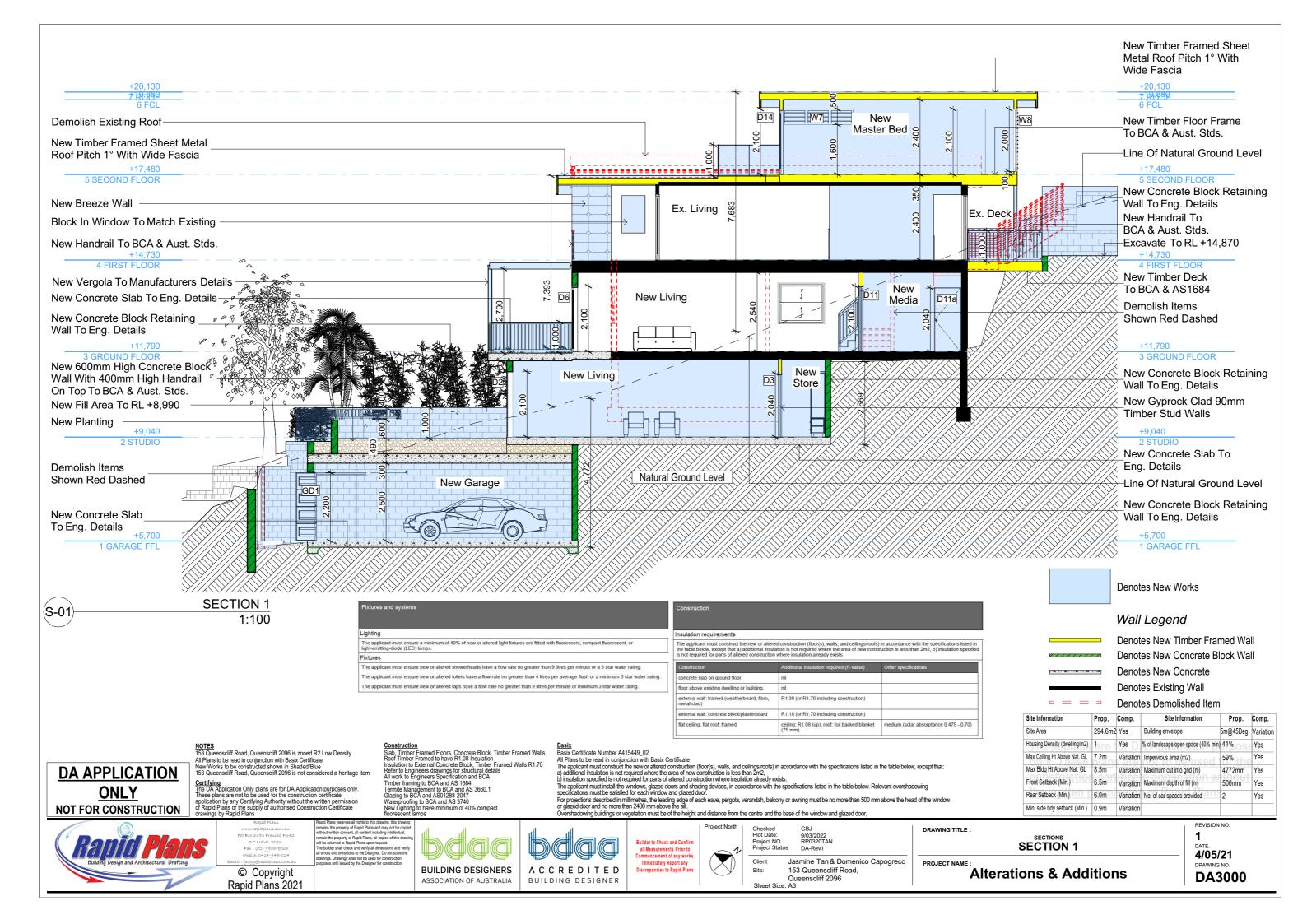
Jasmine Tan & Domenico Capogreco 153 Queenscliff Road. Site: Queenscliff 2096

	Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	59%	Yes
ow, except that:	Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	4772mm	Yes
adowing	Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	500mm	Yes
ead of the window	Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
0.00 m.dom	Min. side bdy setback (Min.)	0.9m	Variation			

DRAWING TITLE : ROOF PROJECT NAME :

REVISION NO. 4/05/21

Alterations & Additions



Construction				
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified				
is not required for parts of altered construction where insulation already exists.				
Construction	Additional insulation required (R-value)	Other specifications		
concrete slab on ground floor.	nil			
floor above existing dwelling or building.	nil			
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)			
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)			
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket	medium (solar absorptance 0.475 - 0.70)		



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall Denotes New Concrete Block Wall

Denotes New Concrete Denotes Existing Wall

Denotes Demolished Item



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Prop. Comp 294.6m2 Yes ousing Density (dwelling/m2) 1 Max Ceiling Ht Above Nat. GL 7.2m Max Bldg Ht Above Nat. GL 8.5m ront Setback (Min.) 6.5m Rear Setback (Min.) 6 0m Min. side bdy setback (Min.) 0.9m

45Deg

% of landscape open space 41% (40% min) mpervious area (m2) 59% aximum cut into gnd (m) 4772mm Yes No. of car spaces provided 2 Builder to Check and Confirm all

Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

ient Jasmine Tan & Domenico Capogre

SECTION 2

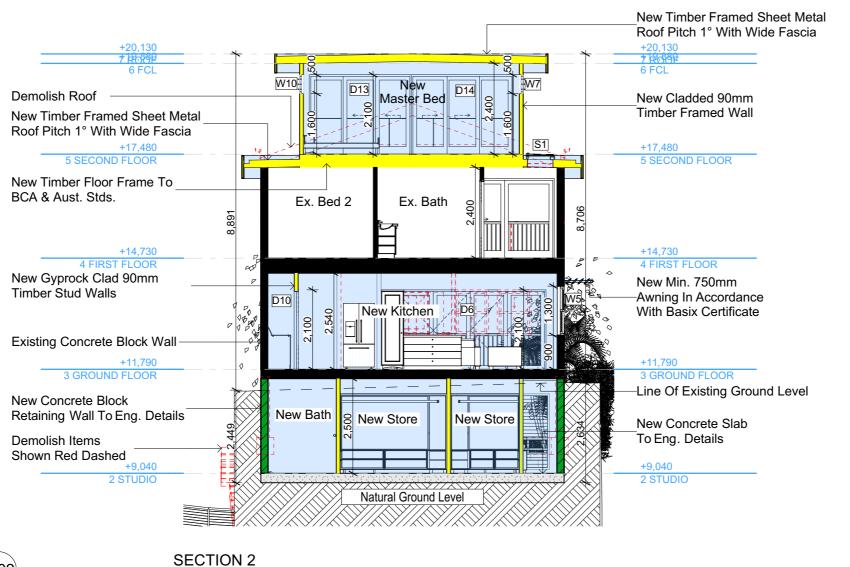
Alterations & **Additions**

4/05/21

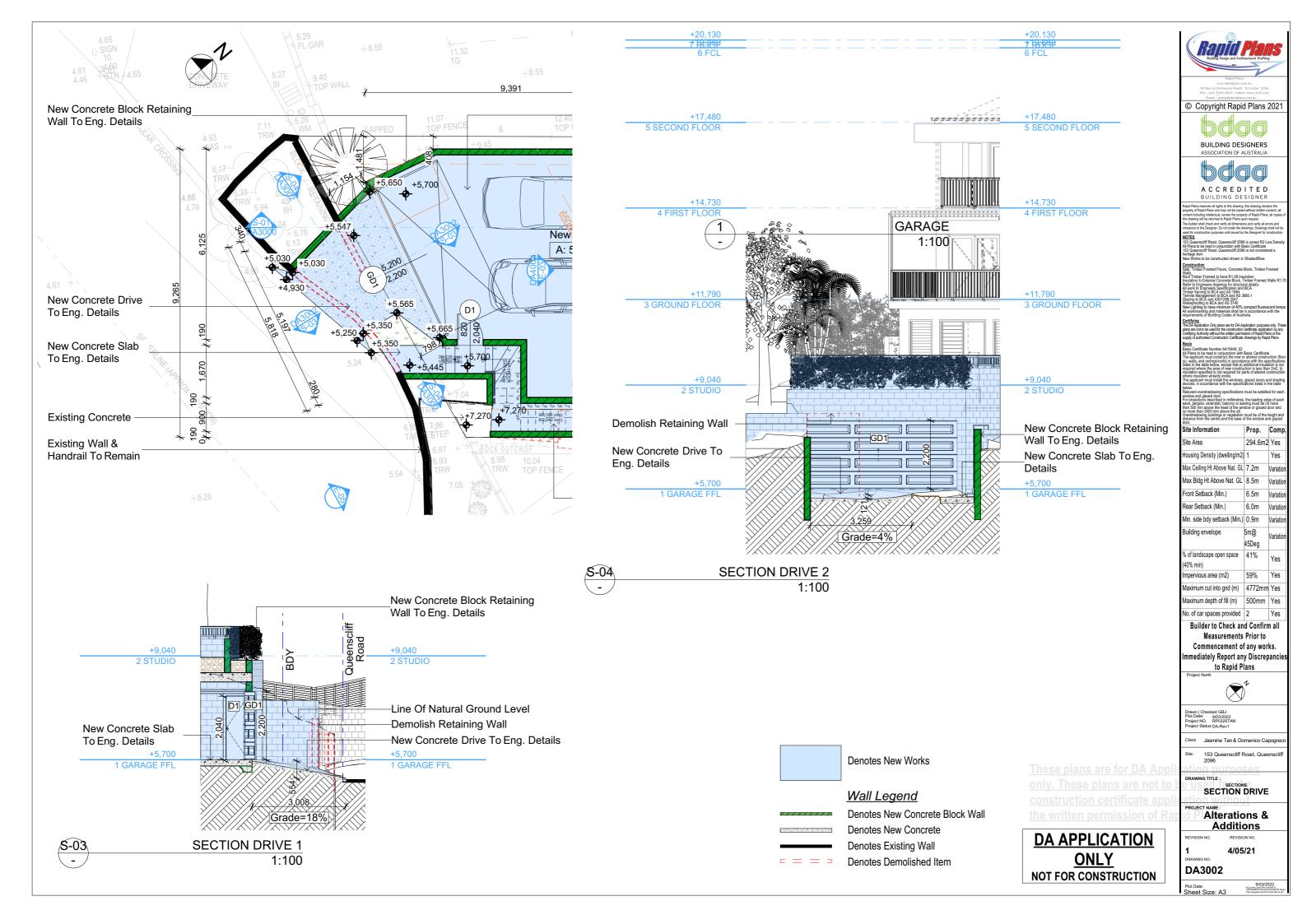
DA3001



NOT FOR CONSTRUCTION



1:100



Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing mushave a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

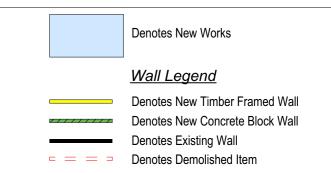
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mn above the head of the window or glazed door and no more than 2400 mm above the sill.

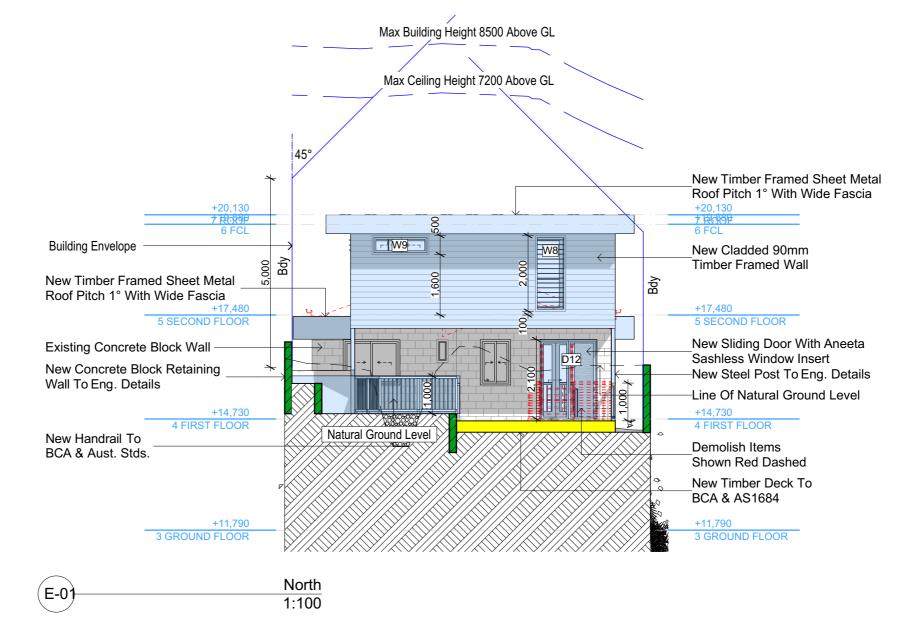
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	SW	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W2	SW	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SE	1.26	0	0	none	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W4	SW	2.88	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W5	NW	1.95	0	0	eave/verandah/pergola/balcony	improved aluminium, single clear, (U-value:

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W6	NE	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W7	NW	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NE	1.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	0.75	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value, 6.44, SHGC: 0.75)
W10	SE	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value, 6.44, SHGC: 0.75)
D2	SW	3.78	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
D6	SW	8.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
D7	SE	4.41	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value, 6.44, SHGC: 0.75)
D12	NE	3.15	0	0	eave/verandah/pergola/balcony improved aluminium, single of 6.44, SHGC: 0.75)	
D13	SW	5.67	0	0	eave/verandah/pergola/balcony improved aluminium, single clear, 5-600 mm 6.44, SHGC: 0.75)	
D14	SW	5.67	0	0	eave/verandah/pergola/balcony	improved aluminium, single clear, (U-value





DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 153 Queenscliff Road, Queenscliff 2096 is not conside

Certifying
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application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
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Construction

Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls Roof Timber Framed to have R1.08 insulation Insulation to External Concrete Block, Timber Framed Walls R1.70 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1 (Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix extrificate Number A415449_02
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vershadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information Prop. Comp. Prop. Comp. Site Area 294.6m2 Yes 5m@45Deg Variation Building envelope Housing Density (dwelling/m2) 1 Yes % of landscape open space (40% min) 41% Max Ceiling Ht Above Nat. GL 7.2m Variation Impervious area (m2) 59% Yes Max Bldg Ht Above Nat. GL 8.5m Variation Maximum cut into gnd (m) 4772mm Yes Front Setback (Min.) 6.5m Variation Maximum depth of fill (m) 500mm Yes Rear Setback (Min.) 6.0m Variation No. of car spaces provided 2 Yes Min. side bdy setback (Min.) 0.9m Variation



Fax: (02) 9905-8865

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all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



roject NO. RP	3/2022 0320TA Rev1
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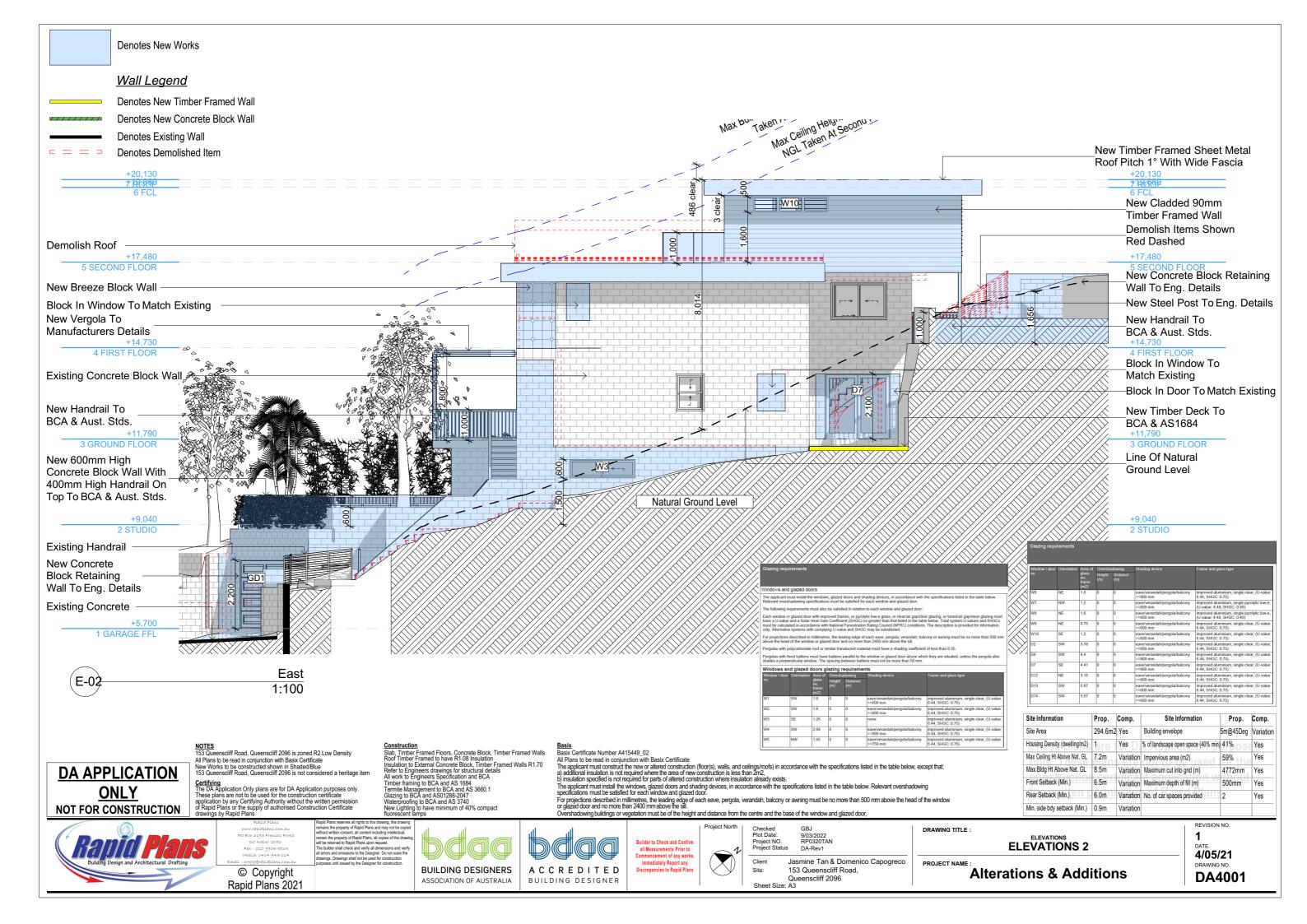
Jasmine Tan & Domenico Capogreco 153 Queenscliff Road. Site: Queenscliff 2096

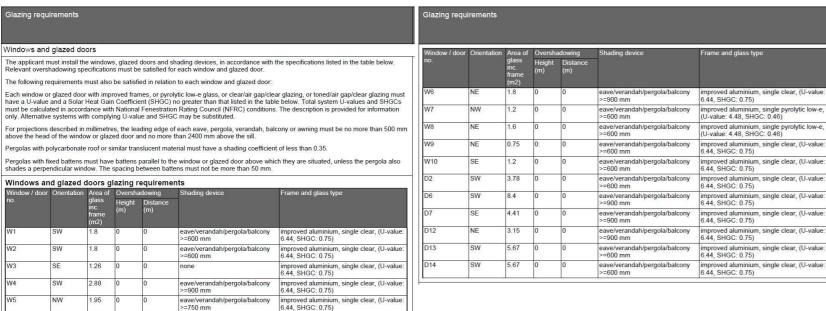
DRAWING TITLE : **ELEVATIONS 1**

PROJECT NAME

REVISION NO. 4/05/21 **DA4000**

© Copyright Rapid Plans 2021 **Alterations & Additions**

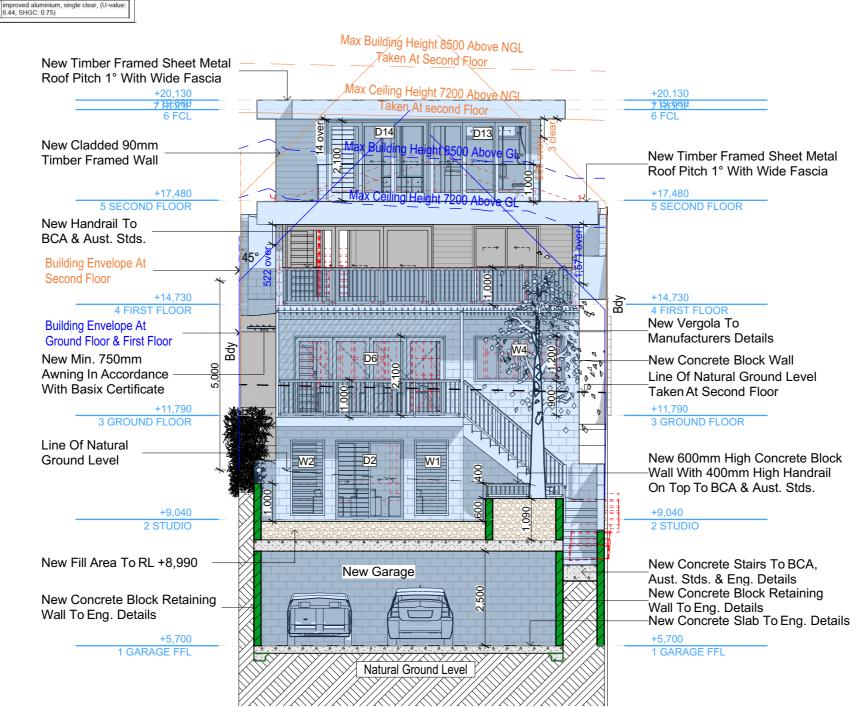




South

1:100

E-03





Wall Legend

Denotes New Concrete

Denotes Demolished Item

Denotes New Concrete Block Wall

www.rapidplans.com.au
PO Rox 619x Franchis Forest DC NSW 208
Fax: (02) 9905-8865 Mobile: 0414-945-02
Ewall: orroa@vatidalans.com.au

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NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Lc
All Plans to be read in conjunction with Basix Certificate
153 Queenscliff Road, Queenscliff 2096 is not consider

not conside heritage item New Works to be constructed shown in Shaded/Blue

New Works to be constructed shown in Shaded/Blue

Construction
Slab, Timber Framed Floors, Concrete Block, Timber Fra
Walls
Pool Timber Framed to have Pt 08 legulation

Timber framing to BCA and AS 1884 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 37400 New Lighting to have minimum of 40% compact fluorescent lan

New Lighting to Trave Hillmini in 140% compact tourises with the equirements of Building Codes of Australia.

Certifying

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Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Ce
The applicant must construct the new or altered

The applicant must construct the new or altered construction (floor), walls, and cellings/roots) in accordance with the specifications islated in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction insulation specified is not required for parts of altered construction. The applicant must install the windows, dusard doors and shading

w.
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tow and glazed door.
projections described in millimetres, the leading edge of each
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500 mm above the head of the window or glazed door and
nore than 2400 mm above the sill.

e, jergada, varandah, baloozy or awining must file ni none
stolom makuber handor fibe window or glazard door and
sershadowing buildings or vegetation must be of the height and
ance from the centre and the base of the window and glazade.

e, le Information

Prop. Comp.

e Area

294.6m2 Yes

using Density (dwelling/m2) 1 Max Ceiling Ht Above Nat. GL 7.2m Max Bldg Ht Above Nat. GL 8.5m ront Setback (Min.) 6.5m Rear Setback (Min.) 6 0m Min. side bdy setback (Min.) 0.9m Building envelope 45Deg % of landscape open space 41% (40% min) pervious area (m2) 59% aximum cut into gnd (m) 4772mm Yes eximum depth of fill (m) 500mm Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

rth 1

ecked GBJ

No. of car spaces provided 2

Drawn | Checked GBJ Plot Date: 9/03/2022 Project NO. RP0320TAN Project Status DA-Rev1

Client Jasmine Tan & Domenico Capogre

e: 153 Queenscliff Road, Queensclii 2096

WING TITLE :
ELEVATIONS
ELEVATIONS 3

Alterations &

Additions

4/05/21 AWING NO.

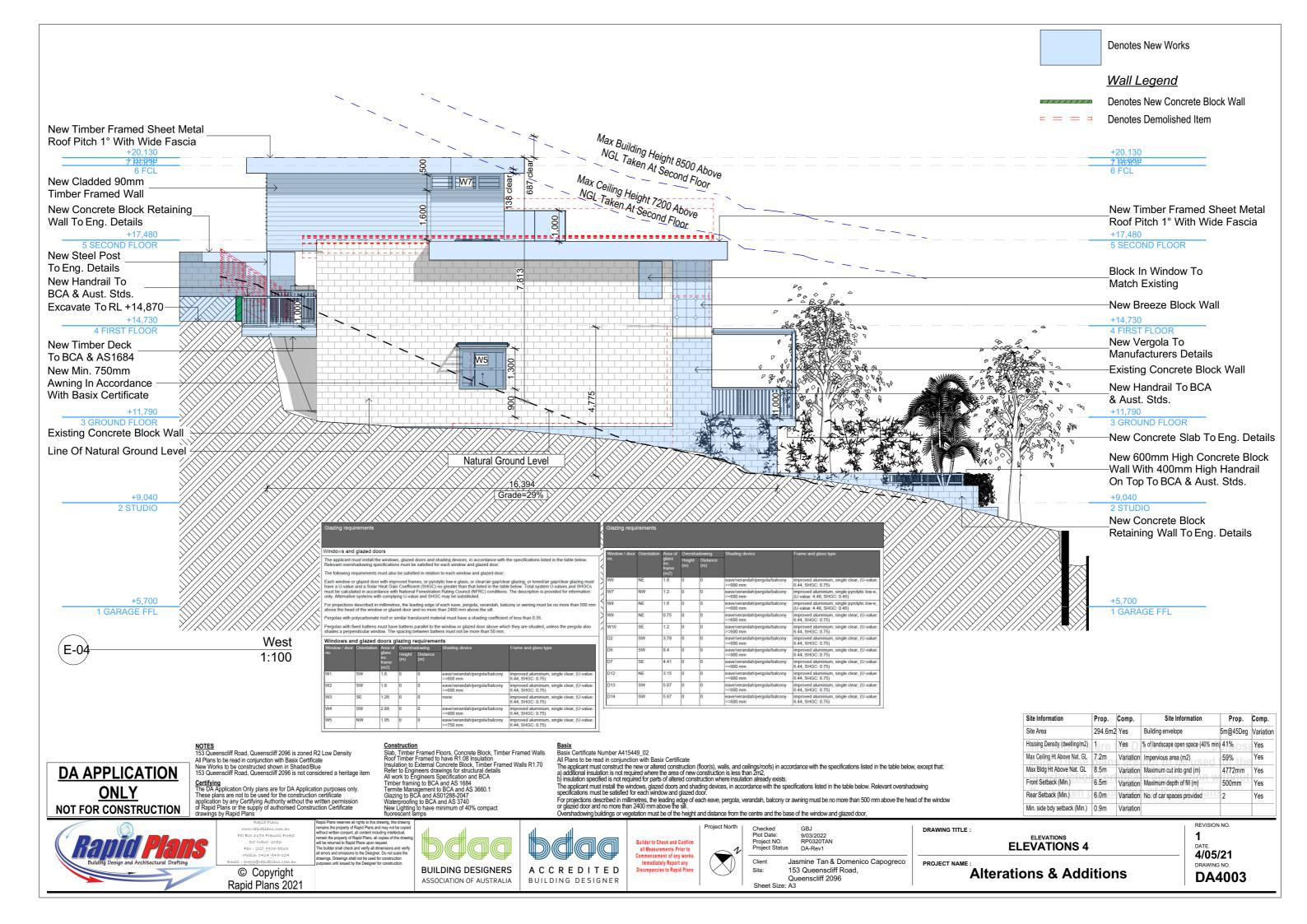
DA4002

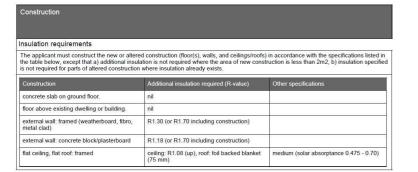
DA APPLICATION

ONLY

NOT FOR CONSTRUCTION

Plot Date: Sheet Size: A3







The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



Wall Legend

Denotes Existing Item Denotes Demolished Item © Copyright Rapid Plans 2021



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ASSOCIATION OF AUSTRALIA

Prop. Com

294.6m2 Yes using Density (dwelling/m2) 1 Max Ceiling Ht Above Nat. GL 7.2m Max Bldg Ht Above Nat. GL 8.5m ront Setback (Min.) 6.5m Rear Setback (Min.) 6 0m Min. side bdy setback (Min.) 0.9m 45Deg % of landscape open space 41% (40% min) pervious area (m2)

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

No. of car spaces provided 2

ent Jasmine Tan & Domenico Capogre

ELEVATION FRONT
FENCE

Alterations & **Additions**

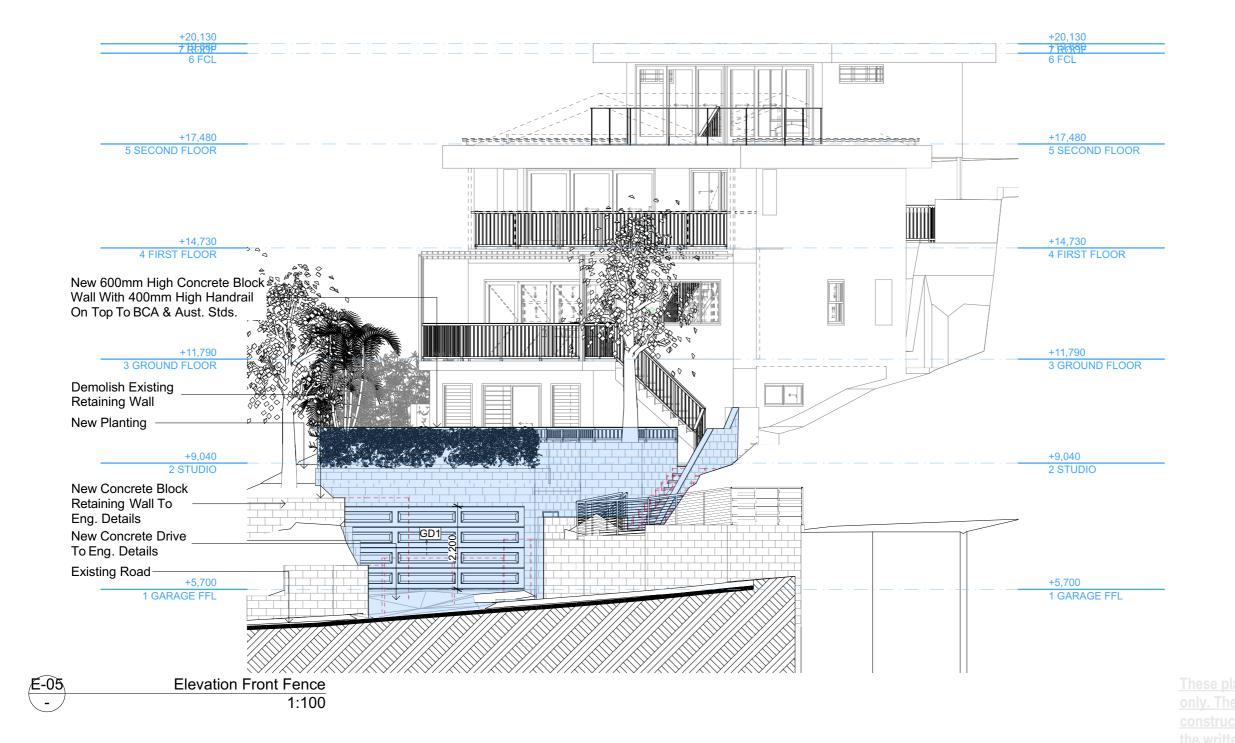
4/05/21

DA4004

DA APPLICATION

ONLY

NOT FOR CONSTRUCTION





1:200



DA APPLICATION ONLY



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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

294.6m2 Yes Max Ceiling Ht Above Nat. GL 7.2m Rear Setback (Min.) 6.0m Min. side bdy setback (Min.) 0.9m 45Deg % of landscape open space 41% (40% min) pervious area (m2) lo. of car spaces provided 2

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancies to Rapid Plans

SHADOW PLANS
PERSPECTIVE

Alterations & **Additions**

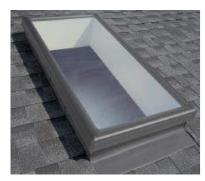
4/05/21

DA5000

NOT FOR CONSTRUCTION



Denotes Sheet Metal Roof (Typical). Owner To Confirm Type & Colour



Denotes Skylight (Typical). Owner To Confirm Type & Colour



Denotes Cladding (Typical). Owner To Confirm Type & Colour



Denotes Concrete Driveway (Typical). Owner To Confirm Type & Colour



Denotes Vergola (Typical). Owner To Confirm Type & Colour



Denotes Breeze Wall(Typical). Owner To Confirm Type & Colour



Denotes Glass Balustrade (Typical). Owner To Confirm Type & Colour



Denotes Vertical Alluminium Balustrade (Typical). Owner To Confirm Type & Colour



Denotes Tiled Deck (Typical). Owner To Confirm Type & Colour



Denotes Timber Deck (Typical). Owner To Confirm Type & Colour



Denotes Concrete Block Wall (Typical). Owner To Confirm Type & Colour



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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Prop. Comp 294.6m2 Yes ousing Density (dwelling/m2) 1 Max Ceiling Ht Above Nat. GL 7.2m Max Bldg Ht Above Nat. GL 8.5m Front Setback (Min.) 6.5m Rear Setback (Min.) 6.0m Min. side bdy setback (Min.) 0.9m Building envelope 45Deg % of landscape open space 41% Yes (40% min) mpervious area (m2) 59% Maximum cut into gnd (m) 4772mm Yes aximum depth of fill (m) 500mm Yes No. of car spaces provided 2

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancies to Rapid Plans



ient Jasmine Tan & Domenico Capogreo

Site: 153 Queenscliff Road, Queensclif 2096

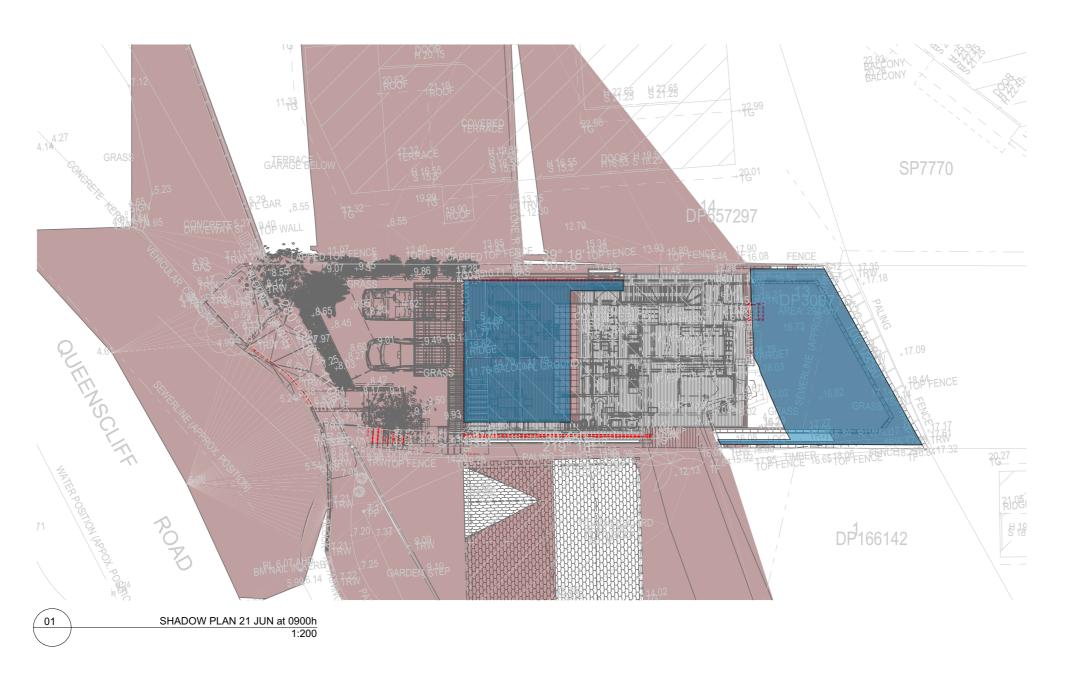
MATERIAL & COLOUR
SAMPLE BOARD

ROJECT NAME:
Alterations &

Additions

4/05/21





NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage

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Construction

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Termite Management to BCA and AS 3660.1 (Glazing to BCA and AS01288-2047

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b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed doors.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sil.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

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BUILDING DESIGNERS



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



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cked Date: ject NO. ject Status 9/03/2022 RP0320TAN DA-Rev1

Jasmine Tan & Domenico Capogreco 153 Queenscliff Road, Queenscliff 2096 Sheet Size: A3

DRAWING TITLE :

Shadow Plans
Shadow Plan 21 Jun at 0900h

Prop. Comp.

294.6m2 Yes

PROJECT NAME : **Alterations & Additions**

Site Information

Front Setback (Min.)

Rear Setback (Min.)

Max Ceiling Ht Above Nat. GL 7.2m

Max Bldg Ht Above Nat. GL 8.5m

Min. side bdy setback (Min.) 0.9m Variation

REVISION NO. DATE. 4/05/21 **DA5002**

Yes % of landscape open space (40% min) 41%

Variation Impervious area (m2)

6.5m Variation Maximum depth of fill (m)

6.0m Variation No. of car spaces provided

Variation Maximum cut into gnd (m)

Prop. Comp.

Yes

Yes

Yes

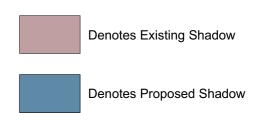
Yes

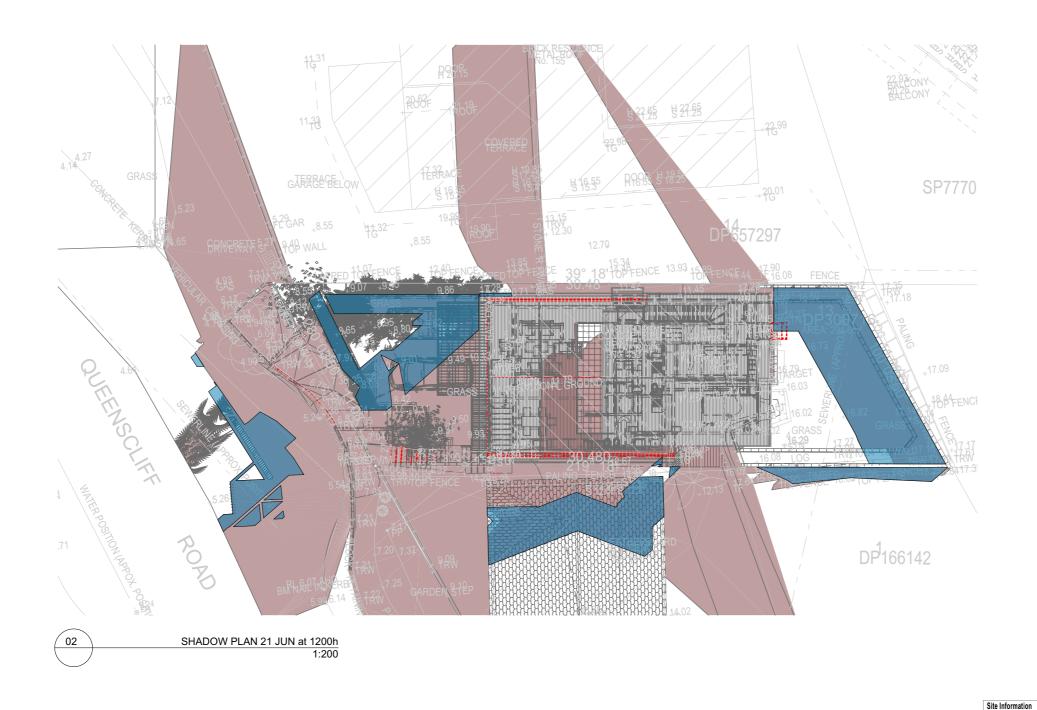
5m@45Deg Variation

4772mm

500mm

2





NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

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Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls Roof Timber Framed to have R1.08 insulation Insulation to External Concrete Block, Timber Framed Walls R1.70 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1 (Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

n the	centre and the base	of the window and glazed door,
	Checked Plot Date: Project NO. Project Status	GBJ 9/03/2022 RP0320TAN DA-Rev1

153 Queenscliff Road.

DRAWING TITLE :

Shadow Plans
Shadow Plan 21 Jun at 1200h

Alterations & Additions

Prop. Comp.

294.6m2 Yes

REVISION NO. DATE. 4/05/21 **DA5003**

Yes % of landscape open space (40% min) 41%

Prop. Comp.

Yes

Yes

Yes

Yes

Yes

5m@45Deg Variation

59%

4772mm

500mm

2

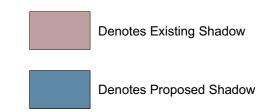
all Measurements Prior to Commencement of any works. Immediately Report any Jasmine Tan & Domenico Capogreco PROJECT NAME : BUILDING DESIGNERS ACCREDITED Discrepancies to Rapid Plans Site: Queenscliff 2096 Sheet Size: A3 ASSOCIATION OF AUSTRALIA BUILDING DESIGNER

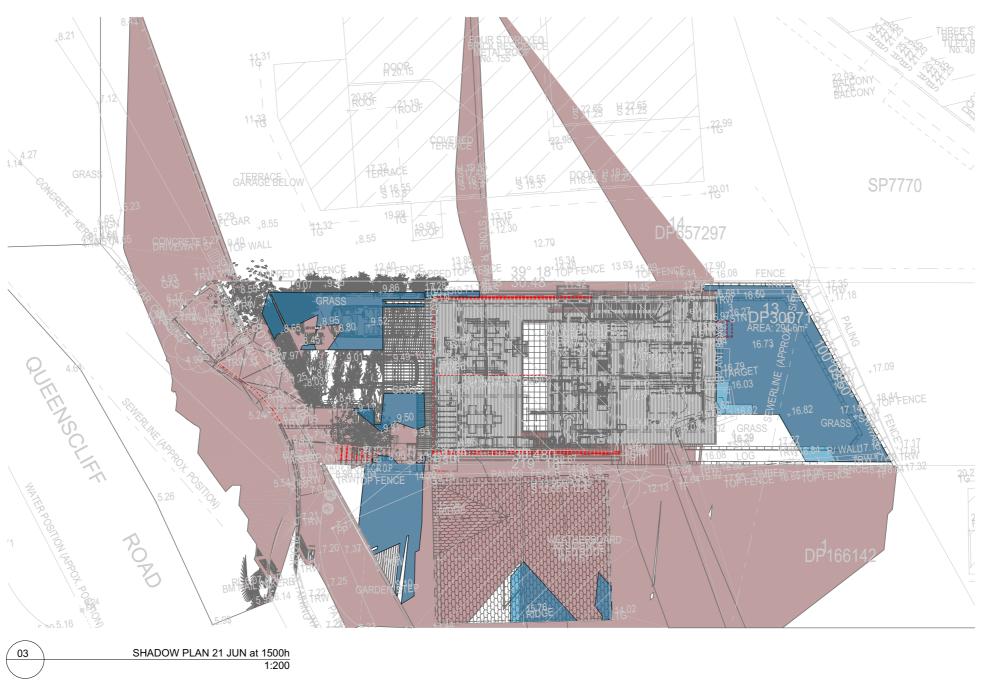
Builder to Check and Confirm

Basix
Basix Certificate Number A415449_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed doors. Max Ceiling Ht Above Nat. GL 7.2m Max Bldg Ht Above Nat. GL 8.5m Variation Maximum cut into gnd (m) Front Setback (Min.) 6.5m Variation Maximum depth of fill (m) Rear Setback (Min.) 6.0m Variation No. of car spaces provided For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, Min. side bdy setback (Min.) 0.9m Variation







NOTES
153 Queenscliff Road, Queenscliff 2096 is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
153 Queenscliff Road, Queenscliff 2096 is not considered a heritage

Certifying
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These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
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Construction

Slab, Timber Framed Floors, Concrete Block, Timber Framed Walls Roof Timber Framed to have R1.08 insulation Insulation to External Concrete Block, Timber Framed Walls R1.70 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1 Glazing to BCA and AS 10288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

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For projections described in millimeters the leading enter of each eau percolar versidations for a window and the part of the window.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

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height a	nd distance	from the	centre and the	he base of	f the window and glazed door,	
	Project N	orth	Checked		GBJ	-
			Diet Dete			

Project St	alus DA-Rev1
Client	Jasmine Tan & Domenico Capogreco
Site:	153 Queenscliff Road,
	Ouganosiff 2006

DRAWING TITLE :

Shadow Plans
Shadow Plan 21 Jun at 1500h PROJECT NAME :

Front Setback (Min.)

Rear Setback (Min.)

Max Bldg Ht Above Nat. GL 8.5m

Min. side bdy setback (Min.) 0.9m Variation

Prop. Comp.

294.6m2 Yes

REVISION NO. DATE. 4/05/21 **DA5004**

Yes % of landscape open space (40% min) 41%

6.5m Variation Maximum depth of fill (m)

6.0m Variation No. of car spaces provided

Prop. Comp.

Yes

Yes

Yes

Yes

5m@45Deg Variation

4772mm

500mm

2

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

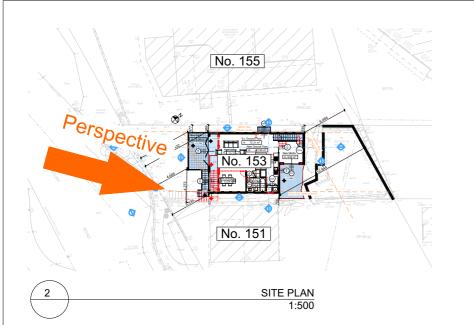


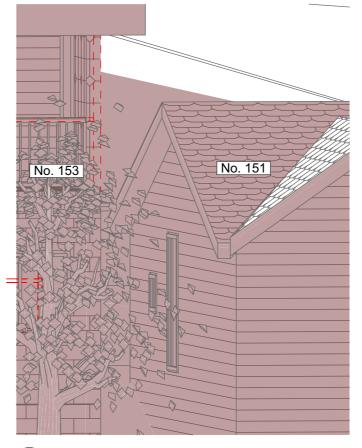
all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans





Alterations & Additions





No. 153 No. 151

Shadow Elevation 21 Jun 1200h 1:50 Shadow Elevation 21 Jun 0900h No. 153 No. 151 Shadow Elevation 21 Jun 1500h

1:50

Denotes Existing Shadow





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BUILDING DESIGNERS
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Prop. Com 294.6m2 Yes ousing Density (dwelling/m2) 1 Max Ceiling Ht Above Nat. GL 7.2m Max Bldg Ht Above Nat. GL 8.5m Front Setback (Min.) 6.5m Rear Setback (Min.) 6.0m Min. side bdy setback (Min.) 0.9m 45Deg % of landscape open space 41% (40% min) mpervious area (m2) No. of car spaces provided 2

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

ent Jasmine Tan & Domenico Capogreo

WALL ELEVATION SHADOWS

Alterations & **Additions**

4/05/21

DA APPLICATION

ONLY

NOT FOR CONSTRUCTION