

EXTERNAL VIEW

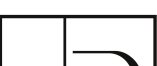



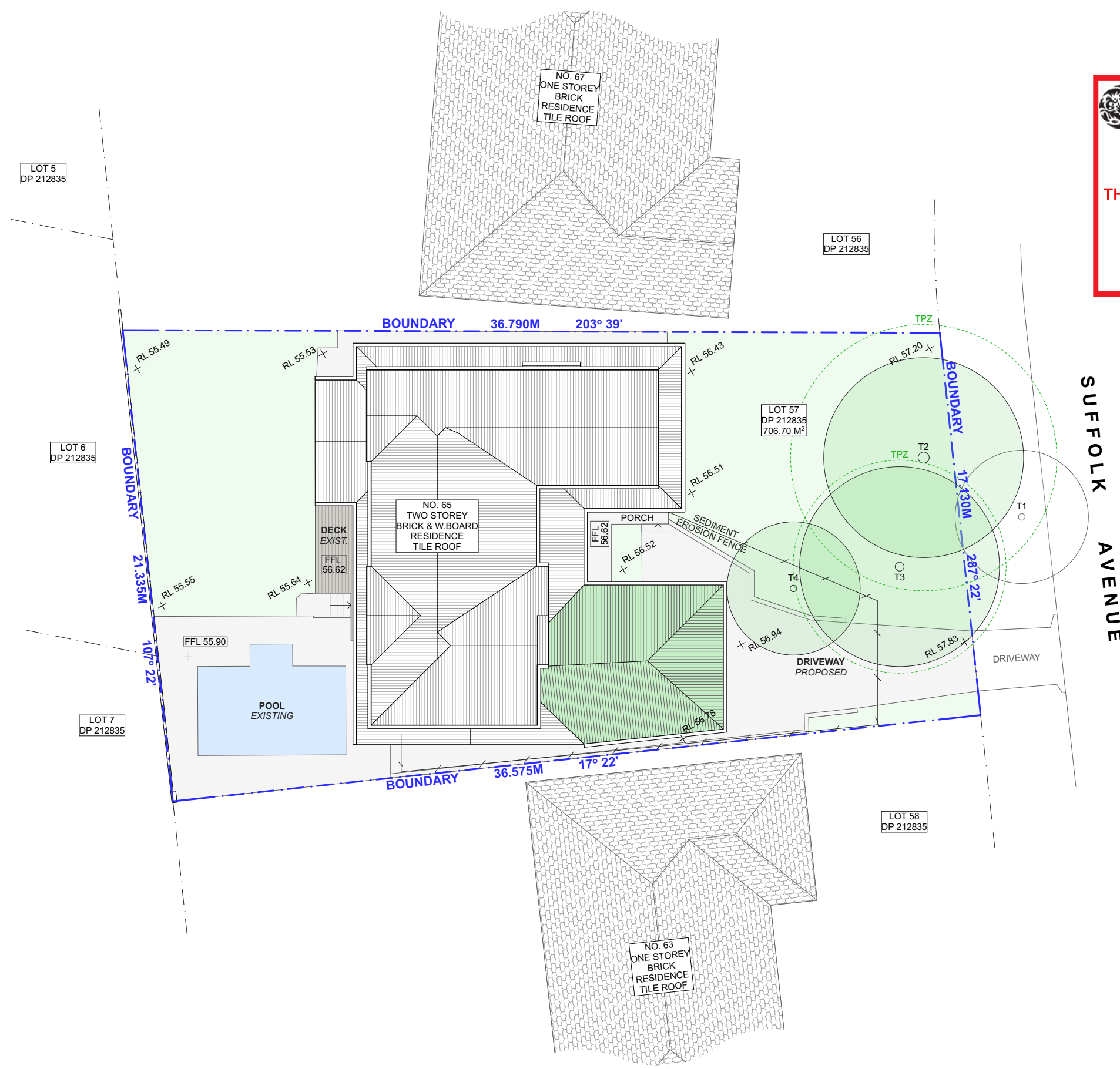
LOCATION MAP



AERIAL MAP

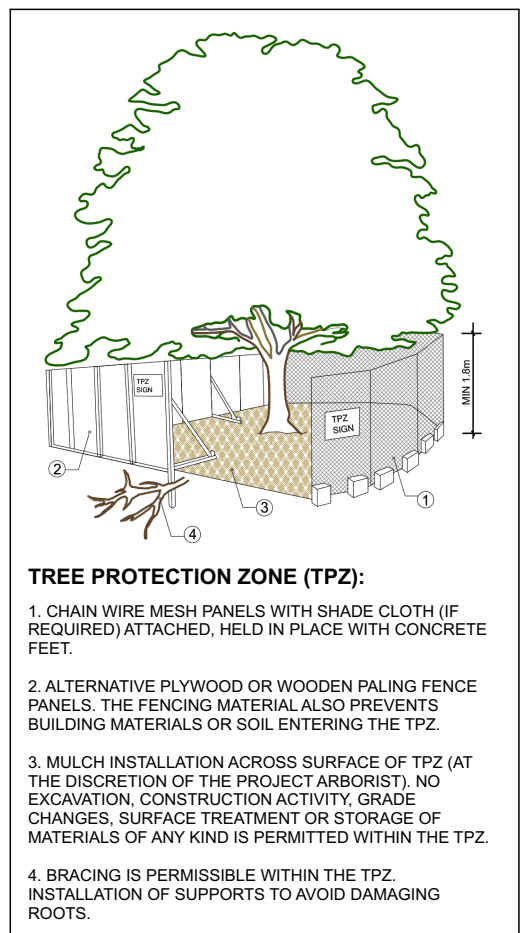
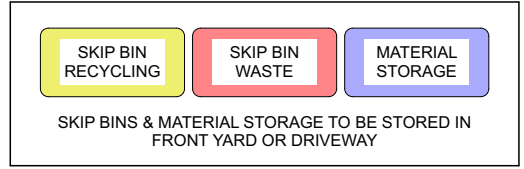
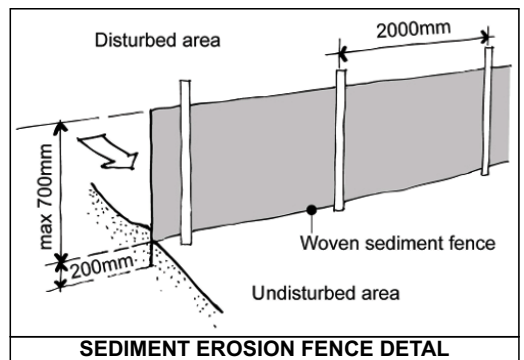
1 SITE ANALYSIS 1:200

 <div>PROGRESSIVE PLANS BUILDING DESIGN</div>	CONTACT HARMONY VARLEY DESIGNER (02) 8094 9936 0415 877 919 2/31 AUSTIN STREET FAIRLIGHT, NSW, 2094 harmony@progressivebuildingdesign.com.au www.progressivebuildingdesign.com.au	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	<table><tr><th>REV.</th><th>NOTES.</th><th>INITIAL</th><th>DATE</th></tr><tr><td>A</td><td>CONCEPT DESIGN</td><td>AF</td><td>08.07.20</td></tr><tr><td>B</td><td>DA REVIEW SET</td><td>AF</td><td>22.07.20</td></tr><tr><td>C</td><td>DA SUBMISSION</td><td>AF</td><td>04.08.20</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	REV.	NOTES.	INITIAL	DATE	A	CONCEPT DESIGN	AF	08.07.20	B	DA REVIEW SET	AF	22.07.20	C	DA SUBMISSION	AF	04.08.20													LEGEND <table><tr><td><div></div></td><td>EXISTING</td><td><div></div></td><td>LANDSCAPE / GRASS</td></tr><tr><td><div></div></td><td>DEMOLISHED</td><td><div></div></td><td>CONCRETE / PAVERS</td></tr><tr><td><div></div></td><td>EXISTING ROOF</td><td><div></div></td><td>TIMBER DECK</td></tr><tr><td><div></div></td><td>PROPOSED ROOF</td><td><div></div></td><td>POOL / WATER</td></tr></table>	<div></div>	EXISTING	<div></div>	LANDSCAPE / GRASS	<div></div>	DEMOLISHED	<div></div>	CONCRETE / PAVERS	<div></div>	EXISTING ROOF	<div></div>	TIMBER DECK	<div></div>	PROPOSED ROOF	<div></div>	POOL / WATER	NORTH POINT 	CLIENTS: JAMES & JULIET ALGAR * SITE ADDRESS: 65 SUFFOLK AVENUE COLLARROY, NSW, 2097	DRAWING TITLE: SITE ANALYSIS	
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PROJECT NO: 1010		DRAWING NO: DA03																																																		





THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0948




1 PROPOSED SITE / WASTE / SEDIMENT EROSION PLAN 1:200

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		PROJECT NO: 1010	DRAWING NO: DA04																																																	



1 PROPOSED FIRST FLOOR 1:100



PROGRESSIVE BUILDING DESIGN

CONTACT
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(02) 8094 9936
0415 877 919
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harmony@progressivebuildingdesign.com.au
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LEGEND

EXISTING

DEMOLISHED

EXISTING ROOF

NEW ROOF

TIMBER

BRICK

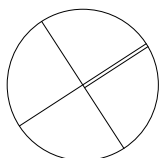
CONCRETE

GLASS

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWN PIPE
DPS: DOWN PIPE SPITTER
FFL: FINISHED FLOOR LEVEL
RL: REDUCED LEVEL

NORTH POINT

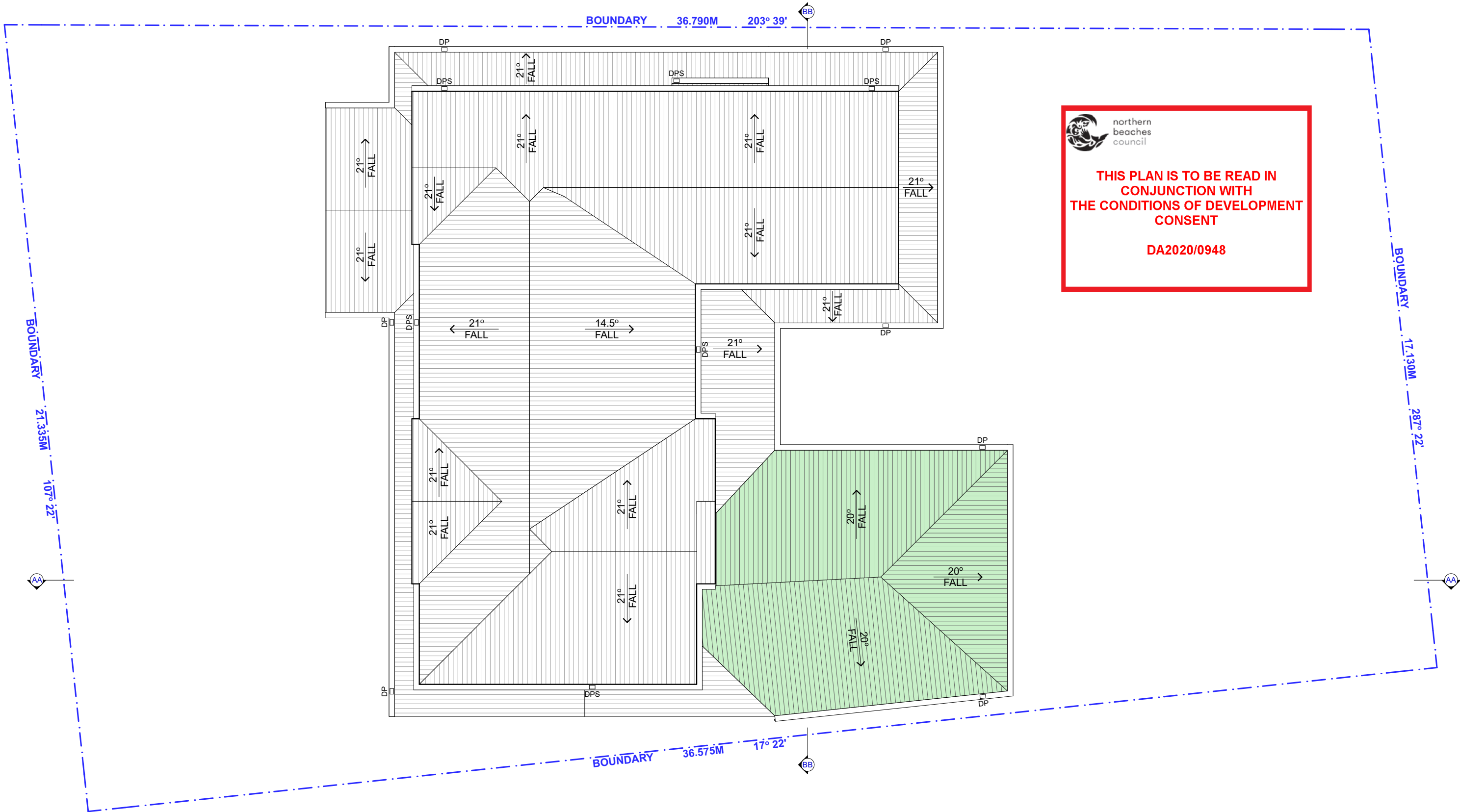


CLIENTS:
JAMES & JULIET ALGAR

SITE ADDRESS:
65 SUFFOLK AVENUE
COLLARROY, NSW, 2097

DRAWING TITLE: PROPOSED FIRST FLOOR	
SCALE: 1:100 @A3	DATE: 4/8/20
PROJECT NO: 1010	DRAWING NO: DA08

NOTE:
PROPOSED STORMWATER TO DRAIN
INTO EXISTING STORMWATER LINES.

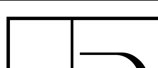



 northern
beaches
council


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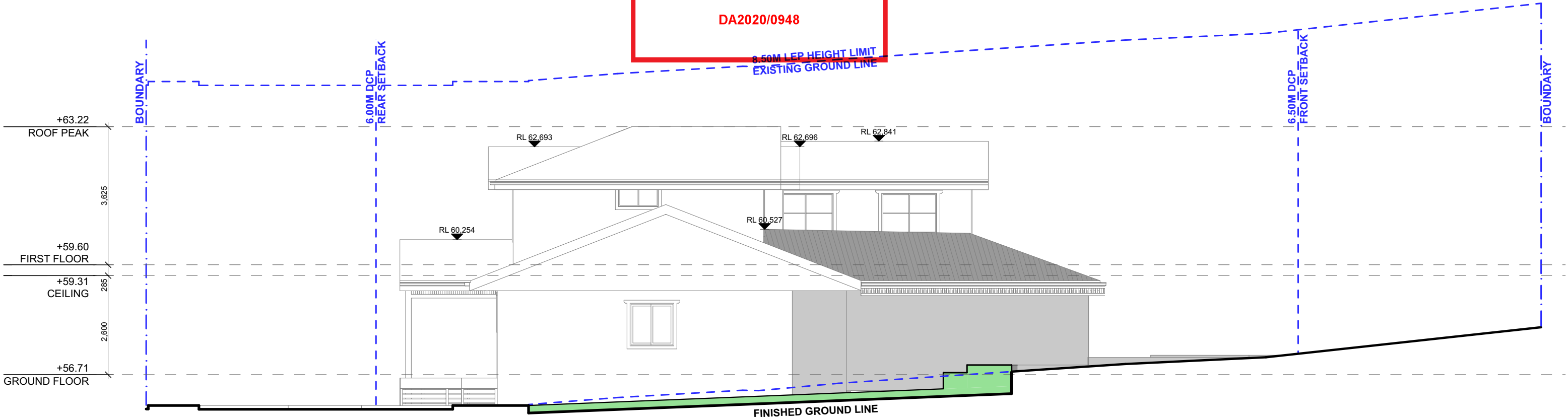
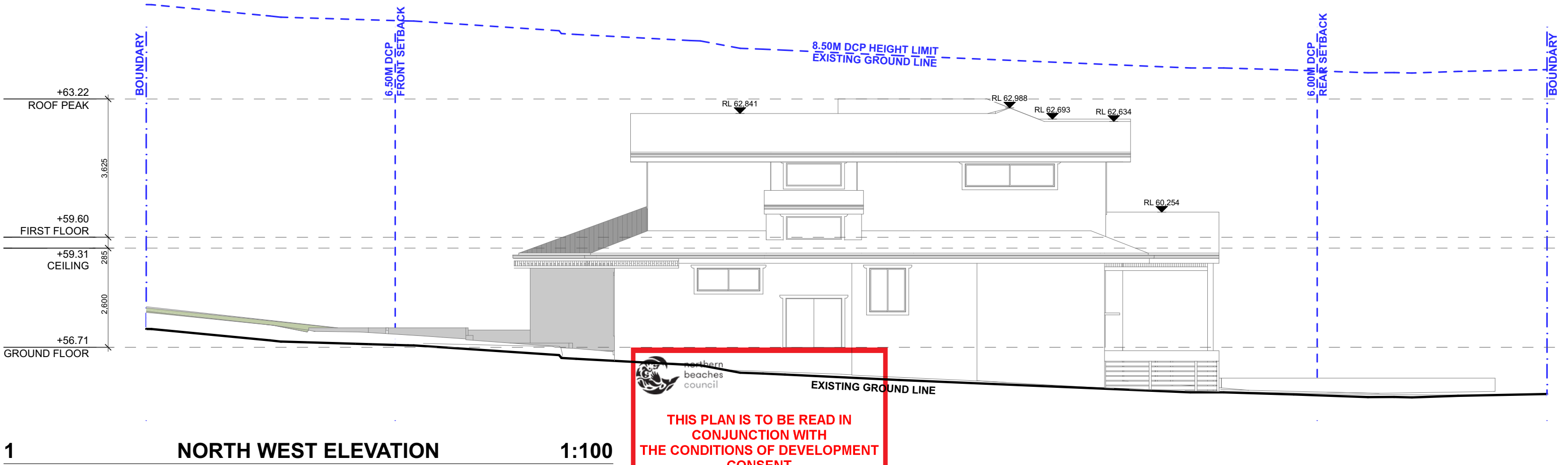
DA2020/0948

1 PROPOSED ROOF / CONCEPT STORMWATER PLAN 1:100

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LEGEND

EXISTING

DEMOLISHED

PROPOSED

WALLS - RENDER MID-GREY

ROOF - COLORBOND BASALT

GARAGE/ROOF TRIMS - WHITE

ABBREVIATIONS

CPD: CUPBOARD
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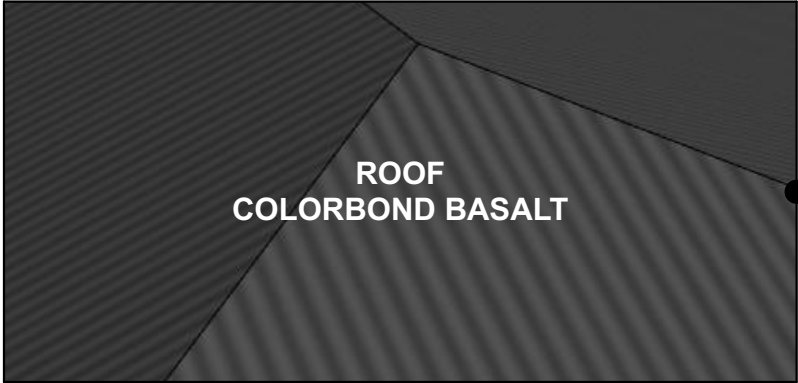
SITE ADDRESS:

65 SUFFOLK AVENUE
COLLARROY, NSW, 2097

DRAWING TITLE:

ELEVATIONS - NORTH WEST & SOUTH EAST

SCALE:	DATE:
1:100 @A3	4/8/20
PROJECT NO:	DRAWING NO:
1010	DA12



ROOF
COLORBOND BASALT



GARAGE / RETAINING WALLS
RENDER MID-GREY



GARAGE DOOR /
ROOF TRIMS / GUTTERS
WHITE



DRIVEWAY
DARK-GREY





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beaches
council

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DA2020/0948



PROGRESSIVE PLANS

BUILDING DESIGN

CONTACT

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65 SUFFOLK AVENUE

COLLARROY, NSW, 2097

DRAWING TITLE:

FINISHES BOARD

SCALE:

@A3

DATE:

4/8/20

PROJECT NO:

1010

DRAWING NO:

DA14