

NOTES :-

- 1) Bearings & distances are by Title and / or deeds only. No boundary investigation has been carried out.
- 2) Relationship of improvements to boundaries is diagrammatic only. Where offsets are critical they should be confirmed by further survey.
- 3) Contours shown depict the topography. Except at spot levels shown they do not necessarily represent the exact level at any particular point.
- 4) Services shown hereon have been determined from visual evidence only. Prior to any design, demolition, excavation or construction on site the relevant authority should be contacted to establish detailed location and depth.
- 5) These notes form an integral part of this plan & should not be separated.
- 6) Location of sewer subject to confirmation from Sydney Water or relevant authority.
- 7) The bearings on these plan boundaries are from Land Titles Office plans. They are Magnetic Meridian. If accurate True North is required a further survey would be necessary.

Note:

Existing structures/trees to be removed by others (shown dashed)

Dwelling Areas -

Ground Floor - 127.18m²
First Floor - 84.80m²
Garage - 35.73m²
Porch - 4.46m²

Total - 252.17m²

Granny Flat Dwelling Areas -

Ground Floor - 59.23m²

NORTH NOTE

BEARINGS SHOWN HAVE BEEN DETERMINED FROM LAND & PROPERTY INFORMATION PLANS AND ARE RELATED TO MAGNETIC NORTH. TRUE NORTH IS APPROXIMATE ONLY AND FURTHER INVESTIGATION WOULD BE REQUIRED TO DETERMINE ACCURATE TRUE NORTH.

LOT 95

DP 36134

SITE AREA- 681.4m²

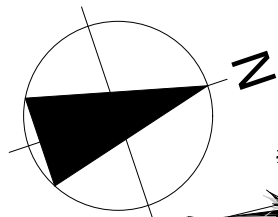
Northern Beaches COUNCIL

- *Stormwater disposal to XXX. (subject to council approval / requirements)
- *Gas service XXX
- *XXX side water service.
- *XXX power supply.
- *Sewer connection to authorities requirements

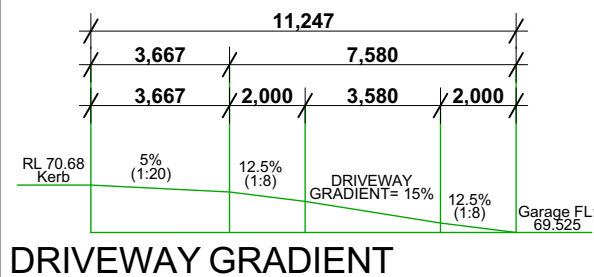
Do not work outside of approved hours. Council hours of operation are as follows:
7am - 6pm Monday to Friday
7am - 1pm Saturday
NO work on Sunday or public Holidays

Note:

- * All levels shown are at the corners of building platform where applicable.
- * Extend excavation clear of the building area to provide fall away from the proposed dwelling.
- * Batter all banks at angle of repose within the boundaries (unless specified)
- * Grade fall away from dwelling. Expose min. 75mm of edge beam to perimeter in accordance with AS 3660
- * If retaining is required, works to be by owner.
- * Refer to contract for extent of all external works.
- * Preliminary levels shown on this plan are approximate and subject to final survey.
- * Sediment control measures are to be left in place until all landscaping features are complete. Bellmarch homes accepts no responsibility for the consequences suffered to or resulting in the removal of these measures prior to landscaping.
- * Existing trees within three metres of the building area to be re-moved (refer contract/council approval)
- * Construction details subject to on site direction from building supervisor.



APPROXIMATE POSITION OF SEWER MAIN



SCHEDULE OF TREES

	DIAMETER	HEIGHT	TYPE
T1	0.40	10m	-
T2	0.40	4m	-
T3	0.40	3m	-
T4	0.40	5m	-
T5	0.40	3m	-
T6	0.80	10m	-
T7	0.60	10m	-
T8	0.40	4m	-
T9	0.40	4m	-
T10	0.30	3m	-
T11	0.30	4m	PALM
T12	0.40	12m	PALM
T13	0.40	12m	PALM
T14	0.40	8m	PALM
T15	0.40	8m	PALM
T16	0.40	8m	PALM
T17	0.40	8m	PALM
T18	0.30	3m	PALM
T19	0.40	6m	PALM
T20	0.30	4m	-
T21	0.30	8m	-
T22	0.30	6m	-
T23	0.20	3m	-
T24	0.30	5m	-
T25	0.30	7m	-
T26	0.20	4m	-
T27	0.40	8m	PALM
T28	0.40	8m	PALM
T29	0.40	12m	PALM
T30	0.40	12m	PALM
T31	0.40	12m	PALM
T32	0.40	12m	PALM
T33	0.40	12m	PALM
T34	0.40	12m	PALM
T35	0.40	12m	PALM
T36	0.40	12m	PALM
T37	0.40	12m	PALM
T38	0.40	12m	PALM
T39	0.40	8m	PALM
T40	0.40	12m	PALM
T41	0.40	6m	PALM
T42	0.40	8m	PALM
T43	0.40	8m	PALM
T44	0.40	8m	PALM

BRICK/CLAD RESIDENCE METAL ROOF

ABBREVIATIONS

EB	- ELECTRICAL BOX
EM	- ELECTRICAL METER
GM	- GAS METER
H	- HYDRANT
R	- HYDRANT RECYCLED
KO	- KERB OUTLET
LP	- LIGHT POLE
LH	- LAMP HOLE
MM	- MAIN HOLE
PP	- POWER POLE
SH	- SHRUB
SMH	- SEWER MAN HOLE
SIO	- SEWER INSPECTION OPENING
SV	- STOP VALVE
SR	- STOP VALVE RECYCLED
SVP	- SEWER VENT PIPE
SWP	- STORM WATER PIT
T	- TREE
TP	- TELECOMMUNICATIONS PIT
VER	- VERANDAH
WT	- WATER TAG
WM	- WATER METER
WMR	- WATER METER RECYCLED
WC, GC, EC, TC	- SERVICE CONDUIT
W/C	- WATER CLOSET

BRICK/CLAD RESIDENCE METAL ROOF

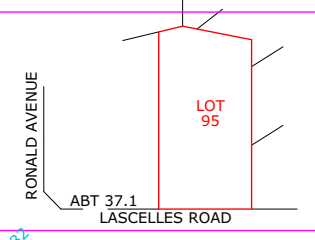
FLOOR LEVEL 67.32

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0556

LOCATION PLAN

LAT: -33.7477
LONG: 151.2701



Site Plan/Site Analysis
1:200

1

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Rev	Date	Amendments:
E	16.11.18	Increased Granny flat
F	30.11.18	Tender 4
G	17.12.18	Tender 5 - Contract Plans
H	30.01.19	Tender Variations 1, 2, 3 & 4
I	09.04.19	D.A Pre-Liminary Prep
J	17.04.19	D.A Documentation
K	20.05.19	Services/PCV 1, 3, 4, 8, 10
L	28.05.19	PCV 12 & 13

Client: Mr David & Mrs Merrin Martin

Address: 88 Lascelles Road
Narraweena 2099

Date:	Drawn:	Checked:	Project No:	Revision:	DWG No:
28.05.19	DA	DA	18030	L	2/16

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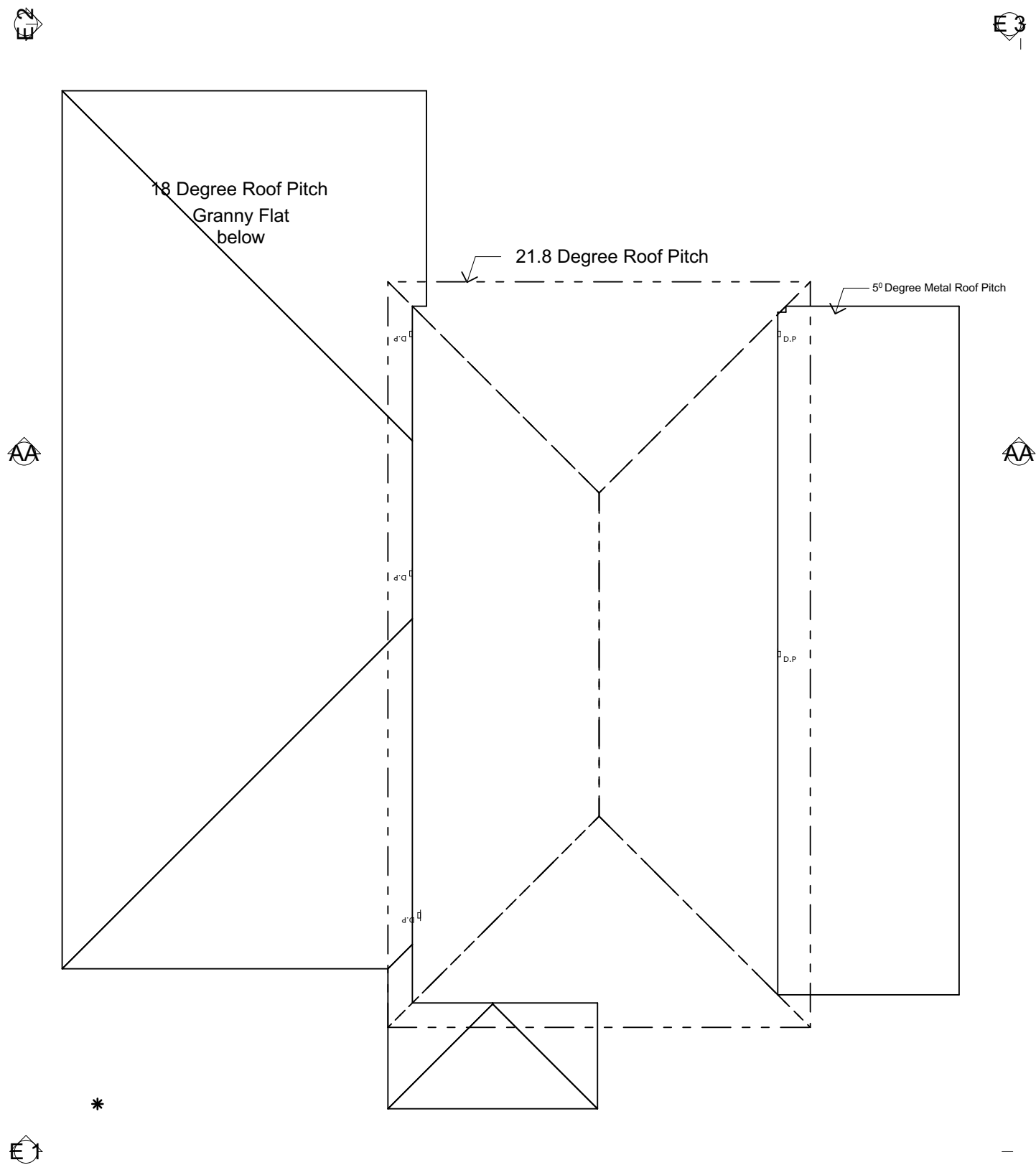
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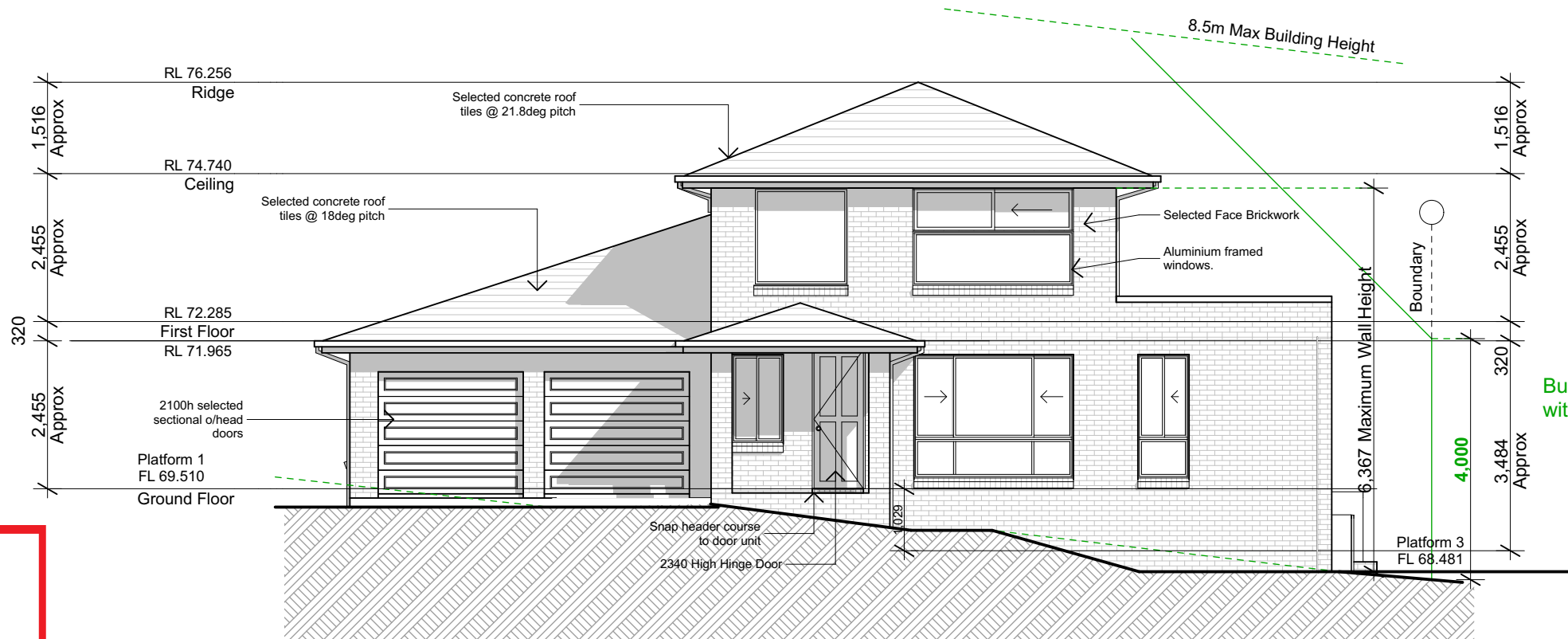
1:100

Roof Plan

1

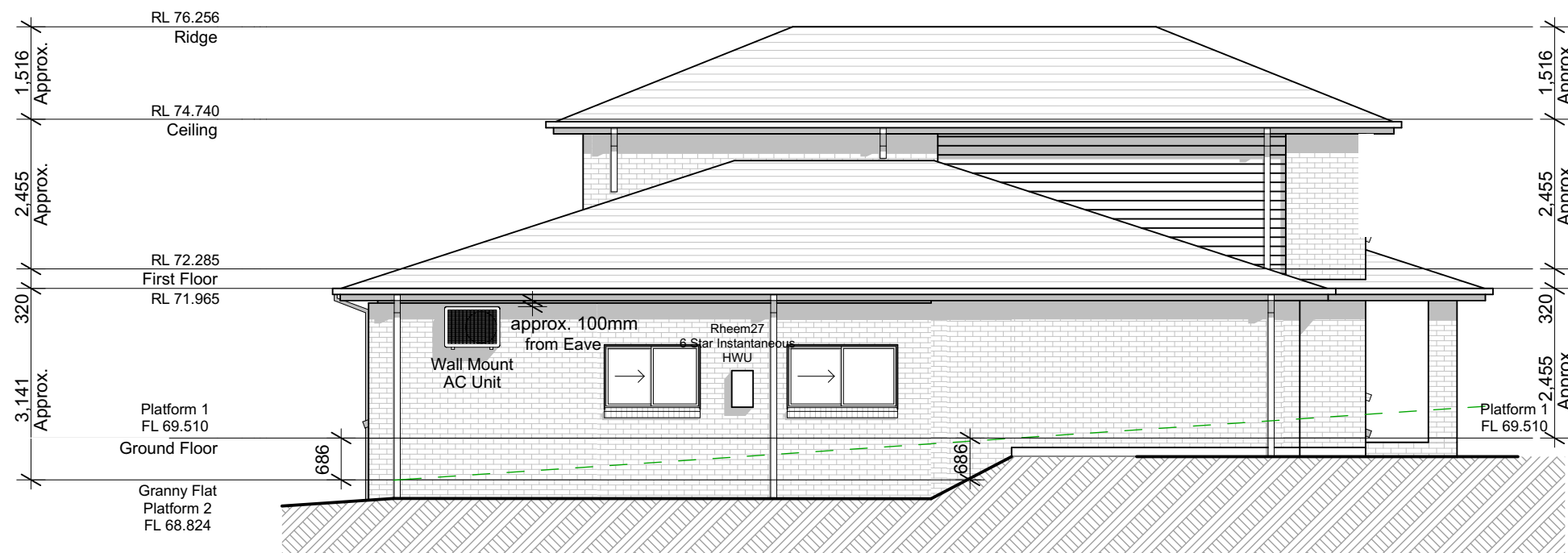
<div><div>PO Box 6165 Baulkham Hills, NSW 2153 Ph (02) 9114 8878 Fax (02) 9114 8877 enquiry@bellmarch.com.au www.bellmarch.com.au ABN 78 061 720 474 - Builders Lic. No. 50045c</div><div><div>HIA member the best in the business</div></div></div>	Rev	Date	Amendments:	Client: Mr David & Mrs Merrin Martin					
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Elevation 1 - Eastern Elevation
1:100

1



Elevation 2 - Southern Elevation
1:100

2

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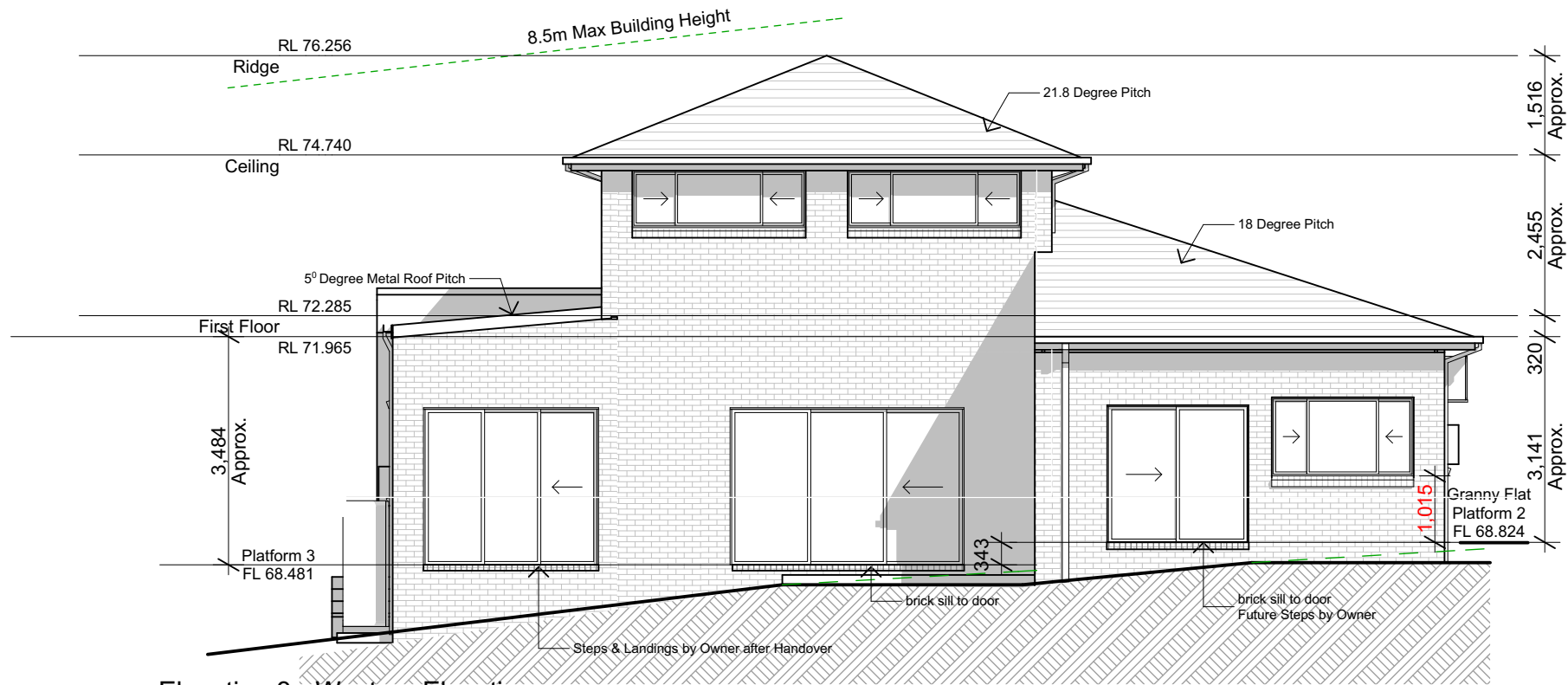
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Notes:
* Provide Waffle Pod floor slab construction.
* Provide hot water temperature limiting in accordance with statutory requirements
* Provide temporary fencing to block to meet safety requirements.
* Provide sediment control measures including trade waste receptacle in accordance with E.P.A. requirements.
* Provide Builders on site chemical treated sanitary service.
* Provide Termite protection in accordance with Australian standard AS 3660.1995.
* Provide R1.5 insulation batts to external walls.
* 55mm foil blanket installed below the metal roof located of the right hand side Ground Floor
* R4.0 ceiling insulation batts installed below the metal roof located on the right hand side Ground Floor
* Roof sarking installed below the tiled roof section of both the Principal Dwelling and the Secondary Dwelling.
* R6.0 ceiling insulation batts installed below the tiled roof section of both the Principal Dwelling and the Secondary Dwelling
* Low E Glazing with a Uv Value of 54 and a SHGC Range of 0.52 - 0.64 to both the Principal Dwelling and the Secondary Dwelling
* Provide termite protection to perimeter of house.
* Provide an Actron SRA201 reverse cycle air conditioning system to house with up to 3 zones (and up to 14 outlets).

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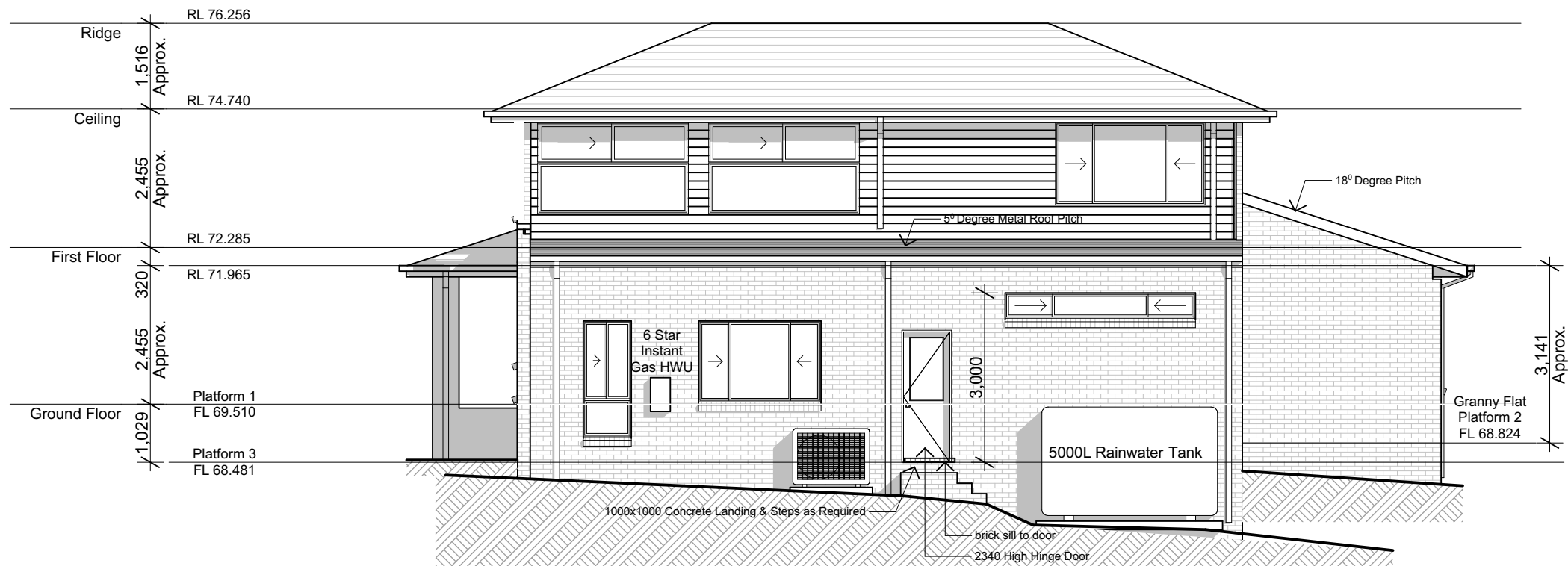
Elevation 3 - Western Elevation
1:100

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3



Elevation 4 - Northern Elevation
1:100

4

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