

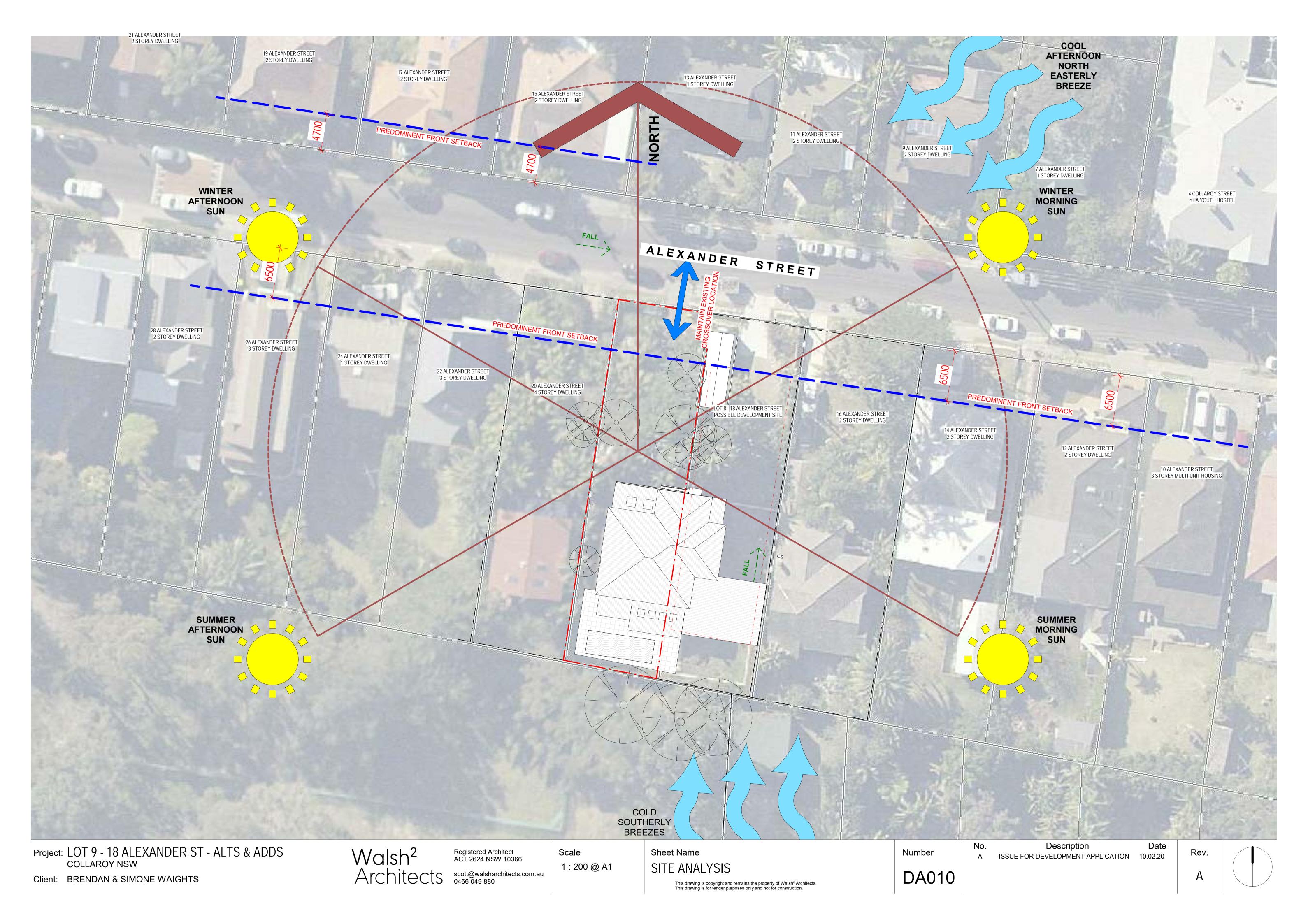
SITE INFORMATION						
ADDRESS	LOT 9, 18 Alexander Street Collaroy					
SITE AREA	574.8m²					
LOT	Lot 9, DP 6984					
ZONING	R2 - Low Density Residential					
YEILD		10 x Boarding Rooms (Plus :	1 Managers Residence)			
If the development complies with the below standards, they cannot be used as a means to refuse consent						
Control	Location of Control Control Proposed		Complies or Not			
HEIGHT	Warringah LEP	8.5 <b>m</b>	6.5 - 8.5m	Complies		
PARKING	SEPP ARH	0.5 cars Per room 1 per Employee 0.2 motorbikes per room 0.2*10 = 3 Motorbi 0.2 bicycles per room 0.5*10 = 5 Cars 1 Car for Manage 0.2*10 = 3 Motorbi 0.2*10 = 3 Bicycle		Complies		
SOLAR ACCESS	SEPP ARH	3 hours 9-3 to communal area	6 Hours	Complies		
PRIVATE OPEN SPACE	SEPP ARH	20m² communal	>20m²	Complies		
ACCOMODATION SIZE	SEPP ARH	12m² single lodger 16m² in all other cases	Typical 19m²	Complies		
The below controls are not required as SEPP AHR overrides the DCP; however, we are included the below to show we have also made every effort to meet local guidelines						
FRONT SETBACK	Warringah DCP	6.5 <b>m</b>	6.8m	Complies		
SIDE SETBACK 1 (East)	Warringah DCP	0.9m	1.2m	Complies		
SIDE SETBACK 2 (West)	Warringah DCP	0.9m	0.9m	Complies		
REAR SETBACK	Warringah DCP	6m	6m	Complies		
SIDE ENVELOPE	Warringah DCP	4m		Non-Compliance. See SOEE		
LANDSCAPED OPEN SPACE	Warringah DCP	40% of Site	23.5% of Site  Non-Compliance See SOE			

# LOT 9 - 18 ALEXANDER STREET COLLAROY

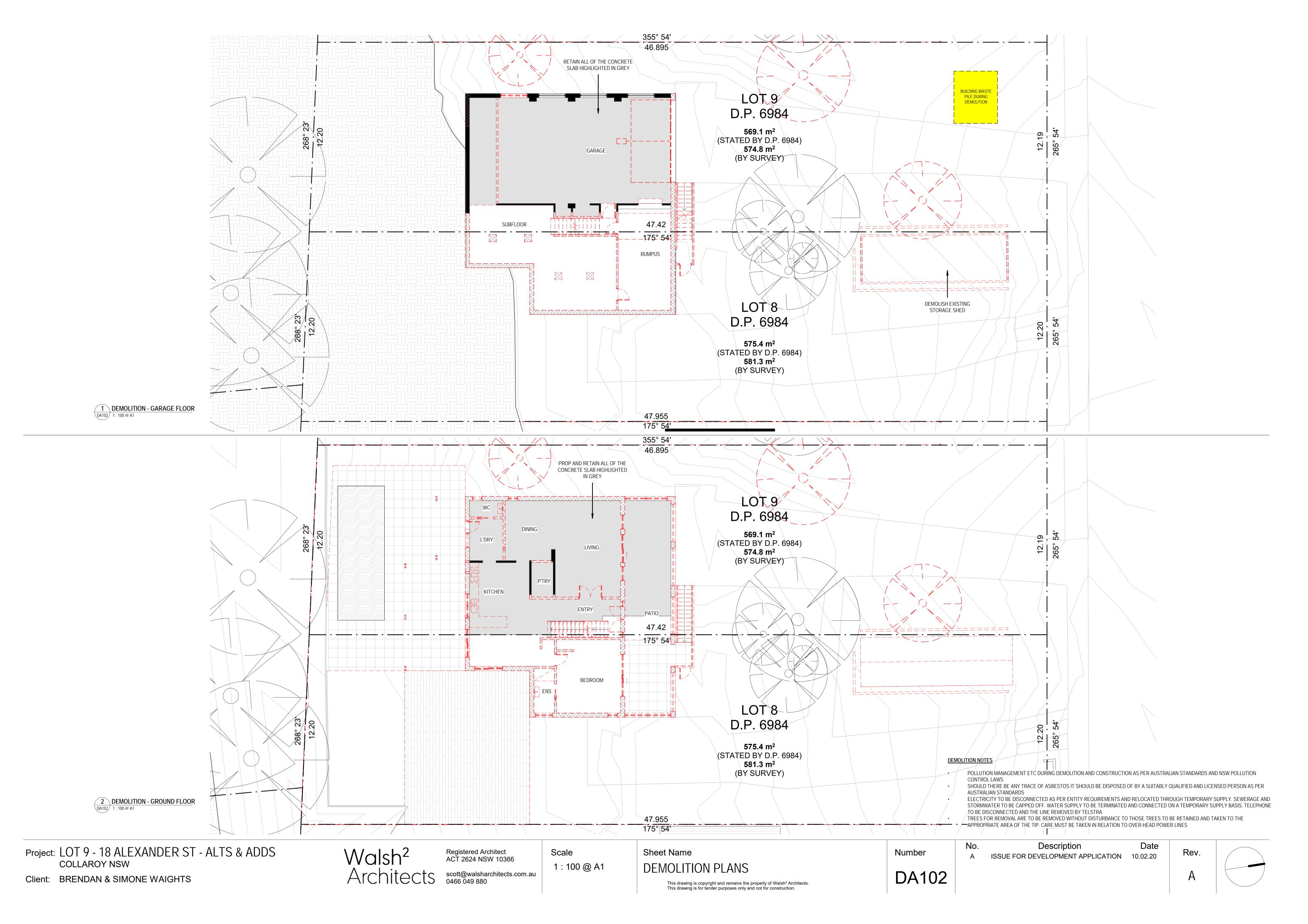
ALTERATIONS AND ADDITIONS WITH NEW 10 ROOM BOARDING HOUSE PLUS MANAGER

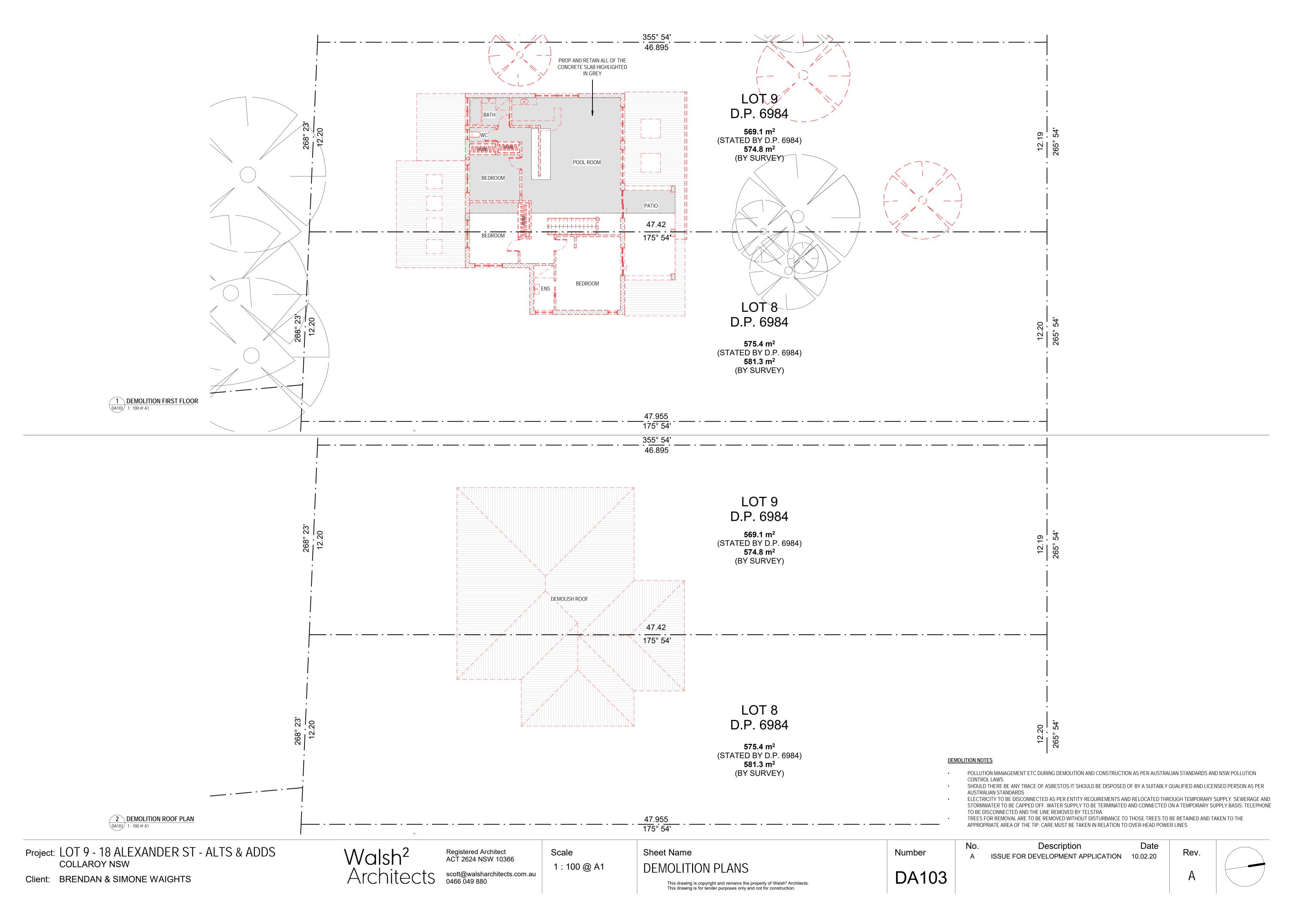
Scale

@ A1

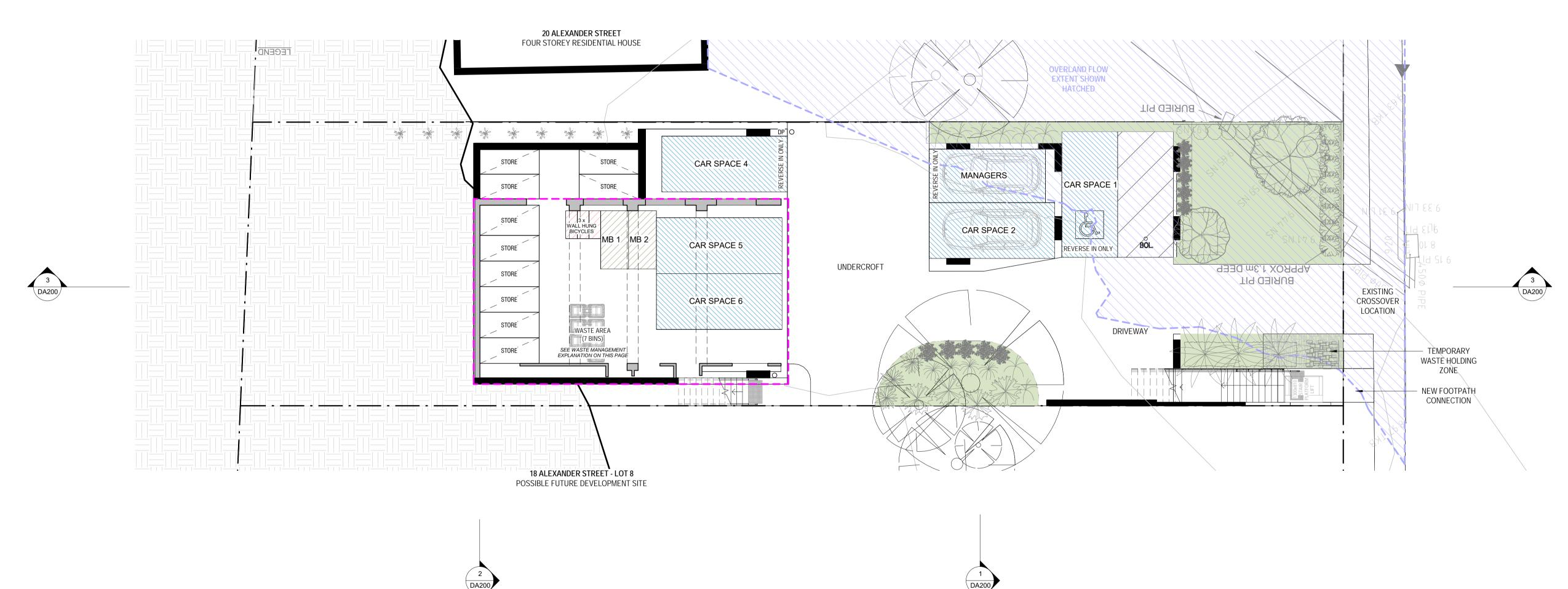












## WASTE MANAGEMENT

NORTHERN BEACHES COUNCIL WASTE MANAGEMENT GUIDELINES, PART 5.4. ESTIMATING NON-RESIDENTIAL WASTE GENERATION RATES - THE TABLE DOES <u>NOT</u> ESTIMATE BOARDING HOUSES IN THE TABLE. THE TABLE IS LEFT BLANK AS SHOWN IN THE BELOW IMAGE

Book shop	40L/100m <sup>2</sup> floor area/day	20L/100m² floor area/day
	40L/100III IIOOI alea/day	20L/100III IIOOI area/0

AS BOARDING HOUSES ARE COMMERCIAL BUILDINGS AND NOT RESIDENTIAL, WE THERFORE HAVE APPLIED THE NSW EPA BETTER PRACTICE GUIDELINES FOR WASTE MANAGEMENT AND RECYCLING IN COMMERCIAL AND INDUSTRIAL FACILITIES. THIS WAS APPROVED BY NBC WASTE OFFICER ON DA2018/1663 WHICH WAS FOR A BOARDING HOUSE.

Type of premises	Average L per 100 m² per day		Maximum L per 100 m² per day		Number of businesses	
	Waste	Recycling	Waste	Recycling	surveyed	
Backpackers accommodation, boarding house,	30	10	35	15	2	

THE GFA OF THE BUILDING IS 315m<sup>2</sup>; THEREFORE, USING THE MAXIMUM FIGURES, THIS BUILDING WOULD GENERATE 110.25L OF WASTE PER DAY AND 47.25L OF RECYCLING PER DAY.

REQUIRED MAXIMUM WASTE = 772 LITRES PER WEEK = 4 X 240L BINS = 960L RECYCLING = 331 LITRES PER WEEK = 2 X 240L BINS = 480L

WE HAVE ALSO PROVIDED 1 GREEN BINS FOR THE 163m<sup>2</sup> OF LANDSCAPING.

Effective Date: 25 October 2016

Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS **COLLAROY NSW** 

Client: BRENDAN & SIMONE WAIGHTS

Registered Architect ACT 2624 NSW 10366 scott@walsharchitects.com.au 0466 049 880 Scale 1 : 100 @ A1 Sheet Name UNDERCROFT FLOOR PLAN This drawing is copyright and remains the property of Walsh<sup>2</sup> Architects. This drawing is for tender purposes only and not for construction. Number

**DA111** 

Description A ISSUE FOR DEVELOPMENT APPLICATION 10.02.20

Rev.

- - - = NATURAL GROUND LEVEL

- - - = SIDE BOUNDARY ENVELOPE

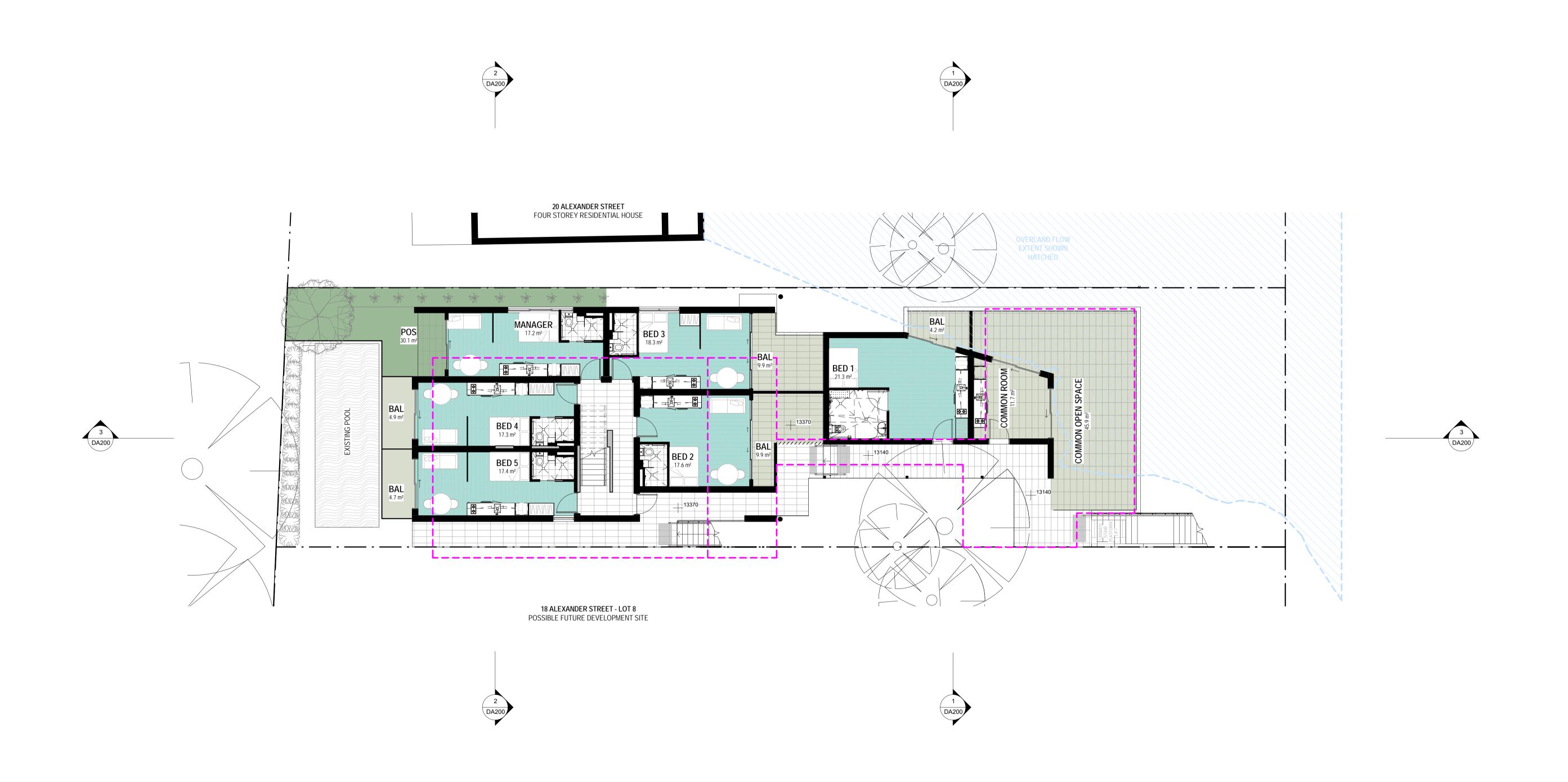
**– – – =** DA2019/0306 ENVELOPE

INTERSECTION

**- - - =** 8.5M HEIGHT PLANE

**LEGEND** 





<u>LEGEND</u> **- - - = NATURAL GROUND LEVEL** 

**- - - =** 8.5M HEIGHT PLANE - - - = SIDE BOUNDARY ENVELOPE

**– – –** = DA2019/0306 ENVELOPE

INTERSECTION

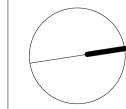
Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS

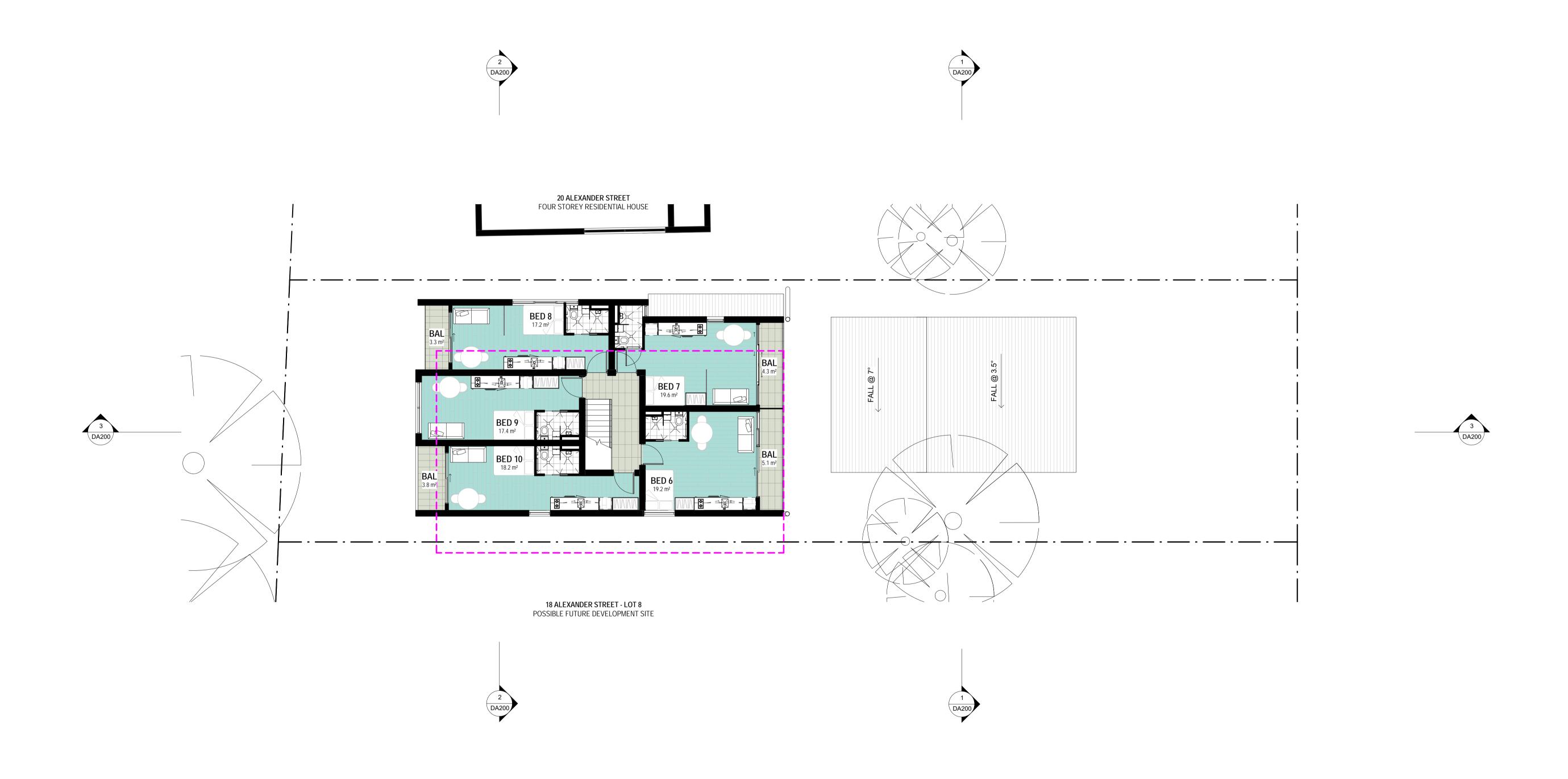
**COLLAROY NSW** Client: BRENDAN & SIMONE WAIGHTS

Walsh<sup>2</sup>
ACT 2624 NSW 10366
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Scale 1 : 100 @ A1 Sheet Name LEVEL 1 FLOOR PLAN This drawing is copyright and remains the property of Walsh² Architects. This drawing is for tender purposes only and not for construction. Number

Description A ISSUE FOR DEVELOPMENT APPLICATION 10.02.20





<u>LEGEND</u> **- - - = NATURAL GROUND LEVEL** 

**- - - =** 8.5M HEIGHT PLANE

INTERSECTION **– – –** = DA2019/0306 ENVELOPE

- - - = SIDE BOUNDARY ENVELOPE

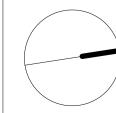
Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS

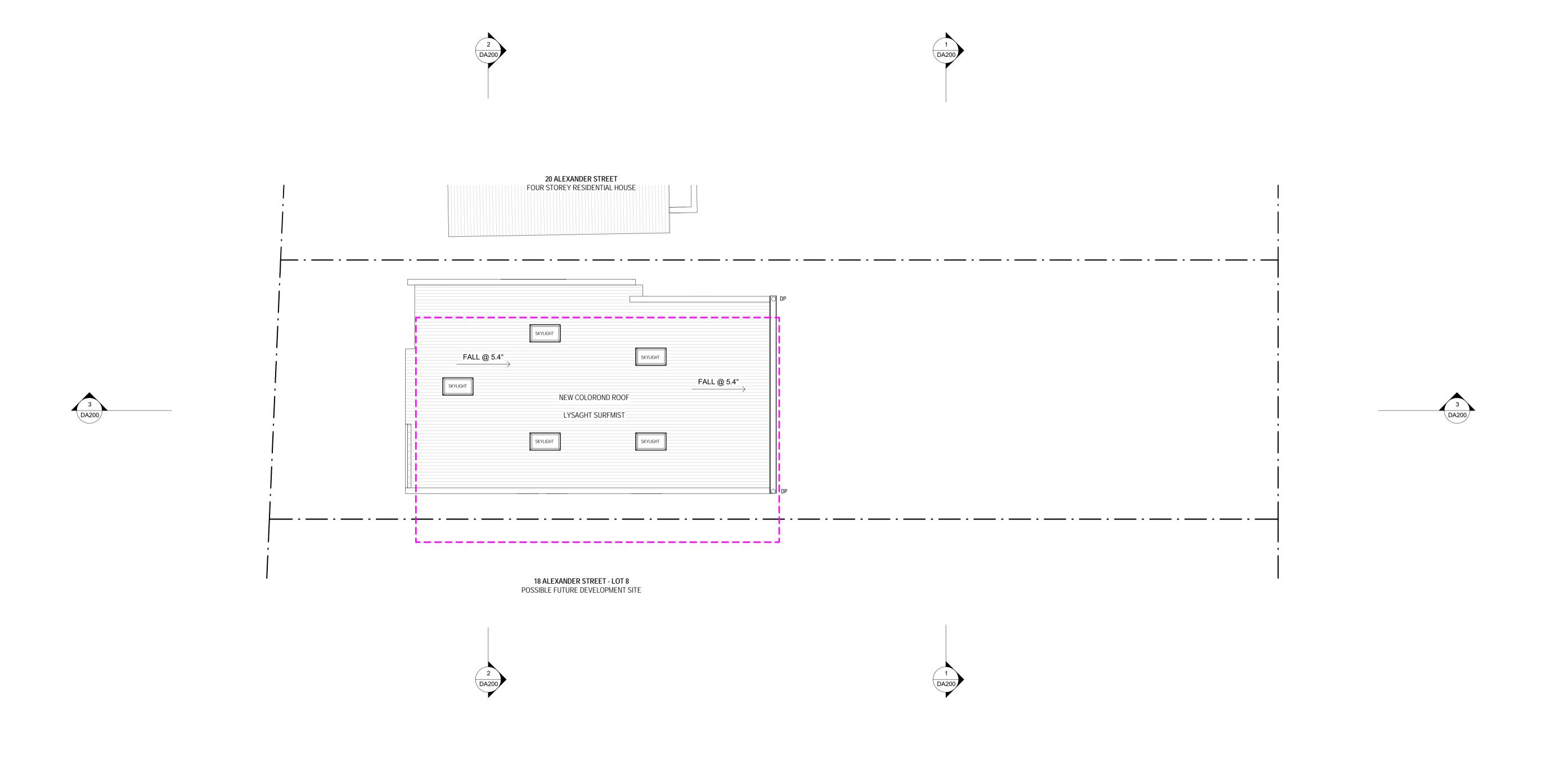
COLLAROY NSW Client: BRENDAN & SIMONE WAIGHTS Walsh<sup>2</sup>
ACT 2624 NSW 10366
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Scale

Sheet Name LEVEL 2 FLOOR PLAN This drawing is copyright and remains the property of Walsh<sup>2</sup> Architects. This drawing is for tender purposes only and not for construction. Number

Description A ISSUE FOR DEVELOPMENT APPLICATION 10.02.20





<u>LEGEND</u>

**- - - = NATURAL GROUND LEVEL - - - =** 8.5M HEIGHT PLANE

INTERSECTION **– – –** = DA2019/0306 ENVELOPE

- - - = SIDE BOUNDARY ENVELOPE

Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS

COLLAROY NSW

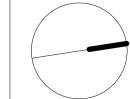
Client: BRENDAN & SIMONE WAIGHTS

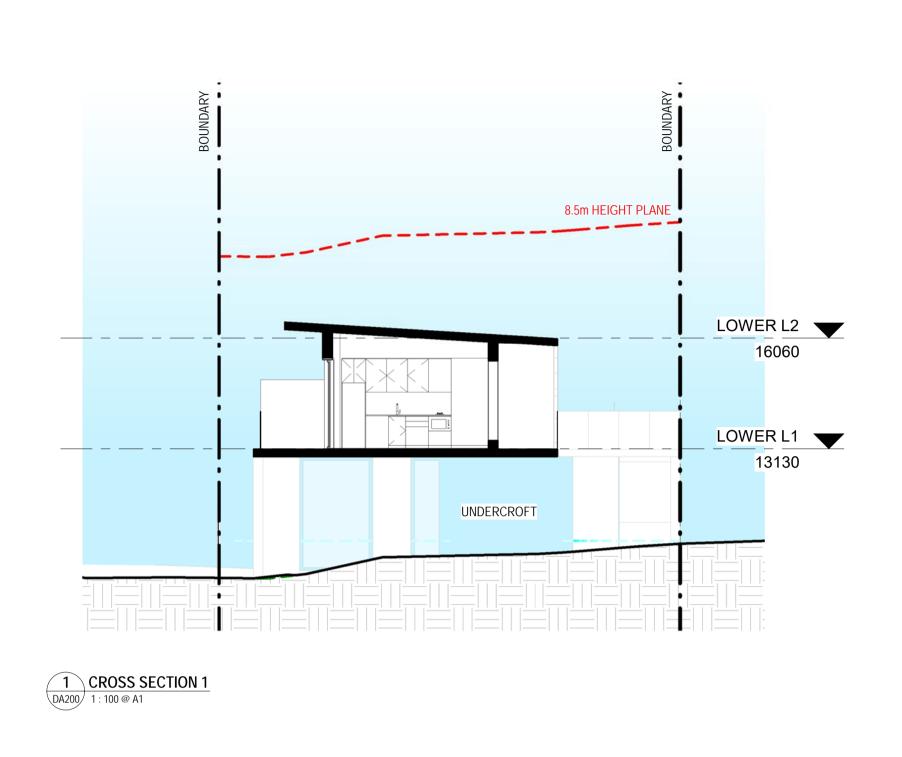
Walsh<sup>2</sup>
ACT 2624 NSW 10366
Architects scott@walsharchitects.com.au 0466 049 880

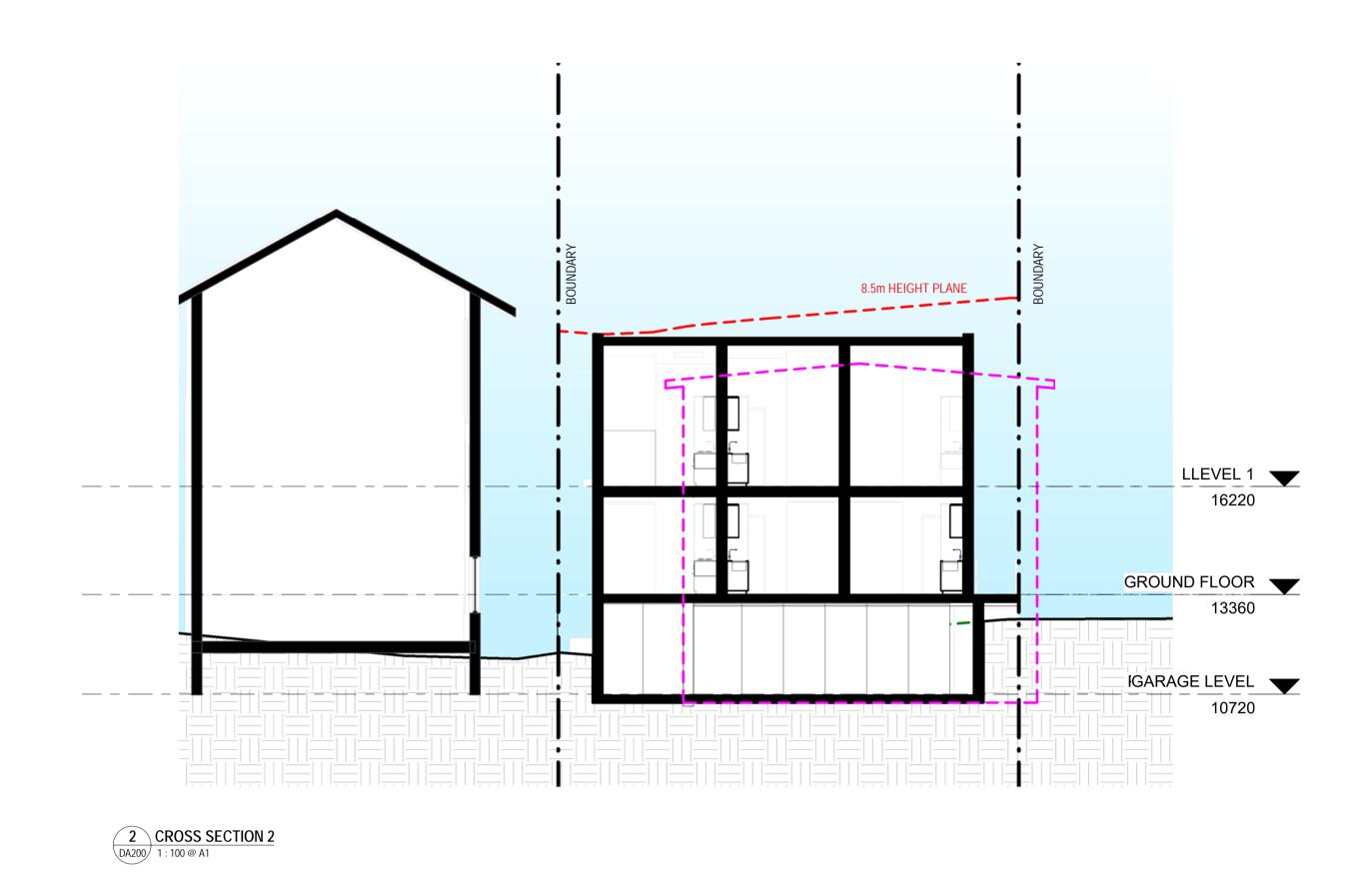
Scale 1 : 100 @ A1 Sheet Name **ROOF PLAN** This drawing is copyright and remains the property of Walsh<sup>2</sup> Architects. This drawing is for tender purposes only and not for construction. Number

DA123

Description A ISSUE FOR DEVELOPMENT APPLICATION 10.02.20









Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS **COLLAROY NSW** 

Client: BRENDAN & SIMONE WAIGHTS

Walsh<sup>2</sup>
ACT 2624 NSW 10366

Architects scott@walsharchitects.com.au 0466 049 880

Scale

1 : 100 @ A1

Sheet Name SECTIONS This drawing is copyright and remains the property of Walsh<sup>2</sup> Architects. This drawing is for tender purposes only and not for construction.

Number DA200

Description A ISSUE FOR DEVELOPMENT APPLICATION 10.02.20

Rev.

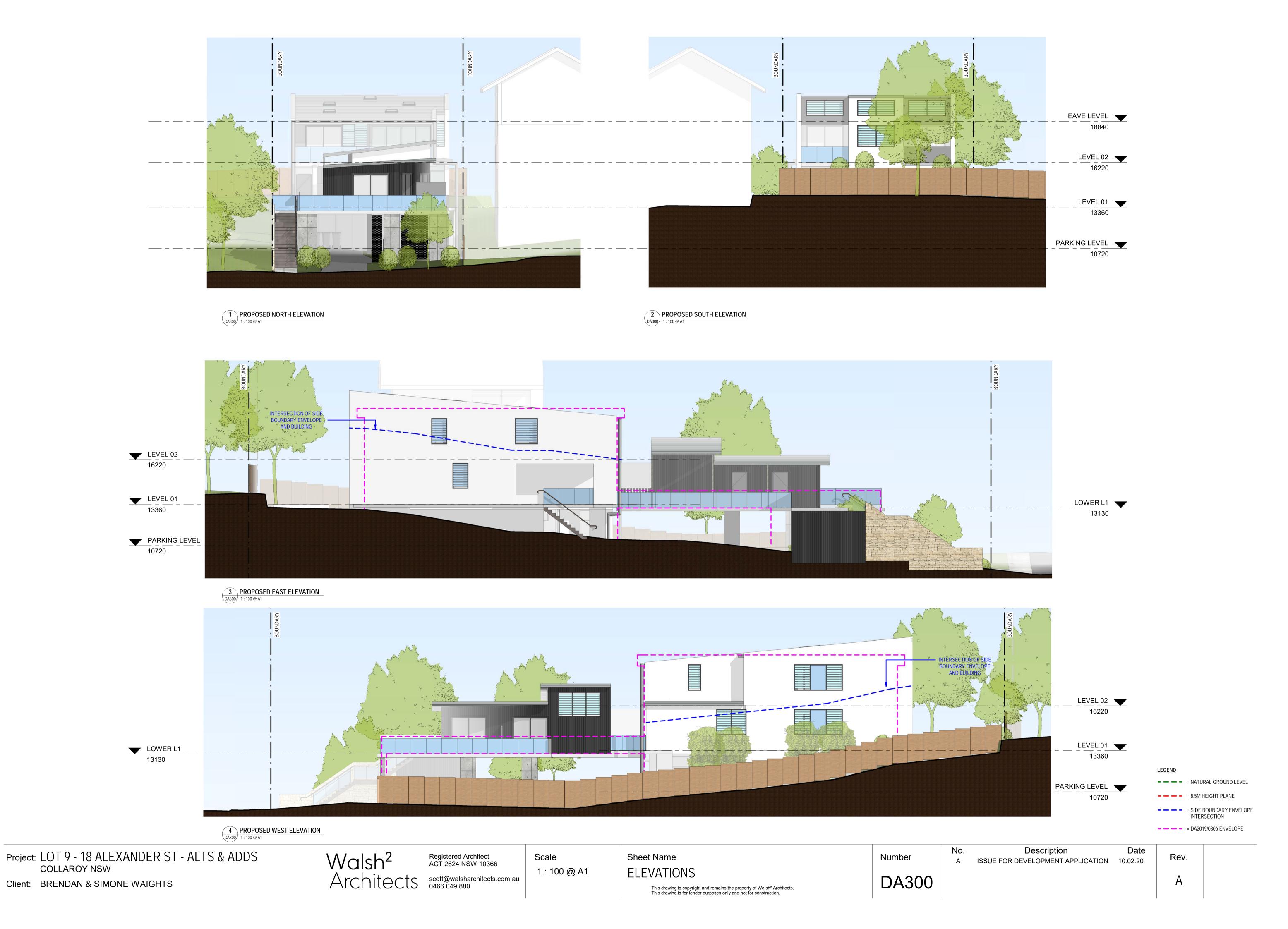
**- - - = NATURAL GROUND LEVEL** 

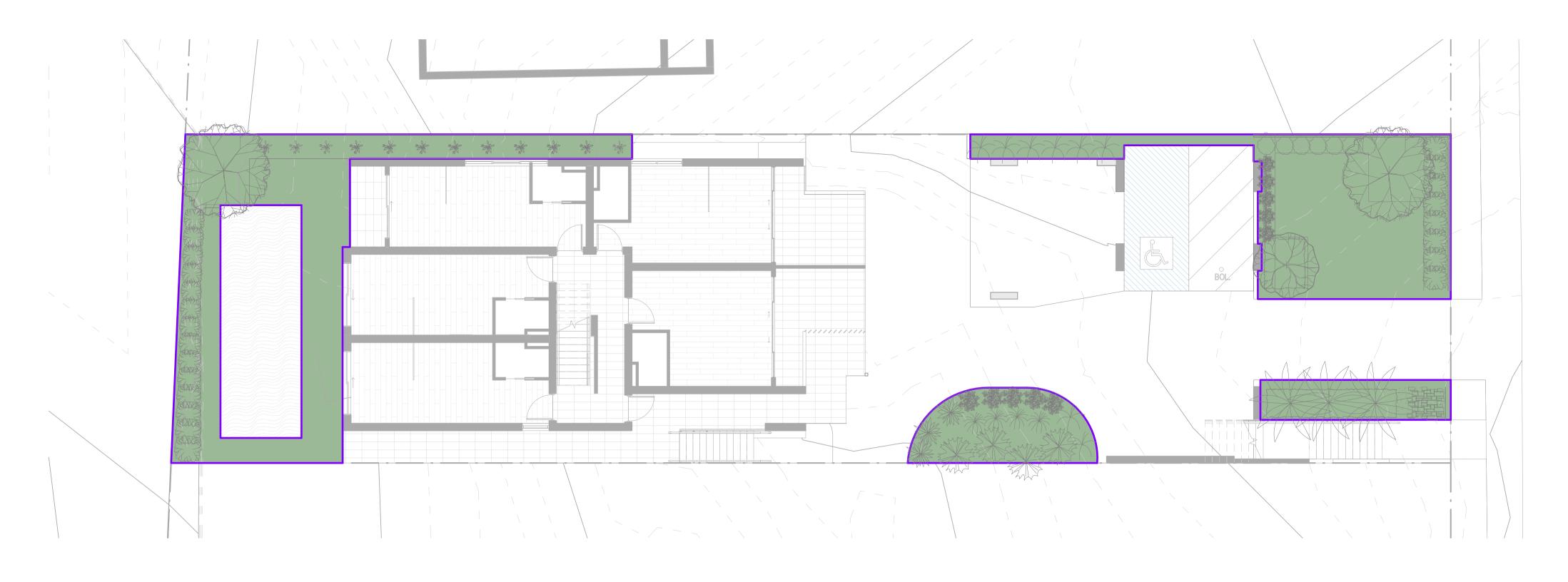
- - - = SIDE BOUNDARY ENVELOPE INTERSECTION

**– – –** = DA2019/0306 ENVELOPE

**- - - =** 8.5M HEIGHT PLANE

**LEGEND** 



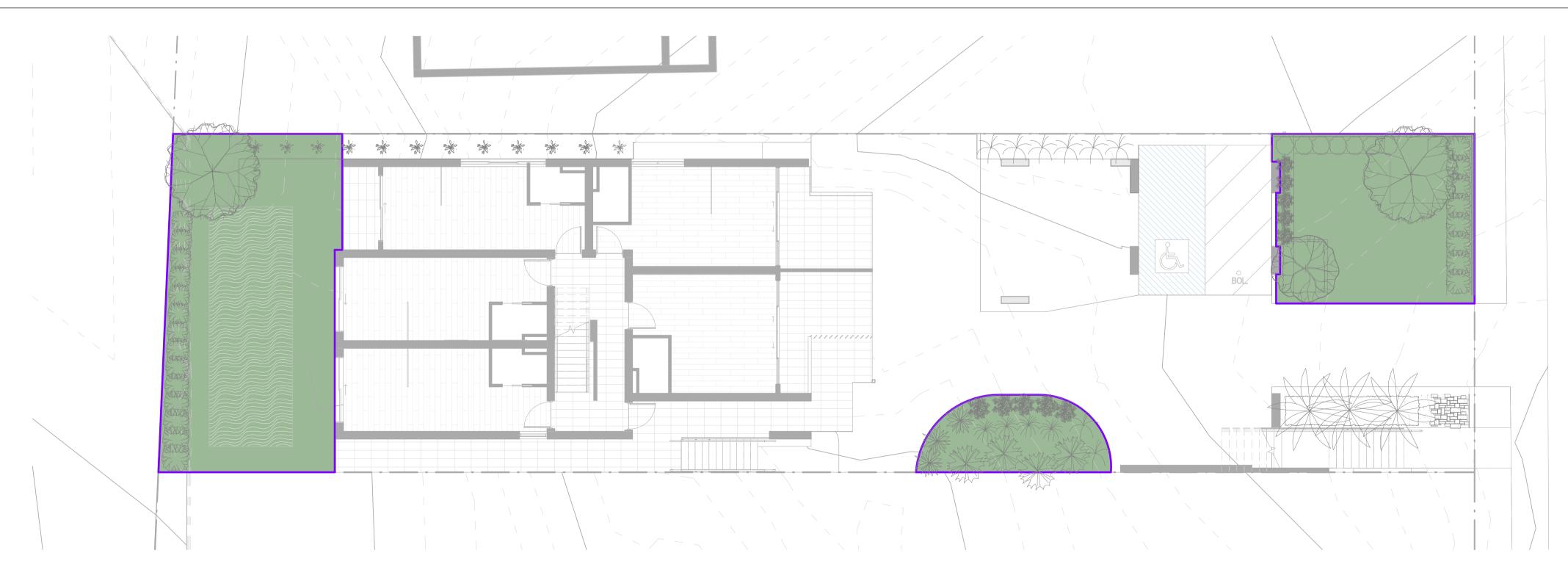


1 SEPP LANDSCAPE AREA 1:100 @ A1

LANDSCAPE AREA DEFINITION UNDER THE SEPP

LANDSCAPED AREA MEANS A PART OF A SITE USED FOR GROWING PLANTS, GRASSES AND TREES, BUT DOES NOT INCLUDE ANY BUILDING, STRUCTURE OR HARD PAVED AREA'.

LANDSCAPED AREA				
LANDSCAPE	PERCENTAGE OF			
AREA	SITE AREA			
136.3 m²	23.7%			
-				



DA401 DCP OPEN SPACE AREA
1:100 @ A1

## TO MEASURE THE AREA OF LANDSCAPED OPEN SPACE:

- DRIVEWAYS, PAVED AREAS, ROOFED AREAS, TENNIS COURTS, CAR PARKING AND STORMWATER STRUCTURES, DECKS, ETC, AND ANY OPEN SPACE
- THE WATER SURFACE OF SWIMMING POOLS AND IMPERVIOUS SURFACES WHICH OCCUR NATURALLY SUCH AS ROCK OUTCROPS ARE INCLUDED IN THE CALCULATION;
- LANDSCAPED OPEN SPACE MUST BE AT GROUND LEVEL (FINISHED); AND
- THE MINIMUM SOIL DEPTH OF LAND THAT CAN BE INCLUDED AS LANDSCAPED OPEN SPACE IS 1 METRE'

Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS

**COLLAROY NSW** 

Client: BRENDAN & SIMONE WAIGHTS

Registered Architect ACT 2624 NSW 10366 scott@walsharchitects.com.au 0466 049 880 Scale 1 : 100 @ A1 Sheet Name AREA CALCULATIONS - LANDSCAPE

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Number

DA401

AREA

135.2 m²

LANDSCAPED OPEN SPACE

PERCENTAGE OF SITE AREA

23.5%

Description A ISSUE FOR DEVELOPMENT APPLICATION 10.02.20







SEPP AFFORDABLE HOUSING CLAUSE 29 2 (C) WHERE THE DEVELOPMENT PROVIDES FOR ONE OR MORE COMMUNAL LIVING ROOMS, IF AT LEAST ONE OF THOSE ROOMS RECEIVES A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM IN MIC-WINTER.

WARRINGAH DCP 2011 50% OF THE REQUIRED AREA OF PRIVATE OPEN SPACE OF ADJOINING DWELLINGS ARE TO RECEIVE A MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 9AM AND 3PM ON JUNE 21

Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS

**COLLAROY NSW** Client: BRENDAN & SIMONE WAIGHTS Walsh<sup>2</sup>
Act 2624 NSW 10366

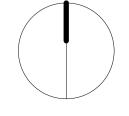
Architects scott@walsharchitects.com.au 0466 049 880

Scale 1 : 200 @ A1 Sheet Name SHADOW DIAGRAMS - 9AM JUNE 21ST This drawing is copyright and remains the property of Walsh² Architects. This drawing is for tender purposes only and not for construction.

Number DA500

COMPLIES FROM 9AM TO 3PM (6 HOURS)

Description A ISSUE FOR DEVELOPMENT APPLICATION 10.02.20







PROPOSED SHADOW DIAGRAM - 12PM JUNE 21ST
1:200 @ A1

SEPP AFFORDABLE HOUSING CLAUSE 29 2 (C) WHERE THE DEVELOPMENT PROVIDES FOR ONE OR MORE COMMUNAL LIVING ROOMS, IF AT LEAST ONE OF THOSE ROOMS RECEIVES A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM IN

50% OF THE REQUIRED AREA OF PRIVATE OPEN SPACE OF ADJOINING DWELLINGS ARE TO RECEIVE A MINIMUM OF 3

MIC-WINTER. COMPLIES FROM 9AM TO 3PM (6 HOURS) HOURS OF SUNLIGHT BETWEEN 9AM AND 3PM ON JUNE 21

WARRINGAH DCP 2011

Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS

**COLLAROY NSW** Client: BRENDAN & SIMONE WAIGHTS

Walsh<sup>2</sup>
Act 2624 NSW 10366

Architects scott@walsharchitects.com.au 0466 049 880

1 : 200 @ A1

Scale

Sheet Name SHADOW DIAGRAMS - 12PM JUNE 21ST This drawing is copyright and remains the property of Walsh² Architects. This drawing is for tender purposes only and not for construction.

Number DA502

Description A ISSUE FOR DEVELOPMENT APPLICATION 10.02.20







2 PROPOSED SHADOW DIAGRAM - 3PM JUNE 21ST DA503 1:200 @ A1

SEPP AFFORDABLE HOUSING CLAUSE 29 2 (C) WHERE THE DEVELOPMENT PROVIDES FOR ONE OR MORE COMMUNAL LIVING ROOMS, IF AT LEAST ONE OF THOSE ROOMS RECEIVES A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM IN

MIC-WINTER. COMPLIES FROM 9AM TO 3PM (6 HOURS) WARRINGAH DCP 2011 50% OF THE REQUIRED AREA OF PRIVATE OPEN SPACE OF ADJOINING DWELLINGS ARE TO RECEIVE A MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 9AM AND 3PM ON JUNE 21

Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS

Client: BRENDAN & SIMONE WAIGHTS

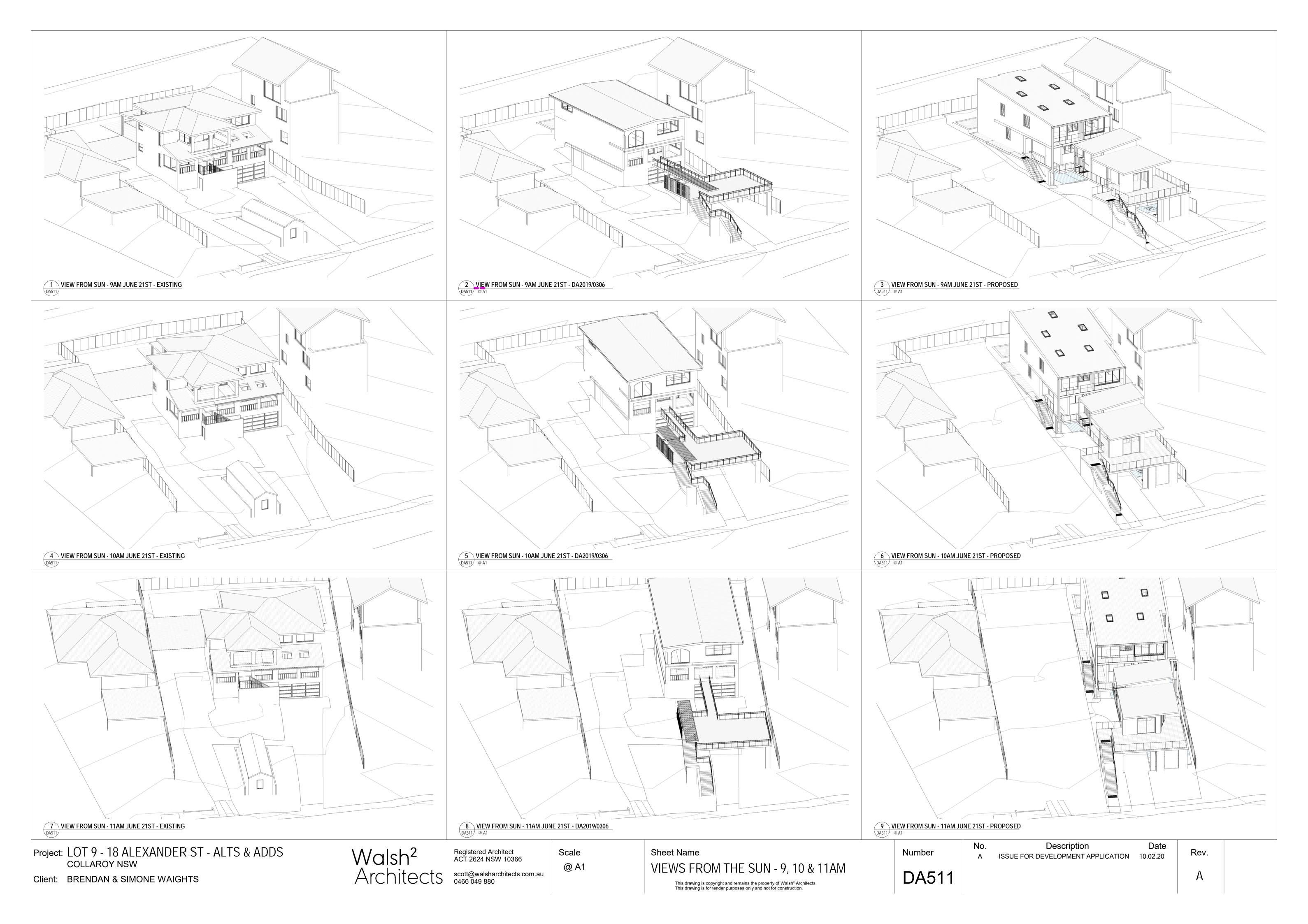
Walsh<sup>2</sup>
Act 2624 NSW 10366

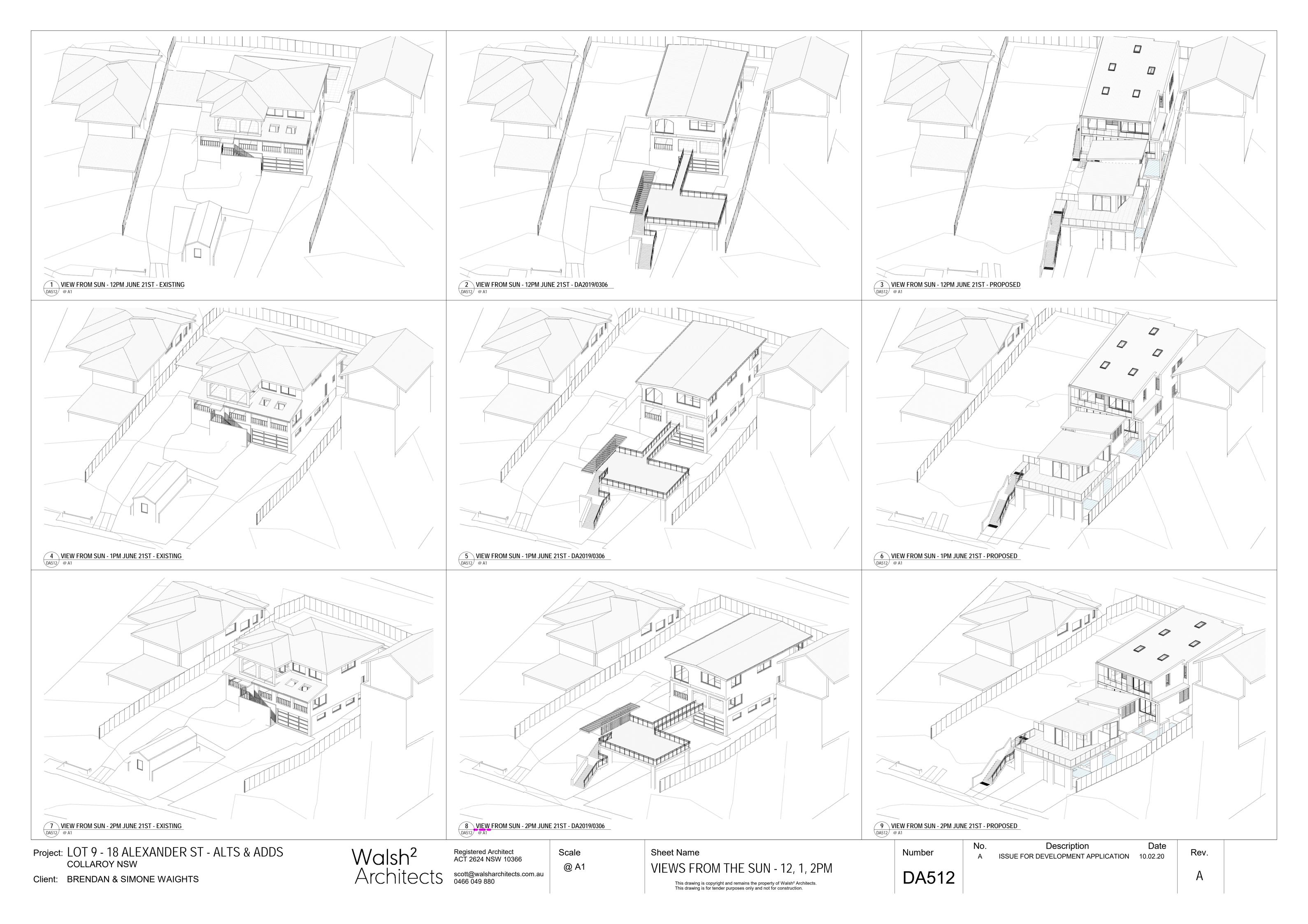
Architects scott@walsharchitects.com.au 0466 049 880

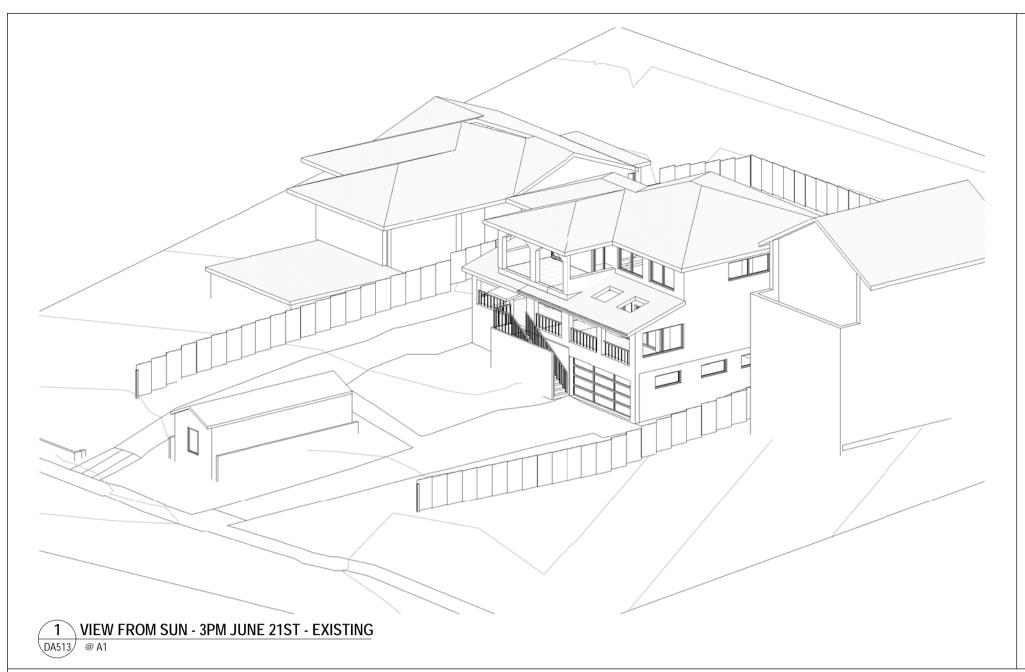
Scale 1 : 200 @ A1 Sheet Name SHADOW DIAGRAMS - 3PM JUNE 21ST This drawing is copyright and remains the property of Walsh² Architects. This drawing is for tender purposes only and not for construction.

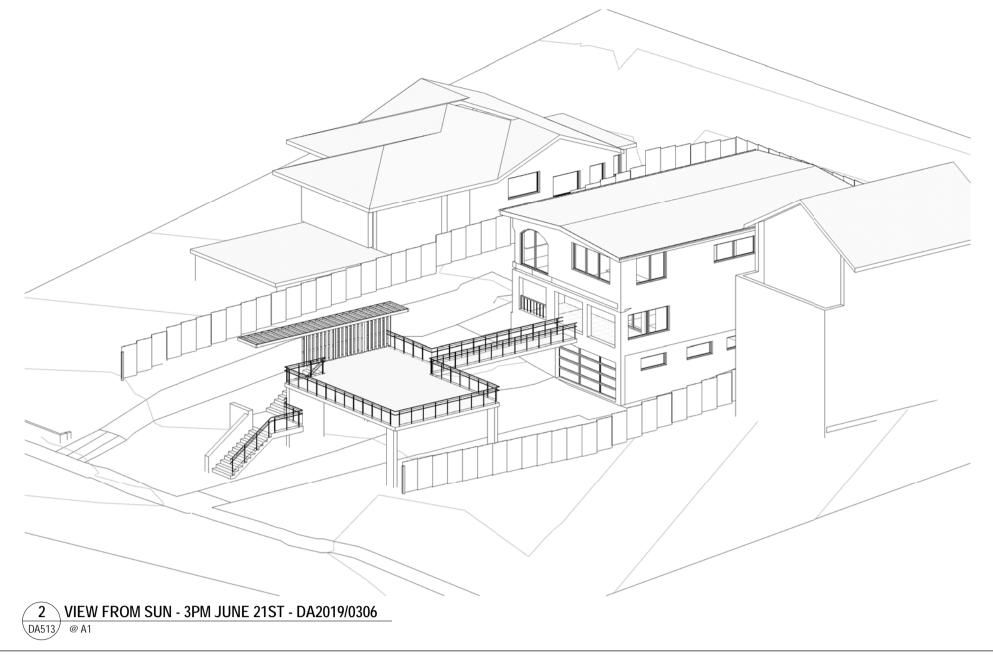
Number DA503

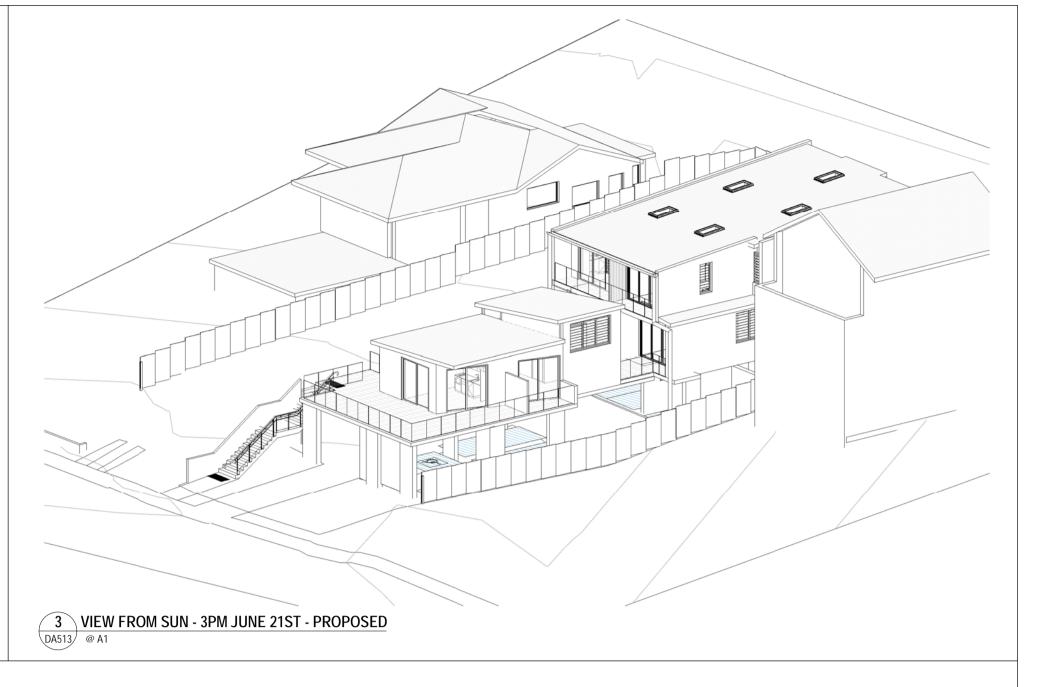
Description A ISSUE FOR DEVELOPMENT APPLICATION 10.02.20











SEPP AFFORDABLE HOUSING CLAUSE 29 2 (C) WHERE THE DEVELOPMENT PROVIDES FOR ONE OR MORE COMMUNAL LIVING ROOMS, IF AT LEAST ONE OF THOSE ROOMS RECEIVES A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM IN MIC-WINTER.

WARRINGAH DCP 2011 50% OF THE REQUIRED AREA OF PRIVATE OPEN SPACE OF ADJOINING DWELLINGS ARE TO RECEIVE A MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 9AM AND 3PM ON JUNE 21

Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS **COLLAROY NSW** 

Client: BRENDAN & SIMONE WAIGHTS

Walsh<sup>2</sup>
ACT 2624 NSW 10366
Architects
scott@walsharchitects.com.au
0466 049 880

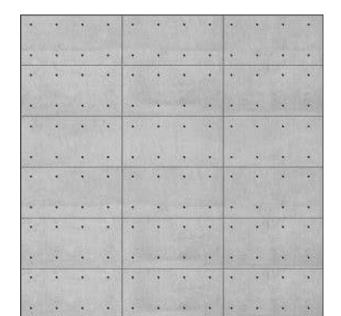
Scale @ A1 Sheet Name VIEWS FROM THE SUN - 3PM This drawing is copyright and remains the property of Walsh² Architects. This drawing is for tender purposes only and not for construction.

Number DA513

COMPLIES FROM 9AM TO 3PM (6 HOURS)

Description A ISSUE FOR DEVELOPMENT APPLICATION 10.02.20

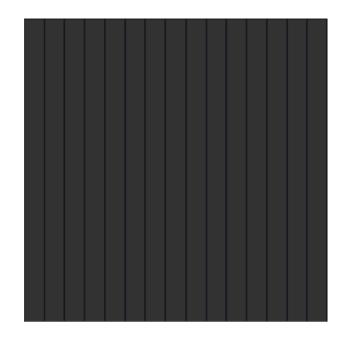




1. INSITU CONCRETE



2. METALWORK -PERFORATED METAL SCREENS - POWDERCOATED MONUMENT



3. JAMES HARDIE AXON 133 PROFILE LAID VERTICALLY WITH PAINTED MONUMENT FINISH.



**4.SANDSTONE - ENTRY STAIRS** AND RETAINING WALLS



5. WHITE - PAINTED EASYLAP FC

DA800

Rev.

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### 3D IMAGES

LANDSCAPED OPEN SPACE

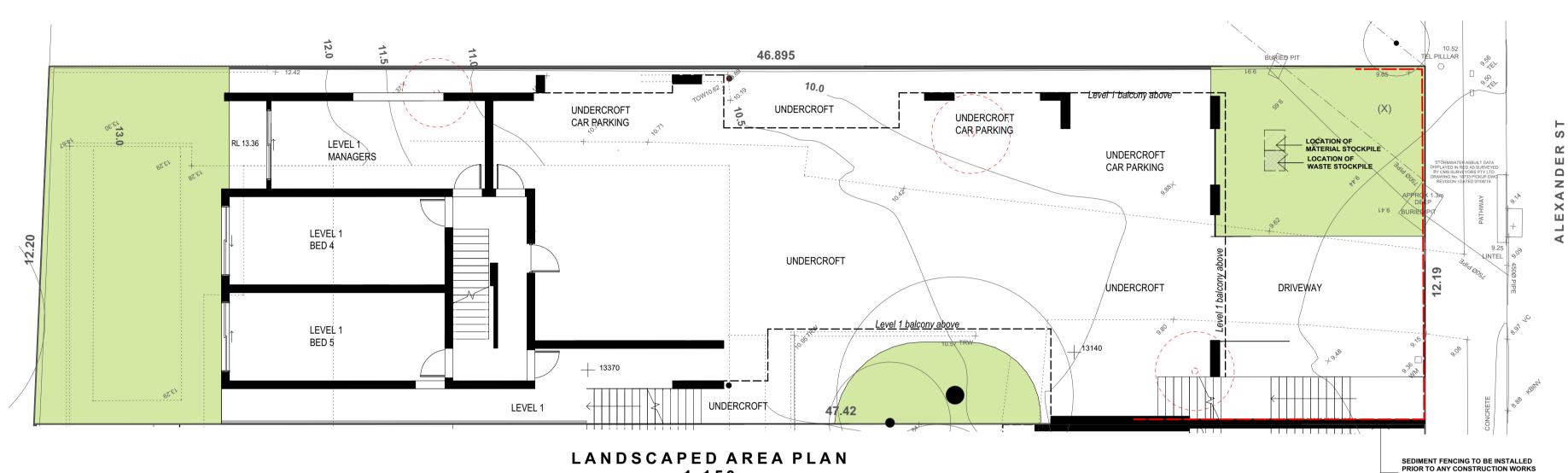
**AREA** 

135.2 m<sup>2</sup>

PERCENTAGE OF

SITE AREA

23.5%



## 1:150

## TO MEASURE THE AREA OF LANDSCAPED OPEN SPACE:

DCP OPEN SPACE

- DRIVEWAYS, PAVED AREAS, ROOFED AREAS, TENNIS COURTS, CAR PARKING AND STORMWATER STRUCTURES, DECKS, ETC, AND ANY OPEN SPACE AREAS WITH A DIMENSION OF LESS THAN 2 METRES ARE EXCLUDED FROM THE CALCULATION;
- THE WATER SURFACE OF SWIMMING POOLS AND IMPERVIOUS SURFACES WHICH OCCUR NATURALLY SUCH AS ROCK OUTCROPS ARE INCLUDED IN
- LANDSCAPED OPEN SPACE MUST BE AT GROUND LEVEL (FINISHED); AND
- THE MINIMUM SOIL DEPTH OF LAND THAT CAN BE INCLUDED AS LANDSCAPED OPEN SPACE IS 1 METRE'.

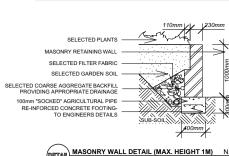
## SEPP LANDSCAPED AREA

LANDSCAPE AREA DEFINITION UNDER THE SEPP

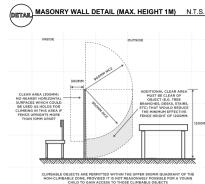
LANDSCAPED AREA MEANS A PART OF A SITE USED FOR GROWING PLANTS, GRASSES AND TREES, BUT DOES NOT INCLUDE ANY BUILDING, STRUCTURE OR HARD PAVED AREA'.

LANDSCAPED AREA			
LANDSCAPE AREA	PERCENTAGE OF SITE AREA		
136.3 m²	23.7%		

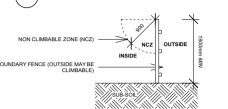
#### SWIMMING POOL SAFETY FENCE TO COMPLY WITH: AS 1926.1-2012 AS 1926.2-2007 SWIMMING POOLS ACT 1992 SWIMMING POOL REGULATION 2008 BUILDING CODE OF AUSTRALIA BUILDING CODE OF AUSTRALIA BUILDING CODE OF AUSTRALIA NSW AMENDMENT - PART 3.9.3

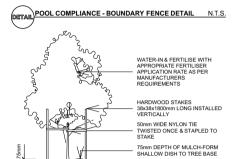




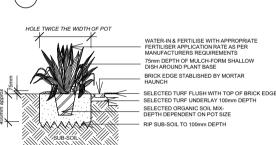


## POOL COMPLIANCE - POOL FENCE DETAIL N.T.S.



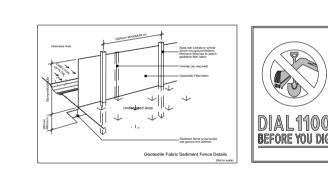


- RIP SUB-SOIL TO 150mm DEPTH (DETAIL) 45LT + TREE PLANTING DETAIL N.T.S.



SELECTED PLANTING MIX TWICE DEPTH OF ROOT BA

## PLANTING & BRICK EDGE DETAIL N.T.S.



#### LANDSCAPE CONSTRUCTION NOTES SITE SET OUT & PREPARATION

Ensure any discrepancies are directed immediately to Fluid Design & the Stump grind and remove material from site. -Stock pile existing excavated site topsoil for re-use in new garden bed areas, as required.

-Any existing sandstone boulders, rocks and flagging pieces within the designated construction zone will be stockpiled for re-use in proposed planting areas to embankments for the construction of retaining walls and as landscape features where required. -Remove unwanted matter including stones exceeding 50mm, loose sticks, and branches, damaged roots and building rubbish.

-Contractor to undertake a full site set-out prior to undertaking any works.

-Remove existing grass/ weeds from all proposed garden bed areas. Where required, spray areas with an approved herbicide. -Cultivate garden bed areas to a depth of 200mm. Re-use stockpiled existing site topsoil to garden areas as required, and cultivate thoroughly into existing site soil.

-Grade garden bed surfaces accordingly.

#### EXISTING TREE PROTECTION MEASURES Ensure the protection of all existing trees to be retained, indicated on the plan, from any damage during construction works. Take necessary precautions, including the following:

-Mark trees & shrubs to be retained using non-injurious, easily visible and removable means of identification.
-Prior to commencement of any construction works, install protective fencing. Maintain in place and in good order for the duration of the construction period. The protection fencing is to consist of 4 strands of fencing wire, or plastic mesh barrier, supported on star pickets spaced at not more than 4m, installed 1m outside the dripline of existing trees to be -Use timber hoarding to protect base of trees, where there is insufficient

room protective fencing.
-Storage/ stockpilling of materials, soil or any debris shall not be carried out within the drip line of existing trees.
-Rectify immediately any damage to or destruction of any existing trees.
-Where excavation is necessary within the drip line of trees, hand methods shall be used to preserve root systems intact and minimise damage. -Where it is necessary to cut tree roots, use a hand saw as to not disturb

#### the remaining root system. RAISED FEATURE WALLS

-Walls to be built using either double brick work or core filled block work -All walls over 1000mm in height to be detailed by a qualified engineer -Feature walls to be either stone clad or rendered as specified - Selected feature screening (ie: FC Sheeting/timber) to be fixed to Galvanised steel posts inset to core filled block work. Framing attached to

#### PAVING / TILING -Paving products to be selected by Designer & / or Client.

-Paving fall & hardsurface water run-off to be determined on site so that it away from structures to suitable drainage systems or garden areas -All paving sub-bases are to be reinforced concrete footing 100mm thick over compacted roadbase or similar.

- Allow access provisions for future serviceseg, irrigation & garden

-Paving to be laid on a sand/cement wet bed or adhesive and edges of paved areas are to be haunched as per manufacturers / suppliers recommendations

#### -Paving joints to range from 5-8mm and grouted using a sand/cement mix -Expansion joints to be installed as required DRAINAGE NOTES

-Encase in 300x300mm of blue metal and cover with filter cloth

-Drainage design by Hydraulic Engineer / Stormwater Consultant -Install pits where required & connect to stormwater system (to engineers details)
-Install 100mm 'SOCKED' agricultural line behind all walls to link with stormwater
-Waterproof behind all retaining walls & masonry planter boxes -Fall turf areas to pits; pits to drain to existing stormwater -Ensure paved areas are free draining
-Ensure adequate drainage to all garden beds and lawn areas.

#### -Agricultural pipes to drain to junction pits. SWIMMING POOL FENCE -Pool fences are to adhere to conditions outlined in AS 1926.1-2012

 - fencing to be minimum height of 1200mm
 - to be non-climbable from the outside - gates must swing outwards from pool area - boundary fences within pool zone to be 1800mm high or must be upgraded to comply with AS 1926.1-2012

No doors from the house or any habitable building shall open into the pool area

Any windows opening into pool zone must comply with AS 1926.1-2012

1. Contractors to compl
1. Local Government Reg

#### -Type of fence material to be confirmed by client TERMGUARD REQUIREMENTS

Pre-Construction before commencement of works

-If any works are threatening to bridge or breach the *Termguard* barrier the individual must contact an Amalgamated Pre-Construction representative -The contractor who is engaged to carry out the construction must adhere to the terms & conditions as outlined in the *Termguard* warrantly prepared by Amalgamated 4. All structural works to be designed and specified by the consulting structural

### GENERAL SOFTWORK NOTES

GARDEN EDGING Garden edging to be brick paver, steel or timber as specified -Brick edging to laid on a sand/cement mortar bed and haunched around the edges.
-Bricks to be laid length-ways unless otherwise specified

Steel to be 5 x 75mm w/ rods welded in-situe every 1.2m

Timber to be treated pine w/ hardwood pegs screwed every 1.2m -Grade areas of lawn removing large stones, rocks & sticks
-Install drainage lines as required and grade lawn toward stormwater pits
-Spread out a high quality turf underlay mix to a thickness of 150mm Screen soil to the desired levels & grades

-Roll out selected turf in stretcher bond pattern ensuring no gaps between rolls.
-Water well after installation SOIL
-All soils to be weed free & sterilised.
-All lawn areas to be excavated to a depth of 150mm and filled with new turf underlay.
-Base of excavation to allow for drainage fall to drainage points.

-Carden beds to be excavated to a depth of 400mm.
-Organic garden mix to be imported into new garden beds
-If clay sub-base is uncovered, gypsum is to be added & cultivated into bed of clay.

-All pots to be filled with high quality fertilised 'Debco' potting mix with filter fabric to base. PLANTING

-All plants and trees to be planted as per planting plan. Refer to shrub & tree planting Excavate holes for plants twice the size of the plants root ball -Ensure to remove tags and pots from plants prior to installation, all rubbish to be

Trees to be staked and tied as required (refer to tree detail if required) -Water plants before and after planting
-All plants especially trees are to have a small well around base to allow for watering. -Plant material showing poor signs of health, poor root to shoot ratio and any signs of pest & diseases or weed infestation should be rejected
-Once plants have been delivered it is the contractors responsibility to water plants and

maintain their health. ny plants that die due to lack of water or neglect are to be replaced by the contractor -Fertilise all plants after planting with slow release Osmocote fertiliser to manufacturers

guidelines.
-Irrigation system is to be fully operational prior to planting.
NATIVE PLANT NOTE -Where possible, the proposed plant material is to be sourced from local native nurseries from locally collected seed.

MULCHING -Install selected mulch to a depth between 50-75mm to all garden beds.
-Keep mulch free from touching the stem of the plant / tree.
-Selected mulch to finish 15mm below finished paying or lawn level.

## -Mulch & garden material is to be kept clear of house slab due to

IRRIGATION rrigation system is to be fully automated, connected to 240 volt wall mounted irrigation controller. Contractor is to install a sub-surface drip irrigation system to the entire garden including planter boxes.
-Irrigation system is to be designed by a qualified irrigation specialis:

-Landscape contractor is to provide all necessary information to irrigation designer such as mains water & tap locations.

-All plants to receive even moisture coverage, allow apprpriate overlap.
-All solenoide boxes to be hidden at back of garden beds.
-Install pressure reduction valve, flush valve & air relief valve.

Inrigation to be installed by qualified tradesperson
-Irrigation system to be fully operational prior to planting and run as per installers -Landscape contractor is to liaise with garden maintenance contractor in programming

PLANT ESTABLISHMENT/ MAINTENANCE PERIOD Regular maintenance is to be carried out, including the following works:
-Watering-to maintain healthy growth, adjusted on regular basis to suit seasons

-Weeding to all garden and lawn areas -Pest and disease control
-Trim hedge plantings to maintain desired heights -Tip pruning as required and fertilising to species recommendations

-Mowing and edging of all turfed areas SITE CLEAN -The site is to be left in a clean state at the completion of every work day.
-A final clean up at the end of the project shall be approved by Fluid Design and shall include but not be limited to the following:- High pressure cleaning of all

paving, mowing of lawns if required, removal of all rubbish from site, filling of all water features & swimming pool ensuring they are fully operational, operational irrigation and garden lighting systems.

1. Contractors to comply with all current Australian Standards, Building Regulations & 2. Contractors are to obtain all relevant Local Council Planning & Building Permits prior to undertaking any works. 3. This plan is to be read in conjunction with Engineering plans Architectural plans and

any other plans or written instructions issued relating to the development at the subject site. engineer and built strictly in accordance with such details as approved.

5. All dimensions and levels are to be checked by contractor before commencing work. Figured dimensions take preference to scale. Any discrepancies are to be confirmed by the designer. 6. All carpentry work to comply with AS 1684 Residential Timber Framed Construction All prefabricated timber trusses & frames to be installed to the manufacturers detail &

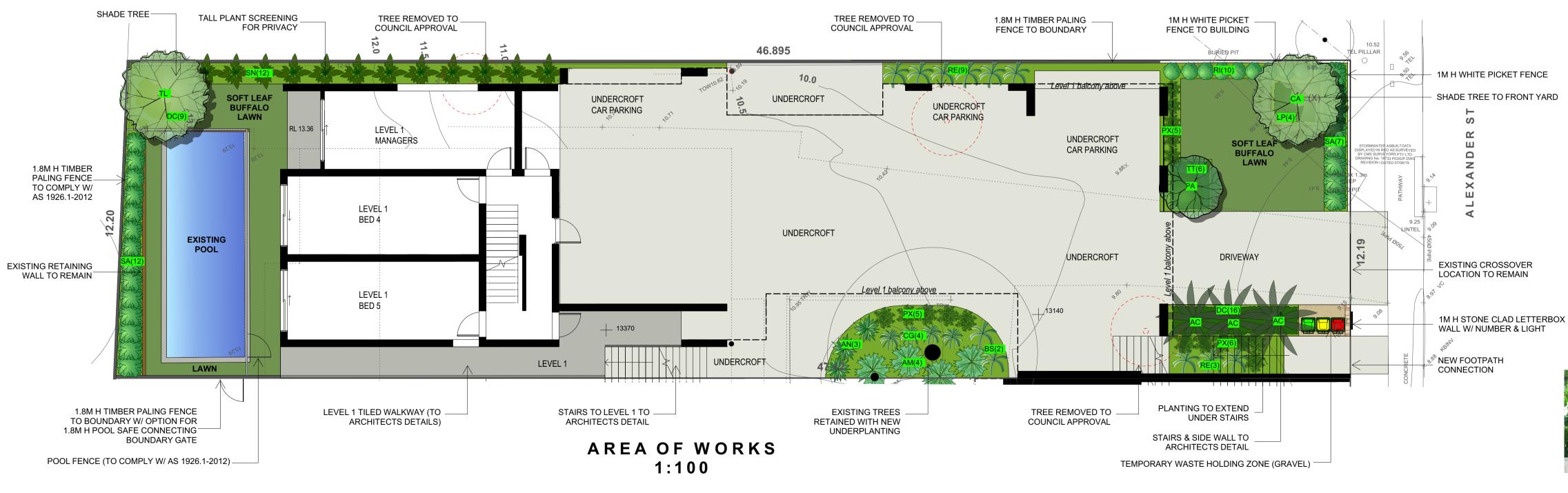
PLANTING SCHEDULE MATURE POT SIZE 6 45Lt 3 4 75Lt 1 8 75Lt 1 Archontophoenix Cunninghamiana Bangalow palm Plumeria acutifolia Frangipani Cupaniopsis anacardioides Tristaniopsis Luscious Water Gum Raphiolepsis indica 'Spring Pearl' Dwarf Indian Hawthorn Hedge to 0.5 200

Syzyqium australae 'Resilience' Lily Pily Hedge to 1.2 300 Lorapetalum 'Purple Pixie' Blechnum 'silver lady' Alocasia macrorrhizos Elephant ears Ctenanthe 'grey star' Dianella caerulea 'Breeze Strelitzia nicolai

## PLANTING PALETTE

NOTE: Plant species are of recommendation only. Pot sizes may vary according to availability and budget











	AMENDMENTS	CHECKED	LANDSCAPE PLAN FOR DA			
	25.2.20: Development Approval Plan issued	JD		<u> </u>	NDSCF	AFE FEARTON DA
			LOT & DP:	Lot 9, DP 6984	CLIENT:	MR & MRS WAIGHTS
copyright. eproduced sent of the			SCALE:	1:100 @ A1	PROJECT:	18 Alexander Street, COLLAROY, NSW
			DRAWING:	DA.1	DATE:	25th February 2020
bited.			SHEET NO:	1 of 1	DRAWN BY:	Justin Dibble

