



LOT 9 - 18 ALEXANDER STREET COLLAROY

ALTERATIONS AND ADDITIONS WITH NEW 10 ROOM BOARDING HOUSE PLUS MANAGER

SITE INFORMATION				
ADDRESS	LOT 9, 18 Alexander Street Collaroy			
SITE AREA	574.8m²			
LOT	Lot 9, DP 6984			
ZONING	R2 - Low Density Residential			
YEILD	10 x Boarding Rooms (Plus 1 Managers Residence)			
If the development complies with the below standards, they cannot be used as a means to refuse consent				
Control	Location of Control	Control	Proposed	Complies or Not
HEIGHT	Warringah LEP	8.5m	6.5 - 8.5m	Complies
PARKING	SEPP ARH	0.5 cars Per room 1 per Employee 0.2 motorbikes per room 0.2 bicycles per room	0.5*10 = 5 Cars 1 Car for Manager 0.2*10 = 3 Motorbikes 0.2*10 = 3 Bicycle	Complies
SOLAR ACCESS	SEPP ARH	3 hours 9-3 to communal area	6 Hours	Complies
PRIVATE OPEN SPACE	SEPP ARH	20m² communal	>20m²	Complies
ACCOMODATION SIZE	SEPP ARH	12m² single lodger 16m² in all other cases	Typical 19m²	Complies
The below controls are not required as SEPP AHR overrides the DCP; however, we are included the below to show we have also made every effort to meet local guidelines				
FRONT SETBACK	Warringah DCP	6.5m	6.8m	Complies
SIDE SETBACK 1 (East)	Warringah DCP	0.9m	1.2m	Complies
SIDE SETBACK 2 (West)	Warringah DCP	0.9m	0.9m	Complies
REAR SETBACK	Warringah DCP	6m	6m	Complies
SIDE ENVELOPE	Warringah DCP	4m		Non-Compliance. See SOEE
LANDSCAPED OPEN SPACE	Warringah DCP	40% of Site	23.5% of Site	Non-Compliance. See SOEE

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COLLARROY NSW

Client: BRENDAN & SIMONE WAIGHTS

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Scale
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Sheet Name
COVER PAGE & COMPLIANCE

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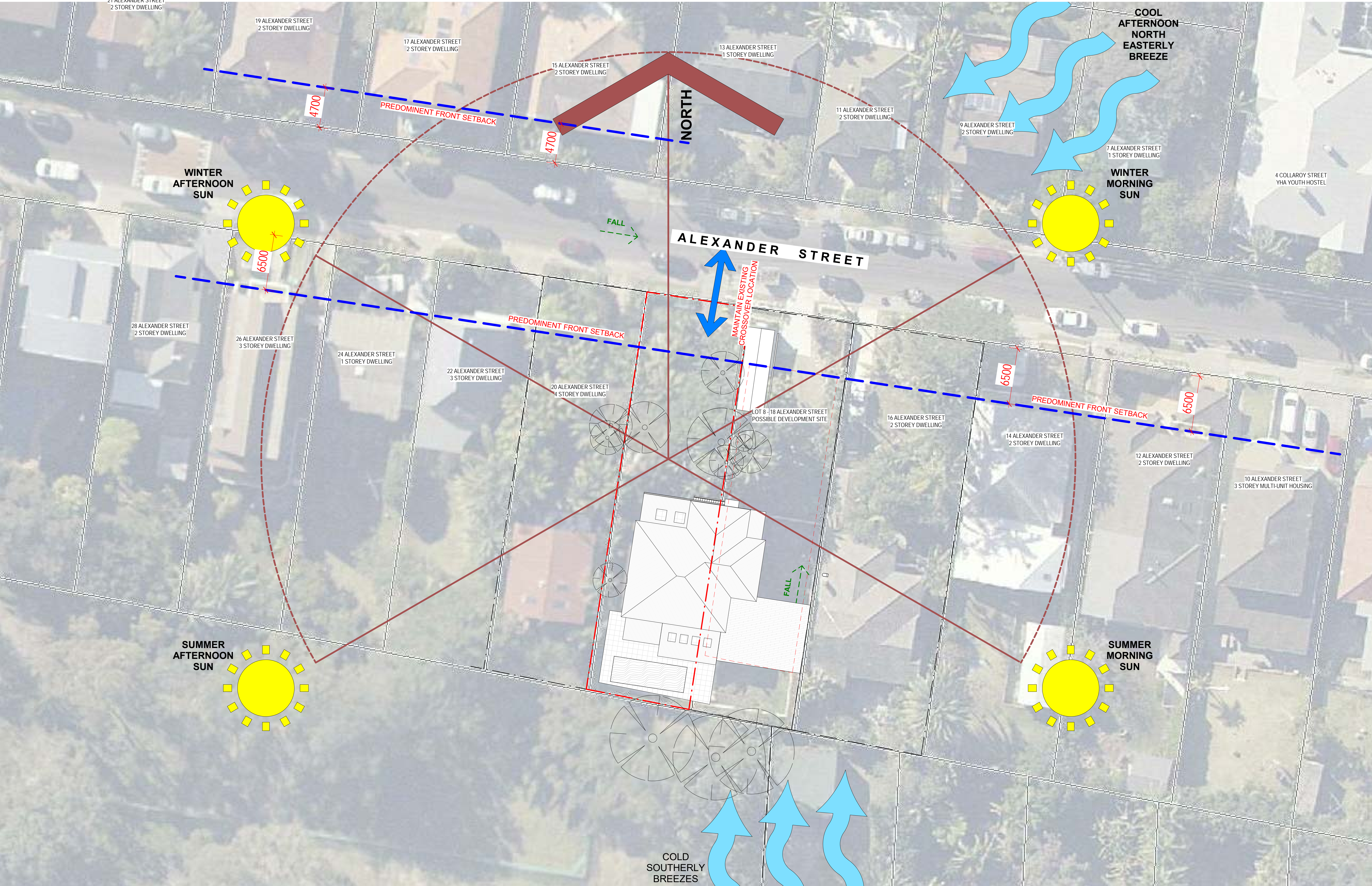
DA000

No. A Description
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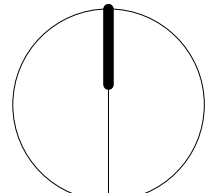
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SITE ANALYSIS

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DA010

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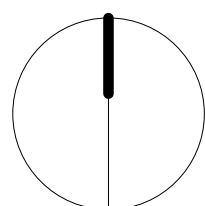
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SITE PLAN

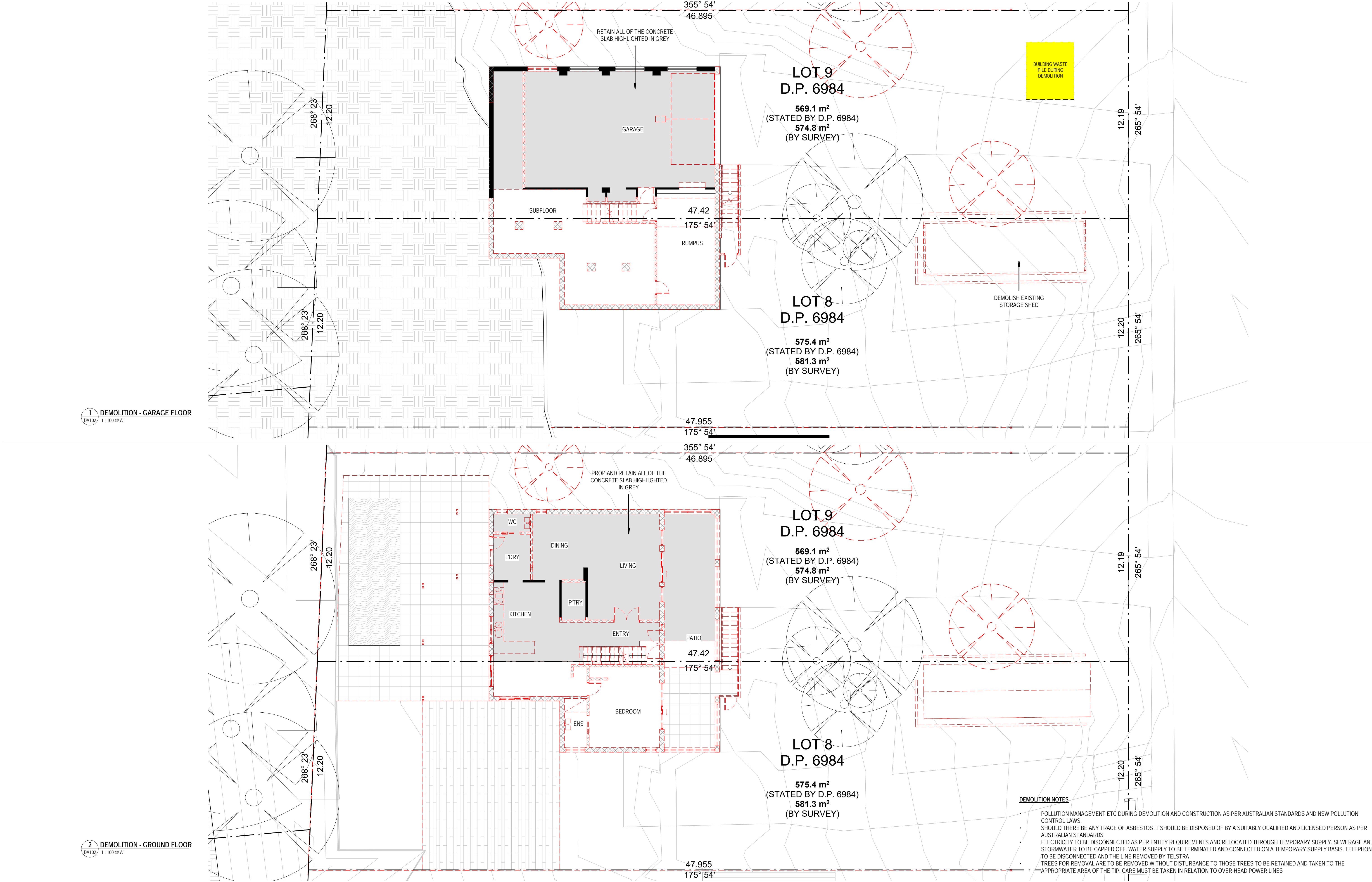
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DEMOLITION PLANS

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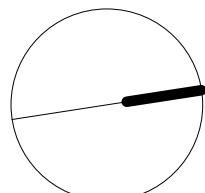
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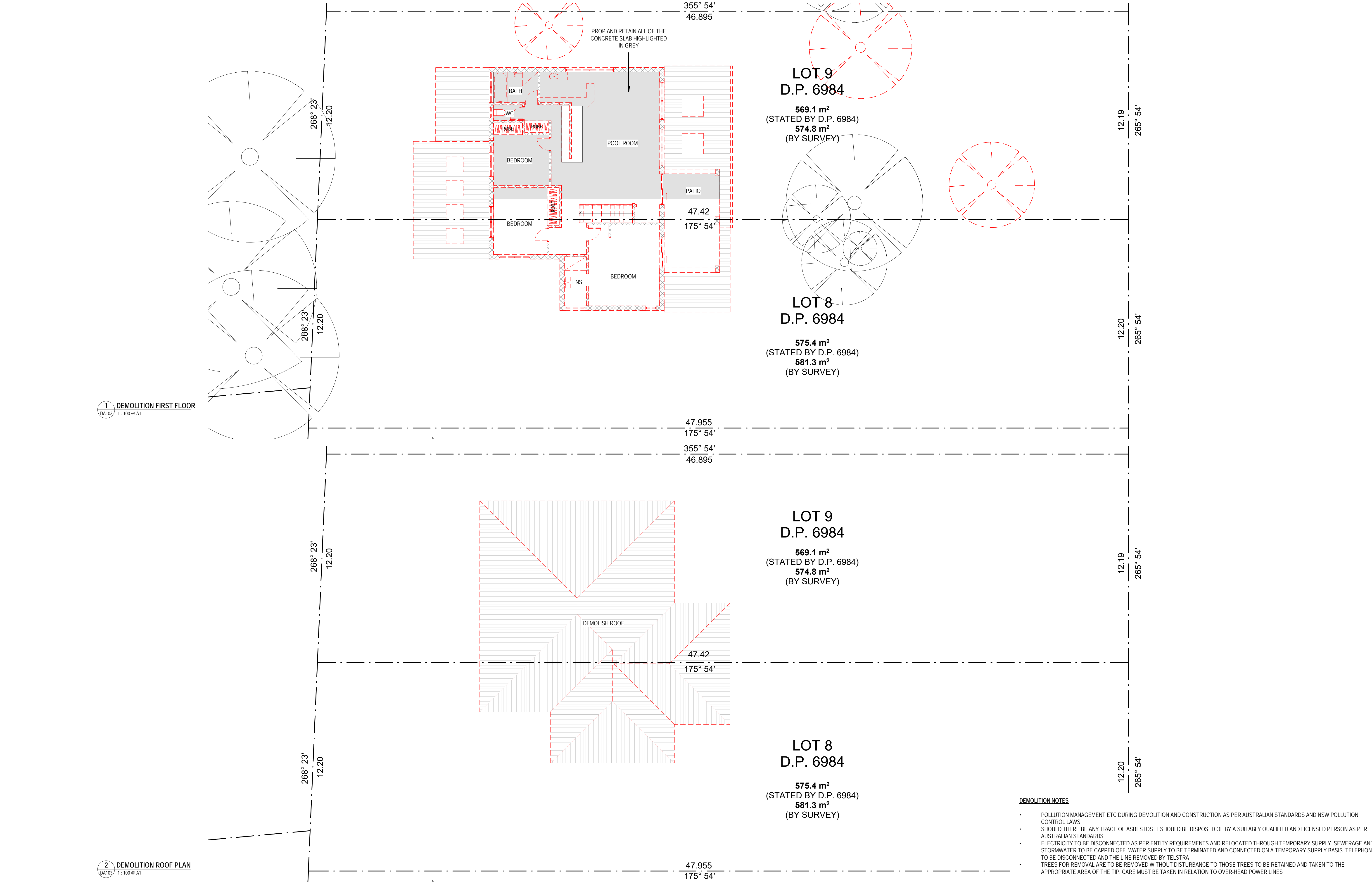
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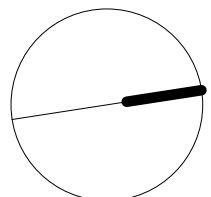
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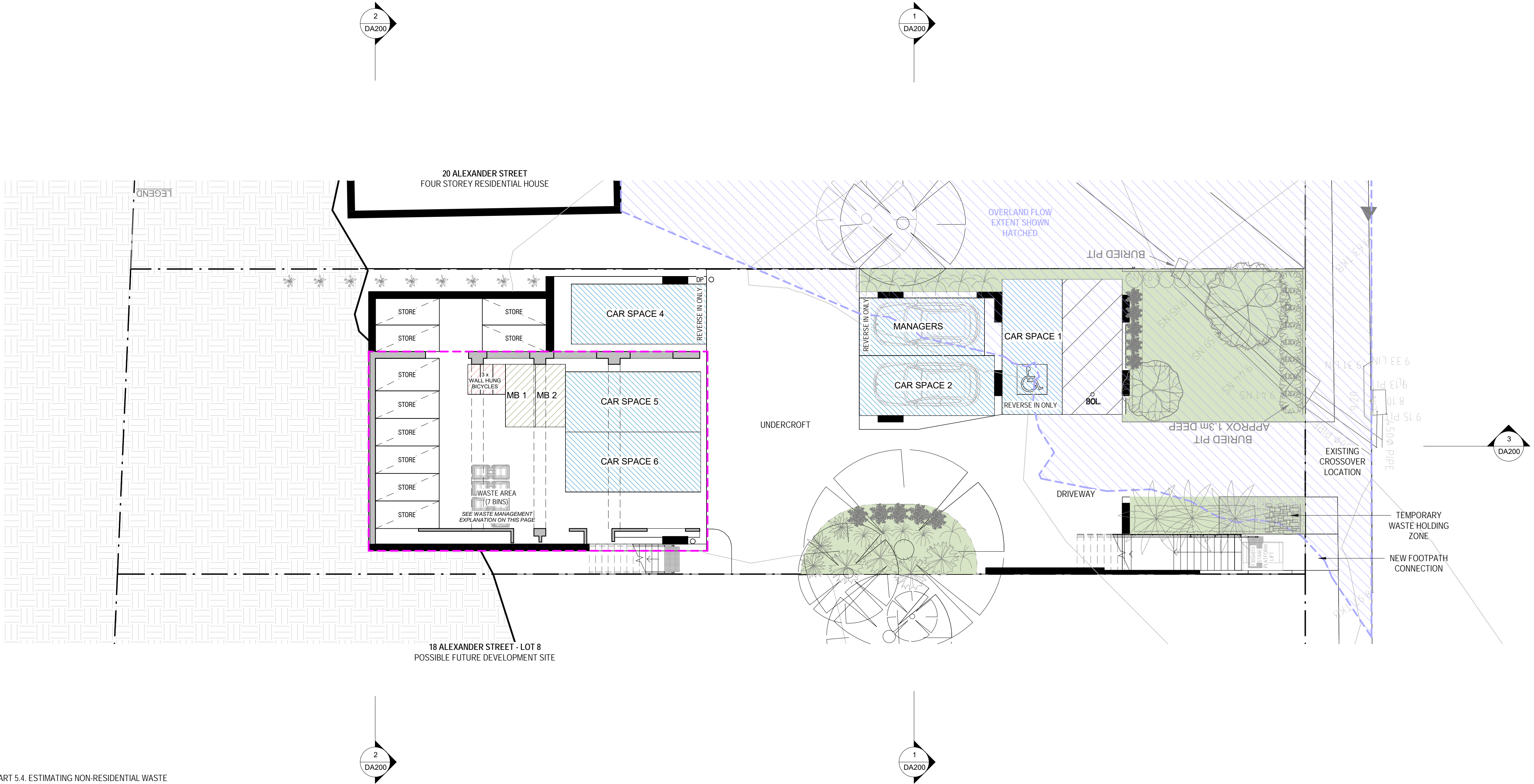
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WASTE MANAGEMENT

NORTHERN BEACHES COUNCIL WASTE MANAGEMENT GUIDELINES, PART 5.4. ESTIMATING NON-RESIDENTIAL WASTE GENERATION RATES - THE TABLE DOES NOT ESTIMATE BOARDING HOUSES IN THE TABLE. THE TABLE IS LEFT BLANK AS SHOWN IN THE BELOW IMAGE

Boarding houses			
Book shop	40L/100m² floor area/day	20L/100m² floor area/day	

NORTHERN BEACHES COUNCIL Waste Management Guidelines
Effective Date: 25 October 2016
Page 3 of 5

AS BOARDING HOUSES ARE COMMERCIAL BUILDINGS AND NOT RESIDENTIAL, WE THEREFORE HAVE APPLIED THE NSW EPA BETTER PRACTICE GUIDELINES FOR WASTE MANAGEMENT AND RECYCLING IN COMMERCIAL AND INDUSTRIAL FACILITIES. THIS WAS APPROVED BY NBC WASTE OFFICER ON DA2018/1663 WHICH WAS FOR A BOARDING HOUSE.

Type of premises	Average L per 100 m² per day		Maximum L per 100 m² per day		Number of businesses surveyed
	Waste	Recycling	Waste	Recycling	
Backpackers accommodation, boarding house, guest house	30	10	35	15	2

THE GFA OF THE BUILDING IS 315m². THEREFORE, USING THE **MAXIMUM** FIGURES, THIS BUILDING WOULD GENERATE 110.25L OF WASTE PER DAY AND 47.25L OF RECYCLING PER DAY.

REQUIRED MAXIMUM	PROVIDED
WASTE = 772 LITRES PER WEEK	= 4 X 240L BINS = 960L
RECYCLING = 331 LITRES PER WEEK	= 2 X 240L BINS = 480L

WE HAVE ALSO PROVIDED 1 GREEN BINS FOR THE 163m² OF LANDSCAPING.

- LEGEND**
- = NATURAL GROUND LEVEL
 - = 8.5M HEIGHT PLANE
 - = SIDE BOUNDARY ENVELOPE INTERSECTION
 - = DA2019/0306 ENVELOPE

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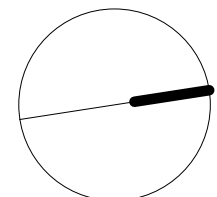
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UNDERCROFT FLOOR PLAN

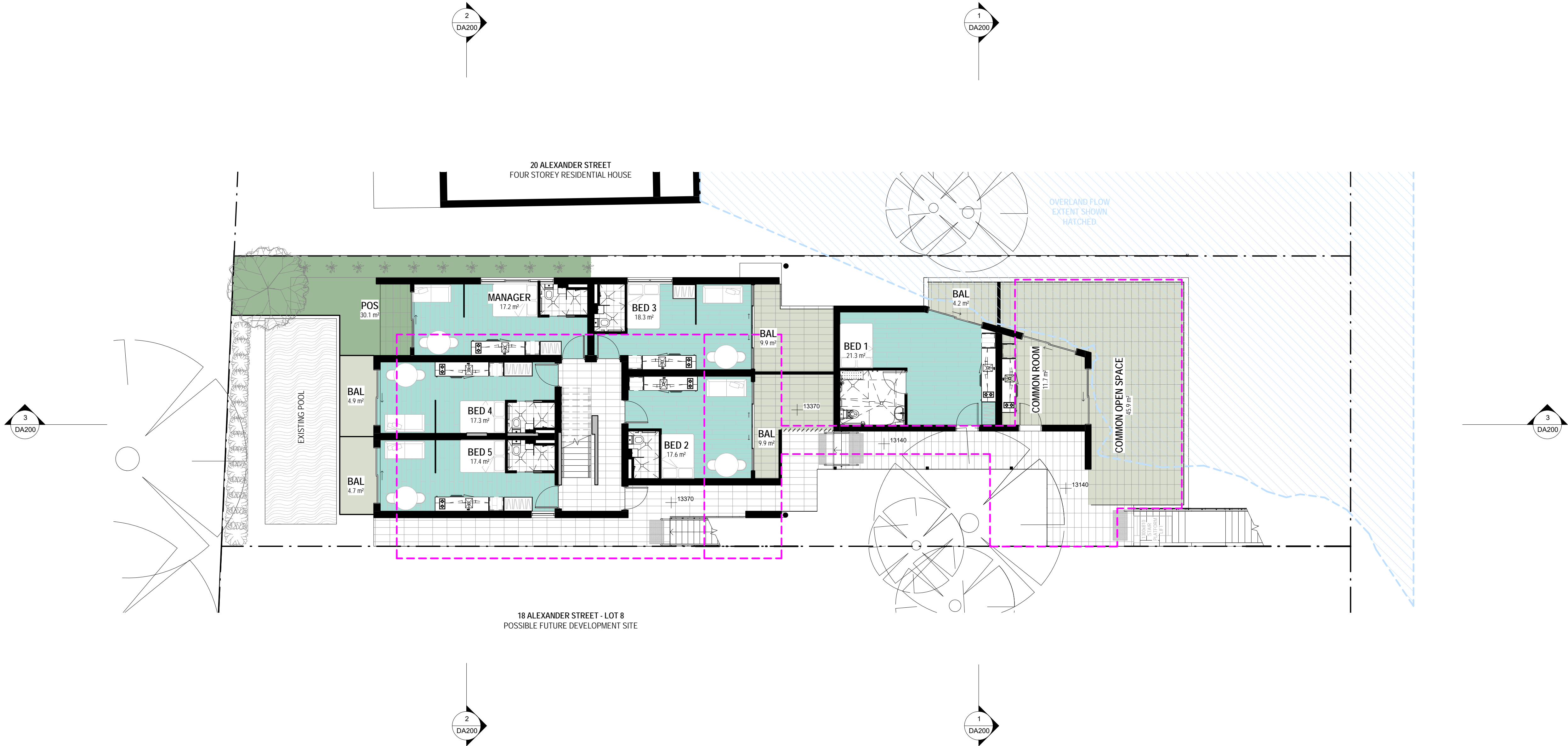
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Sheet Name
LEVEL 1 FLOOR PLAN

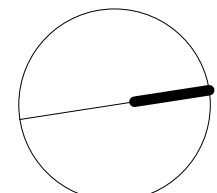
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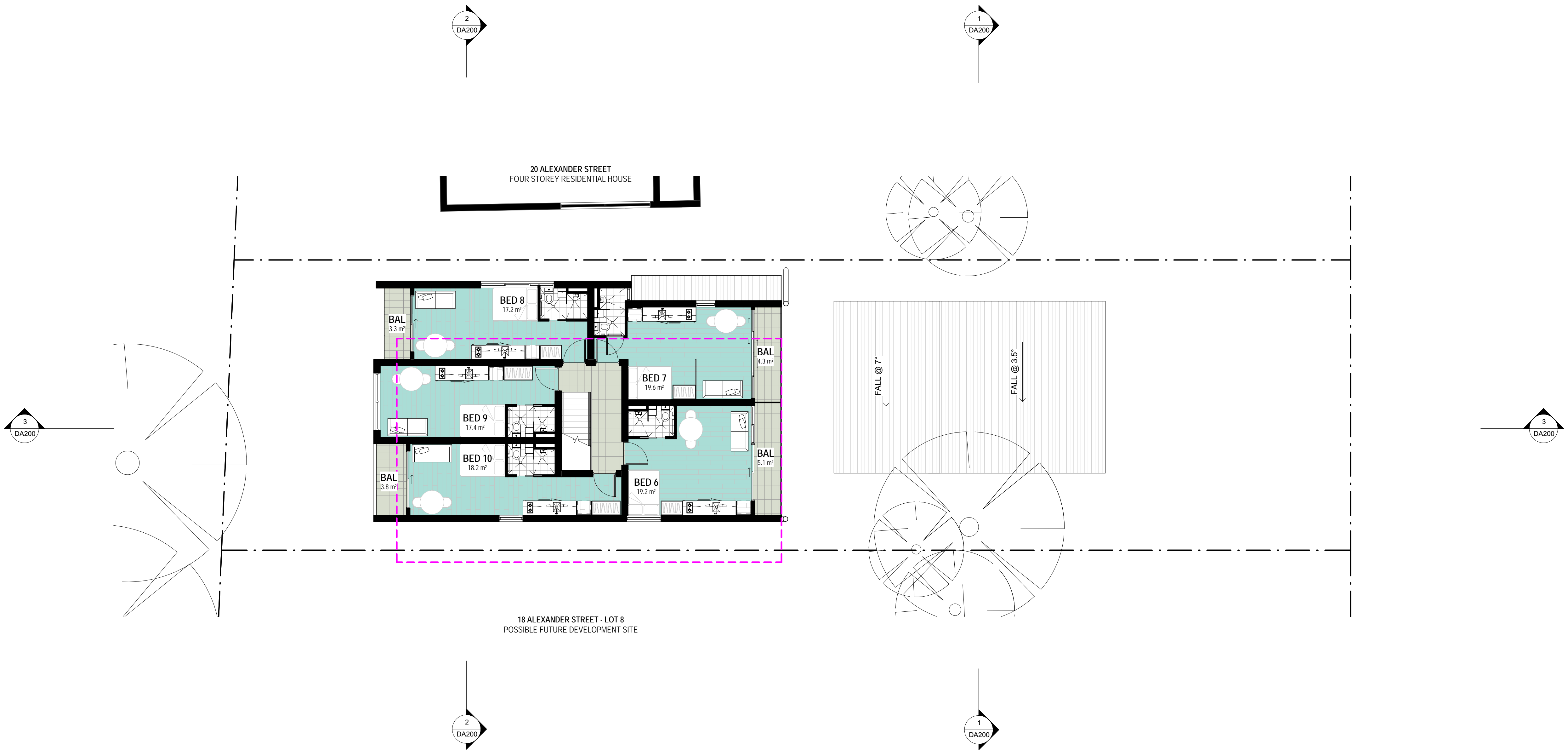
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- LEGEND**
- - - = NATURAL GROUND LEVEL
 - - - = 8.5M HEIGHT PLANE
 - - - = SIDE BOUNDARY ENVELOPE INTERSECTION
 - - - = DA2019/0306 ENVELOPE

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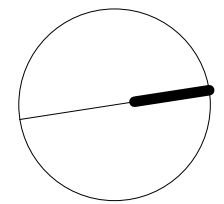
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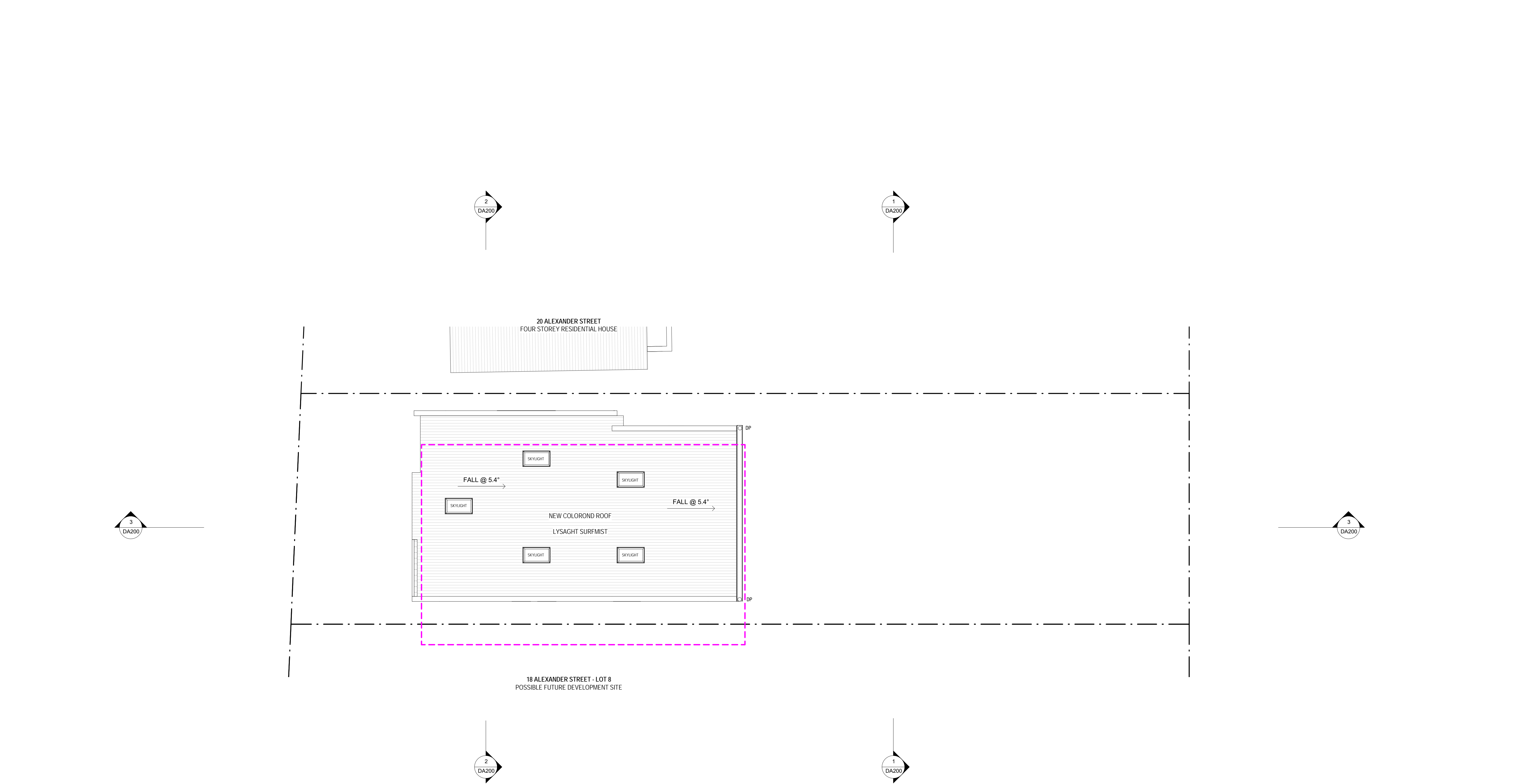
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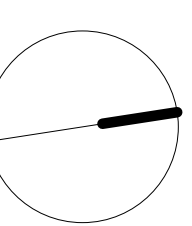
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ROOF PLAN

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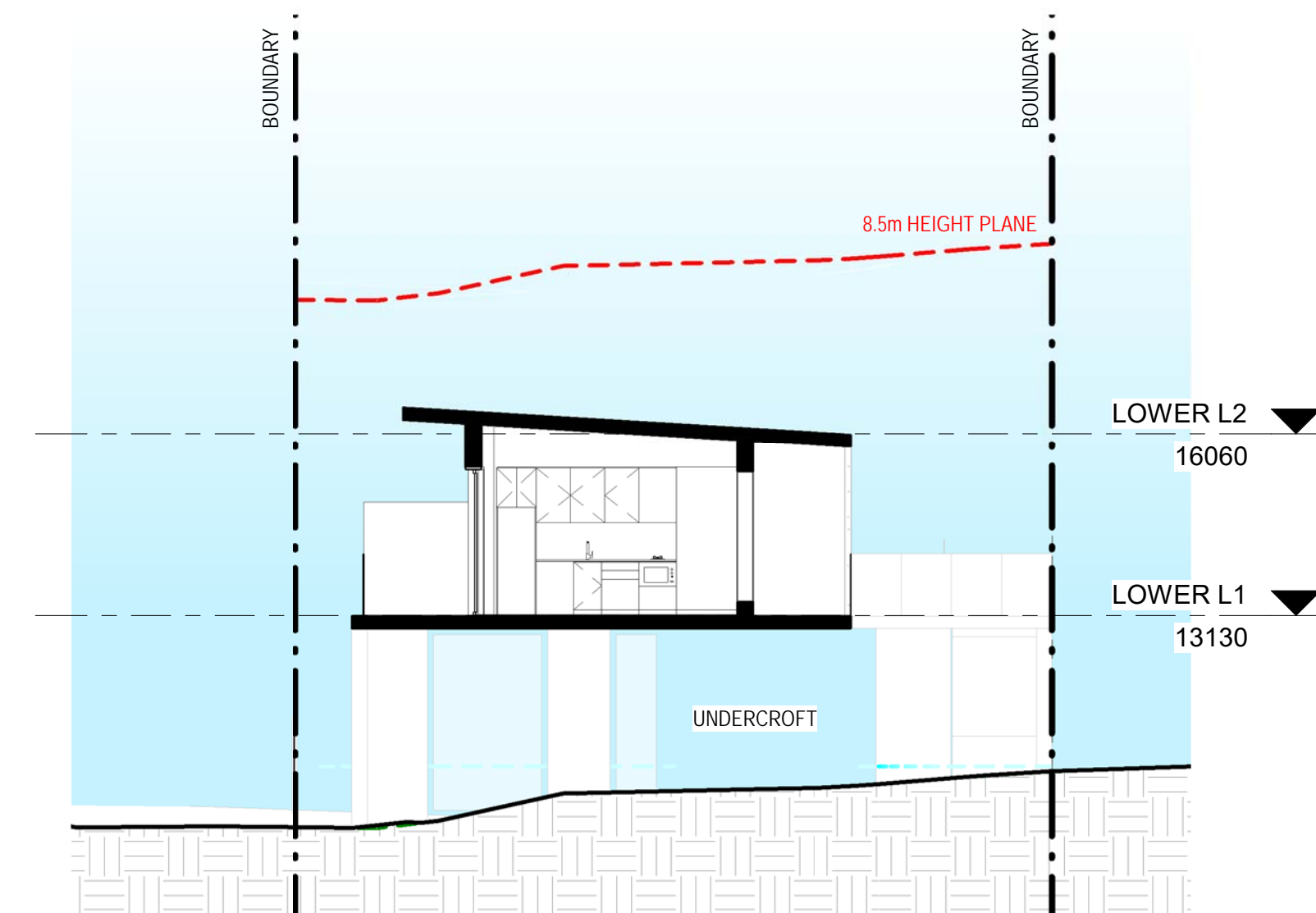
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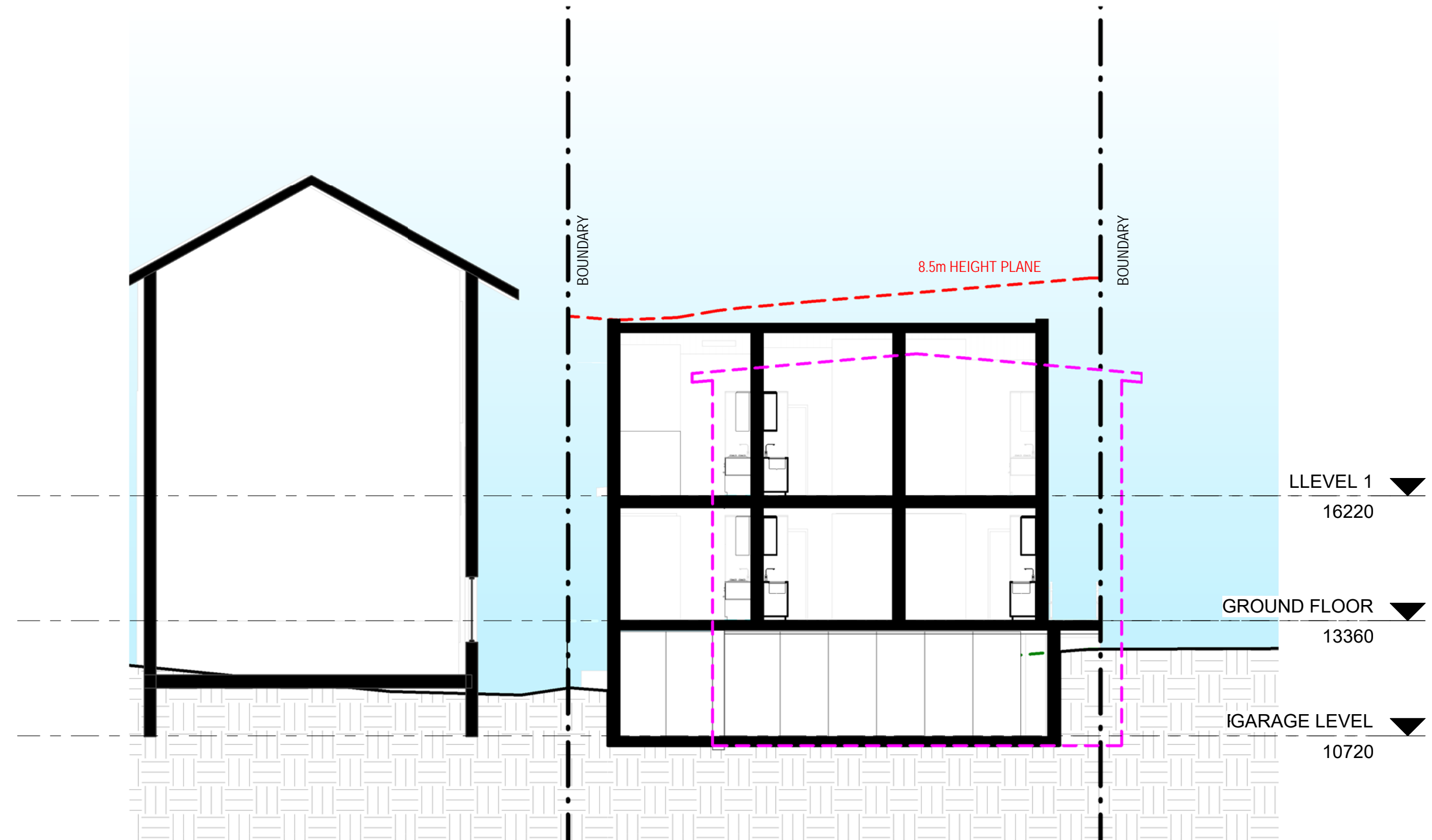
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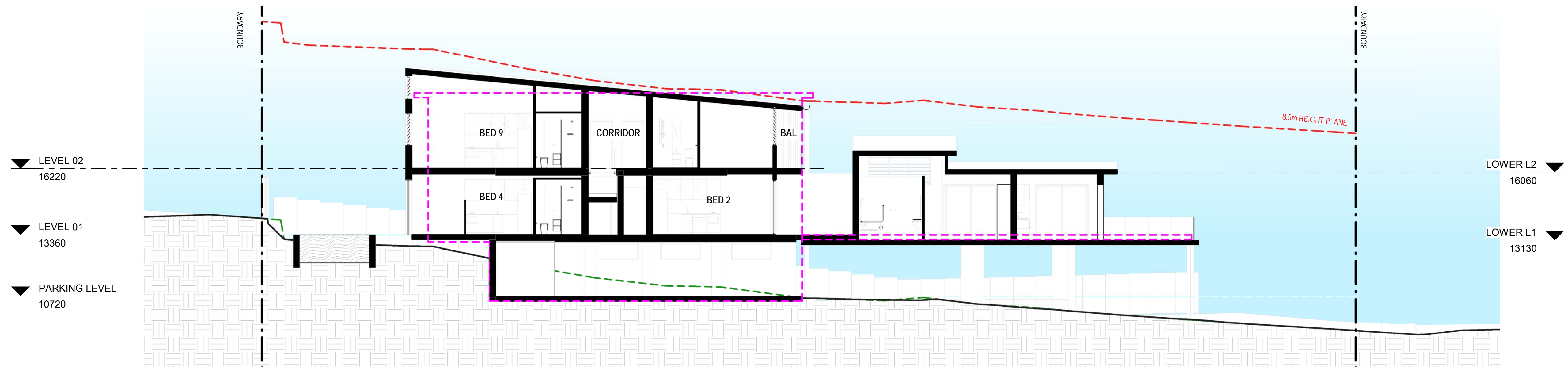
- LEGEND**
- - - = NATURAL GROUND LEVEL
 - - - = 8.5M HEIGHT PLANE
 - - - = SIDE BOUNDARY ENVELOPE INTERSECTION
 - - - = DA2019/0306 ENVELOPE



1 CROSS SECTION 1
DA200 1:100 @ A1



2 CROSS SECTION 2
DA200 1:100 @ A1



3 LONG SECTION 1
DA200 1:100 @ A1

LEGEND	
---	= NATURAL GROUND LEVEL
---	= 8.5M HEIGHT PLANE
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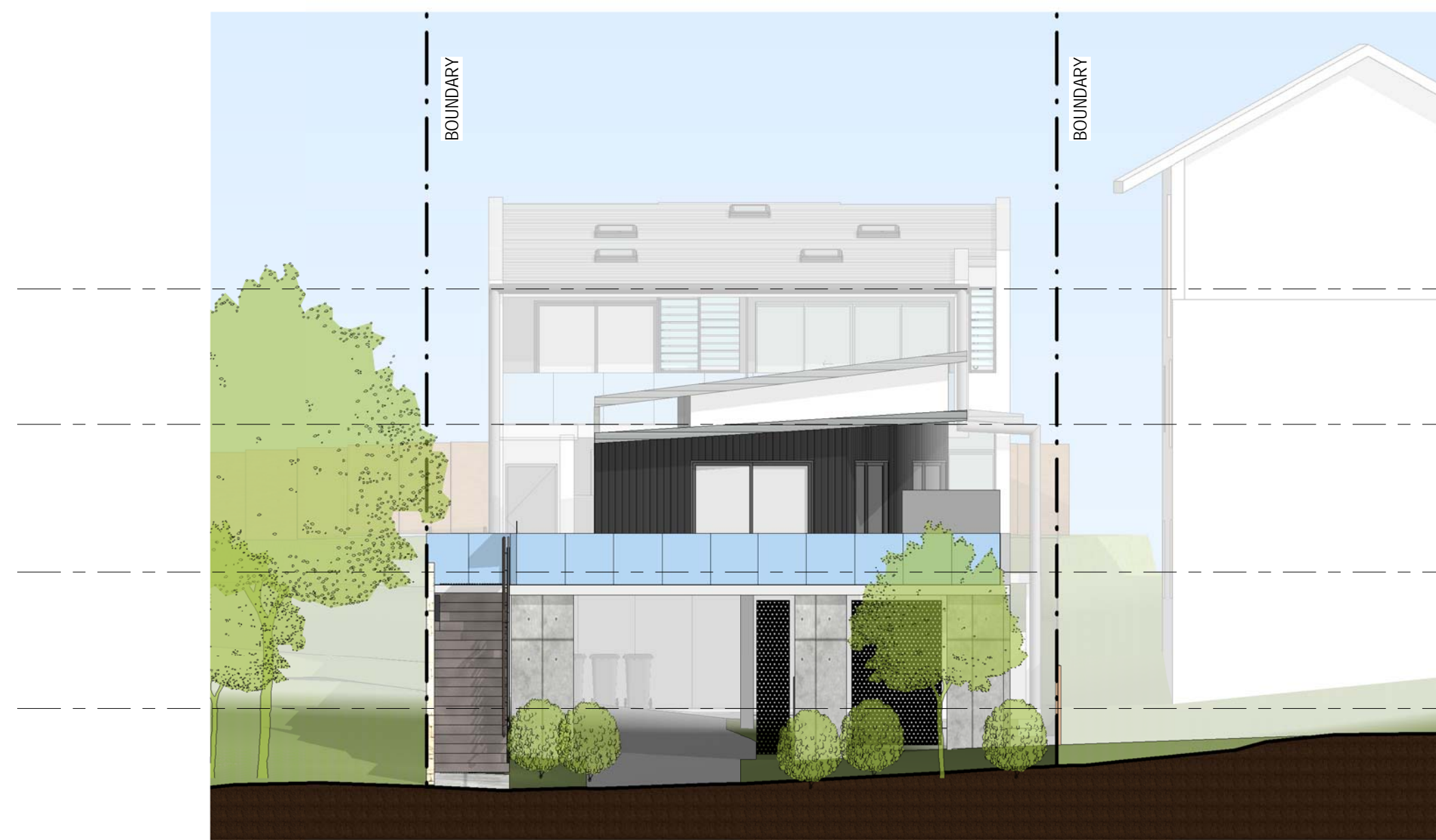
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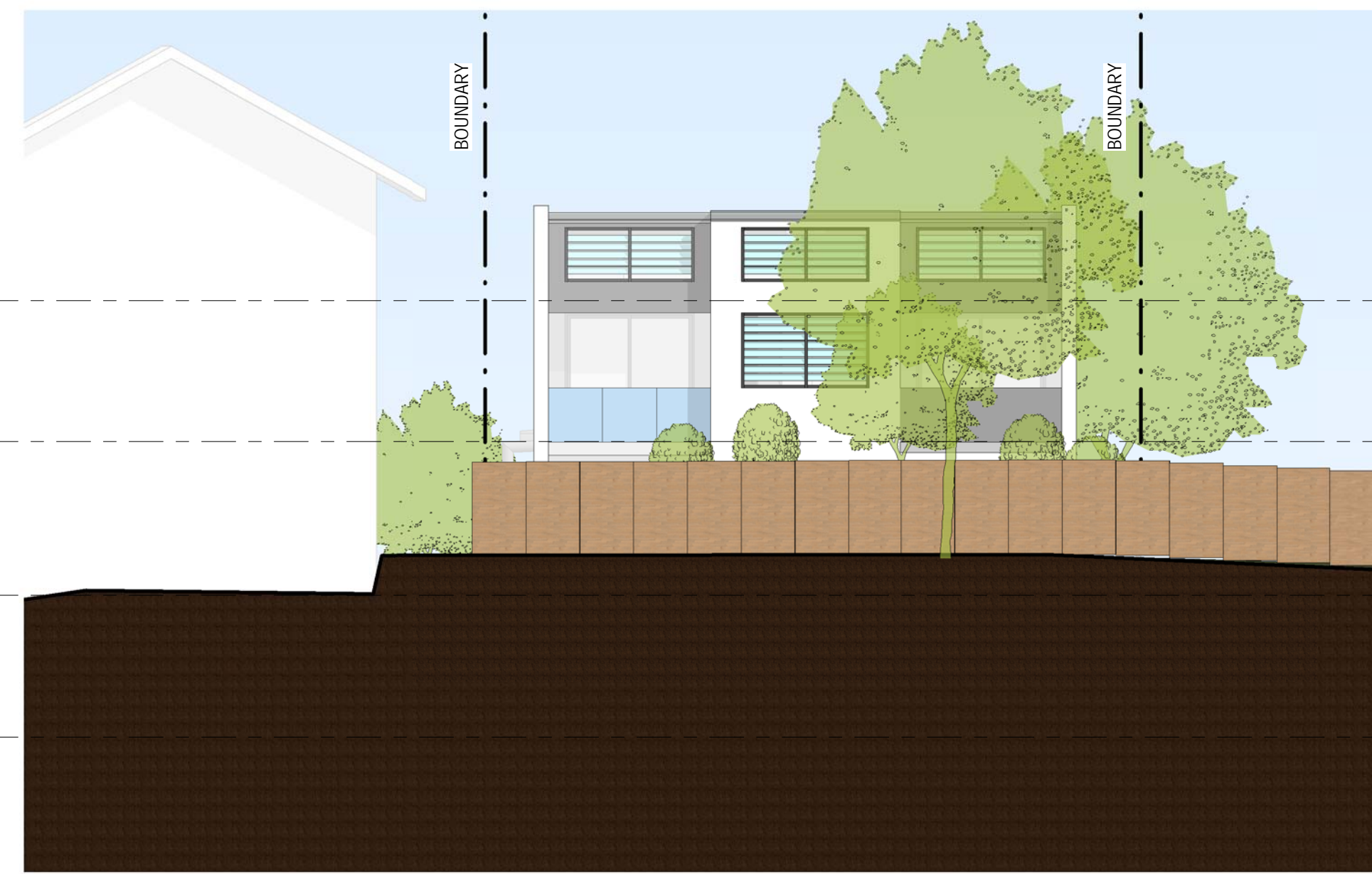
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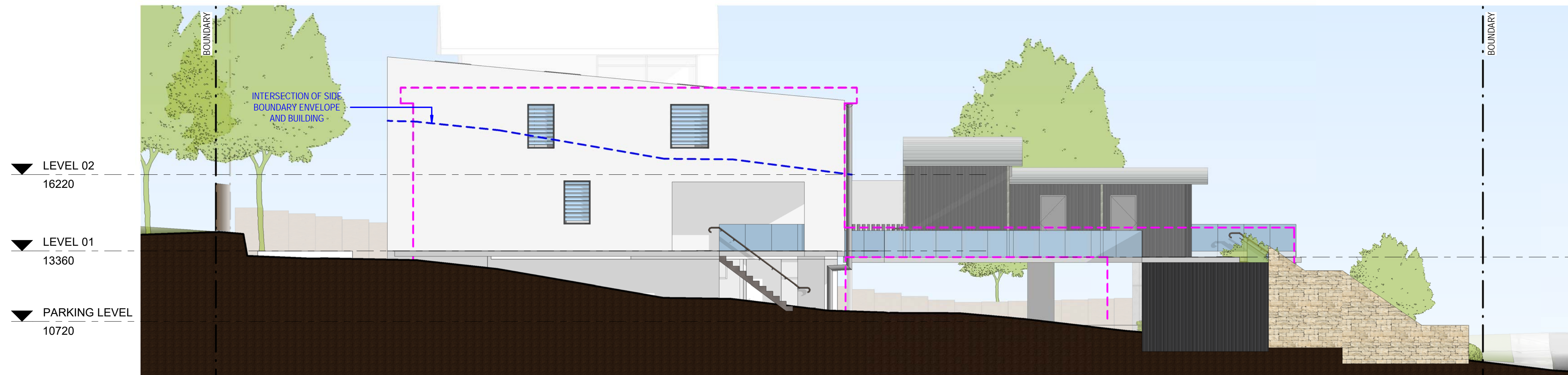


1 PROPOSED NORTH ELEVATION
DA300/ 1: 100 @ A1



2 PROPOSED SOUTH ELEVATION
DA300/ 1: 100 @ A1

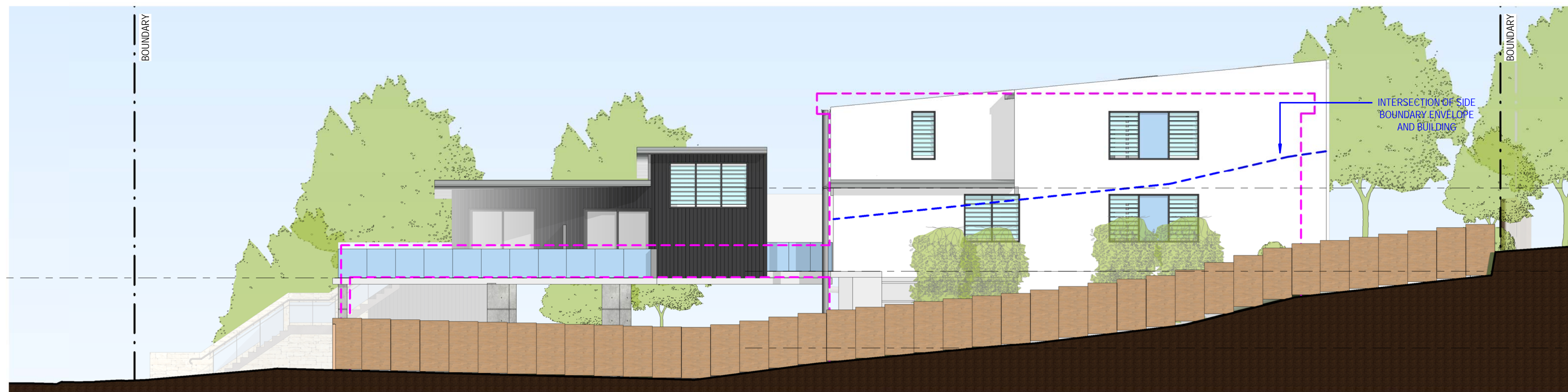
EAVE LEVEL ▼
18840
LEVEL 02 ▼
16220
LEVEL 01 ▼
13360
PARKING LEVEL ▼
10720



3 PROPOSED EAST ELEVATION
DA300/ 1: 100 @ A1

LEVEL 02 ▼
16220
LEVEL 01 ▼
13360
PARKING LEVEL ▼
10720

LOWER L1 ▼
13130



4 PROPOSED WEST ELEVATION
DA300/ 1: 100 @ A1

LOWER L1 ▼
13130

LEVEL 02 ▼
16220
LEVEL 01 ▼
13360
PARKING LEVEL ▼
10720

LEGEND
--- = NATURAL GROUND LEVEL
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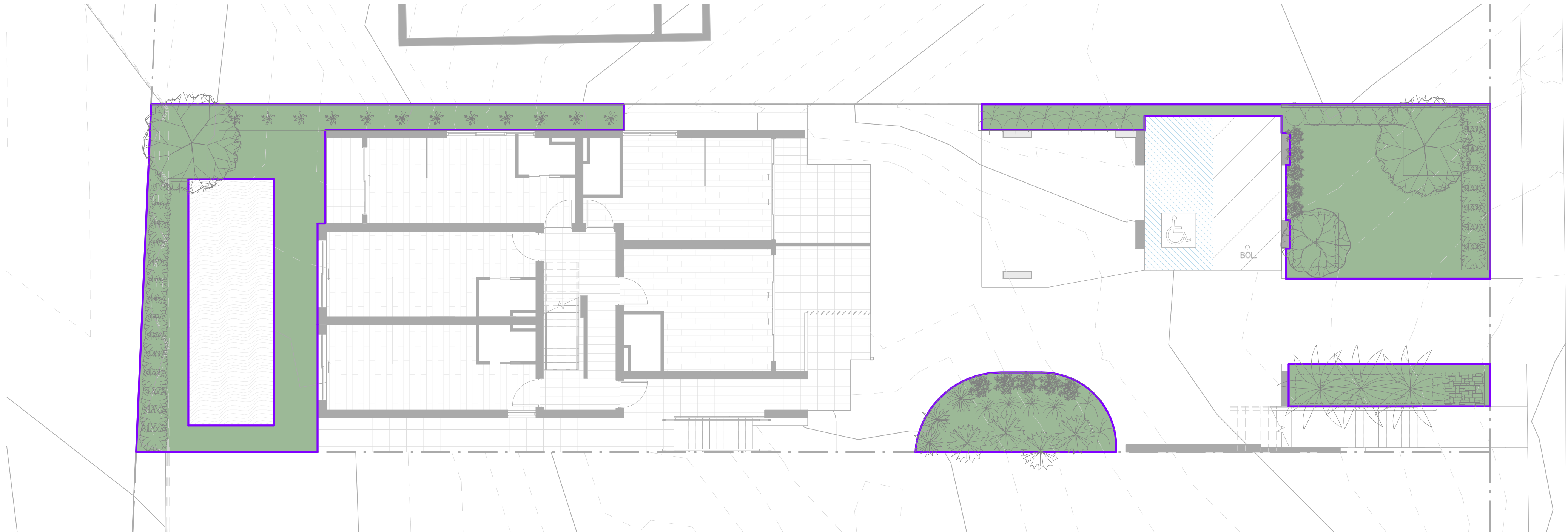
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ELEVATIONS

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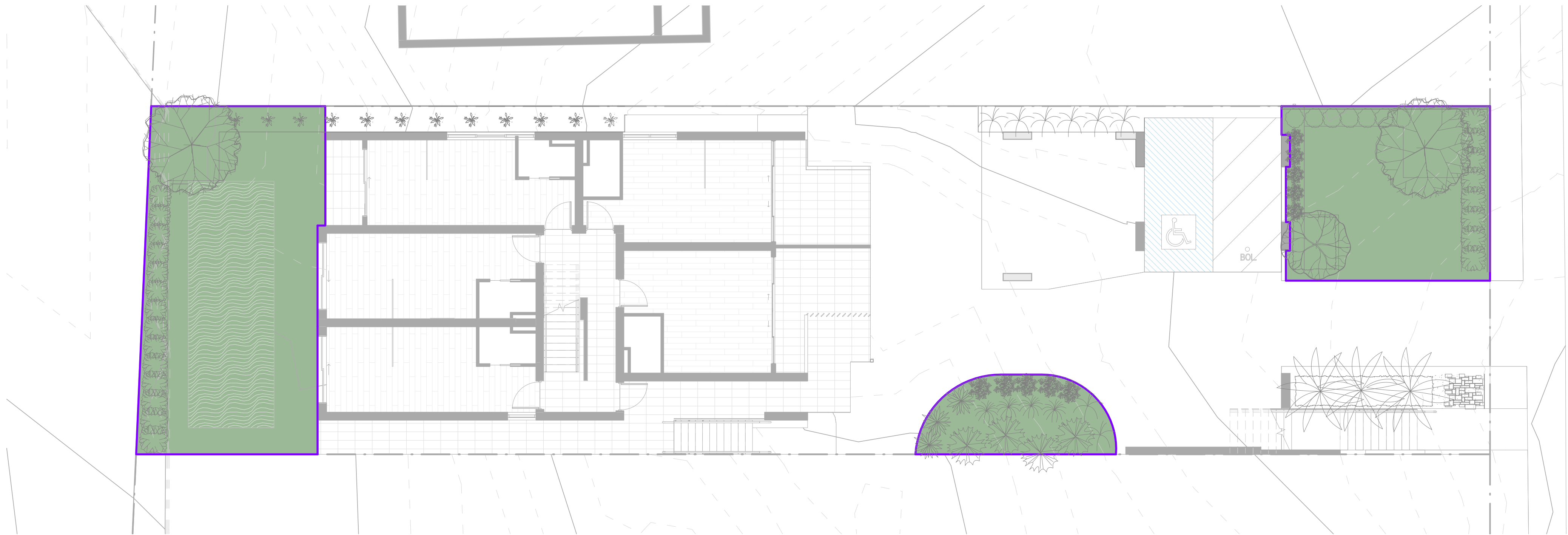


1 SEPP LANDSCAPE AREA
DA401/ 1:100 @ A1

LANDSCAPE AREA DEFINITION UNDER THE SEPP

LANDSCAPED AREA MEANS A PART OF A SITE USED FOR GROWING PLANTS, GRASSES AND TREES, BUT DOES NOT INCLUDE ANY BUILDING, STRUCTURE OR HARD PAVED AREA:

LANDSCAPED AREA	
LANDSCAPE AREA	PERCENTAGE OF SITE AREA
136.3 m ²	23.7%

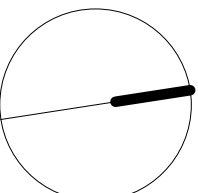


2 DCP OPEN SPACE AREA
DA401/ 1:100 @ A1

TO MEASURE THE AREA OF LANDSCAPED OPEN SPACE:

- DRIVEWAYS, PAVED AREAS, ROOFED AREAS, TENNIS COURTS, CAR PARKING AND STORMWATER STRUCTURES, DECKS, ETC, AND ANY OPEN SPACE AREAS WITH A DIMENSION OF LESS THAN 2 METRES ARE EXCLUDED FROM THE CALCULATION:
- THE WATER SURFACE OF SWIMMING POOLS AND IMPERVIOUS SURFACES WHICH OCCUR NATURALLY SUCH AS ROCK OUTCROPS ARE INCLUDED IN THE CALCULATION:
- LANDSCAPED OPEN SPACE MUST BE AT GROUND LEVEL (FINISHED); AND
- THE MINIMUM SOIL DEPTH OF LAND THAT CAN BE INCLUDED AS LANDSCAPED OPEN SPACE IS 1 METRE:

LANDSCAPED OPEN SPACE	
AREA	PERCENTAGE OF SITE AREA
135.2 m ²	23.5%





SEPP AFFORDABLE HOUSING CLAUSE 29.2 (C)
• WHERE THE DEVELOPMENT PROVIDES FOR ONE OR MORE COMMUNAL LIVING ROOMS, IF AT LEAST ONE OF THOSE ROOMS RECEIVES A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM IN MID-WINTER.
COMPLIES FROM 9AM TO 3PM (6 HOURS)

WARRINGAH DCP 2011
• 50% OF THE REQUIRED AREA OF PRIVATE OPEN SPACE OF ADJOINING DWELLINGS ARE TO RECEIVE A MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 9AM AND 3PM ON JUNE 21
COMPLIES

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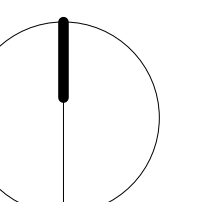
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SHADOW DIAGRAMS - 9AM JUNE 21ST

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1 EXISTING SHADOW DIAGRAM - 12PM JUNE 21ST
DA502/ 1:200 @ A1



2 PROPOSED SHADOW DIAGRAM - 12PM JUNE 21ST
DA502/ 1:200 @ A1

SEPP AFFORDABLE HOUSING CLAUSE 29.2 (C)
• WHERE THE DEVELOPMENT PROVIDES FOR ONE OR MORE COMMUNAL LIVING ROOMS, IF AT LEAST ONE OF THOSE ROOMS RECEIVES A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM IN MID-WINTER.
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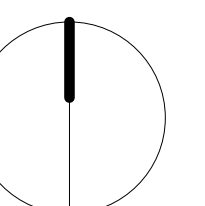
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SHADOW DIAGRAMS - 12PM JUNE 21ST

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1 EXISTING SHADOW DIAGRAM - 3PM JUNE 21ST
DA503/ 1:200 @ A1



2 PROPOSED SHADOW DIAGRAM - 3PM JUNE 21ST
DA503/ 1:200 @ A1

SEPP AFFORDABLE HOUSING CLAUSE 29.2 (C)
• WHERE THE DEVELOPMENT PROVIDES FOR ONE OR MORE COMMUNAL LIVING ROOMS, IF AT LEAST ONE OF THOSE ROOMS RECEIVES A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM IN MID-WINTER.
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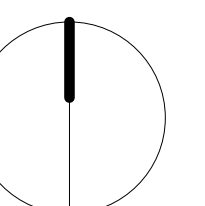
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SHADOW DIAGRAMS - 3PM JUNE 21ST

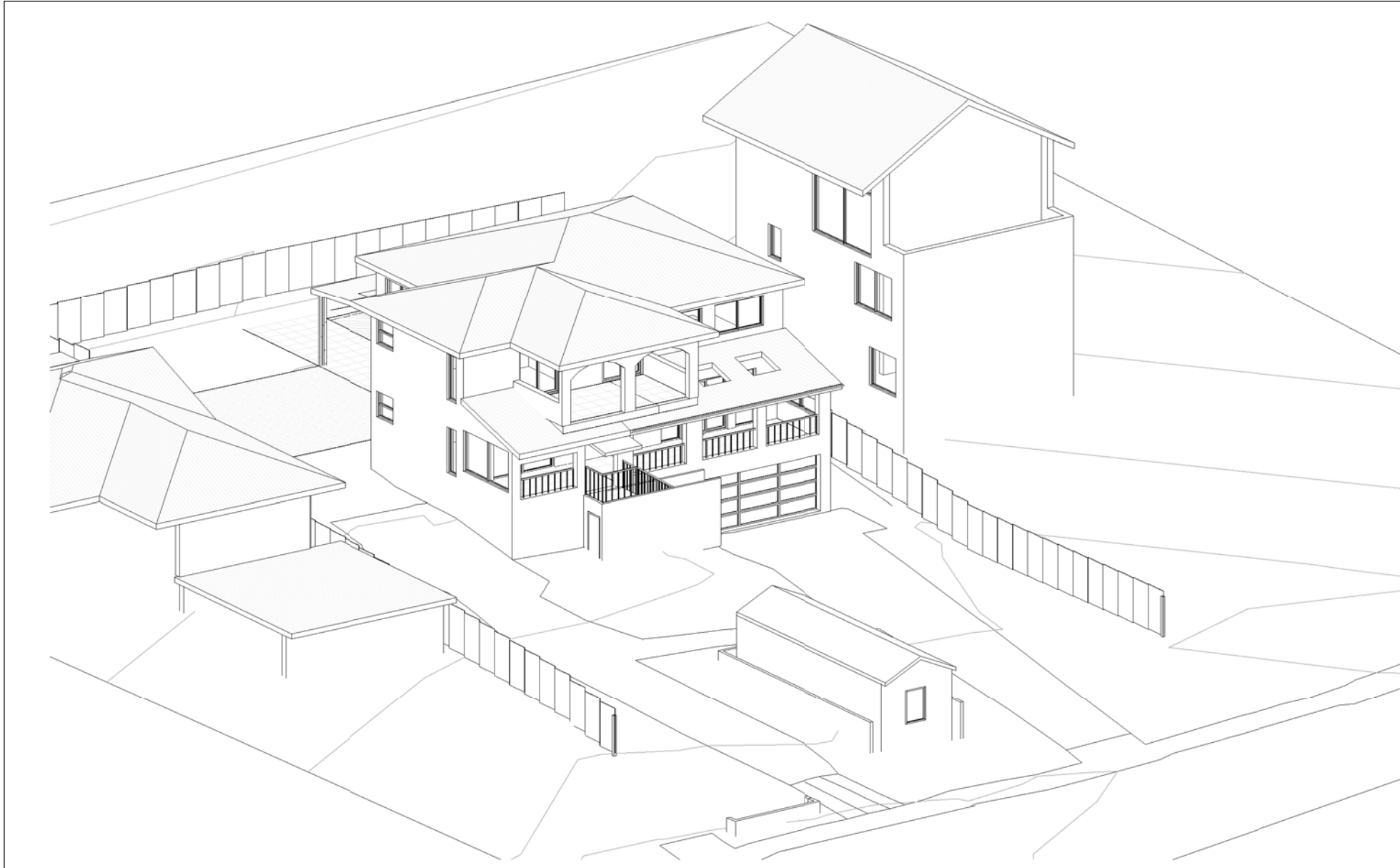
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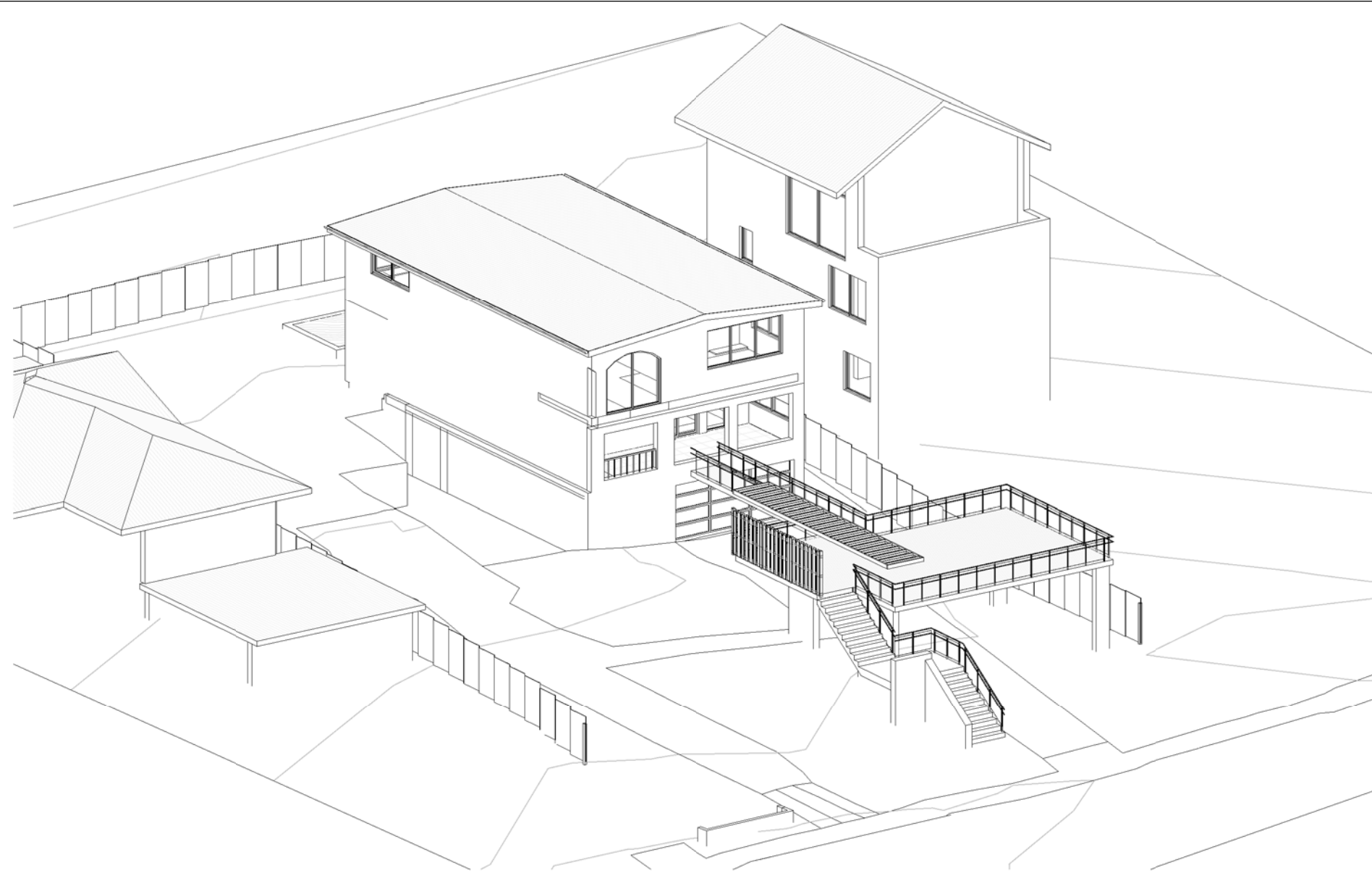
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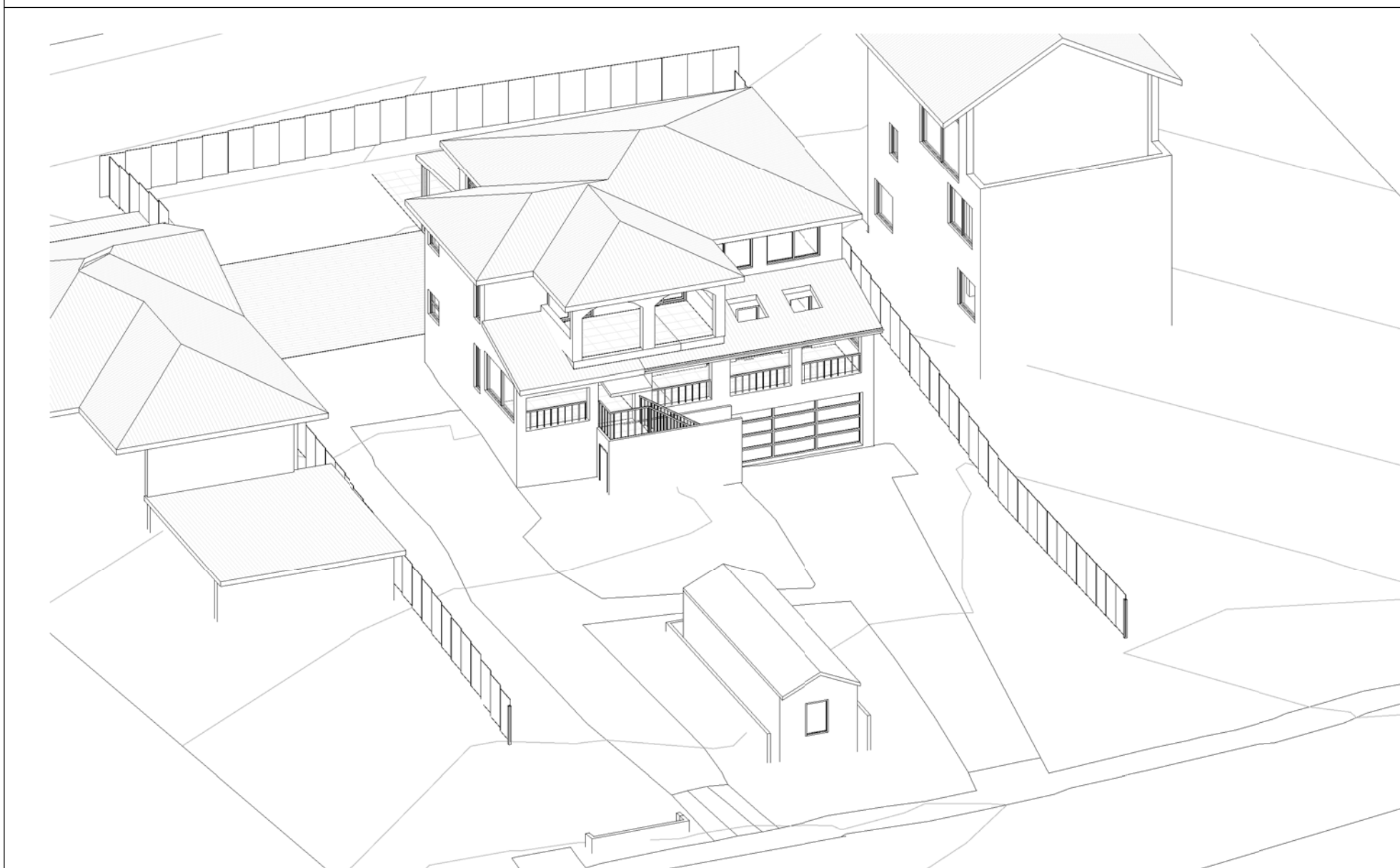
1 VIEW FROM SUN - 9AM JUNE 21ST - EXISTING
DA511



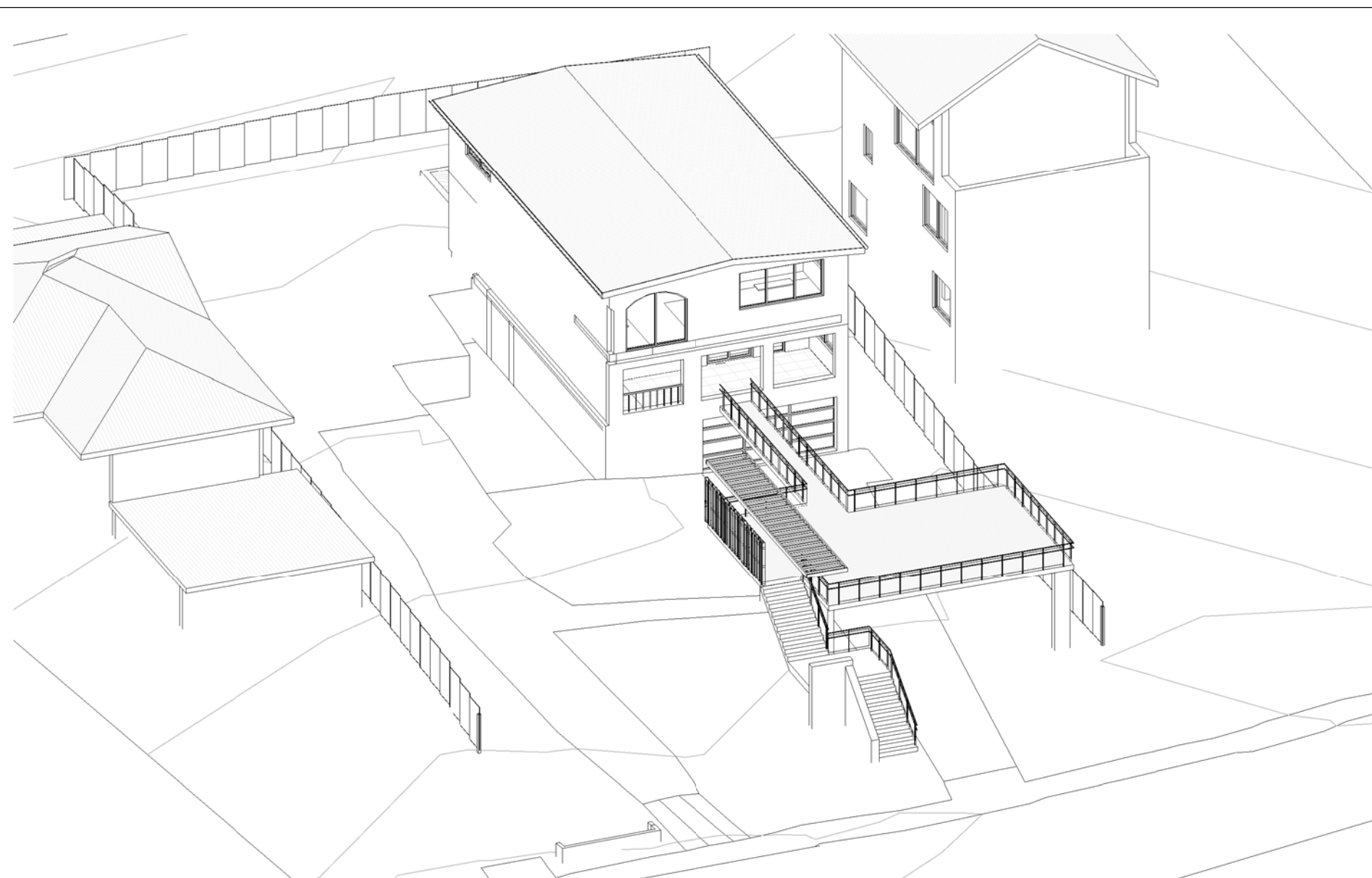
2 VIEW FROM SUN - 9AM JUNE 21ST - DA2019/0306
DA511 @ A1



3 VIEW FROM SUN - 9AM JUNE 21ST - PROPOSED
DA511 @ A1



4 VIEW FROM SUN - 10AM JUNE 21ST - EXISTING
DA511



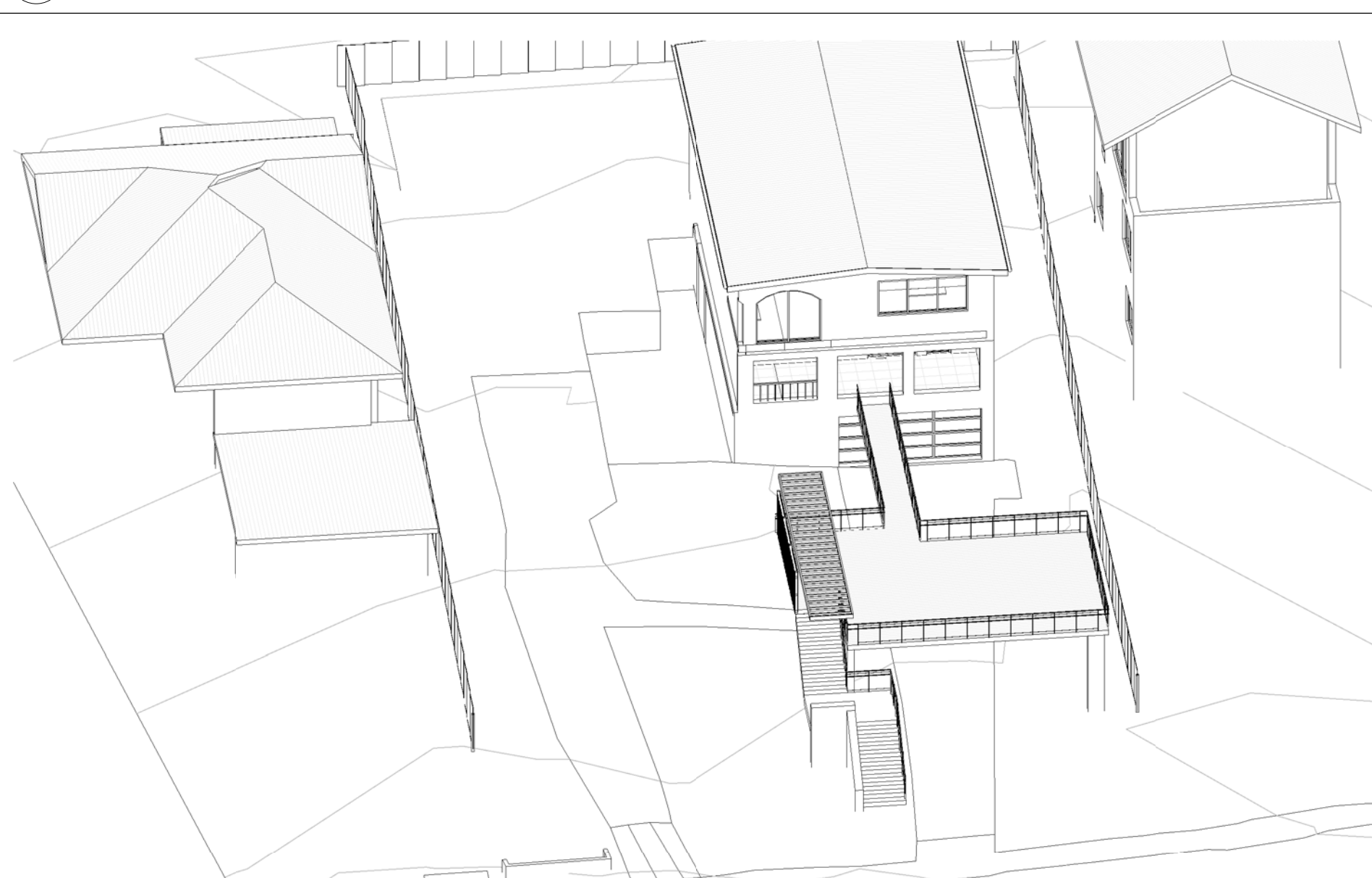
5 VIEW FROM SUN - 10AM JUNE 21ST - DA2019/0306
DA511 @ A1



6 VIEW FROM SUN - 10AM JUNE 21ST - PROPOSED
DA511 @ A1



7 VIEW FROM SUN - 11AM JUNE 21ST - EXISTING
DA511



8 VIEW FROM SUN - 11AM JUNE 21ST - DA2019/0306
DA511 @ A1



9 VIEW FROM SUN - 11AM JUNE 21ST - PROPOSED
DA511 @ A1

Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS
COLLARROY NSW
Client: BRENDAN & SIMONE WRIGHTS

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Scale
@ A1

Sheet Name
VIEWS FROM THE SUN - 9, 10 & 11AM

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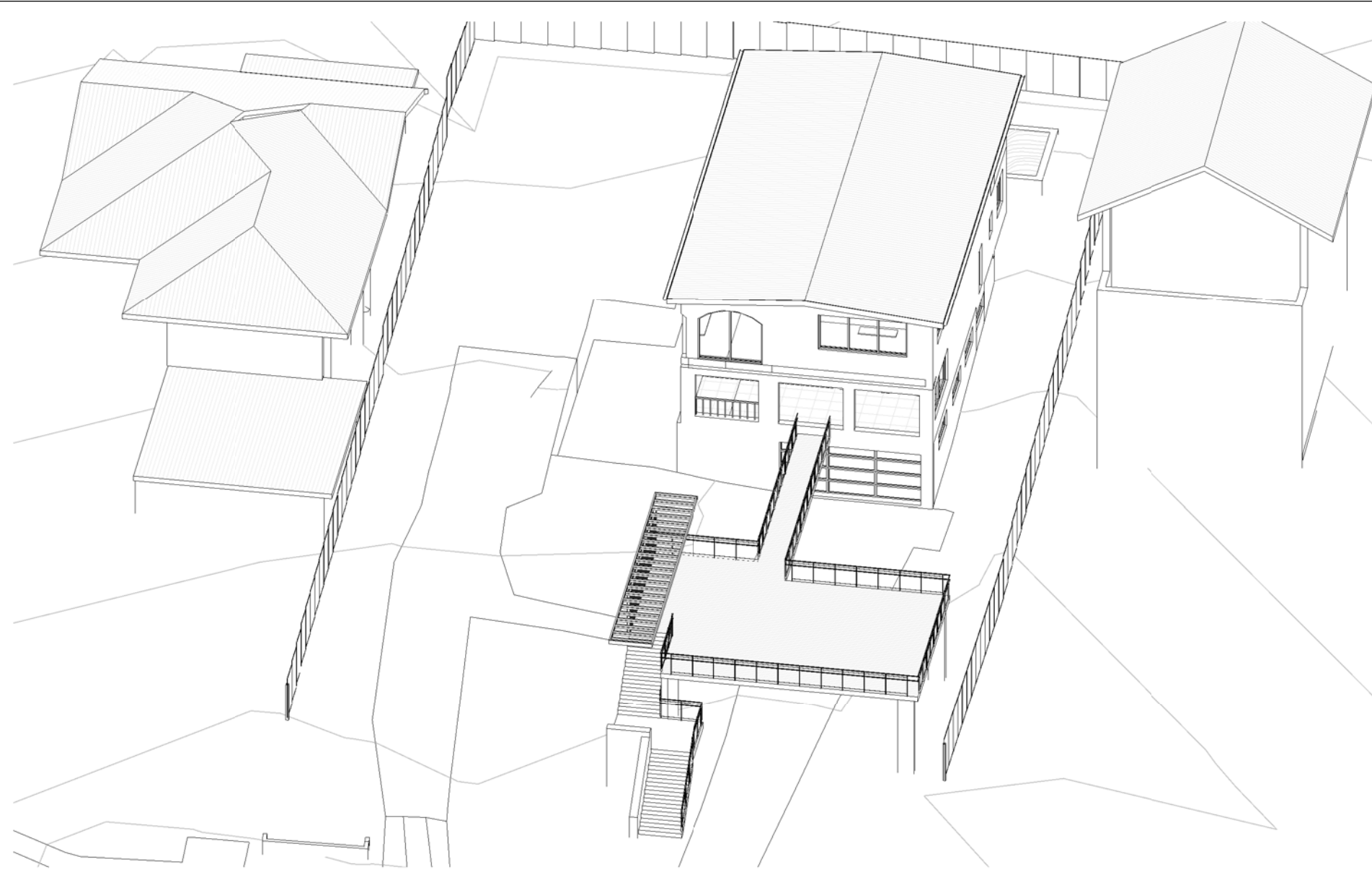
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No. A
Description
ISSUE FOR DEVELOPMENT APPLICATION
Date
10.02.20

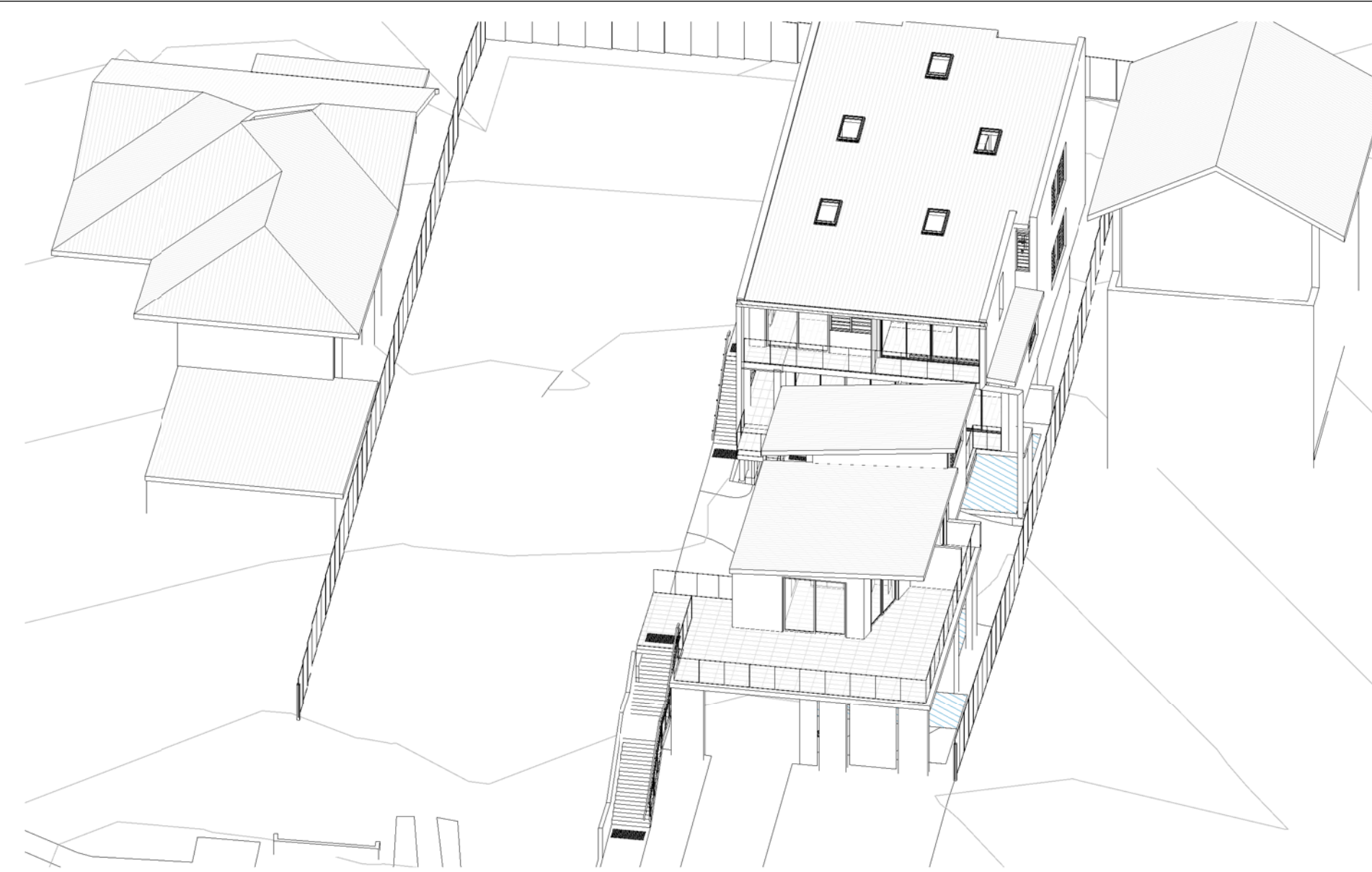
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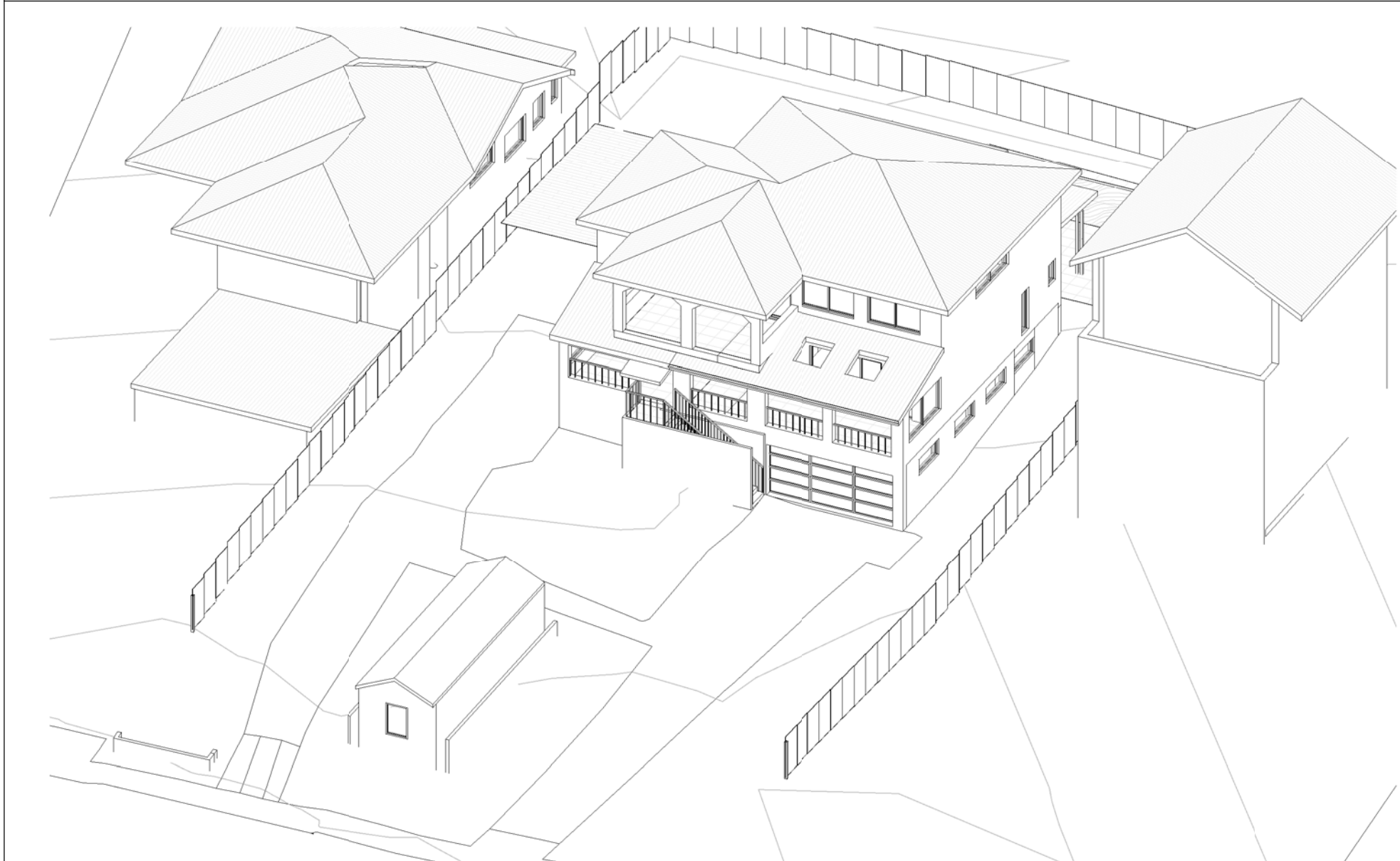
1 VIEW FROM SUN - 12PM JUNE 21ST - EXISTING
DA512 @ A1



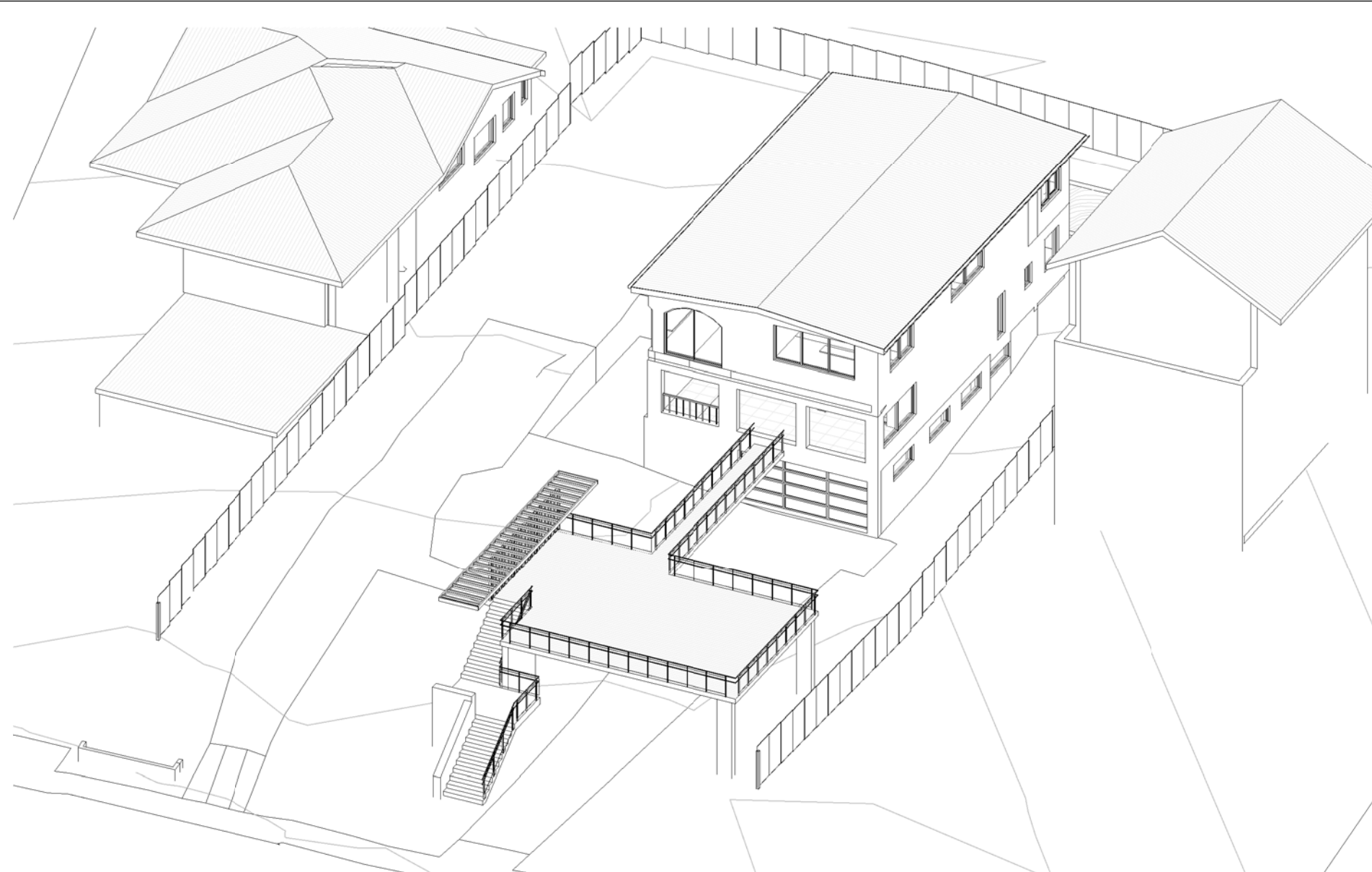
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DA512 @ A1



3 VIEW FROM SUN - 12PM JUNE 21ST - PROPOSED
DA512 @ A1



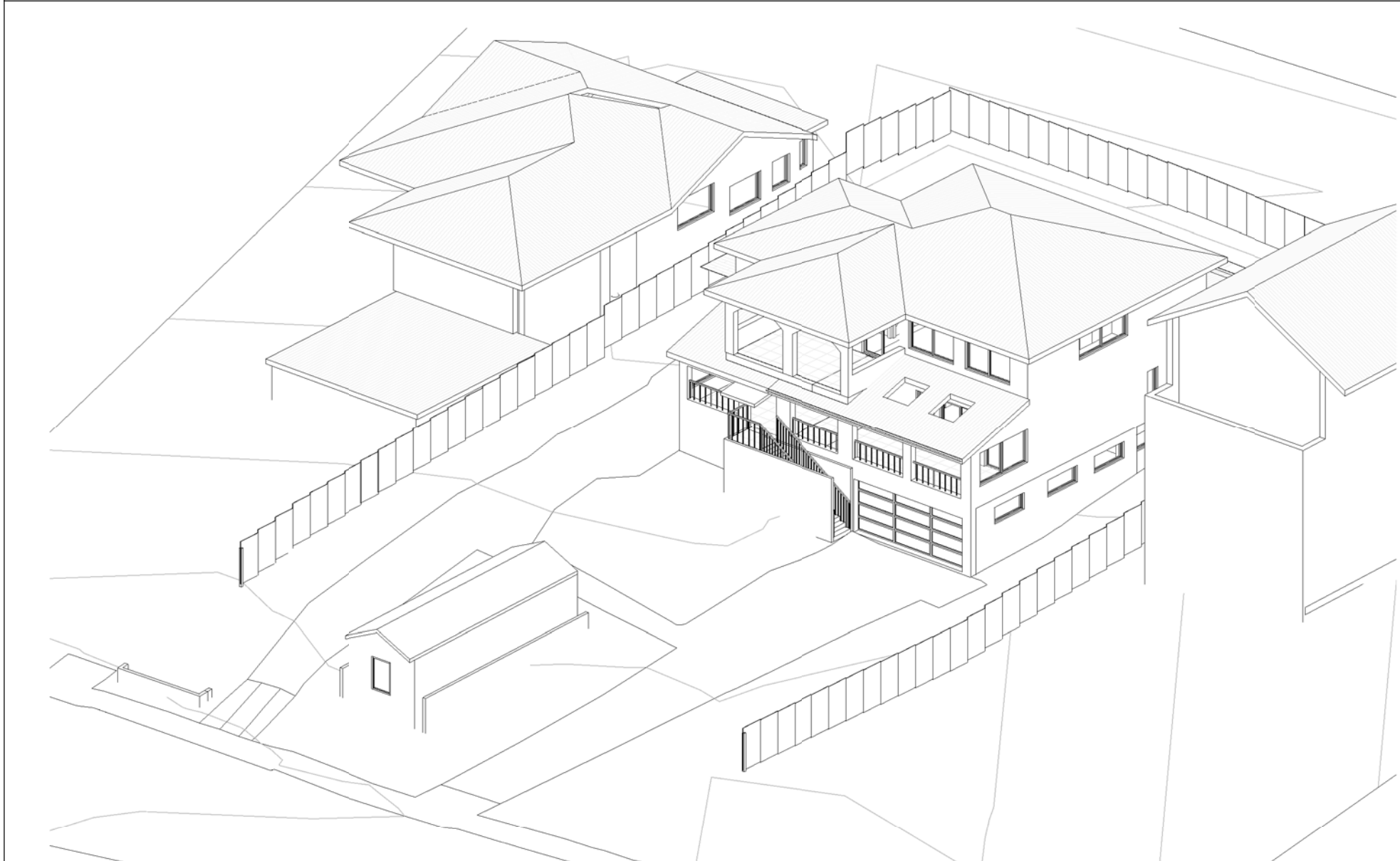
4 VIEW FROM SUN - 1PM JUNE 21ST - EXISTING
DA512 @ A1



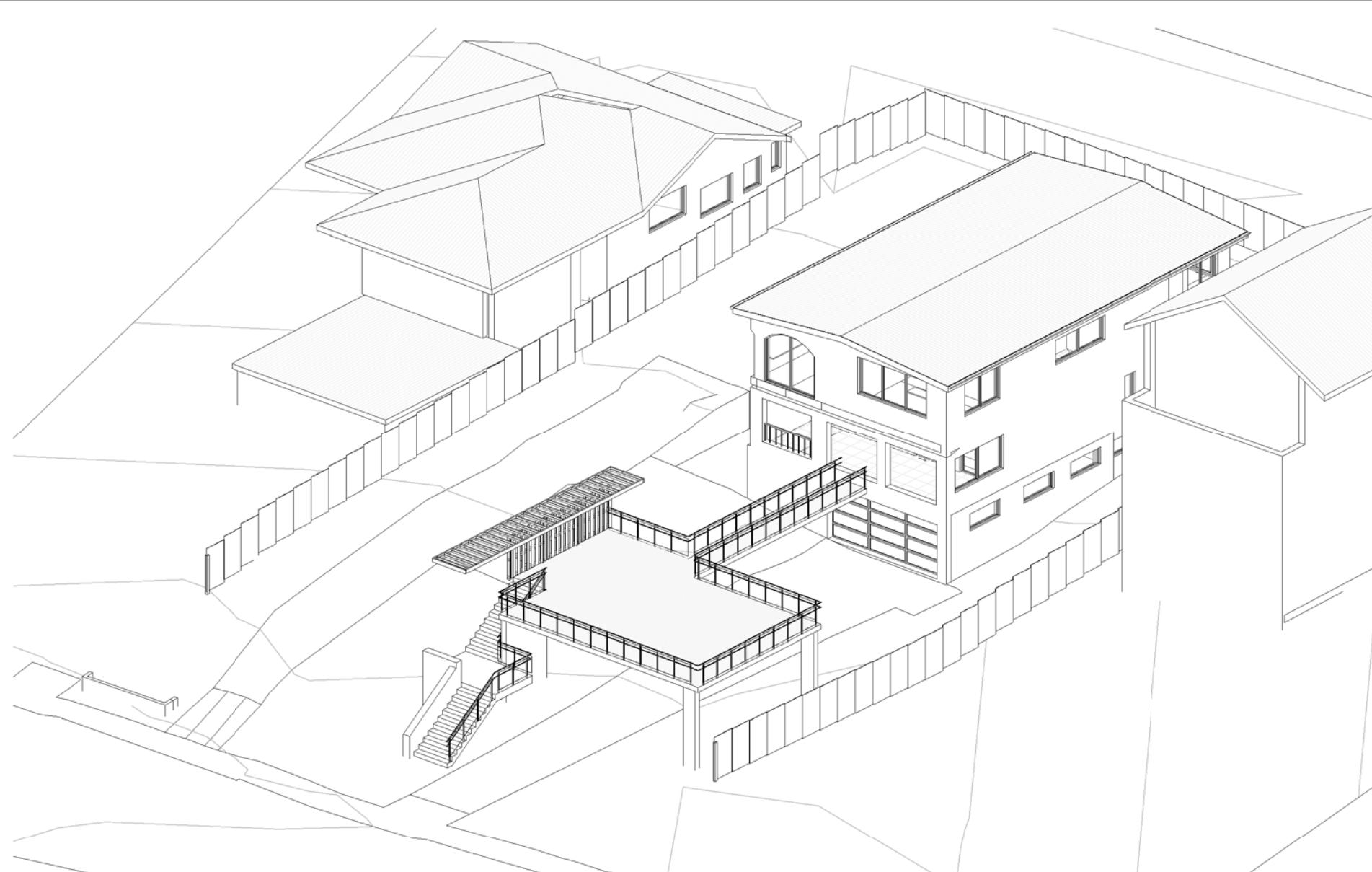
5 VIEW FROM SUN - 1PM JUNE 21ST - DA2019/0306
DA512 @ A1



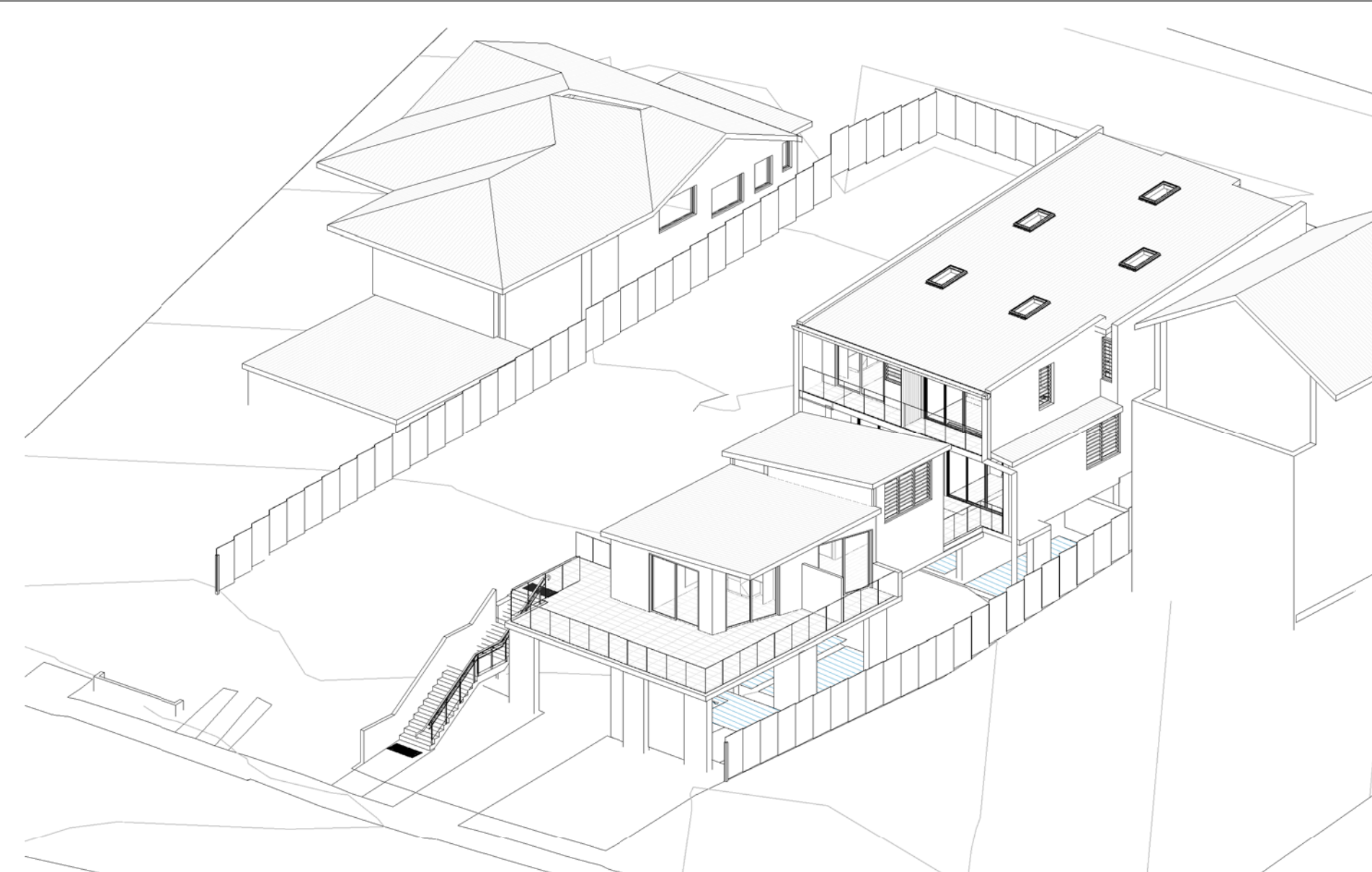
6 VIEW FROM SUN - 1PM JUNE 21ST - PROPOSED
DA512 @ A1



7 VIEW FROM SUN - 2PM JUNE 21ST - EXISTING
DA512 @ A1



8 VIEW FROM SUN - 2PM JUNE 21ST - DA2019/0306
DA512 @ A1



9 VIEW FROM SUN - 2PM JUNE 21ST - PROPOSED
DA512 @ A1

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Sheet Name
VIEWS FROM THE SUN - 12, 1, 2PM

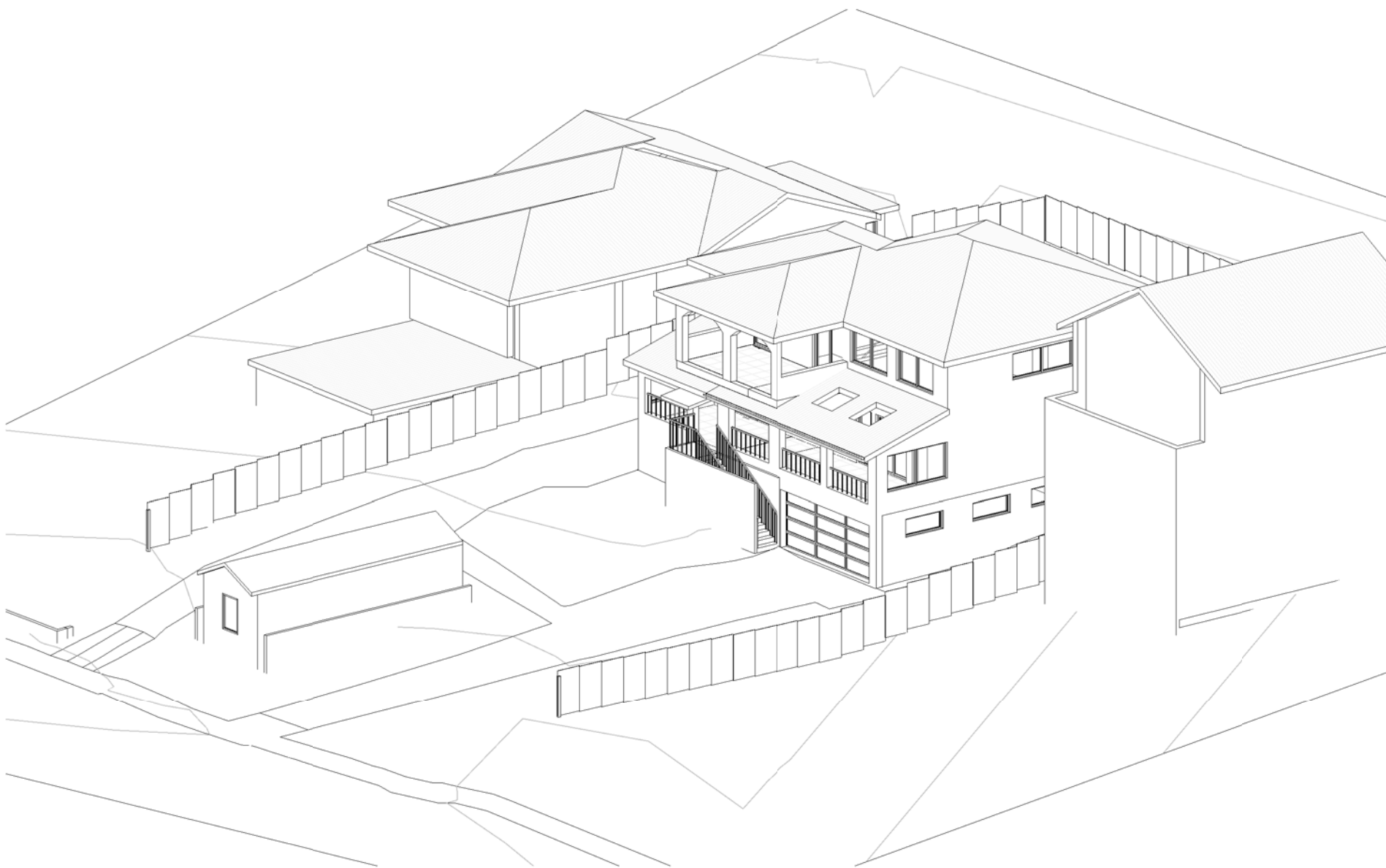
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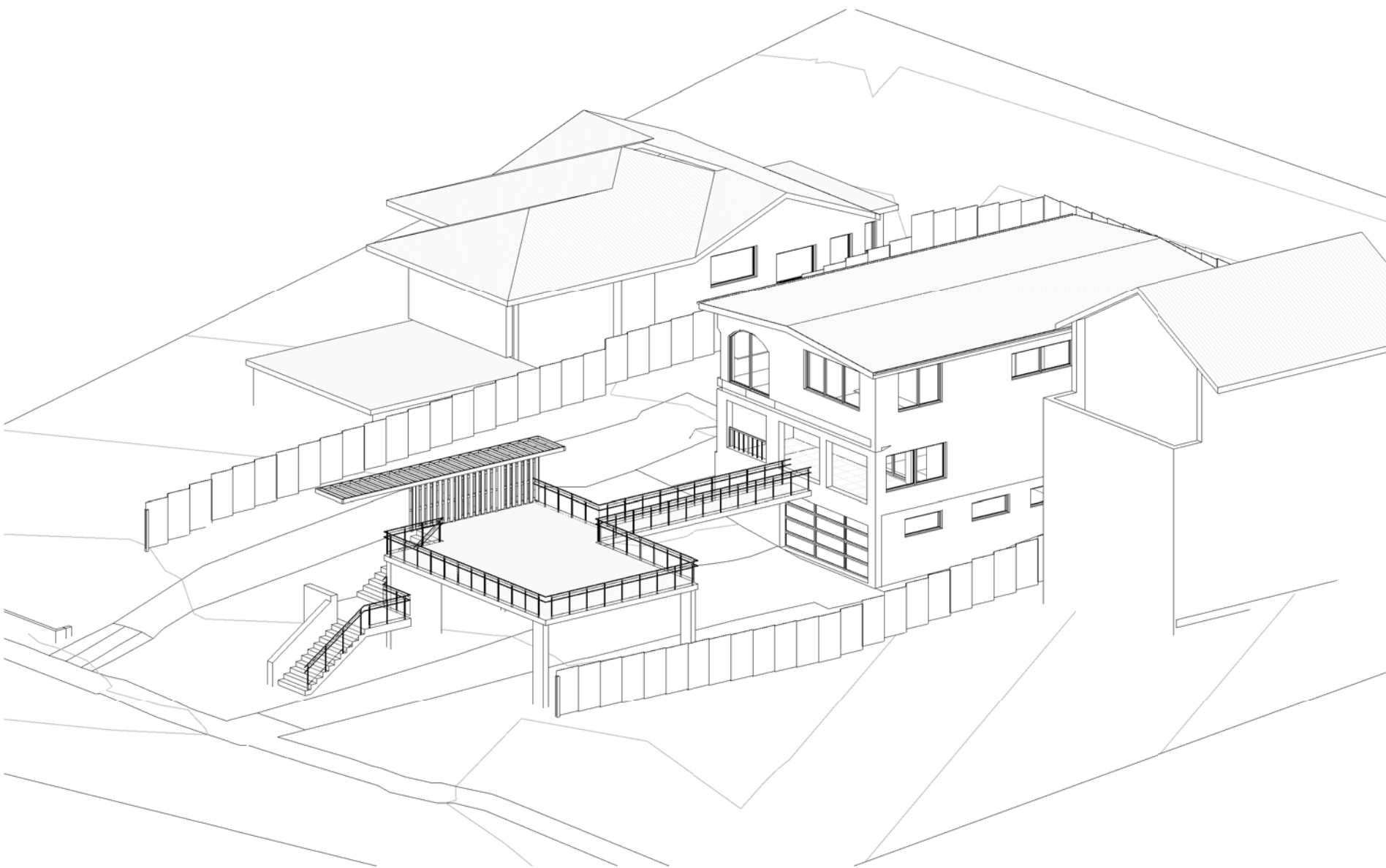
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Description
ISSUE FOR DEVELOPMENT APPLICATION

Date
10.02.20

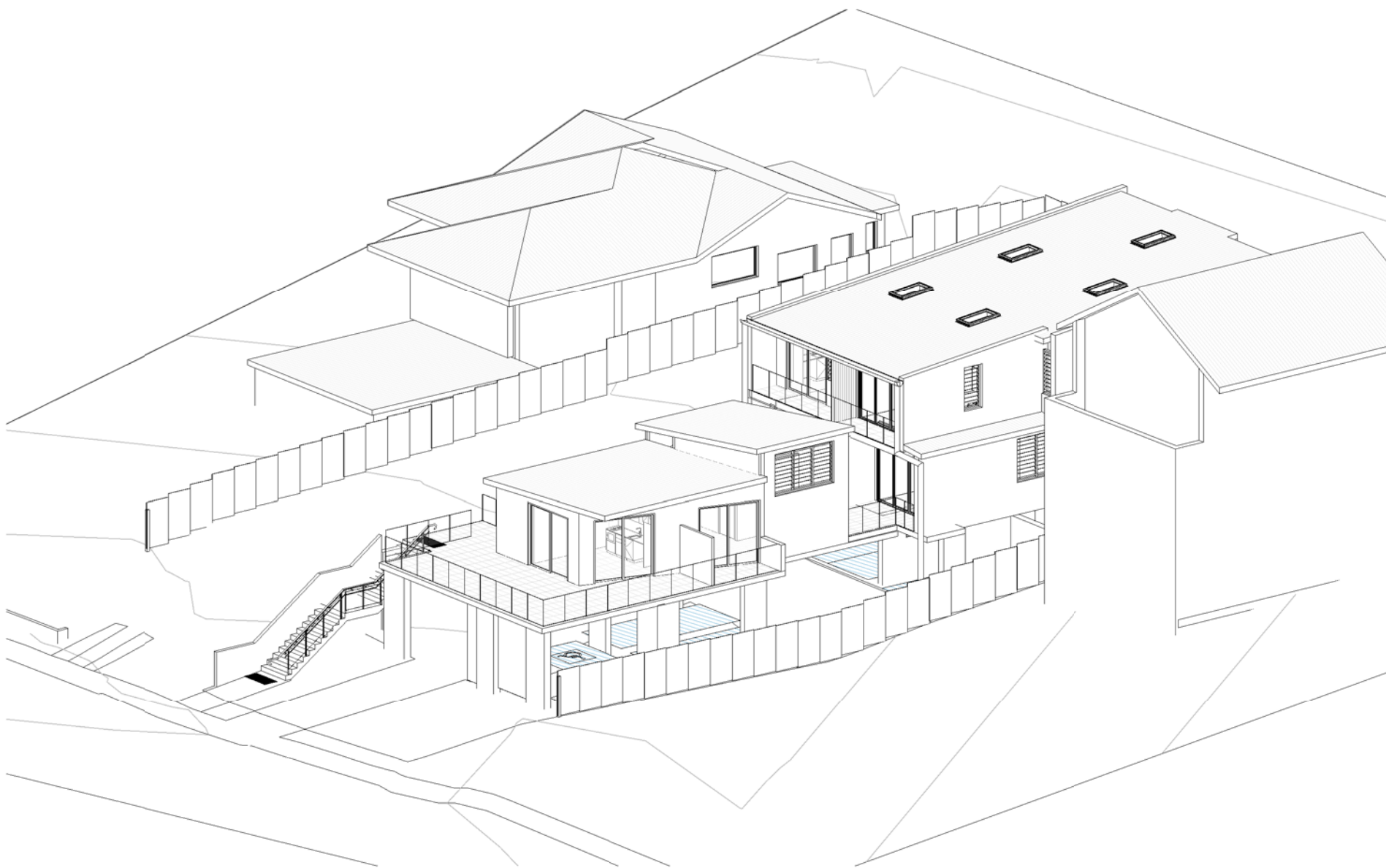
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1 VIEW FROM SUN - 3PM JUNE 21ST - EXISTING
DA513 @ A1



2 VIEW FROM SUN - 3PM JUNE 21ST - DA2019/0306
DA513 @ A1



3 VIEW FROM SUN - 3PM JUNE 21ST - PROPOSED
DA513 @ A1

SEPP AFFORDABLE HOUSING CLAUSE 29 2 (C)
• WHERE THE DEVELOPMENT PROVIDES FOR ONE OR MORE COMMUNAL LIVING ROOMS, IF AT LEAST ONE OF THOSE ROOMS RECEIVES A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM IN MID-WINTER.
COMPLIES FROM 9AM TO 3PM (6 HOURS)

WARRINGAH DCP 2011
• 50% OF THE REQUIRED AREA OF PRIVATE OPEN SPACE OF ADJOINING DWELLINGS ARE TO RECEIVE A MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 9AM AND 3PM ON JUNE 21
COMPLIES

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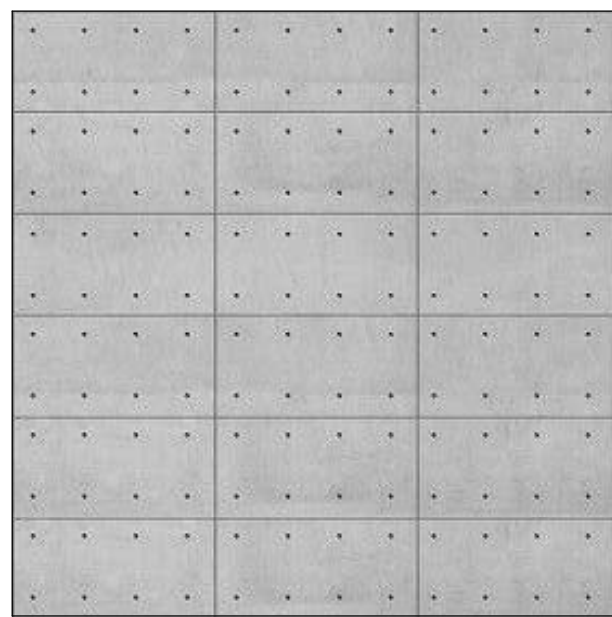
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VIEWS FROM THE SUN - 3PM

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DA513

No. Description Date
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1. INSITU CONCRETE



2. METALWORK -
PERFORATED METAL
SCREENS - POWDERCOATED
MONUMENT



3. JAMES HARDIE AXON 133
PROFILE LAID VERTICALLY WITH
PAINTED MONUMENT FINISH.



4.SANDSTONE - ENTRY STAIRS
AND RETAINING WALLS



5. WHITE - PAINTED EASYLAP FC

Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS
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1 : 200 @ A1

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EXTERNAL FINISHES

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