

Statement of Heritage Impact

Name of heritage item:

Residential Flat Building, "Hilder Lea Flats"

State Heritage Register / LEP heritage schedule item number and name:

- *This site is listed as a heritage item on the Manly Local Environmental Plan 2013 (item number 198)*

Address and location:

Montreaux, 7 Commonwealth Parade, Manly 2095

Statement of heritage impact for:

Structural Repair and Window Sash Replacement to the Southern External Wall, Façade Painting

Prepared for:

Core Project Consulting

Date:

08 April 2024

Issue:

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|------|------------|------------------------------------|
| V.01 | Draft | Issued to Strata |
| V.02 | Final Copy | Issued to Northern Beaches Council |

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Introduction

This Heritage Impact Statement (HIS) has been prepared for Core Project Consulting in regards to Montreaux, 7 Commonwealth Parade, Manly 2095. It accompanies a Statement of Environmental Effects which are supporting documentation for the development application for repairs to lintels, windows and repainting the south elevation.

This report was prepared by Olivia Salkeld and Hector Abrahams who inspected the place in 03 April 2024. The HIS has been prepared in accordance with Heritage NSW *Guidelines for preparing a statement of heritage impact* (2023).

1. The Heritage Item

1.1 Site Description

The site is located at number 7, Commonwealth Parade in Manly, which is part of the Northern Beaches Council LGA. The site is located approximately 400m directly west from the Manly Wharf and the site looks out onto Cabbage Tree Beach to the East and North Harbour to the South. The flats are accessible from Commonwealth Parade and from a rear entrance off The Crescent. The site is surrounded by mid-rise apartments blocks to the south, and large single occupancy houses to the North and West.



Figure 1 – 7 Commonwealth Parade indicated in red. Source: Google Maps, annotated by HAA

The proposed works area

The proposed works are limited to the repair of the existing external fabric on the southern elevation. The principal work is the replacement of defective masonry lintels to each of the window openings. In association with this, the existing window frames and sashes are to be removed to allow access to the lintels. It is proposed that the box window frames, which are in softwood and badly affected by cockatoos, be replaced in hardwood to the same design. It is proposed to re-fit existing original timber double hung sashes. Finally non-original sashes to be replaced with sashes, matching the original design. The Southern façade is to be repainted in the same colour as currently applied to the façade. These works are as shown in the following drawings.

1.2 Site Summary History

Documented History

The State Heritage Inventory includes the following summary history:

“Erected to the designs of Donald Esplin in conjunction with the owner builder Richard Peter Blundell of North Sydney. 7 Commonwealth Parade was featured in 1916 in the Building Magazine and, in 1917, in the Where to Live ABC Guide to Sydney and Suburbs, held in the Mitchell Library. Richardson and Wrench sold the property consisting of 20 flats for £11,000 in December 1930. (Local Studies collection of Manly Library).”

The following historical drawing depicts Montreaux, 7 Commonwealth Parade, Manly in 1917.

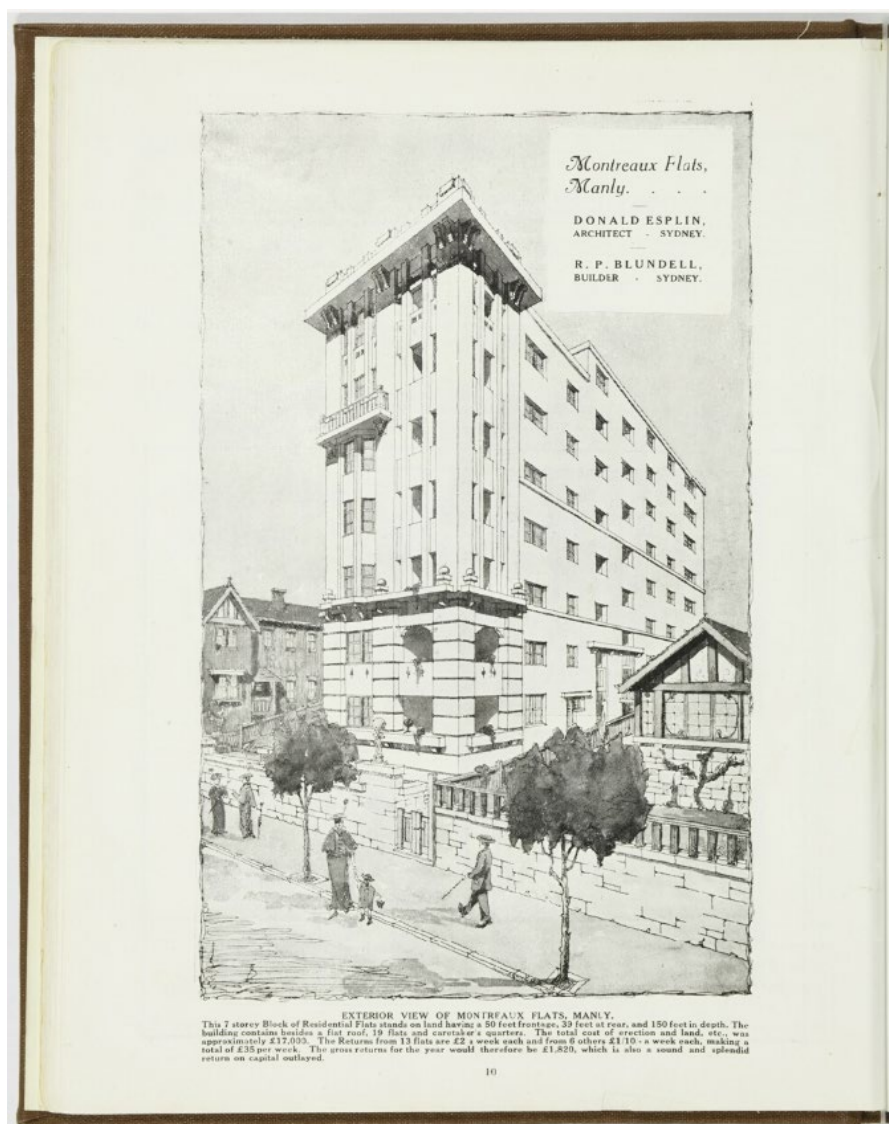


Figure 2 - 1917 - Where to Live ABC Guide to Sydney and Suburbs, featuring: 7 Commonwealth Parade (Montreaux Flats Manly)

Previous Physical Changes

The exterior of the building is intact with only minor alterations since it was first built. The building is in fair condition overall. On the southern elevation at sometime in the 1950s or later, the original box frames of 22 windows were replaced by solid frames with spiral balances.

At the Western end, a series of glazed in balconies has been added in the late 20th century, using powder coated aluminium glazing systems. On the top floor, a light frame addition to the east has been added which is stepped back from the main facade and it's not visible from the principal elevation.

1.3 Physical Analysis

The State Heritage Inventory includes the following physical analysis:

A seven-storey rendered flat building with elaborate parapet. The southern façade is an example of an advanced architectural style in an American inspired idiom, though executed on a tight budget for investment. The building which dominates its immediate surroundings is a familiar landmark in the Manly Cove area.

The exterior walls are of thick loadbearing cavity brickwork rendered on the outside and painted in a uniform pale yellow colour. (Figure 3, 4, 5) Most of the exterior windows are double hung box frame, timber windows, each sash divided in by a single vertical glazing bar. The only decorative treatment is the stepped shaping of the horns on the upper sash. There is considerable damaged to the box frame sections caused by cockatoos (Figure 6 and 7). Also, the lead flashing underneath the timber sill is being lifted by the cockatoos.

On the southern elevation, some windows have been replaced. There is a new addition to the roof stepped back from the principal elevation, and, at the western end, the addition of six light framed balconies in filled with a pre-painted aluminium glazing system.



Figure 3 – Southern Façade – Showing Damaged Softwood Window Sills and Frames – Source: Hector Abrahams Architects



Figure 4 – Example of an original Window – Source: Hector Abrahams Architects



Figure 5 – Example of a replaced Window (non-original frames) – Source: Hector Abrahams Architects



Figure 6 – 7 Commonwealth Parade (documented in red) in relation to Cabbage Tree Beach and Manly Esplanade, Source: Hector Abrahams Architects



Figure 7 – 7 Commonwealth Parade's front façade (South East facing) Source: Hector Abrahams Architects

2. Significance Assessment

2.1 Statement of Significance

Source: Manly Local Environmental Plan 2013 (Amendment No 14)

Item 198

Heritage Map – Manly - 003

The State Heritage Inventory includes the following statement of significance:

The Hilder Lea block of flats is of significance for the local area for historical and esthetic reasons, and as a representative example of early "Chicagoesque" style architecture applied to residential flats. The building is one of the earliest high rise apartment buildings built in the Manly district and in the Sydney area. The building has local landmark qualities and makes a major contribution to the townscape of Manly.

2.2 Significance of the proposed work area

The proposed works are structural repairs to the windows on the southern elevation. Both the south and north elevations, whilst the largest of the building, are plainly treated, and not as important architecturally stable as the front elevation, which is elaborately detailed. The window openings are arranged in a functionally derived layout. They are timber double hung box framed windows, and their stepped horns on the upper are the only decorative treatment on the facade. This external elevation is of high importance to the significance of the item.

3. Proposed Works

3.1 The Proposal

The works comprise of the replacement of all lintels in all masonry openings, the replacement of timber box frames in hardwood (to resist cockatoo damage), reinstatement of 26 original and replacement of 22 non-original sashes with new hardwood sashes to the original design. Finally, the elevation is to be painted in the existing paint type and colour scheme.

3.2 Background

In consideration of the need for conservation of significance, repair of significant fabric, and mitigation against attack by cockatoos, an options paper was prepared and laid out below.

Figure 8 – Window Advice to the Client (Core Engineering) Source: Hector Abrahams Architects

Advice re Window Options South Elevation

2024-02-01 Version 1.0 Issue to Anthony Longhitano

Introduction

- 1. This advice follows an inspection of the South Elevation on 19th January with the engineer Anthony Longhitano, at which I was able to view the elevation from the ground, and windows from inside the western unit on the top floor.*
- 2. The approach to address decayed lintel members to all window openings by replacement, as scheduled and specified in the Concrete Spalling Repair Specification by Core Consulting dated 15th March 2023, is supported*
- 3. The works will require a development application in my view, as they are substantial repairs to much original external fabric of this, an Item of Environmental Heritage. The period of 8-12 weeks should be allowed, for the granting of consent.*
- 4. As well as the comprehensive replacement of lintels, the current specification of works includes for the wholesale replacement of the majority of the windows in the south elevation appear to be timber box framed double hung windows, hung on sash ropes. They have a distinctive stepped horn detail on the upper sash, and are likely to be part of the original construction. The sills are made of hardwood and the remainder of Californian Redwood, it would appear.*

5. *In the centre bay of the façade, the windows are timber framed and of a different detail, including a large fixed glass central paned. These are unlikely to be original in my opinion, based on their style.*

▪

6. *Other windows are timber framed double hung sashes, suspended on spiral balances, with chamfered outer horns. The style of these suggests a construction of the 1960s or later.*

▪

Condition

7. *Based on close inspection of windows in the one unit accessed, and external viewing:*

8. *There is damage caused by cockatoos, which is ongoing. It was observed that external edges of timber frames has been broken off, paint edges torn, and the lead flashing under the sill of an original window torn upwards. One timber box lining was broken away as to expose the weights.*

▪

9. *The original timber sills are worn*

▪

10. *The original timber pulleys are rusted*

▪

Options for Windows

11. *In the table below are set out several approaches to the windows. It is accepted that all window units must be removed from their opening in order to access and replace the lintels.*

| Option | Pros | Cons |
|--|--|---|
| <p>1.. Conservation of original windows Repair any cockatoo damage by insertion new material, rehang the existing sashes on new ropes,</p> | Retains original fabric and design | <p>Does not address the ongoing vulnerability to cockatoo attack</p> <p>Commits the Strata to painting, however the façade gets repainted any way</p> <p>Is likely to be costly</p> |
| <p>2.Replacement of original box frames and sills, and replacement of non original sashes, but retention and reuse of original sashes On the assumption that the sashes are not being attacked by cockatoos, which appears to be the case, this option saves the original sashes, replaces the box frames and sills in hardwood</p> | <p>Retains the most visible and distinctive part of the original windows</p> <p>Makes all windows similar in appearance.</p> <p>Provides a better quality of seal</p> <p>Hardwood frames less vulnerable to attack by cockatoos Frame replacement may be necessary in any case, as the</p> | Commits the Strata to painting, however the façade gets repainted any way |

| | | |
|---|---|--|
| <p>The detailing of the new box frames would allow for a better seal.</p> | <p>original box frames may not survive the removal from the opening in good condition.</p> <p>May be cost effective compared to 1 & 3</p> <p>Sills will last provided painting is maintained</p> | |
| <p>3. Replacement of original box framed windows entirely in hardwood Similar to option 2, but the whole is replaced in hardwood</p> | <p>Retains the most visible and distinctive part of the original windows in reproduction</p> <p>Provides a better quality of seal</p> <p>Makes all windows similar in appearance.</p> <p>Hardwood frames and sashes less vulnerable to attack by cockatoos</p> <p>Frame replacement may be necessary in any case, as the original box frames may not survive the removal from the opening in good condition.</p> <p>May be cost effective compared to 1.</p> <p>Sills will last as long as painting is maintained</p> | <p>More costly than option 2</p> <p>Commits the Strata to painting, however the façade gets repainted any way</p> |
| <p>4. Replacement of existing windows in Aluminium of a similar look In this option powdercoated aluminium is substituted. The windows would look similar, but the opening would not be double hung, but a single sash, probably awning hung (from the top) or casement hung (from the side)</p> | <p>Something of the look of the original is retained, but not the detail</p> <p>The material would not be vulnerable to attack by cockatoos</p> <p>May be cost effective compared to 1 and 3</p> <p>The sills will last longer</p> | <p>A long lead time in manufacture</p> <p>May be expensive or difficult to accommodate the varying sizes of openings that appear to be the same size but are not.</p> <p>Loss of uniformity of window technology and appearance</p> <p>Commits the Strata to painting, however the façade gets repainted any way</p> |

Concluding Remarks

12. The table of options relates to all timber windows, whether they be original or not.

13. In terms of cost, options 2 and 4 are likely to be similar, but this should be tested out by further enquiry

▪

14. The appearance of the façade as a whole is a consideration.

▪

Hector Abrahams

4. Heritage Impact Assessment

This heritage impact assessment will first assess the proposal against the questions and considerations in Heritage NSW's *Guidelines for Preparing a Statement of Heritage Significance*, followed by an assessment against the relevant heritage controls of the Northern Beaches Council DCP and relevant policies of the Conservation Management Plan.

4.1 Matters for consideration

| Alterations and additions | |
|--|--|
| <ul style="list-style-type: none"> Do the proposed works comply with Article 22 of The Burra Charter, specifically Practice note article 22 — new work (Australia ICOMOS 2013b)? | Yes |
| <ul style="list-style-type: none"> Are the proposed alterations/additions sympathetic to the heritage item? In what way (e.g. form, proportion, scale, design, materials)? | Yes, windows are to be replaced to original detail – no significant changes proposed. |
| <ul style="list-style-type: none"> Will the proposed works impact on the significant fabric, design or layout, significant garden setting, landscape and trees or on the heritage item's setting or any significant views? | No |
| <ul style="list-style-type: none"> How have the impact of the alterations/additions on the heritage item been minimised? | Reinstating existing fixtures where possible. New material is to be in the same detail as original fixtures. |
| <ul style="list-style-type: none"> Are the additions sited on any known or potentially significant archaeological relics? If yes, has specialist advice from archaeologists been sought? How will the impact be avoided or mitigated? | No |
| Physical changes to fabric identified as significant | |
| <ul style="list-style-type: none"> Has the fabric that will be impacted by the proposed works been assessed and graded according to its significance? | Yes |
| <ul style="list-style-type: none"> Has specialist advice from a heritage professional, architect, archaeologist or engineer been sought? | Yes |
| Painting | |
| <ul style="list-style-type: none"> Will repainting affect the conservation of the significant fabric of the heritage item? | No |
| <ul style="list-style-type: none"> Does the existing colour scheme contribute to the heritage significance of the heritage item? If yes, will the same scheme be used in the proposed painting works? If not, why not? | Yes, Yes |
| <ul style="list-style-type: none"> Have previous (including original) colour schemes been investigated? Is an earlier scheme being reinstated? | Yes, yes |
| <ul style="list-style-type: none"> Is the proposed paint type chemically compatible with existing materials? Will it affect the breathability of the heritage fabric? | Yes, No |

| | |
|--|-----|
| <ul style="list-style-type: none"> Will the existing paint finish be removed from the originally unpainted brick and stone surfaces? If not, why not? If yes, will the process for paint removal avoid/minimise damage to the fabric? | N/A |
|--|-----|

Relevant DCP provisions

Assessment of the proposed work against relevant policies of the Manly 2013 DCP.

| DCP Provision | Consistency assessment | Compliance (Yes/No) |
|--|--|---------------------|
| 3.2.2.2 Retaining Significant Features and Landscape Setting | | |
| Retain original architectural detailing such as barge board, finial trim, window awnings and front verandas. New detailing must be complementary to the character of the item or place; | All original detail is retained | Yes |
| retain original wall treatments and original cladding (including slate). Modifications to face brick dwellings must use the original style of bricks, window heads, mortar joints and other building details; | Original colour scheme retained | Yes |
| any appropriate use of cement render is complementary to and consistent with the heritage architectural style and colour schemes and repainting must be articulated in the same manner as the original colour rendering of the building; | N/A | N/A |
| external colour schemes are to be in keeping with the original character of the heritage building based where possible on physical or documentary evidence in keeping with the architectural style and period of the building; | Original colour scheme retained | Yes |
| contemporary colours are not discouraged, but should be combined in a complementary way; and | N/A | N/A |
| avoid removal of original fabric in order to retain the integrity of the heritage item or conservation area; | Removal of original fabric is limited to defective lintels and box frames that are at high risk of cockatoo attack | Yes |

5. Summary and Recommendations

The above analysis has identified that the works to the southern elevation affect some fabric but are necessary for the long-term repair and preservation of that fabric. There is some minor loss of significance due to the loss of original timber frames but this, in our view, is more than necessary as a strategy to resist cockatoo attack which is ongoing and not addressable in any other way.

The works include the recovery of original stepped horn detail in the reconstruction of 26 original sashes. In the replacement of frames and sashes a higher standard of seals can be achieved which is a positive impact for the preservation of the building. In light of the above, we find the works are of positive heritage impact and fit for approval by northern Beaches Council.

Prepared by:

Olivia Salkeld

