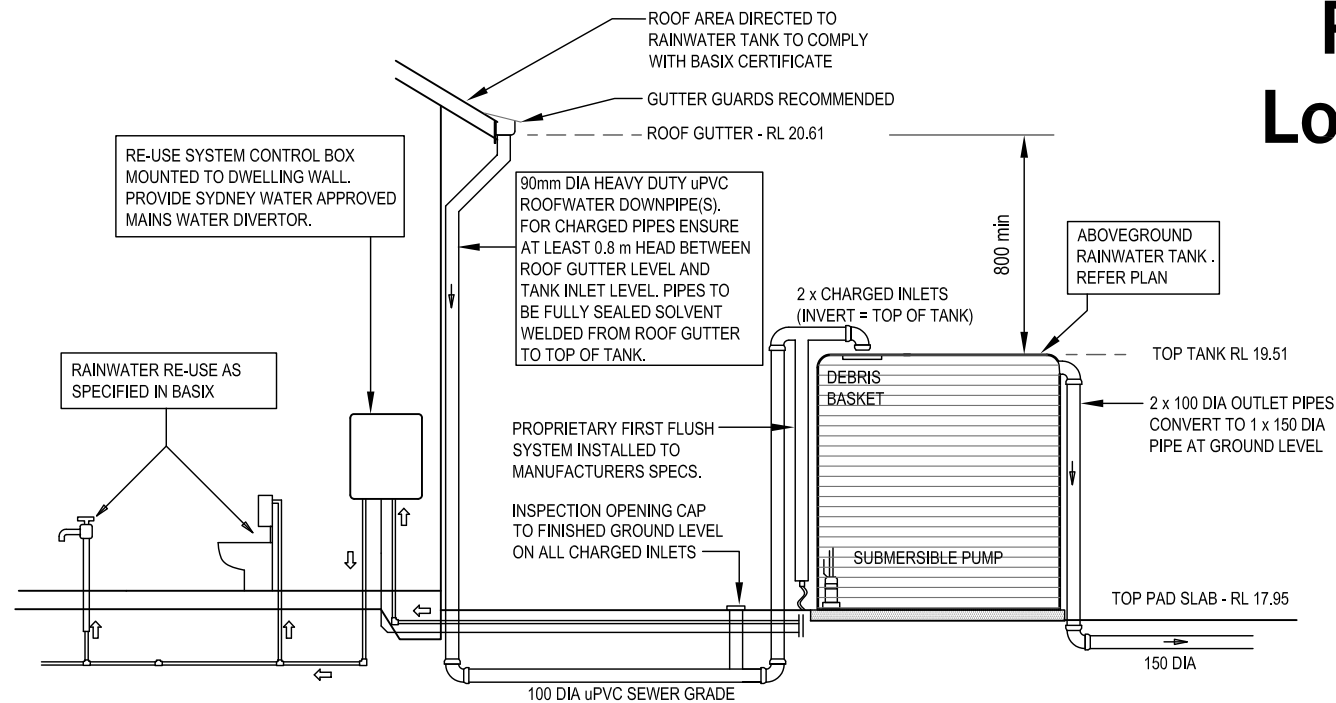


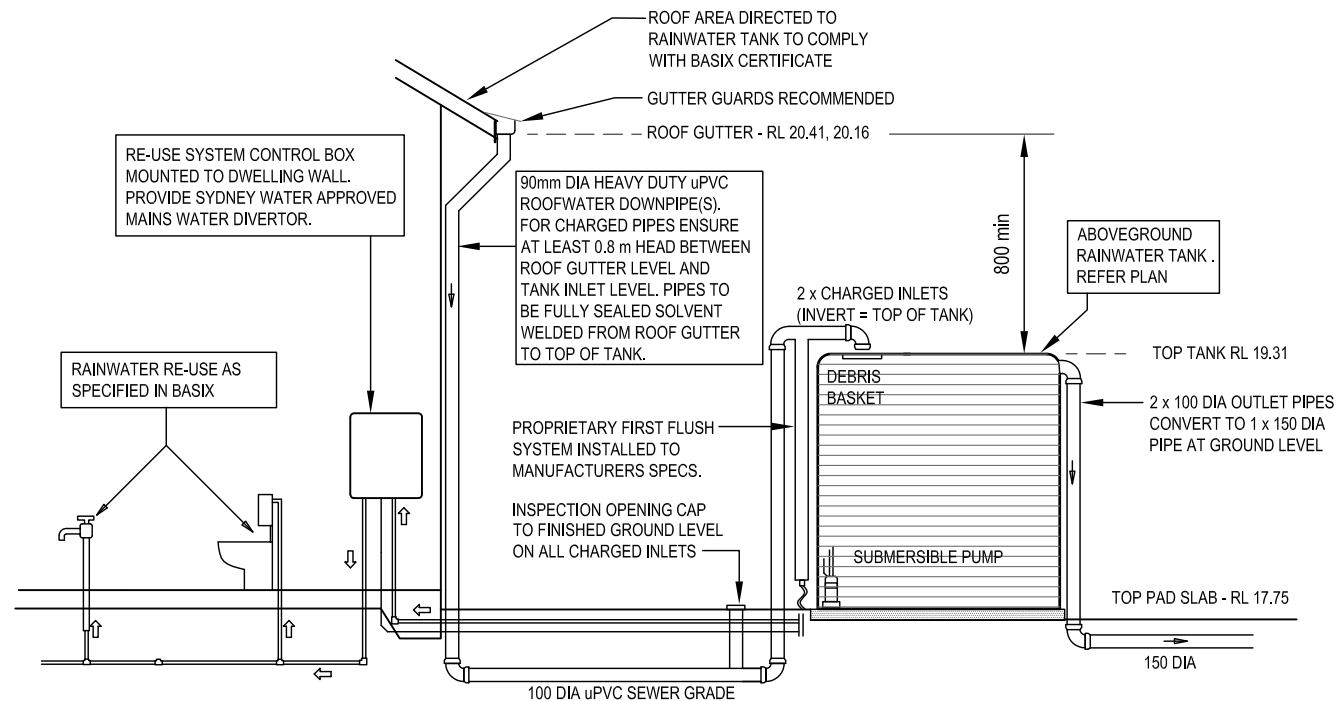
STORMWATER MANAGEMENT PLAN

PROPOSED RESIDENTIAL DEVELOPMENT

Lots 7 & 8, No 97 WATERVIEW ST, MONA VALE



TYPICAL DETAIL - RAINWATER RE-USE TANK - LOT 7



TYPICAL DETAIL - RAINWATER RE-USE TANK - LOT 8

PITWATER DETENTION (OSD) CALCULATIONS

RELEVANT DESIGN CODE : PITWATER DCP PART B5.7 : ON-SITE STORMWATER DETENTION

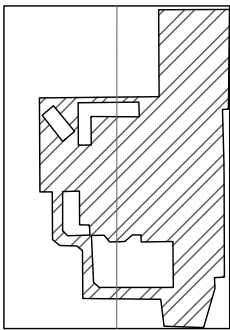
SITE AREA = 1274.6 m².

PRE-DEVT HARD SURFACE = 674 m² (REFER DIAGRAM)

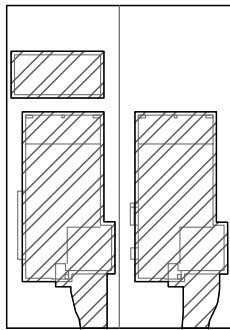
POST-DEVT HARD SURFACE = 637 m²

INCREASE HARD SURFACE = 0 m²
< 50 m² THEREFORE OSD NOT REQUIRED

CONCLUSION : OSD NOT REQUIRED



PRE - DEVT HARD SURFACE = 674 m²



POST - DEVT HARD SURFACE = 637 m²

HARD SURFACES DIAGRAM

SCALE 1: 1000 at A3

GENERAL NOTES

1. FINAL LOCATION OF NEW DOWNPIPES TO BE DETERMINED BY BUILDER/ARCHITECT AT TIME OF CONSTRUCTION.
2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTS AND OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
3. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH AS/NZS 3500.3:2003 STORMWATER DRAINAGE, BCA AND LOCAL COUNCIL POLICY/CONSENT/REQUIREMENTS.
4. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER ON-SITE PRIOR TO COMMENCEMENT OF WORKS. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS NOR TO BE USED FOR SETOUT PURPOSES.
5. ALL SURVEY INFORMATION AND PROPOSED BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
6. THESE DRAWINGS DEPICT THE DESIGN OF SURFACE STORMWATER RUNOFF DRAINAGE SYSTEMS ONLY AND DO NOT DEPICT ROOF DRAINAGE OR SUBSOIL DRAINAGE SYSTEMS UNLESS NOTED OTHERWISE. THE DESIGN OF ROOF AND SUBSOIL DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF OTHERS.
7. ALL STORMWATER DRAINAGE PIPES ARE TO BE 100mm DIAMETER uPVC AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.
8. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES OR OTHER STRUCTURES WHICH MAY AFFECT/BE AFFECTED BY THIS DESIGN PRIOR TO COMMENCEMENT OF WORKS.
9. ALL PITS WITHIN DRIVEWAYS TO BE 150mm THICK CONCRETE OR EQUAL.
10. THIS PLAN IS THE PROPERTY OF STORMCIVIL AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM STORMCIVIL.

LEGEND

	450x450 GRATED INLET PIT		GTD100 GRATED TRENCH DRAIN 100mm WIDE
	450 SQUARE INTERNAL GRATE LEVEL = RL 75.54		PROPOSED ROOF GUTTER FALL
	IL 75.12 INVERT LEVEL = 75.12		PROPOSED STANDARD DOWNPIPE SPREADER
	DOWNPIPE : 90 DIA ROUND OR 100 x 50 RECTANGULAR		STRUCTURE No 1
	RAINWATER HEAD		STORMWATER DRAINAGE
	EXISTING TREE		BALCONY DRAIN - 150mm SQUARE WITH 90mm DIA OUTLET
	SUBSOIL DRAINAGE CLEANOUT CAPPED & MARKED "SW"		SCREW-CAPPED INSPECTION OPENING
			GRATED ROUND OUTLET 100mm DIA.

D	29.06.2020	LOT 8 GF FOOTPRINT - DA ISSUE
C	11.04.2020	LOT 8 HOUSE FOOTPRINT - DA ISSUE
B	12.12.2019	ADD DPs - DA ISSUE
A	07.12.2019	DA ISSUE
ISS	DATE	AMENDMENT

ARCHITECT/BUILDER	ARCH. REF : 299138900
CLARENDON HOMES	299138901
OWNER	
HOLLIDAY	
LGA	NORTHERN BEACHES (PITWATER)

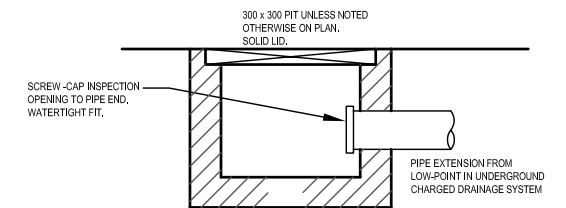
Consulting Engineers
Civil & Environmental,
Stormwater Management.

3 Gresham Street,
Cowan NSW 2081
ph/fax (02) 9456 7233
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mark@stormcivl.com.au

Pty Ltd. ABN 71 612 151 461

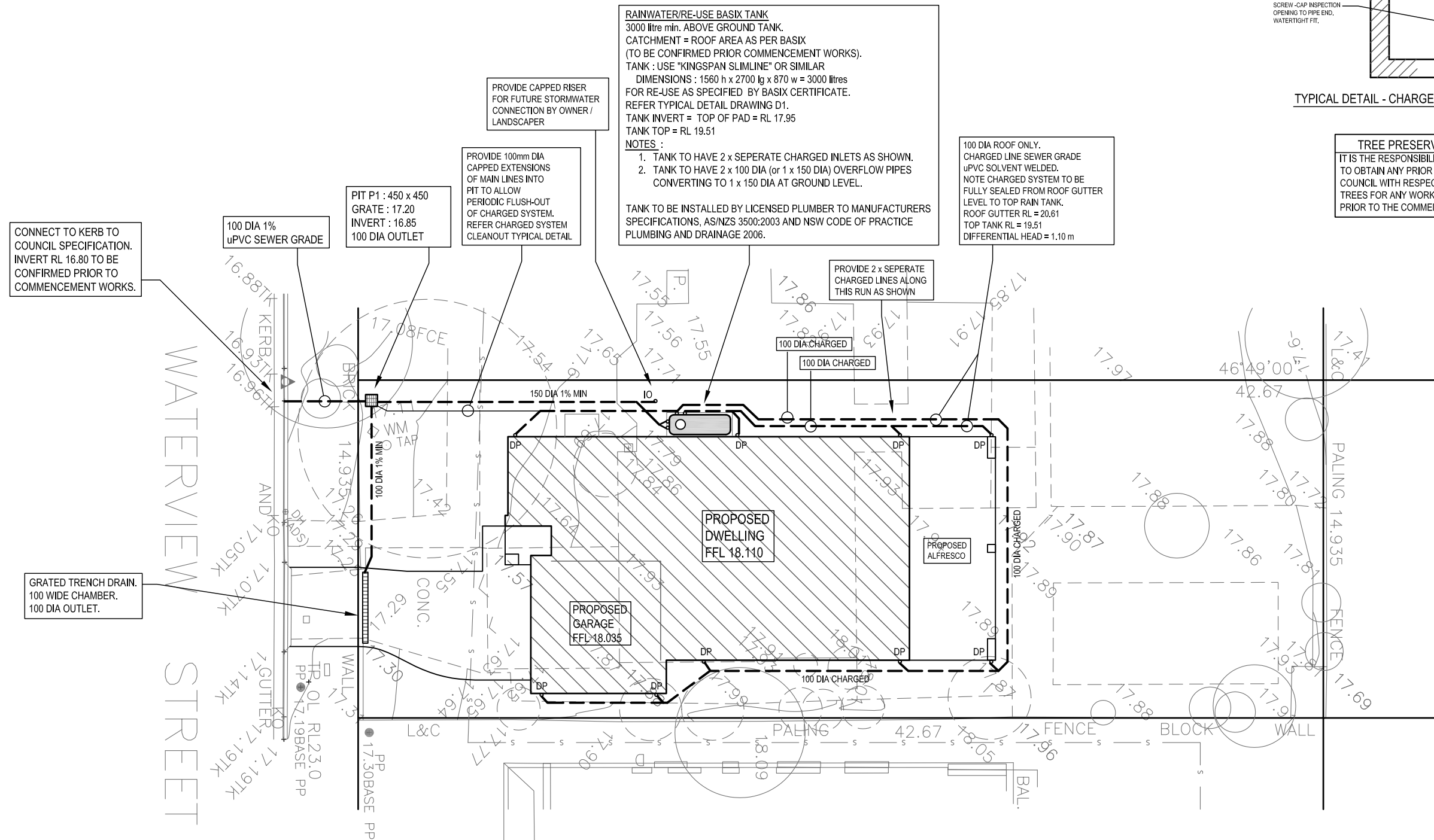
DWG TITLE	LEGEND, NOTES, DETAILS, CALCULATIONS
PROJECT TITLE	PROPOSED RESIDENTIAL DEVELOPMENT Lots 7 & 8, No 97 WATERVIEW STREET, MONA VALE

<div>StormCivil</div>			<div>APPROVED ON BEHALF OF STORMCIVIL PTY LTD</div> <div>Mark Taylor MIE Aust CP Eng NER 173333</div>
JOB No	DWG No	No IN SET	ISSUE
304131	D1	3	D



TYPICAL DETAIL - CHARGED SYSTEM CLEANOUT PIT

TREE PRESERVATION NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF THOSE WORKS.



STORMWATER MANAGEMENT PLAN - LOT 7

SCALE 1:200 A3

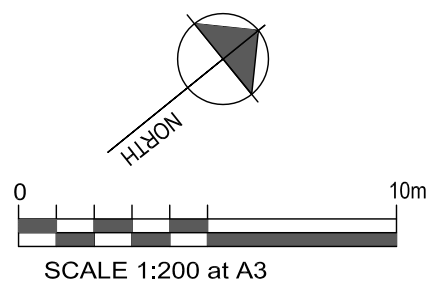
NOTE
THIS PLAN MANAGES STORMWATER RUNOFF DERIVED FROM ROOF AND DRIVEWAY SURFACES ONLY AS SHOWN ON ARCHITECTURAL DRAWINGS. ALL OTHER SURFACE RUNOFF WATER TO BE MANAGED BY SEPARATE SYSTEM BY OWNER IN ACCORDANCE WITH AS 3500.3 AND BCA PART 3.1.2

NOTE
THIS DRAWING DEPICTS THE DESIGN OF SURFACE STORMWATER RUNOFF DRAINAGE SYSTEMS ONLY AND DOES NOT DEPICT ROOF DRAINAGE OR SUBSOIL DRAINAGE SYSTEMS UNLESS NOTED OTHERWISE. THE DESIGN OF ROOF AND SUBSOIL DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF OTHERS.

NOTE
ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3:2003 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3:2003.

NOTE
THIS DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS BY: CLARENDON HOMES REF : 29913900

NOTE
THIS DRAWING IS NOT TO BE USED FOR SETOUT PURPOSES - REFER TO ARCHITECTURAL DRAWINGS



ISS	DATE	AMENDMENT
D	29.06.2020	LOT 8 GF FOOTPRINT - DA ISSUE
C	11.04.2020	LOT 8 HOUSE FOOTPRINT - DA ISSUE
B	12.12.2019	ADD DPs - DA ISSUE
A	07.12.2019	DA ISSUE

ARCHITECT/BUILDER	ARCH. REF : 299138900
CLARENDON HOMES	299138901
OWNER	
HOLLIDAY	
LGA	NORTHERN BEACHES (PITTWATER)


StormCivil

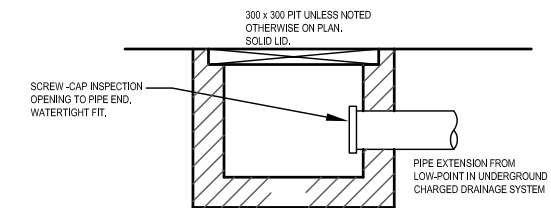
Consulting Engineers
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Stormwater Management.

3 Gresham Street,
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ph/fax (02) 9456 7233
mobile : 0424023047
mark@stormcivil.com.au

Pty Ltd. ABN 71 612 151 461

DWG TITLE	LOT 7 - STORMWATER MANAGEMENT PLAN
PROJECT TITLE	PROPOSED RESIDENTIAL DEVELOPMENT Lots 7 & 8, No 97 WATERVIEW STREET, MONA VALE

<h1>StormCivil</h1>			APPROVED ON BEHALF OF STORMCIVIL PTY LTD	
			<div>Mark Taylor MIE Aust CP Eng NER 173333</div> 	
JOB No	DWG No	No IN SET	ISSUE	
304131	D2	3	D	



TYPICAL DETAIL - CHARGED SYSTEM CLEANOUT PIT

TREE PRESERVATION NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF THOSE WORKS.

100 DIA ROOF ONLY.
CHARGED LINE SEWER GRADE
UPVC SOLVENT WELDED.
NOTE CHARGED SYSTEM TO BE FULLY SEALED FROM ROOF GUTTER LEVEL TO TOP RAIN TANK.
ROOF GUTTER RL = 20.16, 20.41
TOP TANK RL = 19.31
DIFFERENTIAL HEAD = 0.85, 1.10m

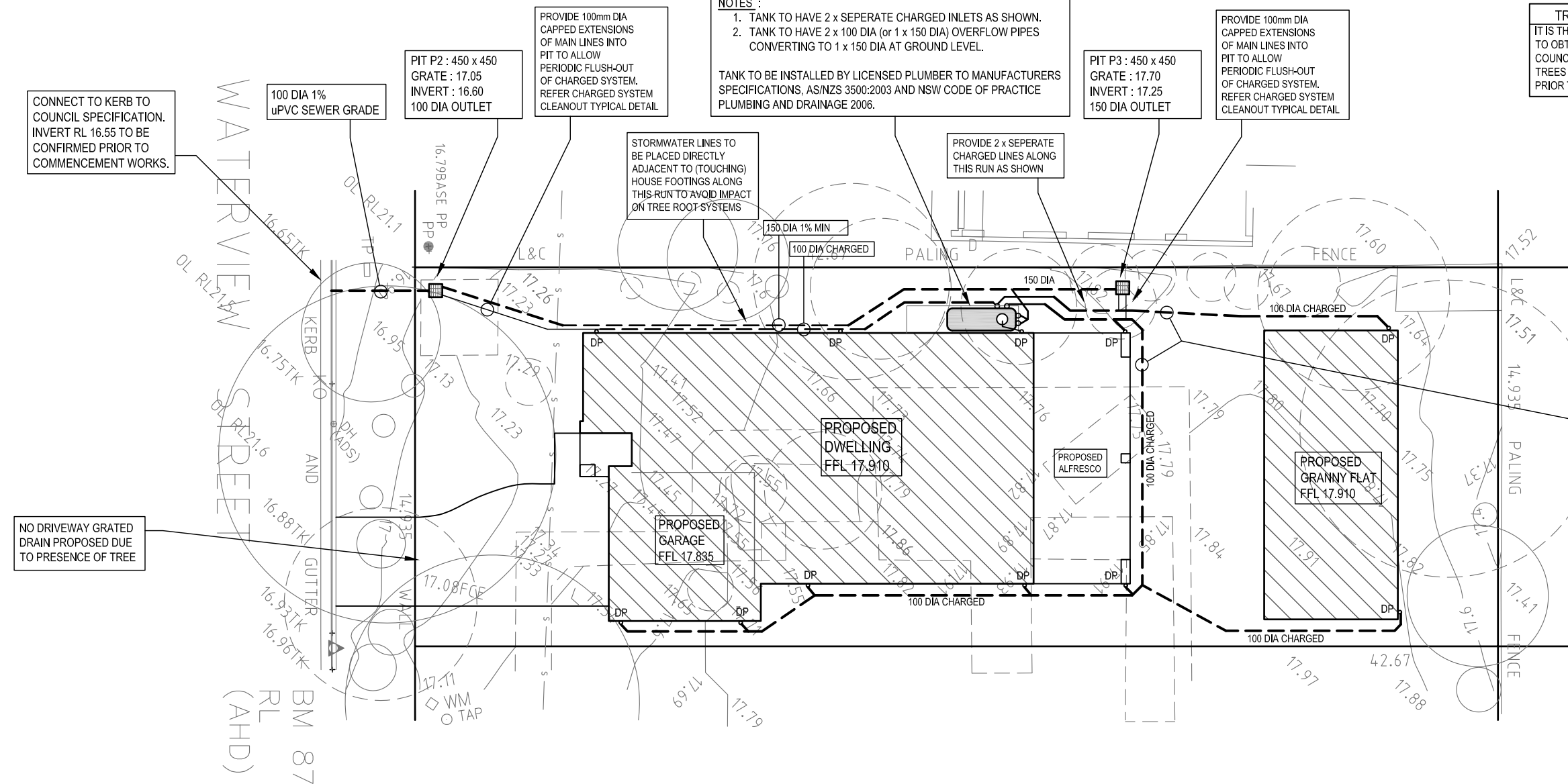
NOTE
THIS PLAN MANAGES STORMWATER RUNOFF DERIVED FROM ROOF AND DRIVEWAY SURFACES ONLY AS SHOWN ON ARCHITECTURAL DRAWINGS. ALL OTHER SURFACE RUNOFF WATER TO BE MANAGED BY SEPARATE SYSTEM BY OWNER IN ACCORDANCE WITH AS 3500.3 AND BCA PART 3.1.2

NOTE
THIS DRAWING DEPICTS THE DESIGN OF SURFACE STORMWATER RUNOFF DRAINAGE SYSTEMS ONLY AND DOES NOT DEPICT ROOF DRAINAGE OR SUBSOIL DRAINAGE SYSTEMS UNLESS NOTED OTHERWISE. THE DESIGN OF ROOF AND SUBSOIL DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF OTHERS.

NOTE
ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3:2003 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3:2003.

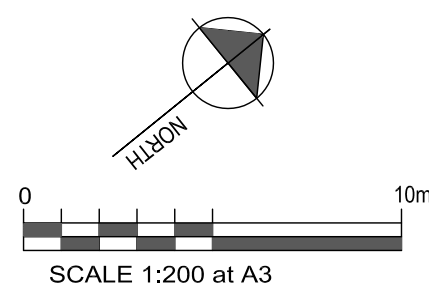
RAINWATER/RE-USE BASIX TANK
3000 litre min. ABOVE GROUND TANK.
CATCHMENT = ROOF AREA AS PER BASIX (TO BE CONFIRMED PRIOR COMMENCEMENT WORKS).
TANK : USE "KINGSPAN SLIMLINE" OR SIMILAR
DIMENSIONS : 1560 h x 2700 lg x 870 w = 3000 litres
FOR RE-USE AS SPECIFIED BY BASIX CERTIFICATE.
REFER TYPICAL DETAIL DRAWING D1.
TANK INVERT = TOP OF PAD = RL 17.75
TANK TOP = RL 19.31
NOTES :
1. TANK TO HAVE 2 x SEPERATE CHARGED INLETS AS SHOWN.
2. TANK TO HAVE 2 x 100 DIA (or 1 x 150 DIA) OVERFLOW PIPES CONVERTING TO 1 x 150 DIA AT GROUND LEVEL.

TANK TO BE INSTALLED BY LICENSED PLUMBER TO MANUFACTURERS SPECIFICATIONS, AS/NZS 3500:2003 AND NSW CODE OF PRACTICE PLUMBING AND DRAINAGE 2006.



STORMWATER MANAGEMENT PLAN - LOT 8

SCALE 1:200 A3



NOTE
THIS DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS BY : CLARENDON HOMES
REF : 29913901

NOTE
THIS DRAWING IS NOT TO BE USED FOR SETOUT PURPOSES - REFER TO ARCHITECTURAL DRAWINGS

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ARCHITECT/BUILDER	ARCH. REF : 299138900 299138901
CLARENDON HOMES	
OWNER	HOLLIDAY
LGA	NORTHERN BEACHES (PITWATER)

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DWG TITLE	LOT 8 - STORMWATER MANAGEMENT PLAN
PROJECT TITLE	PROPOSED RESIDENTIAL DEVELOPMENT Lots 7 & 8, No 97 WATERVIEW STREET, MONA VALE

<h1>StormCivil</h1>		APPROVED ON BEHALF OF STORMCIVIL PTY LTD  Mark Taylor MIE Aust CP Eng NER 173333	
JOB No	DWG No	No IN SET	ISSUE
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