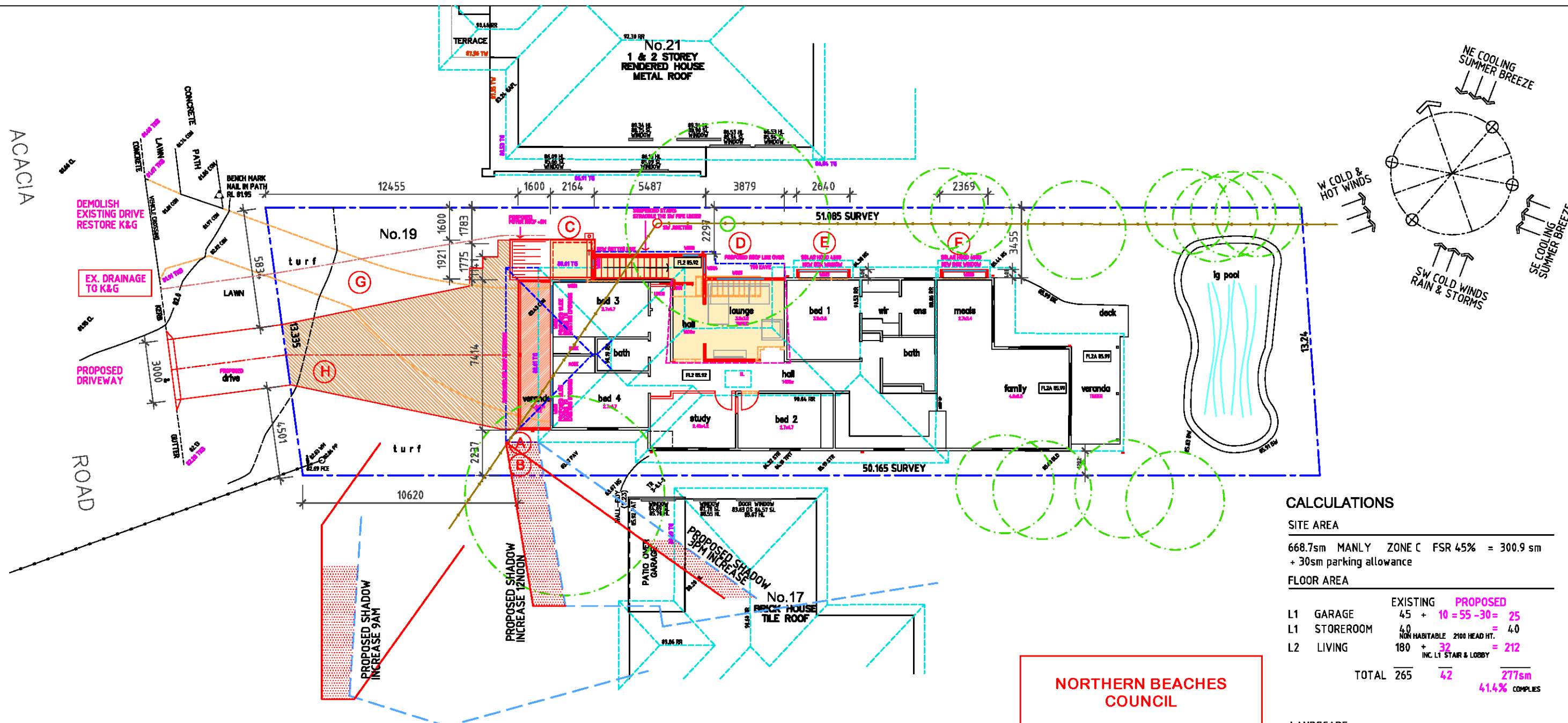




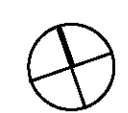
SCOPE OF WORKS

- A L1 GARAGE EXTENSION OF 1.6M WEST X 6M
- B L2 VERANDA OVER GARAGE EXTENSION - ACCESS OFF BEDS 2 & 3
- C L1 PORTICO AND LOBBY - STAIRS TO L2
- D L2 LOUNGE ROOM ADDITION OVER EXISTING PATIO - SKILLION ROOF
- E L2 BOX BAY WINDOW TO BED 1 - UNDER EAVE LINE
- F L2 BOX BAY WINDOW TO DINING ROOM
- G L1 DEMOLISH EXISTING DRIVEWAY - RESTORE KERB & GUTTER
- H L1 NEW DRIVEWAY, CROSSOVER AND APRON

THE PROPOSED BUILD ON AREAS ARE OVER THE -
EXISTING DRIVEWAY
PORTION OF 3M SIDE PASSAGE
EXISTING L2 ENTRY PATIO

LEGEND

- EXISTING
- DEMOLISH
- PROPOSED
- OVER



LOT A
DP382831
668.7 sm

PAUL CARRICK
ASSOCIATES



building designers
04122 41514
pcadesign@ozemail.com.au

date
MAR 2018
scale
1:200

project no.
985
revision
A

project
DRURY RESIDENCE
19 ACACIA ROAD, SEAFORTH

title
SITE PLAN
SITE ANALYSIS PLAN

sheet
02

CALCULATIONS

SITE AREA
668.7sm MANLY ZONE C FSR 45% = 300.9 sm
+ 30sm parking allowance

FLOOR AREA

	EXISTING	PROPOSED	
L1 GARAGE	45	+ 10 = 55 - 30 = 25	
L1 STOREROOM	40		= 40
L2 LIVING	180	+ 32 = 212	
		INC. L1 STAIR & LOBBY	
TOTAL	265	42	277sm 41.4% COMPLIES

LANDSCAPE 668.7sm

OS3	55%	= 368sm total	
	>30%	= 111sm soft	
EXISTING OS	395		
PROPOSED OS	57 + 36 + 230 = 323sm	48.3%	NON COMPLIANT
		-45sm	
LS	226	51 + 36 + 106 = 193sm	52% COMPLIES

DRAINAGE AREAS 668.7sm

EXISTING IMPERVIOUS AREA	350sm	52.3%
PROPOSED IMPERVIOUS AREA	379sm	56.7%

BUILD AREAS

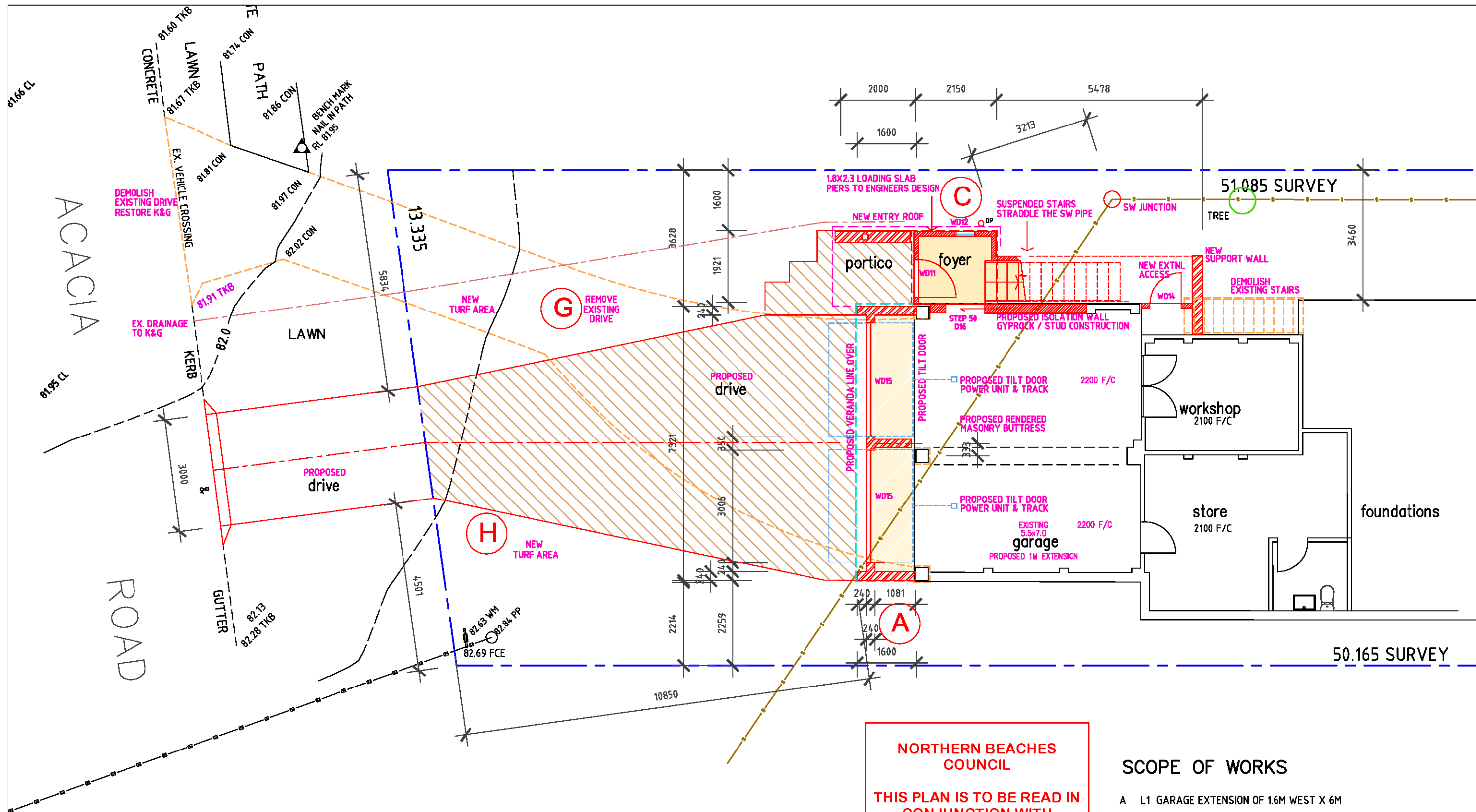
L1 GARAGE	10
L1/L2 LIVING INC. L1 STAIR & LOBBY	32
L2 VERANDA NON HABITABLE	10
PROPOSED	52sm

NORTHERN BEACHES COUNCIL

THIS PLAN IS TO BE READ IN CONJUNCTION WITH

Endorsement Date: 27/09/2018

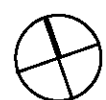
DA2018/1140



BUILD AREAS		
L1	GARAGE	10
L1/L2	LIVING INC. L1 STAIR & LOBBY	32
L2	VERANDA NON HABITABLE	10
PROPOSED		52sm

LEGEND

	EXISTING
	DEMOLISH
	PROPOSED
	OVER



LOT A
DP382831
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title
FLOOR PLAN
LEVEL 1 - GARAGE

sheet
03

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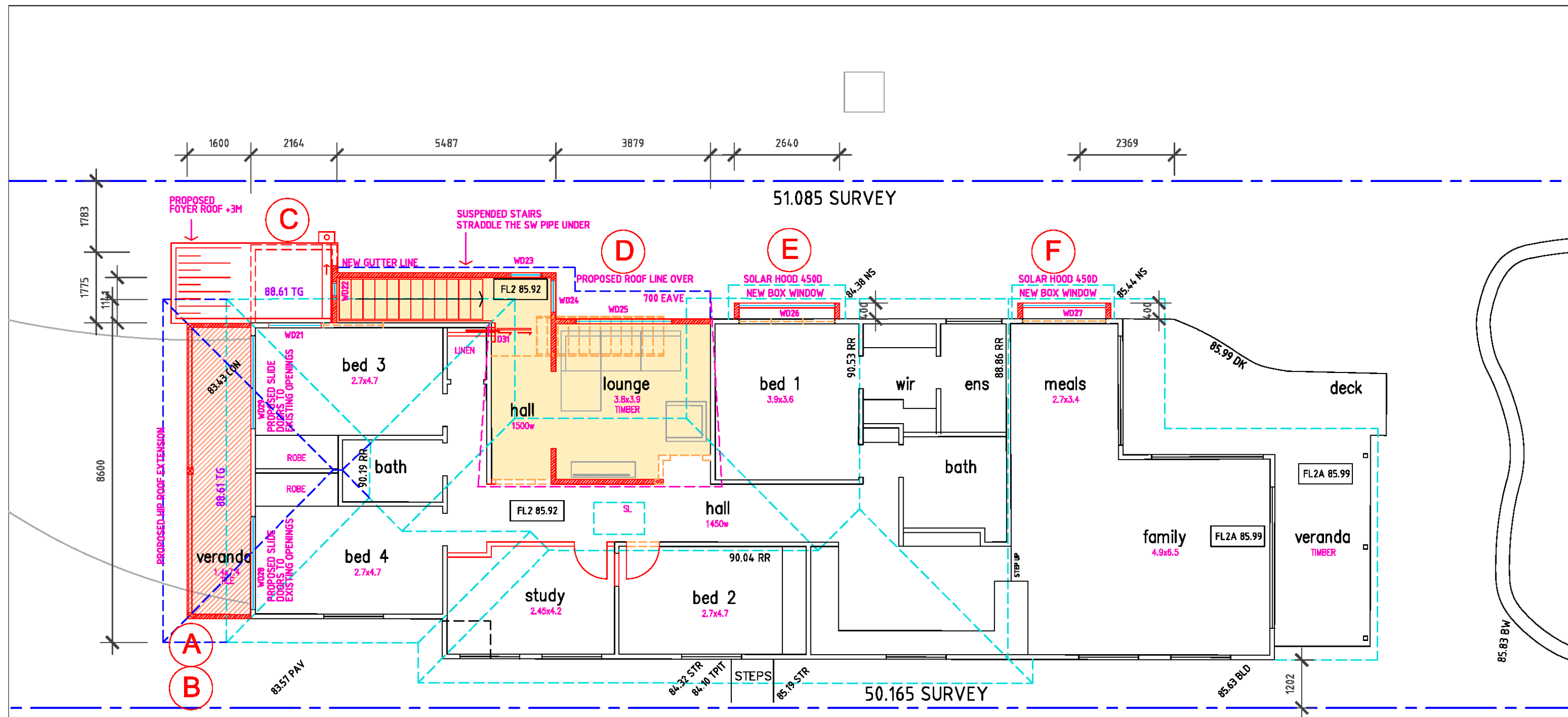
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DA2018/1140

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NORTHERN BEACHES
COUNCIL

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DA2018/1140

SCOPE OF WORKS

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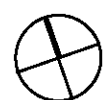
BUILD AREAS

L1	GARAGE	10
L1/L2	LIVING INC L1 STAIR & LOBBY	32
L2	VERANDA NON HABITABLE	10

PROPOSED 52sm

LEGEND

—	EXISTING
- - -	DEMOLISH
—	PROPOSED
- - -	OVER



LOT A
DP382831
668.7 sm

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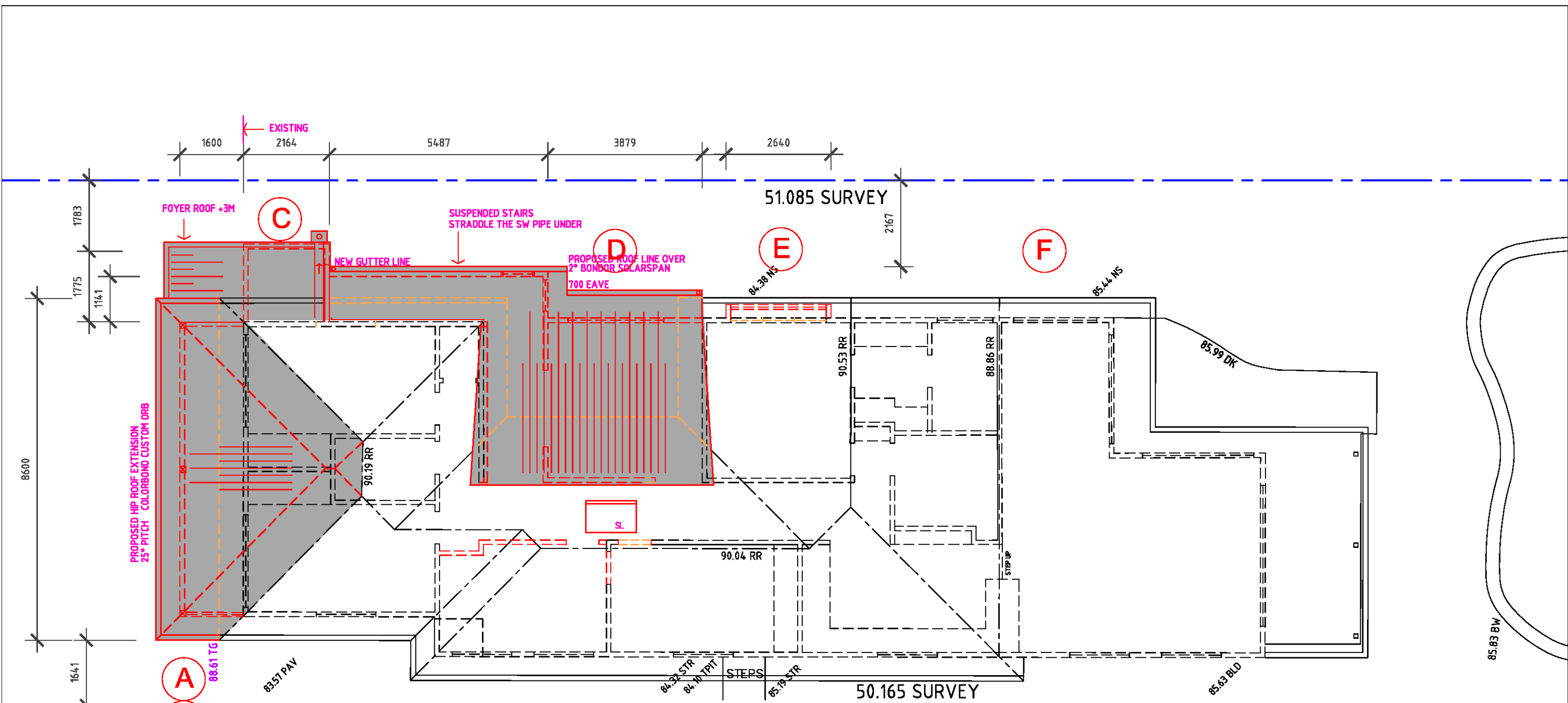
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project no.
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revision
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project
DRURY RESIDENCE
19 ACACIA ROAD, SEAFORTH

title
FLOOR PLAN
LEVEL 2- LIVING

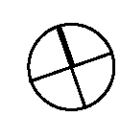
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04



BUILD AREAS			
L1	GARAGE		10
L1/L2	LIVING	INC. L1 STAIR & LOBBY	32
L2	VERANDA	NON HABITABLE	10
PROPOSED			52sm

LEGEND

- EXISTING
- DEMOLISH
- PROPOSED
- OVER



LOT A
DP382831
668.7 sm

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ASSOCIATES



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title
ROOF PLAN

sheet
05

NORTHERN BEACHES
COUNCIL

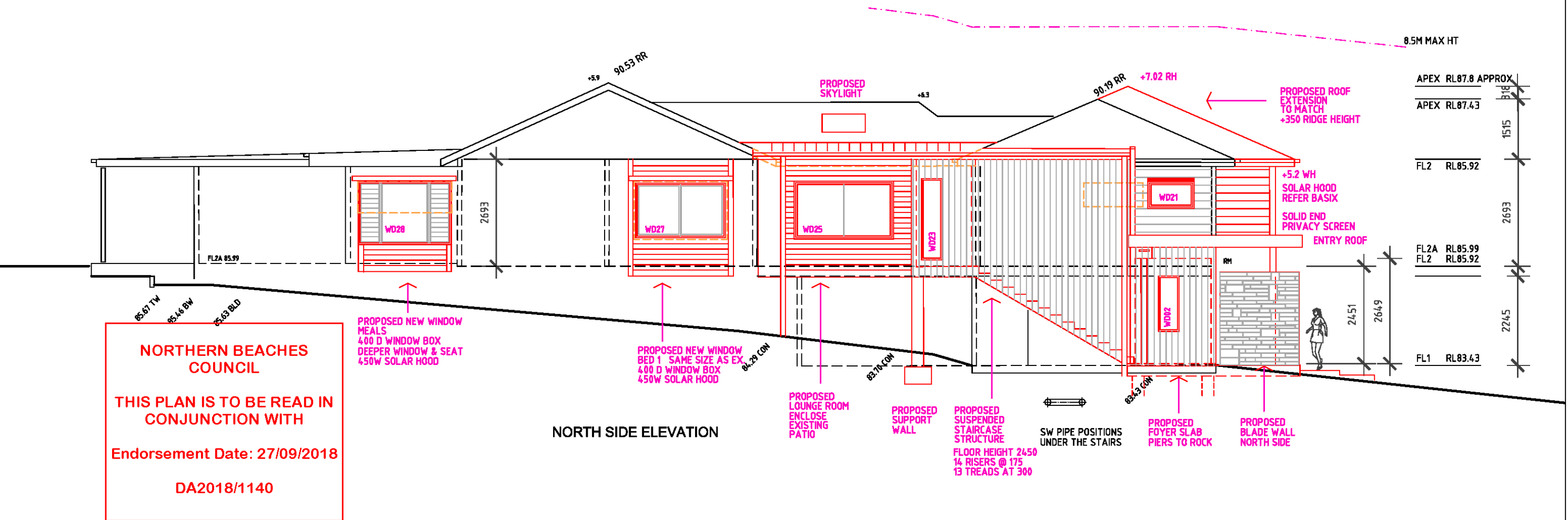
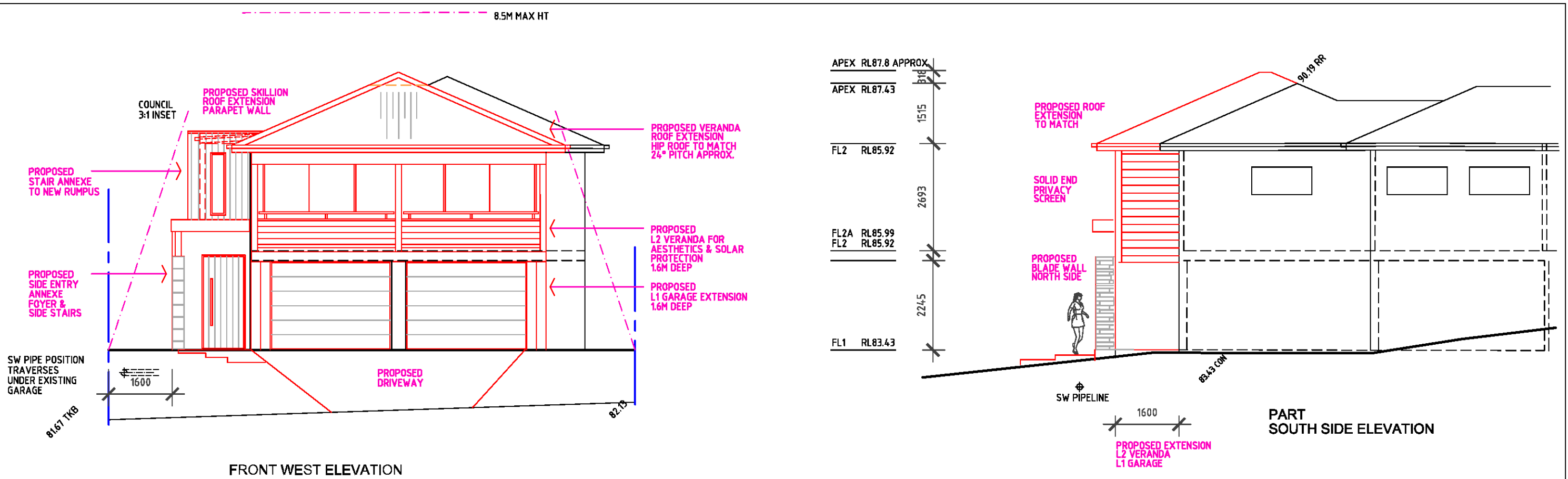
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NORTHERN BEACHES COUNCIL

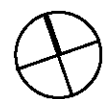
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LEGEND

— EXISTING
- - - DEMOLISH
— PROPOSED
— OVER



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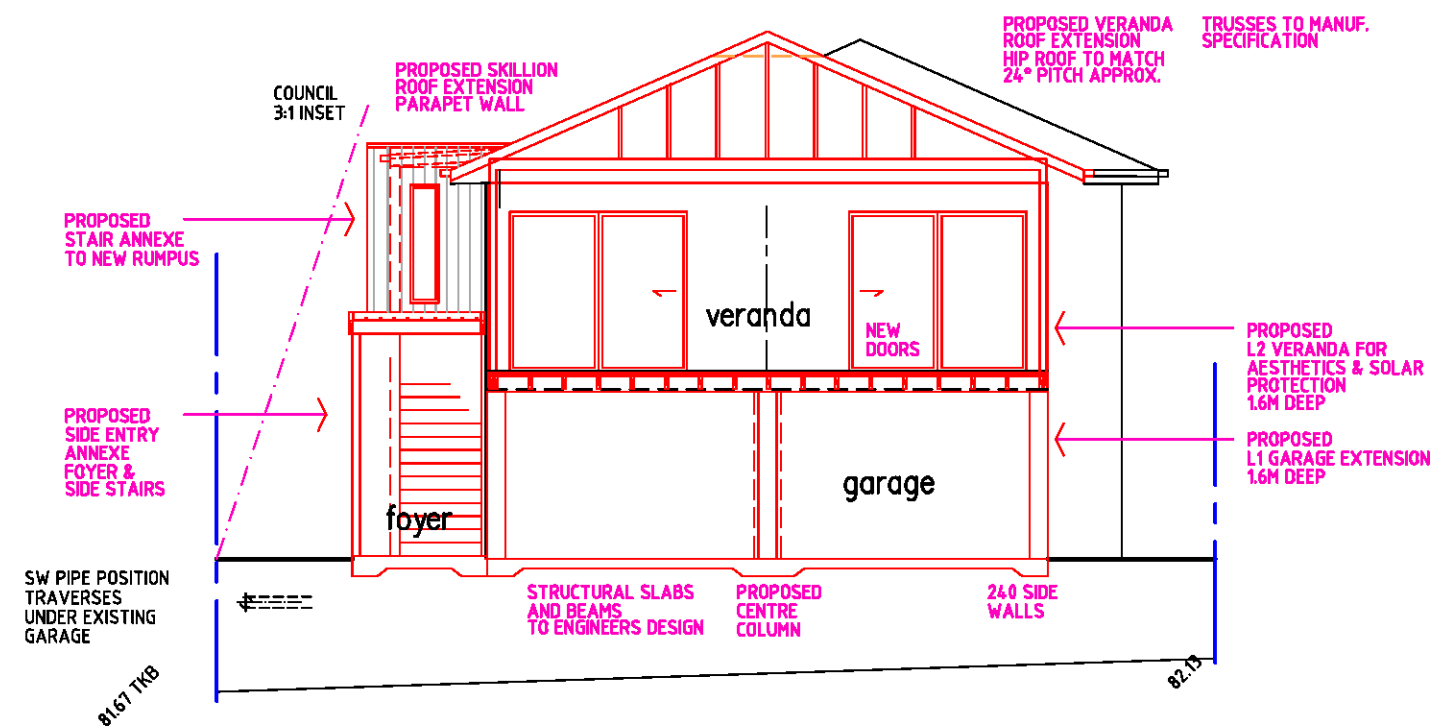
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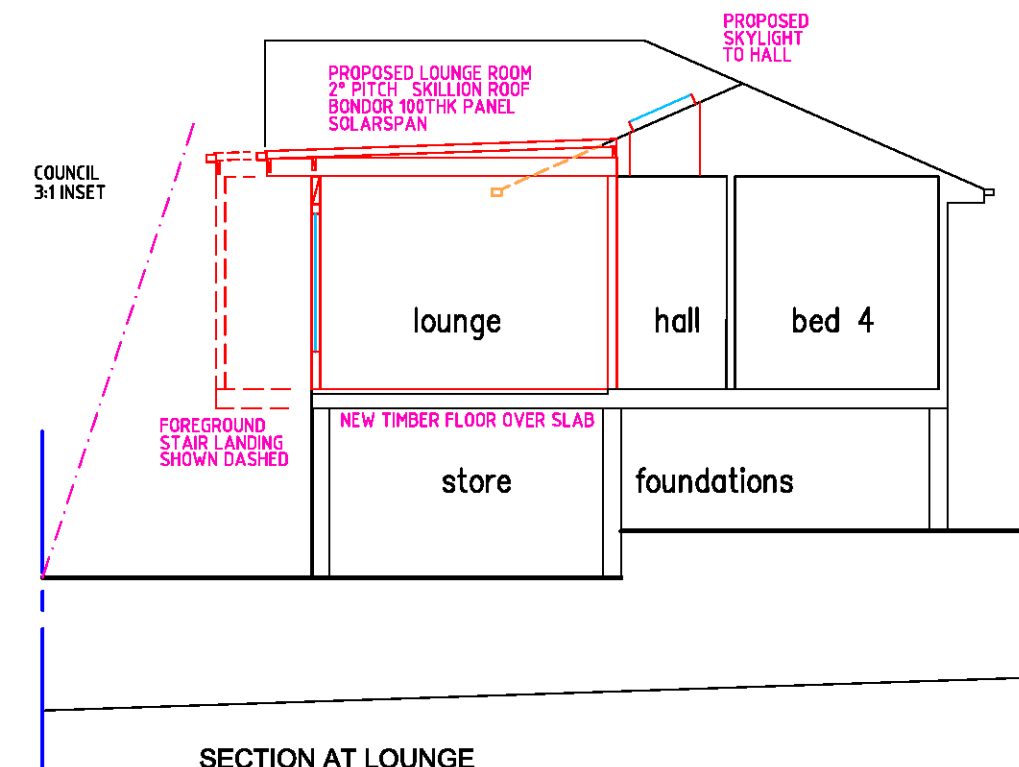
title
ELEVATIONS SHEET 1

sheet
06

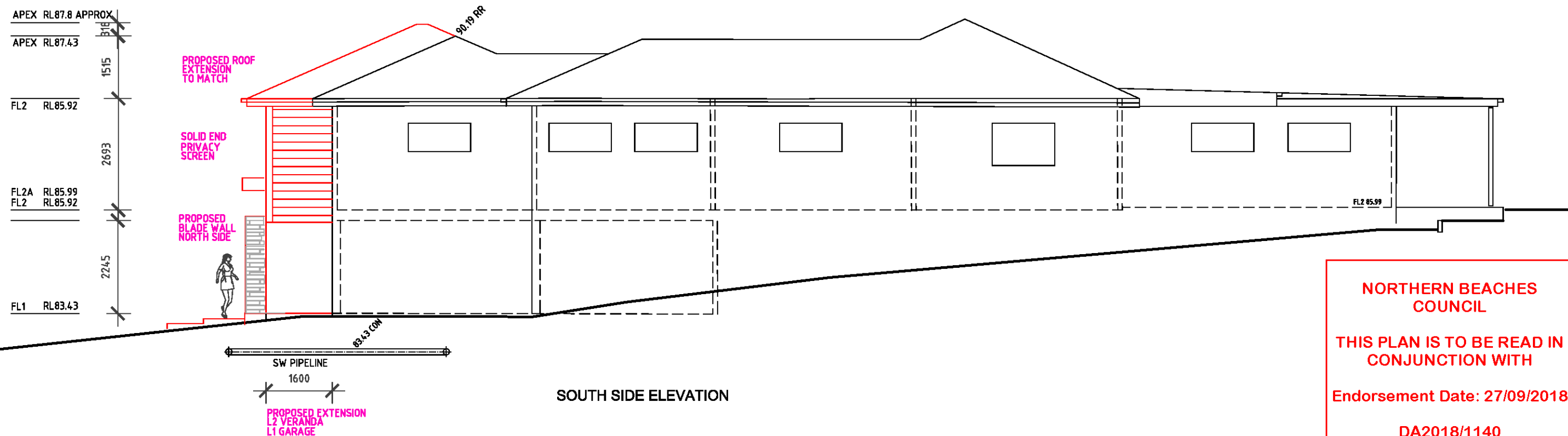


SECTION AT GARAGE / VERANDA

APEX	RL87.8 APPROX
APEX	RL87.43
FL2	RL85.92
FL2A	RL85.99
FL2	RL85.92
FL1	RL83.43



SECTION AT LOUNGE



SOUTH SIDE ELEVATION

NORTHERN BEACHES COUNCIL

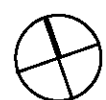
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LEGEND

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DEMOLISH
PROPOSED
OVER



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ELEVATIONS SHEET 2

sheet
07