

All work to be done in conjunction with the working drawings, this specification and engineer's details if required.

Items not shown on drawings or in the specification but required to obtain a workman like finish are to be allowed for as part of the contract.

All work is to be in accordance with the Building Code of Australia, Local government requirements and all other relevant authorities.

The builder is to arrange and pay for all inspections, approvals etc. as may be required by the authorities concerned. Excepting amplification of electrical power major sewer extensions and water amplification.

Builder is to ensure employees are covered as required by the Workers Compensation Act of NSW.

Builder is to insure against public risk, with relevant public liability insurance.

Builder is to check all dimensions, levels etc. prior to any works proceeding.

Figured dimensions take preference to scale.

All dimensions and levels are subject to requirements of the project PCA. To be checked and verified as required before works commencement.

Unless otherwise noted the builder shall provide a defects liability period of three months.

Builder is to provide for himself and his workers on site amenities as may be required unless other arrangements have been made with the owners or the local authorities.

#### WORKMANSHIP

ALL WORKMANSHIP TO COMPLY WITH THE APPLICABLE PERFORMANCE REQUIREMENTS OF THE BCA AND RELEVANT AUSTRALIAN STANDARDS.

Execute all work in the best and most tradesman like manner to the satisfaction of the superintendent or building inspector.

Remove all waste items after completion of works.

#### EXCAVATION

Excavate the site as required for dwelling / addition.

Additional surplus soil to be stored on site for future use.

PEST CONTROL as per AS3660.1

1. Monolithic Slab.

- Min 75mm of Slab edge exposed below 1st course of brickwork.

- Crushed granite "Granitgard" on all penetrations.

2. Suspended Floor.

- Install a barrier system in accordance with BCA Part 3.1.3 Table 3.1.3.

- Provide sub-floor ventilation in accordance with BCA Part 3.4.1.

- Where a barrier that needs to be inspected is installed,provide access to the area of the barrier that needs inspection in accordancewith AS3660.1

#### CARPENTER

Erect both wall and floor frames as shown on plans.

If roof trusses are supplied install to manufactures written instructions. In accordance with clause 3.4.3.6.BCA96 or AS1684

WINDOWS - as per AS2147 / AS2048 / AS1288

Refer plans for all window sizes, locations and material type. Flash heads and sills as required.

Provide all storm moulds, architrave's and trims as required.

Windows to depth of 1,500mm to be 6mm toughened glass.

Window colour and glass type to be determined by owner.

Allow min of 15mm clearance between architrave and bottom of head for deflection.

#### ROOFER

##### METAL ROOF

Provide corrugated steel roof to entire roof area as required. All necessary accessories to be provided and the roof is to be adequately birdproofed. Sheets to be fixed with 45mm non corrosive hex head self drilling screws fitted with neoprene ceiling washers to every alternate corrugation at ends and every fourth corrugation immediately. All hips and ridges to be covered with screws and washers and cappings as required by product and manufacturer

Where pitch of roof is less than 1:4.5 minimum a material

having effective vapour barrier and thermal insulation qualities is to be fixed to the underside of ceiling joists where a level surface is to be provided. Where the ceiling is to follow the pitch of the rafters, irrespective of the pitch of the roof, the vapour/thermal barrier is to be fixed to the underside of the rafters.

LEAD FLASHING NOT TO BE USED WITH ZINCALUME STEEL.

#### PLUMBER, DRAINER

Provide Steel Fascia and Gutter to all eaves as shown. Fix as per manufacturer's details.

Provide Steel barge and barge capping to all gables fix as per manufacturer's details.

Provide 100 x 50 Steel down pipes or as shown on plans and connect to storm water system.

All pipe work internal and external to be copper.

Supply and install all required taps and fixtures to complete the job. Works to comply with AS/NZS-3500 plumbing/drainage

Sewer lines to be 100mm PVC all jointed using approved adhesive min 300mm below ground level with a min 1:75 fall. Storm water lines to be min 90mm PVC with 1:100 fall.

Keep all lines a min of 600mm away from foundations. Provide all required cleaning eyes and inspection openings. All work to be inspected and approved by both council as well as water board and certificates of compliance given to builder/owner.

AGG lines to be generally 100mm dia laid in 10mm blue metal.

#### ELECTRICIAN - in accordance with AS3000 / AS3006

Supply and install all power points and light points as per plans are as directed by owner/builder.

All work is to be carried out in accordance to the SAA wiring rules.

All materials shall be first quality and installed in a workmanlike manner. All fees and connection charges shall be applied for and paid. Certificate of compliance shall be provided to owner/builder.

The switch board shall be applied for shall be of circuit breaker type conforming to current standards.

Power circuits 15 amp

Light circuits 10 amp

Main switch 100 amp

Install smoke detectors as per AS3786 and in accordance to E 1.7 of the building code.

#### EXTERNAL LININGS

Clad dwelling exterior or areas nominated as such using BCA required materials and processes to AS 1562 or as required.

Fix directly to studs using galv clouts or approved fixings as recommended by manufacturer.

Sheets to be lapped a min of 25mm

INTERNAL LININGS - as per AS3740

All internal surfaces unless nominated on plans to be gyprock lined.

Board thickness as follows .....walls 10mm

.....ceilings 13mm or 10mm superceil

Allow a period of 9 days after frame erection prior to gyprock installation for frame stabilisation. Prior to laying of sheeting inspect wall studs and ceiling joists for any defective work, warping or twisting of timbers.

Boards are to be both clout and glue fixed to timbers. Clouts are to be galv 30mm long driven just below paper skin.

Provide paper tape to all joints and plaster set.

Sand between plaster coats and allow a min of 2 coats plaster and 1 coat final skim coat.

Sand and leave ready for painting.

All arches and exterior edges to be steel trim fixed and finished as above.

#### JOINER

All timbers shall comply with the appropriate standards.

All frames to be mitred and scribed, fitted and joined together with linings, mouldings and trims.

All surfaces to be left ready for painting.

External doors 2040 x 820 x 40 as selected - as per AS109 / AS2588 / AS2689

Laundry doors 2040 x 820 x 40 flush panel - as per AS109 / AS2588 / AS2689

Internal doors 2040 high Refer plans for width

Skirting 50 x 19 custom wood or as selected by builder

Man Hole Fit 600 x 600mm access hole in roof

#### PAINTER

Prior to any work check and fill all voids.

Check and sand all plaster and wood work if not yet so.

Apply all primers to both internal and external surfaces as appropriate for material.

Internal surfaces to receive min two coats of selected acrylic paint.

External paints to be acrylic with 2 finish coats.

#### COMPLETION

At completion of all works builder to clean site and dwelling of all rubble.

Test and check all doors, windows etc. for proper operation.

Plane and allow for all door clearances as may be required.

Council final inspection to take place and all defects rectified and all conditions complied with.

Hand over all certificates and warranties as held to owner.

### Sheet List

Sheet  
Number

Sheet Name

1

COVER SHEET

2

SITE PLAN & STORMWATER  
CONCEPT

3

EXISTING UPPER GROUND  
FLOOR PLAN

3A

PROPOSED UPPER GROUND  
FLOOR PLAN

4

EXISTING LOWER GROUND  
FLOOR PLAN

4A

PROPOSED LOWER GROUND  
FLOOR PLAN

5

ELEVATIONS

6

ELEVATIONS

7

SECTION & ROOF PLAN

8

DOOR & WINDOW SCHEDULE

A

NOTIFICATION PLAN



LOCATION PLAN

### LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL  
LEVEL

ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING  
LEVEL

DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING  
LEVEL

TIL - FINISHED TILE LEVEL

FFL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
BCL - BOTTOM CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING  
LEVEL  
NCC - NATIONAL  
CONSTRUCTION CODE

#### DISCLAIMER

• All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.  
• All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs & drainage to the PCA's satisfaction.  
• All work to be carried out in a professional & workmanship manner according to the plans & specification.  
• Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.  
• All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work.  
• The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes.  
The information should not be considered to be error free or to include all relevant data.  
• Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Draftings Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.

Project:

PROPOSED PATIO & INFILL LIVING SPACE  
BENEATH (RUMPUS ROOM)

Client:

DE GIGLIO

Site:

LOT 402 D.P. 16902  
125 PALMGROVE ROAD, AVALON BEACH

Drawing Title: COVER SHEET

Scale

Date:

31-08-2020

Checked by  
AJ

Authorised

Designers/Architect/Drafters:



**Building  
Drafting  
Solutions**

Building Drafting Solutions  
P.O. Box 667,  
Round Corner, Nsw 2158

info@buildingdraftingsolutions.com.au

North Point:



Job Reference:

DE GIGLIO

Sheet No:

1

FOR APPROVAL USE ONLY

DRAWING ORIGINAL SIZE A3

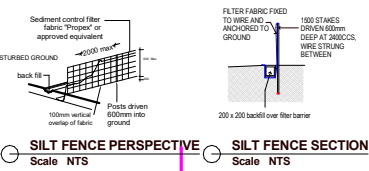


LEGEND

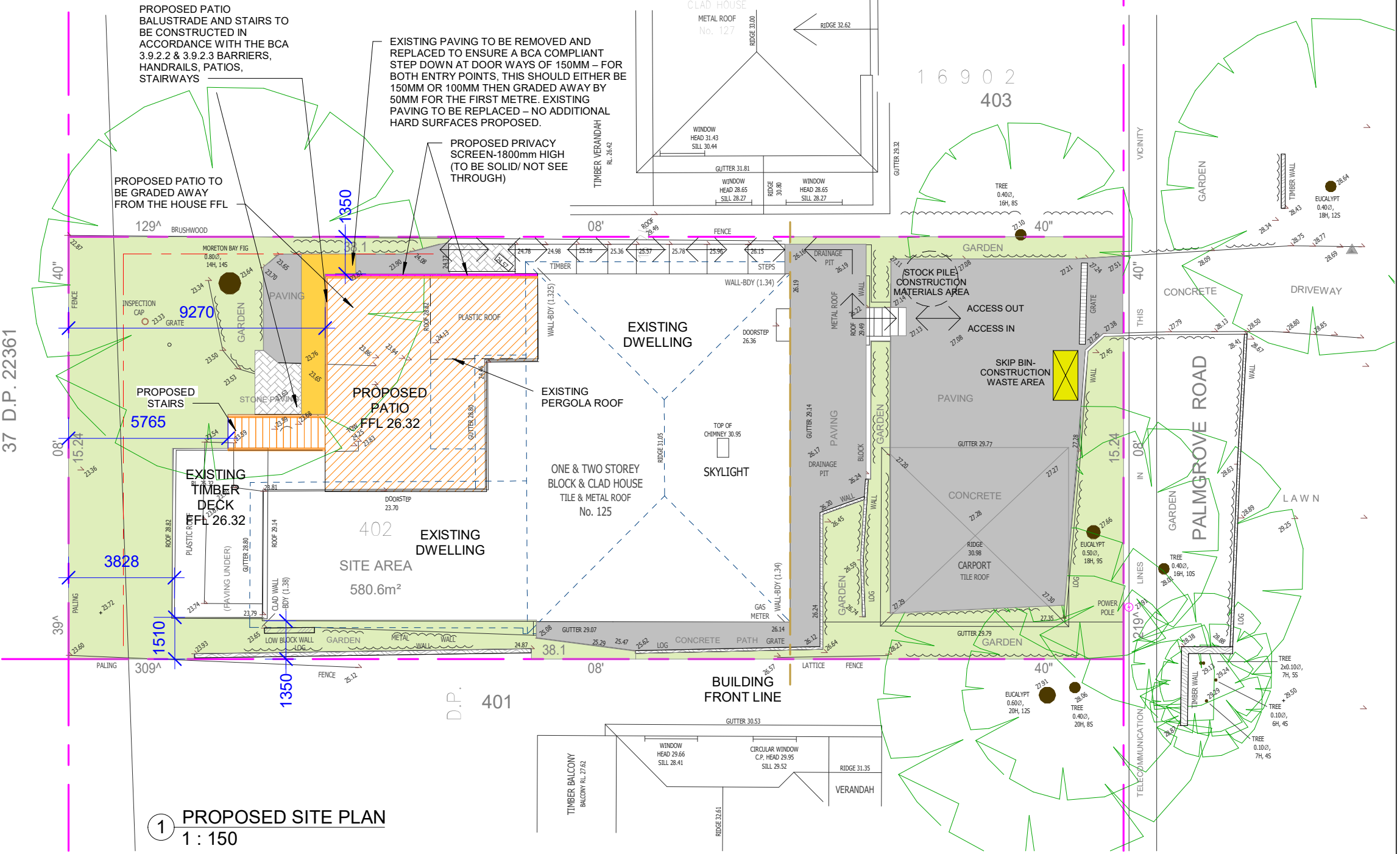
- BOUNDARY LINE  
EXISTING DWELLING  
BUILDING LINE  
PROPOSED PATIO  
PROPOSED STAIRS & BALUSTRADES  
PROPOSED PRIVACY SCREEN-1800mm HIGH (TO BE SOLID/NOT SEE THROUGH)  
SEDIMENT CONTROL FENCE  
PROPOSED PAVING

- PROPOSED SKIP BIN- CONSTRUCTION WASTE AREA  
PROPOSED STOCK PILE AREA- CONSTRUCTION MATERIALS AREA  
ACCESS IN & OUT

STORMWATER:  
SUBJECT OF APPROVAL PROPOSED PATIO & INFILL LIVING SPACE BENEATH.  
ROOF AREAS AND HARDSTAND AREAS REMAIN UNCHANGED WITH THE PROPOSED, NO ADDITIONAL STORMWATER OUTFLOWS WILL OCCUR – STORMWATER TO BE MANAGED ACCORDING TO ENGINEERS REQUIREMENTS.



SITE CALCULATIONS- sqm	
AREA OF SITE	580.6
FLOOR AREA: EXISTING DWELLING UPPER GROUND FLOOR	162.1
FLOOR AREA: EXISTING DWELLING LOWER GROUND FLOOR	34.00
FLOOR AREA: PROPOSED RUMPUS	48.2
GROSS / TOTAL FLOOR AREA	244.30
FLOOR SPACE RATIO	42.00%
EXISTING DWELLING	170.43
EXISTING TIMBER DECK	22.8
PROPOSED RUMPUS, PATIO OVER & PROPOSED STAIRS	56.1
TOTAL FOOTPRINT	249.33
SITE COVERAGE	42.90%
EXISTING PAVED AREA	159.90
TOTAL HARDSURFACE AREA	159.90
TOTAL BUILDING + HARDSURFACE	409.23
TOTAL LANDSCAPE AREA	171.37
LANDSCAPE COVERAGE	29.5%
TOTAL AREA IN FRONT OF BUILDING LINE	183.40
ACTUAL LANDSCAPE IN FRONT OF BUILDING LINE	52.20
ACTUAL LANDSCAPE BEHIND BUILDING LINE	119.17



LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING LEVEL  
DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING LEVEL  
TIL - FINISHED TILE LEVEL

FFL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
BCL - BOTTOM CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING LEVEL  
NCC - NATIONAL CONSTRUCTION CODE

FOR APPROVAL USE ONLY  
DRAWING ORIGINAL SIZE A3

DISCLAIMER

All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.

All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs & drainage to the PCA's satisfaction.

All work to be carried out in a professional & workmanship manner according to the plans & specification.

Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.

All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work.

The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes. The information should not be considered to be error free or to include all relevant data.

Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Drafting Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.

Project:	PROPOSED PATIO & INFILL LIVING SPACE BENEATH (RUMPUS ROOM)
Client:	DE GIGLIO
Site:	LOT 402 D.P. 16902 125 PALMGROVE ROAD, AVALON BEACH
Drawing Title: SITE PLAN & STORMWATER CONCEPT	
Scale	1 : 150
Date:	31-08-2020
Checked by	AJ
Authorised	

Designers/Architect/Drafters:

**Building Drafting Solutions**

Building Drafting Solutions  
P.O. Box 667,  
Round Corner, Nsw 2158  
info@buildingdraftingsolutions.com.au

North Point:

Job Reference:

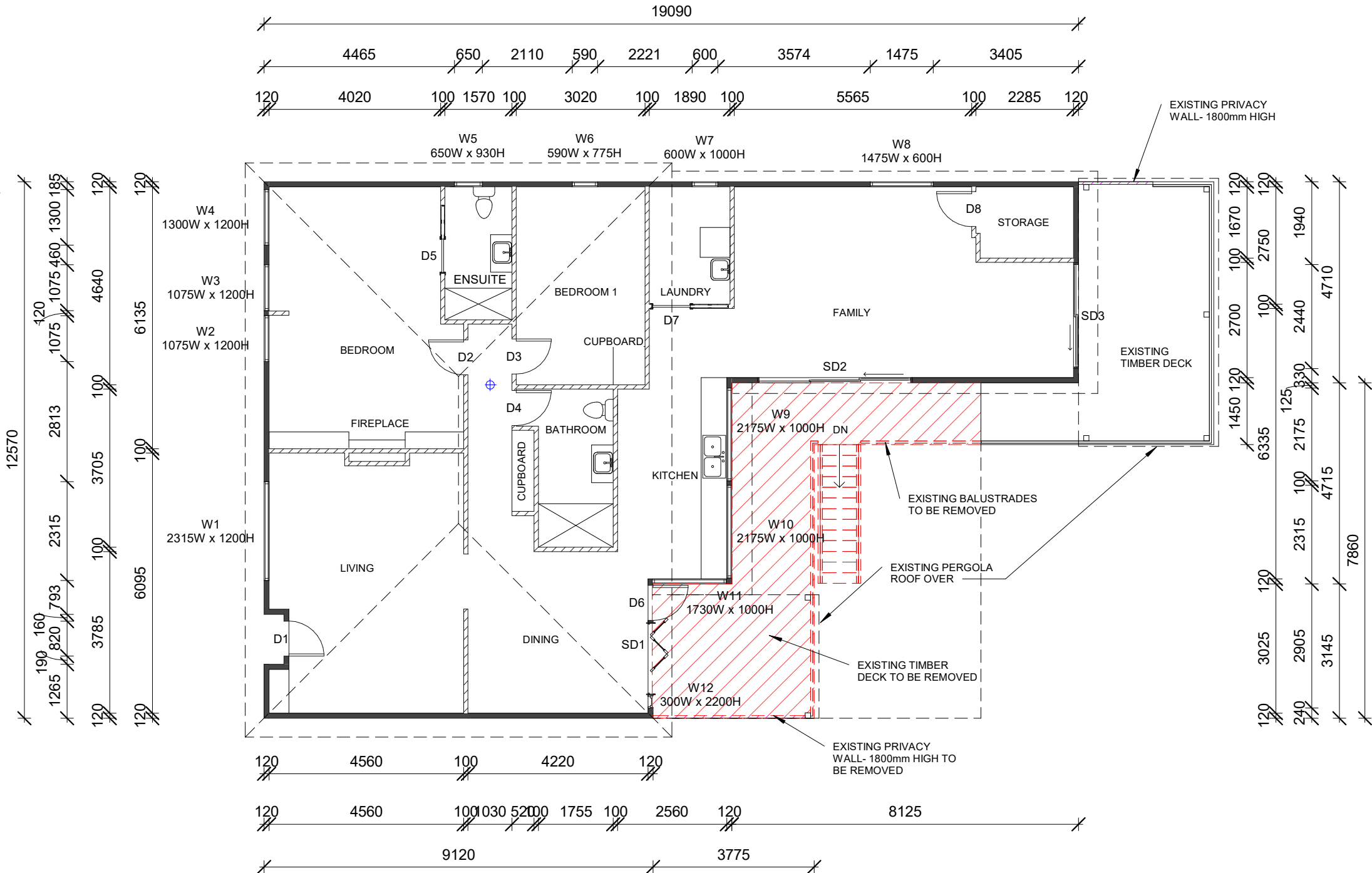
DE GIGLIO

Sheet No:

2

LEGEND

- BOUNDARY LINE
- EXISTING EXTERNAL WALLS  
120mm THICKNESS
- EXISTING PRIVACY SCREEN-  
TO BE REMOVED
- EXISTING INTERNAL WALLS  
100mm THICKNESS
- EXISTING SMOKE ALARM
- EXISTING BALUSTRADES
- EXISTING STAIRS TO  
BE DEMOLISHED
- EXISTING BALUSTRADES  
TO BE REMOVED
- EXISTING TIMBER DECK  
TO BE DEMOLISHED
- EXISTING TIMBER POSTS



1 EXISTING UPPER GROUND FLOOR PLAN  
1 : 100

LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING LEVEL  
DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING LEVEL  
TIL - FINISHED TILE LEVEL

FFL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING LEVEL  
NCC - NATIONAL CONSTRUCTION CODE

DISCLAIMER

- All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.
- All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs & drainage to the PCA's satisfaction.
- All work to be carried out in a professional & workmanship manner according to the plans & specification.
- Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.
- All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work.
- The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes. The information should not be considered to be error free or to include all relevant data.
- Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Drafting Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.

Project:	PROPOSED PATIO & INFILL LIVING SPACE BENEATH (RUMPUS ROOM)				
Client:	DE GIGLIO				
Site:	LOT 402 D.P. 16902 125 PALMGROVE ROAD, AVALON BEACH				
Drawing Title:EXISTING UPPER GROUND FLOOR PLAN					
Scale	1 : 100	Date:	31-08-2020	Checked by AJ	Authorised

Designers/Architect/Drafters:



Building Drafting Solutions  
P.O. Box 667,  
Round Corner, Nsw 2158  
info@buildingdraftingsolutions.com.au

North Point:



Job Reference:

DE GIGLIO

Sheet No:

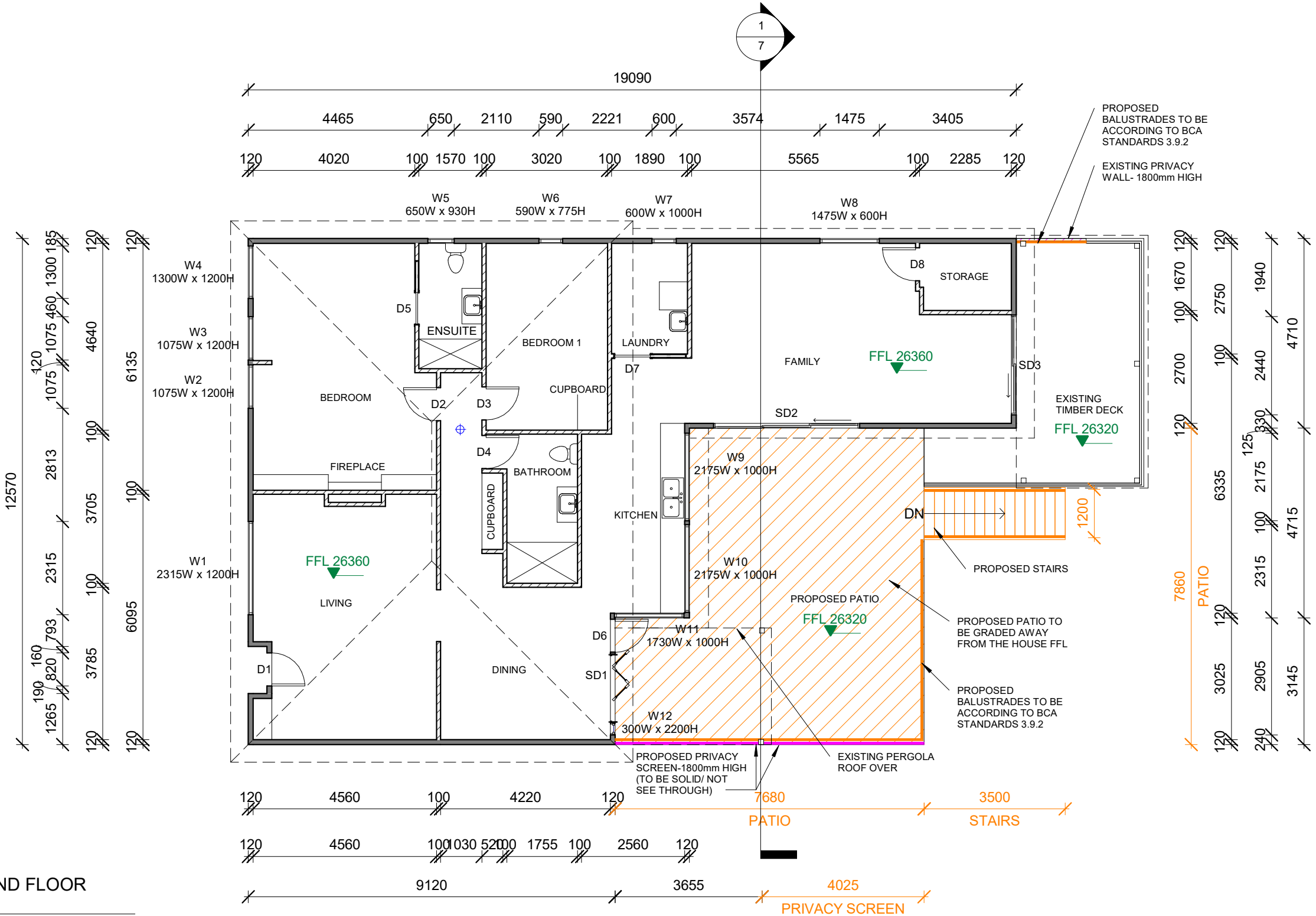
3

FOR APPROVAL USE ONLY

DRAWING ORIGINAL SIZE A3

LEGEND

- BOUNDARY LINE
- EXISTING EXTERNAL WALLS  
120mm THICKNESS
- EXISTING INTERNAL WALLS  
100mm THICKNESS
- EXISTING SMOKE ALARM
- EXISTING BALUSTRADES
- EXISTING STAIRS TO  
BE DEMOLISHED
- EXISTING TIMBER POSTS
- PROPOSED BALUSTRADES
- PROPOSED STAIRS
- PROPOSED PATIO
- PROPOSED PRIVACY  
SCREEN-1800mm HIGH  
(TO BE SOLID/NOT SEE  
THROUGH)



1  
PROPOSED UPPER GROUND FLOOR  
PLAN  
1 : 100

LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL  
LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING  
LEVEL  
DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING  
LEVEL  
TIL - FINISHED TILE LEVEL

FFL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
BCL - BOTTOM CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING  
LEVEL  
NCC - NATIONAL  
CONSTRUCTION CODE

DISCLAIMER

• All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.  
• All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs & drainage to the PCA's satisfaction.  
• All work to be carried out in a professional & workmanship manner according to the plans & specification.  
• Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.  
• All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work.  
• The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes.  
The information should not be considered to be error free or to include all relevant data.  
• Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Drafting Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.

Project: PROPOSED PATIO & INFILL LIVING SPACE  
BENEATH (RUMPUS ROOM)

Client: DE GIGLIO

Site: LOT 402 D.P. 16902  
125 PALMGROVE ROAD, AVALON BEACH

Drawing Title: PROPOSED UPPER GROUND FLOOR PLAN

Scale 1 : 100 Date: 31-08-2020 Checked by AJ Authorised

Designers/Architect/Drafters:



Building Drafting Solutions  
P.O. Box 667,  
Round Corner, Nsw 2158  
info@buildingdraftingsolutions.com.au

North Point:



Job Reference:

DE GIGLIO

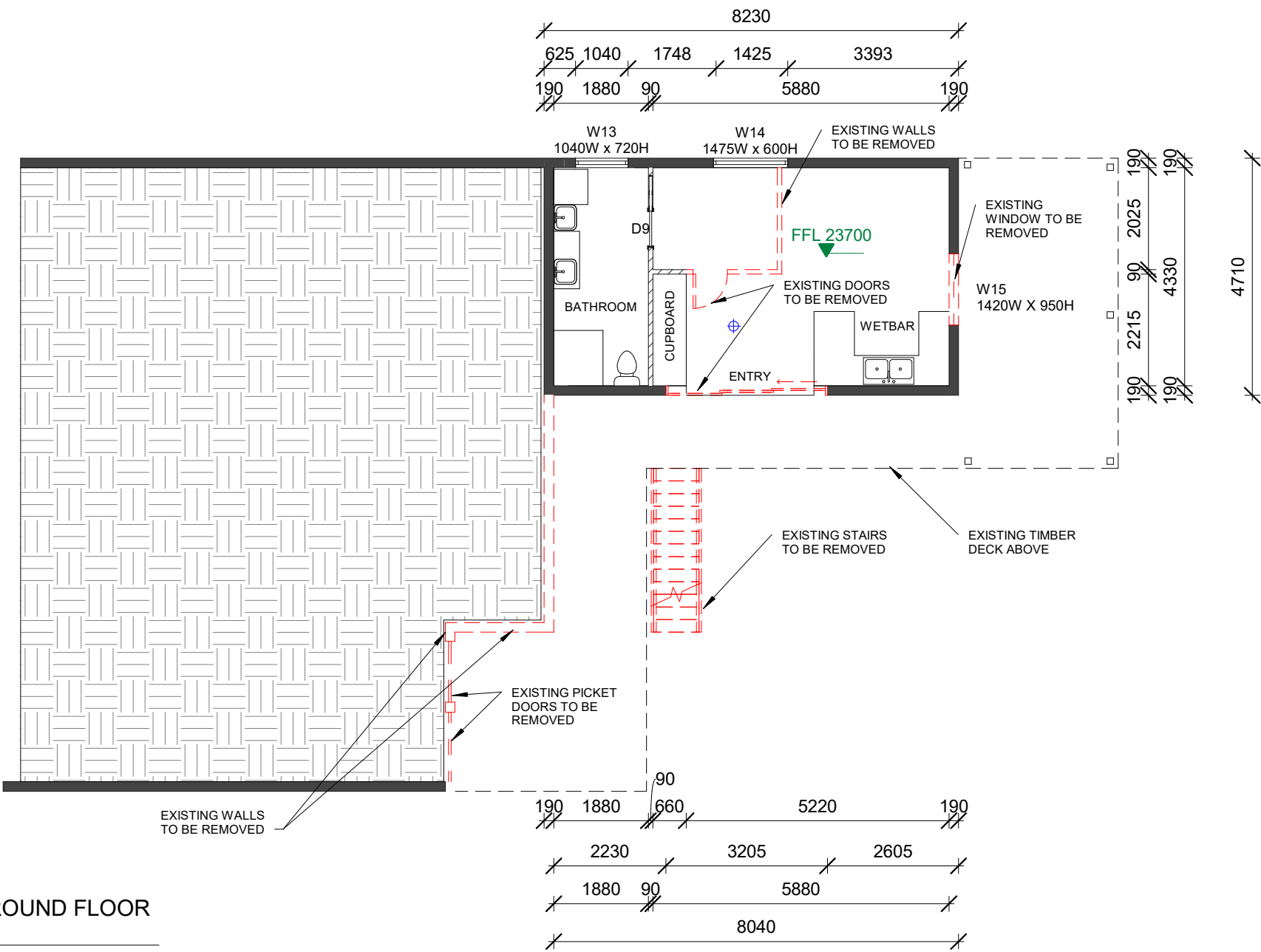
Sheet No:

3A

FOR APPROVAL USE ONLY  
DRAWING ORIGINAL SIZE A3

LEGEND

- BOUNDARY LINE
- EXISTING EXTERNAL WALLS  
190mm THICKNESS
- EXISTING INTERNAL WALLS  
100mm THICKNESS
- EXISTING SMOKE ALARM
- EXISTING STAIRS, DOORS,  
WINDOW & WALLS TO BE  
DEMOLISHED
- EXISTING TIMBER POSTS



EXISTING LOWER GROUND FLOOR  
PLAN  
1 : 100

LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL  
LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING  
LEVEL  
DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING  
LEVEL  
TIL - FINISHED TILE LEVEL

FFL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
BCL - BOTTOM CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING  
LEVEL  
NCC - NATIONAL  
CONSTRUCTION CODE

DISCLAIMER

All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.  
All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs & drainage to the PCA's satisfaction.  
All work to be carried out in a professional & workmanship manner according to the plans & specification.  
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.  
All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work.  
The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes.  
The information should not be considered to be error free or to include all relevant data.  
Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Draftings Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.

Project: PROPOSED PATIO & INFILL LIVING SPACE  
BENEATH (RUMPUS ROOM)

Client: DE GIGLIO

Site: LOT 402 D.P. 16902  
125 PALMGROVE ROAD, AVALON BEACH

Drawing Title: EXISTING LOWER GROUND FLOOR PLAN

Scale 1 : 100 Date: 31-08-2020 Checked by Checker Authorised

Designers/Architect/Drafters:



Building Drafting Solutions  
P.O. Box 667,  
Round Corner, Nsw 2158  
info@buildingdraftingsolutions.com.au

North Point:



Job Reference:

DE GIGLIO

Sheet No:

4

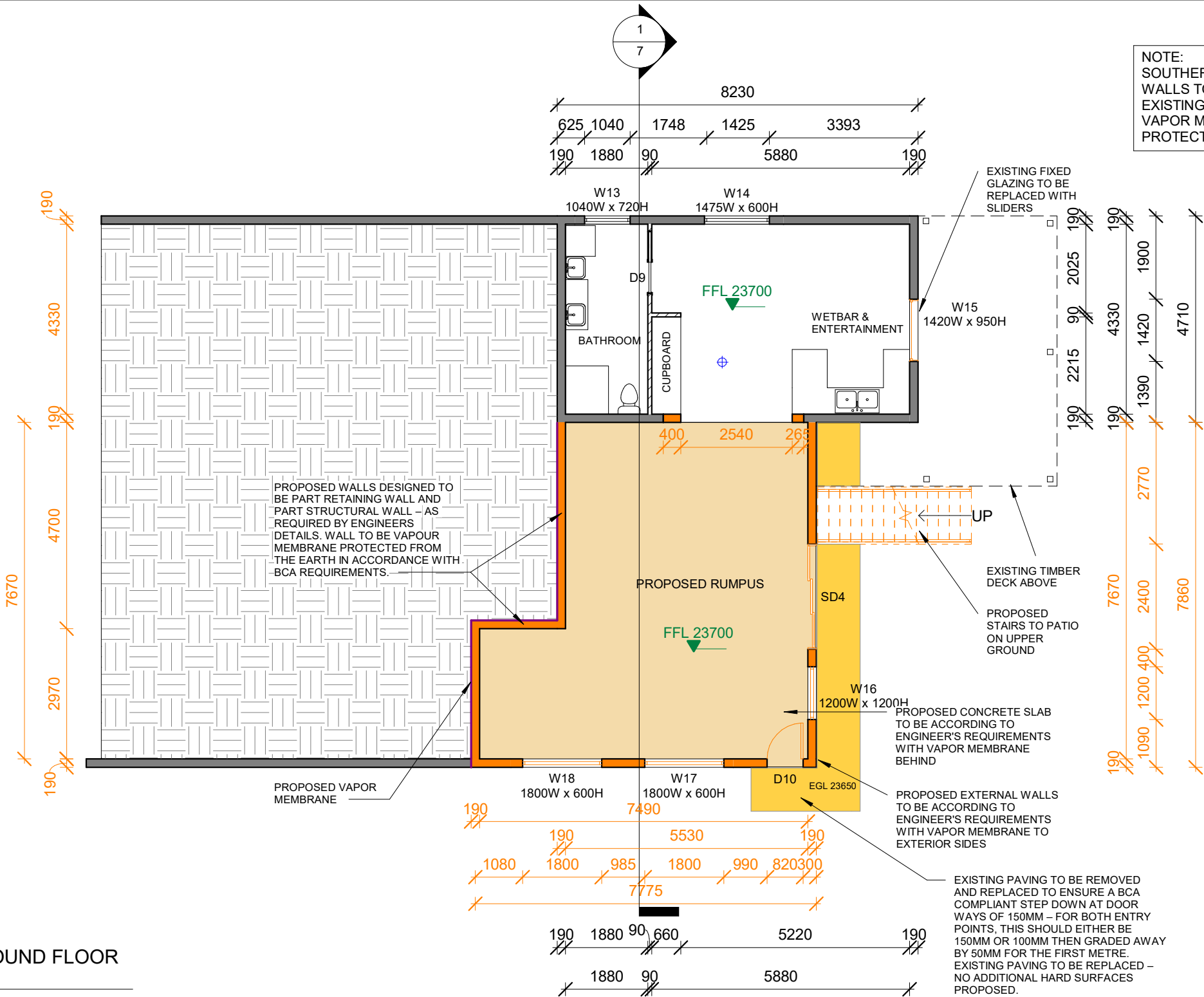
FOR APPROVAL USE ONLY  
DRAWING ORIGINAL SIZE A3



LEGEND

- BOUNDARY LINE
- EXISTING EXTERNAL WALLS  
190mm THICKNESS
- EXISTING INTERNAL WALLS  
100mm THICKNESS
- EXISTING SMOKE ALARM
- EXISTING TIMBER POSTS
- PROPOSED EXTERNAL WALLS  
190mm THICKNESS
- PROPOSED STAIRS,  
WINDOWS & DOORS
- PROPOSED RUMPUS
- PROPOSED PAVING
- PROPOSED VAPOR MEMBRANE

NOTE:  
SOUTHERN STREET SIDE  
WALLS TO BE SOLID UPTO  
EXISTING GROUND LEVEL WITH  
VAPOR MEMBRANE  
PROTECTION AS REQUIRED.



PROPOSED LOWER GROUND FLOOR

PLAN

1 : 100

LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING LEVEL  
DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING LEVEL  
TIL - FINISHED TILE LEVEL

FFL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
BCL - BOTTOM CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING LEVEL  
NCC - NATIONAL CONSTRUCTION CODE

DISCLAIMER

All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.  
All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs & drainage to the PCA's satisfaction.  
All work to be carried out in a professional & workmanship manner according to the plans & specification.  
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.  
All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work.  
The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes. The information should not be considered to be error free or to include all relevant data.  
Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Drafting Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.

Project: PROPOSED PATIO & INFILL LIVING SPACE BENEATH (RUMPUS ROOM)

Client: DE GIGLIO

Site: LOT 402 D.P. 16902  
125 PALMGROVE ROAD, AVALON BEACH

Drawing Title: PROPOSED LOWER GROUND FLOOR PLAN

Scale 1 : 100

Date: 31-08-2020

Checked by  
AJ

Authorised

Designers/Architect/Drafters:



Building Drafting Solutions  
P.O. Box 667,  
Round Corner, Nsw 2158

info@buildingdraftingsolutions.com.au

North Point:



Job Reference:

DE GIGLIO

Sheet No:

4A

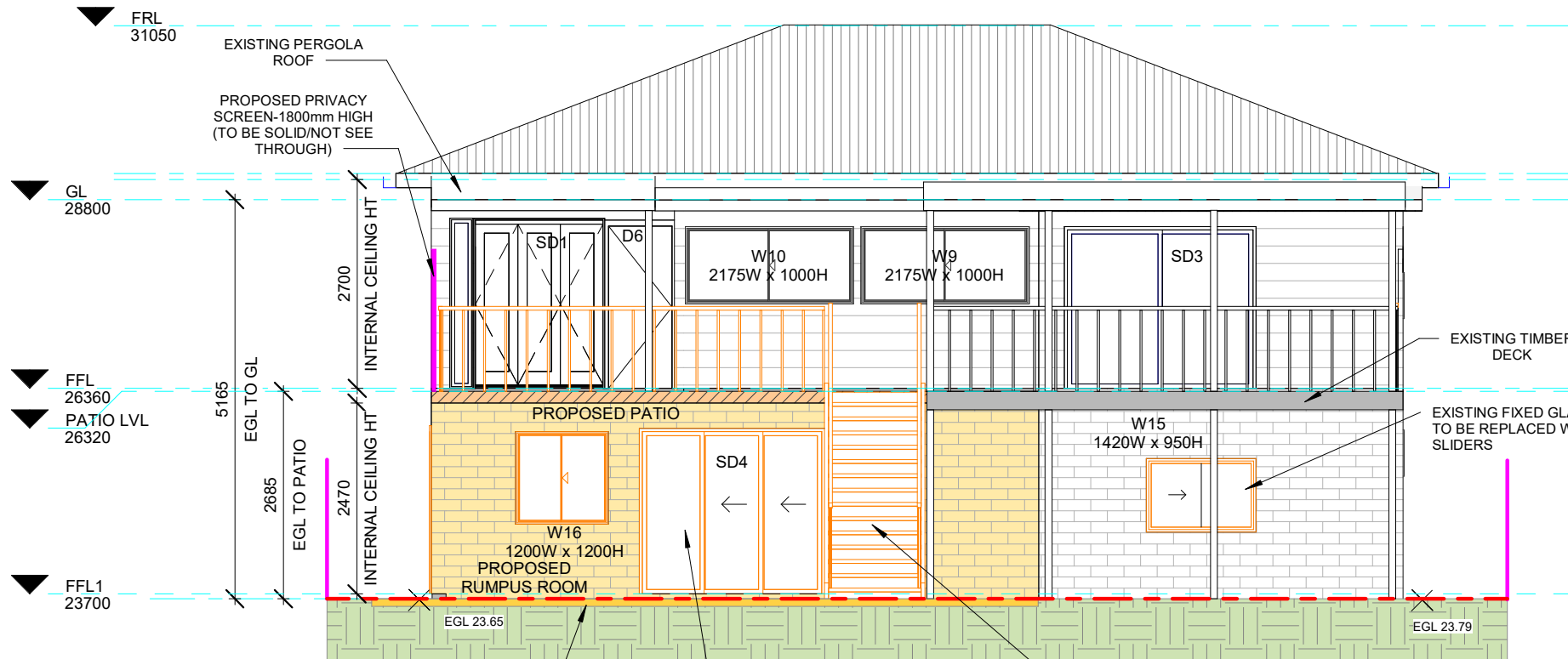
FOR APPROVAL USE ONLY

DRAWING ORIGINAL SIZE A3

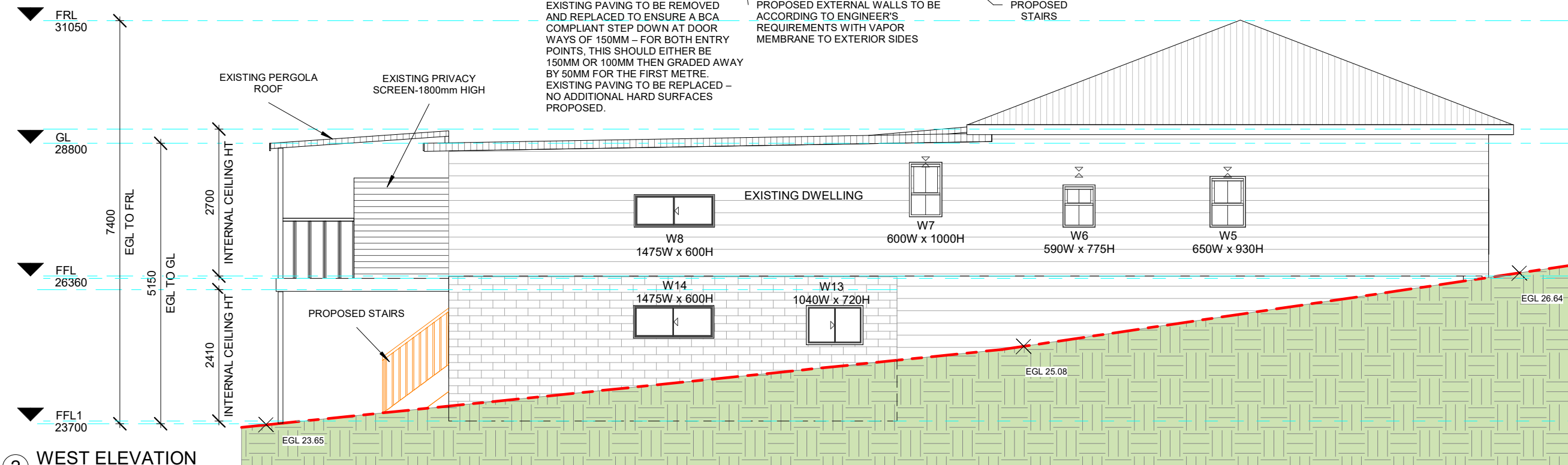
LEGEND

- BOUNDARY LINE
- EXISTING EXTERNAL WALLS  
120mm THICKNESS
- EXISTING EXTERNAL WALLS  
190mm THICKNESS
- PROPOSED PATIO
- PROPOSED EXTERNAL WALLS
- PROPOSED STAIRS, WINDOWS  
& DOORS
- EXISTING GROUND LEVEL
- EXISTING GUTTER LINE
- EXISTING ROOF-(UNCHANGED)
- PROPOSED PRIVACY  
SCREEN-1800mm HIGH  
(TO BE SOLID/NOT SEE  
THROUGH)
- PROPOSED PAVING

1 NORTH ELEVATION  
1 : 75



NOTE:  
SOUTHERN STREET SIDE  
WALLS TO BE SOLID UPTO  
EXISTING GROUND LEVEL WITH  
VAPOR MEMBRANE  
PROTECTION AS REQUIRED.



2 WEST ELEVATION  
1 : 75

LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL  
LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING  
LEVEL  
DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING  
LEVEL  
TIL - FINISHED TILE LEVEL

FFL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
BCL - BOTTOM CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING  
LEVEL  
NCC - NATIONAL  
CONSTRUCTION CODE

DISCLAIMER

All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.  
All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs & drainage to the PCA's satisfaction.  
All work to be carried out in a professional & workmanship manner according to the plans & specification.  
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.  
All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work.  
The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes.  
The information should not be considered to be error free or to include all relevant data.  
Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Drafting Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.

Project: PROPOSED PATIO & INFILL LIVING SPACE  
BENEATH (RUMPUS ROOM)

Client: DE GIGLIO

Site: LOT 402 D.P. 16902  
125 PALMGROVE ROAD, AVALON BEACH

Drawing Title: ELEVATIONS

Scale 1 : 75

Date: 31-08-2020

Checked by  
AJ

Authorised

Designers/Architect/Drafters:



Building Drafting Solutions  
P.O. Box 667,  
Round Corner, Nsw 2158

info@buildingdraftingsolutions.com.au

North Point:

Job Reference:

Sheet No:

DE GIGLIO

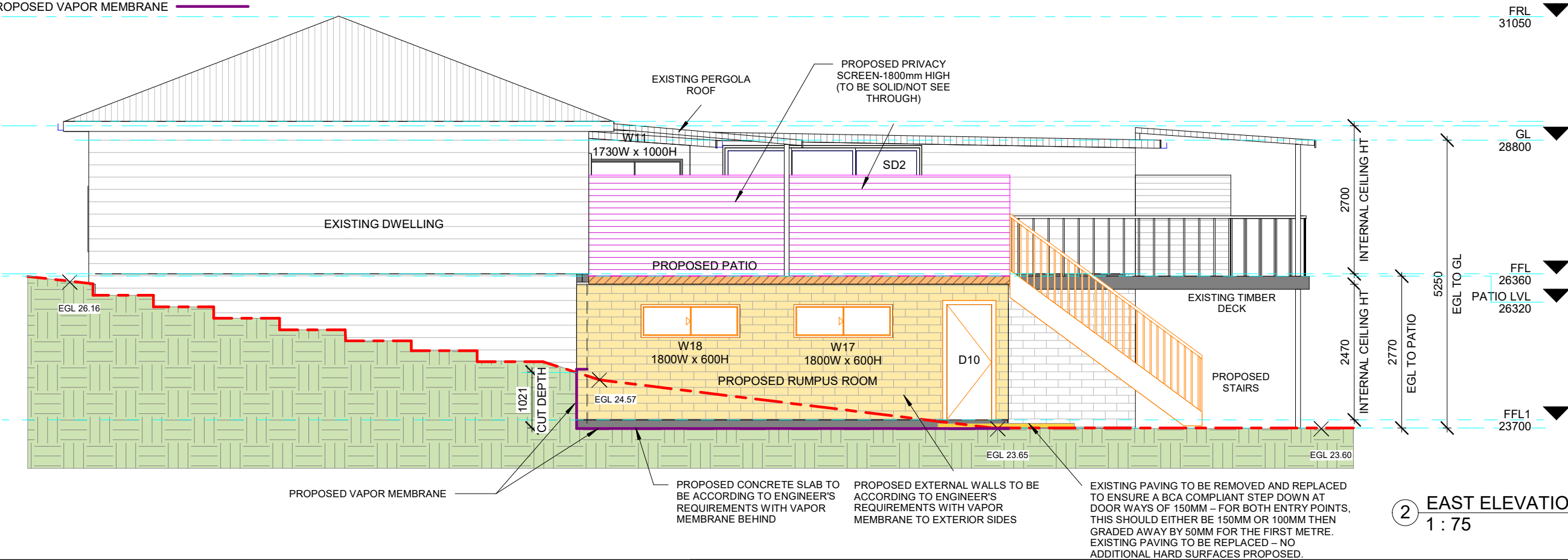
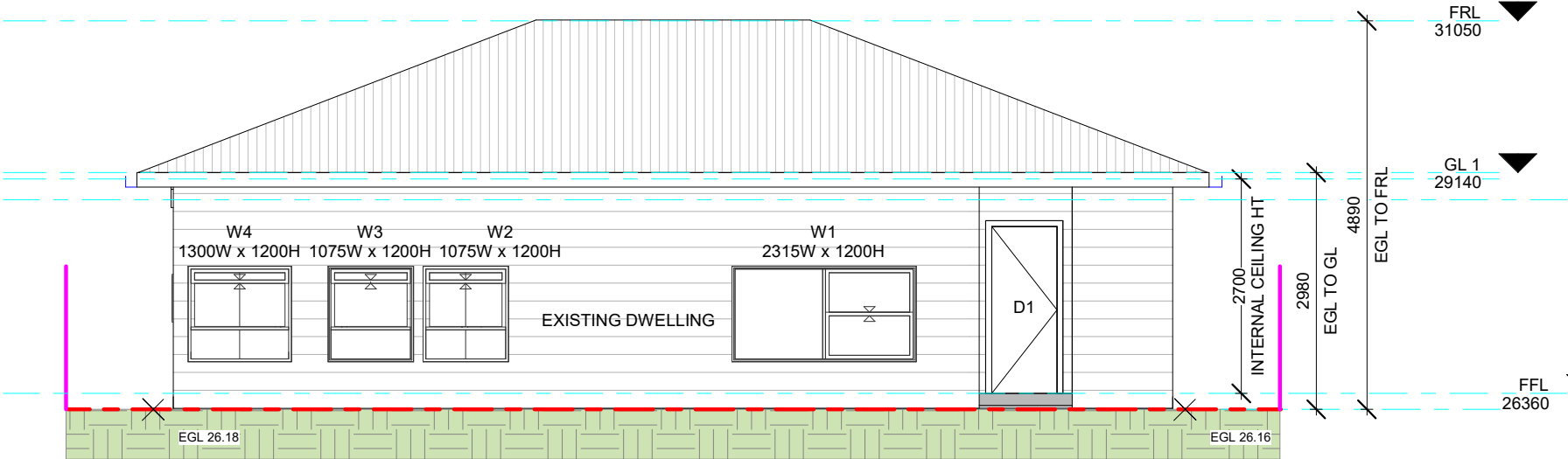
5

FOR APPROVAL USE ONLY  
DRAWING ORIGINAL SIZE A3

LEGEND

- BOUNDARY LINE
- EXISTING EXTERNAL WALLS  
120mm THICKNESS
- EXISTING EXTERNAL WALLS  
190mm THICKNESS
- PROPOSED PATIO
- PROPOSED EXTERNAL WALLS
- PROPOSED STAIRS, WINDOWS  
& DOORS
- EXISTING GROUND LEVEL
- EXISTING GUTTER LINE
- EXISTING ROOF-(UNCHANGED)
- PROPOSED PRIVACY  
SCREEN-1800mm HIGH  
(TO BE SOLID/NOT SEE  
THROUGH)
- PROPOSED PAVING
- PROPOSED VAPOR MEMBRANE

NOTE:  
SOUTHERN STREET SIDE  
WALLS TO BE SOLID UP TO  
EXISTING GROUND LEVEL WITH  
VAPOR MEMBRANE  
PROTECTION AS REQUIRED.



LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING LEVEL  
DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING LEVEL  
TIL - FINISHED TILE LEVEL

FFL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
BCL - BOTTOM CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING LEVEL  
NCC - NATIONAL CONSTRUCTION CODE

DISCLAIMER

• All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.  
• All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs & drainage to the PCA's satisfaction.  
• All work to be carried out in a professional & workmanship manner according to the plans & specification.  
• Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.  
• All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work.  
• The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes. The information should not be considered to be error free or to include all relevant data.  
• Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Drafting Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.

Project: PROPOSED PATIO & INFILL LIVING SPACE BENEATH (RUMPUS ROOM)

Client: DE GIGLIO

Site: LOT 402 D.P. 16902  
125 PALMGROVE ROAD, AVALON BEACH

Drawing Title: ELEVATIONS

Scale 1 : 75 Date: 31-08-2020 Checked by AJ Authorised

Designers/Architect/Drafters:



Building Drafting Solutions  
P.O. Box 667,  
Round Corner, Nsw 2158  
info@buildingdraftingsolutions.com.au

North Point:

Job Reference:

Sheet No:

DE GIGLIO

6

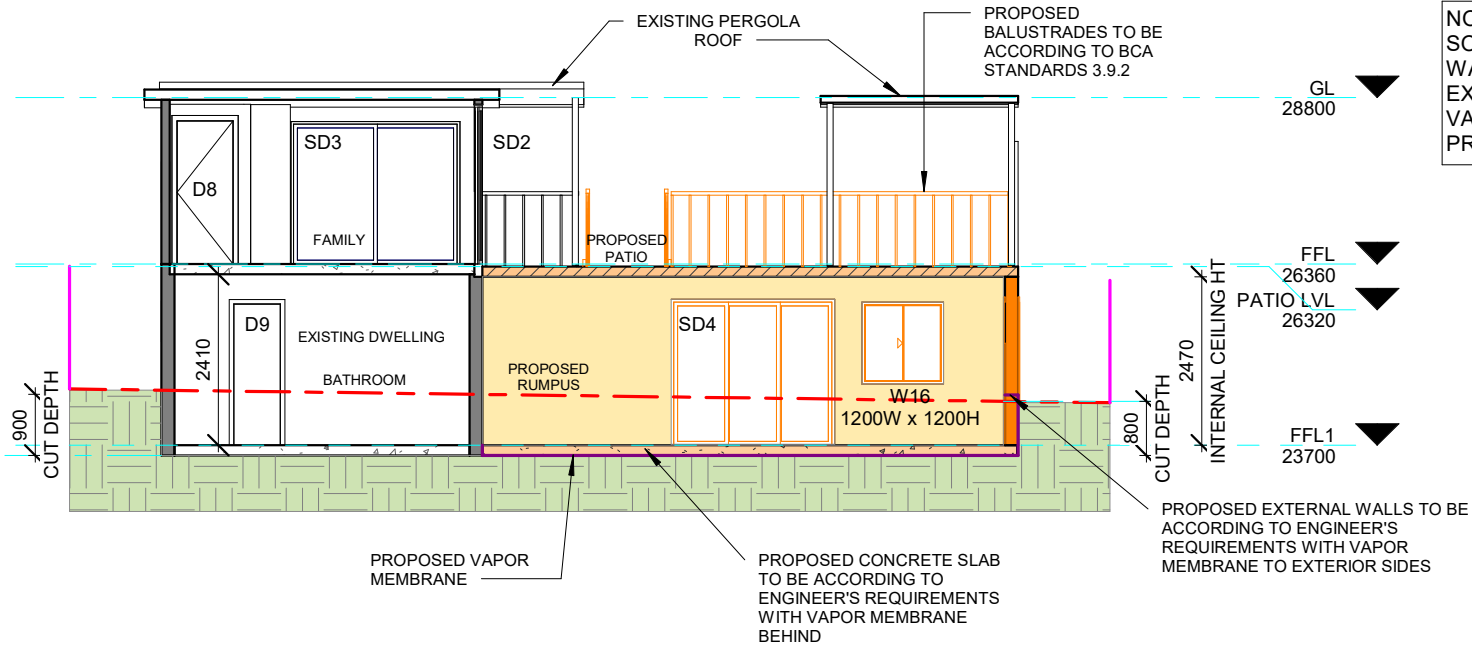
FOR APPROVAL USE ONLY  
DRAWING ORIGINAL SIZE A3



LEGEND

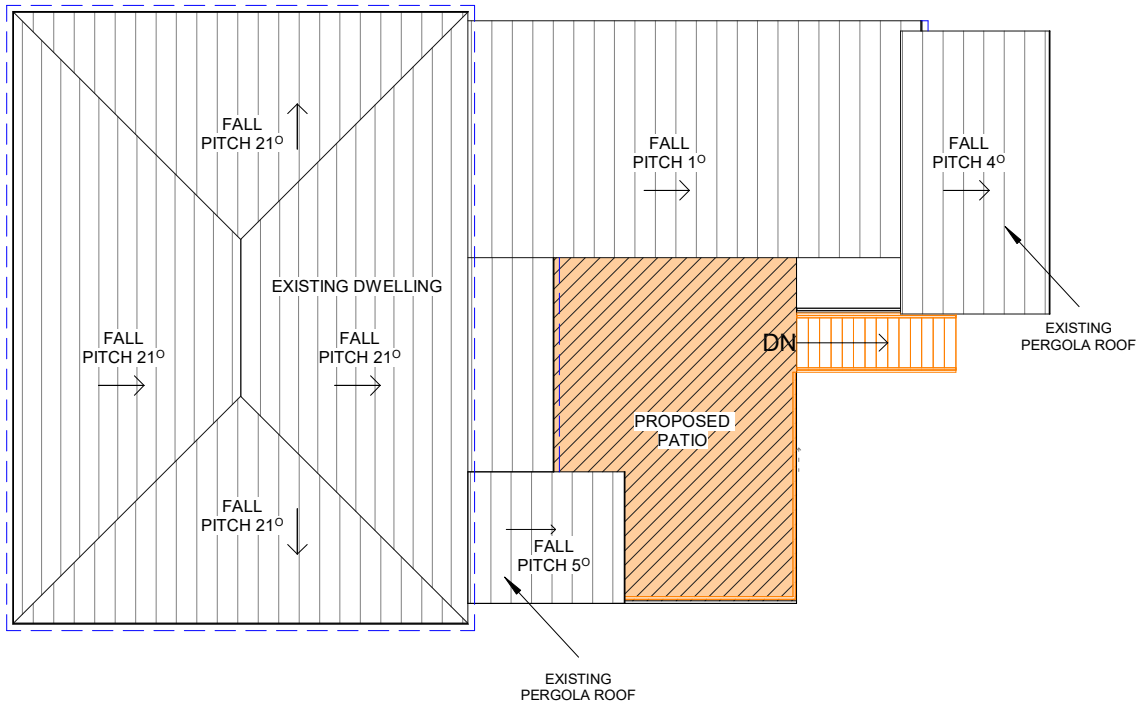
- BOUNDARY LINE
- PROPOSED CONCRETE SLAB
- EXISTING WALLS
- PROPOSED PATIO
- PROPOSED EXTERNAL WALLS
- PROPOSED BALUSTRADES,  
DOORS & WINDOWS
- EXISTING GROUND LEVEL
- EXISTING GUTTER LINE
- EXISTING ROOF-(UNCHANGED)
- PROPOSED RUMPUS
- PROPOSED VAPOR MEMBRANE

1 Section AA'  
1 : 100



NOTE:  
SOUTHERN STREET SIDE  
WALLS TO SOLID UPTO  
EXISTING GROUND LEVEL WITH  
VAPOR MEMBRANE  
PROTECTION AS REQUIRED.

2 ROOF PLAN  
1 : 150



SCHEDULE OF FINISHES		
EXTERNAL WALLS:		
FIBRE CEMENT SHIPLAP CLADDING	DULUX HOG BRISTLE	
DECK:		
TRAVERTINE TILES	TRAVERTINE TILES	
FASCIA, DECK HANDRAILS & TOPRAIL:		
TIMBER	DULUX WHISPER WHITE	
PATHWAY:		
	TERRACOTTA PAVERS	
WINDOW FRAMES:		
	DULUX WHISPER WHITE	

LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL  
LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING  
LEVEL  
DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING  
LEVEL  
TIL - FINISHED TILE LEVEL

FFL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
BCL - BOTTOM CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING  
LEVEL  
NCC - NATIONAL  
CONSTRUCTION CODE

DISCLAIMER

All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.  
All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs & drainage to the PCA's satisfaction.  
All work to be carried out in a professional & workmanship manner according to the plans & specification.  
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.  
All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work.  
The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes.  
The information should not be considered to be error free or to include all relevant data.  
Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Drafting Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.

Project:

PROPOSED PATIO & INFILL LIVING SPACE  
BENEATH (RUMPUS ROOM)

Client:

DE GIGLIO

Site:

LOT 402 D.P. 16902  
125 PALMGROVE ROAD, AVALON BEACH

Drawing Title: SECTION & ROOF PLAN

Scale

As

indicated

Date:

31-08-2020

Checked by

AJ

Authorised

Designers/Architect/Drafters:



Building  
Drafting  
Solutions

Building Drafting Solutions  
P.O. Box 667,  
Round Corner, Nsw 2158

info@buildingdraftingsolutions.com.au

North Point:



Job Reference:

DE GIGLIO

Sheet No:

7

FOR APPROVAL USE ONLY

DRAWING ORIGINAL SIZE A3

