

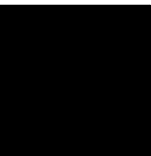
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WALLS
PAINTED
WHITE
or similar



WINDOWS
BLACK
ALUMINIUM
or similar



ROOF
METAL
WINDSPRAY
or similar



ROOF
CONC.
or similar



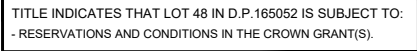
ROOF
PEBBLES
or similar



private residence


69 gordon st, clontarf
new dwelling
development application

architectural perspectives

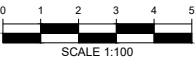


NOTES:

- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF CHARLES DAVIS.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED UNDERGROUND. SERVICES NOT VISIBLE OR NOT LOCATED BEFORE YOU DIG AUSTRALIA (www.bymy.com.au) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. SPOT LEVELS SHOULD BE ADOPED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN REFERENCE TO SCALED READINGS.
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MURRAY LEARMONT
REGISTERED SURVEYOR BOSSI NUMBER 1462

1	FIRST ISSUE	10/07/2024



HORIZONTAL DATUM
GCS - GEODETIC SYSTEM

CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:

DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 1143
R.L. 80.127 (CLASS LB)
SOURCE: S.C.I.M.S. (4/07/2024)

CLIENT:

CHARLES DAVIS

LGA: NORTHERN BEACHES

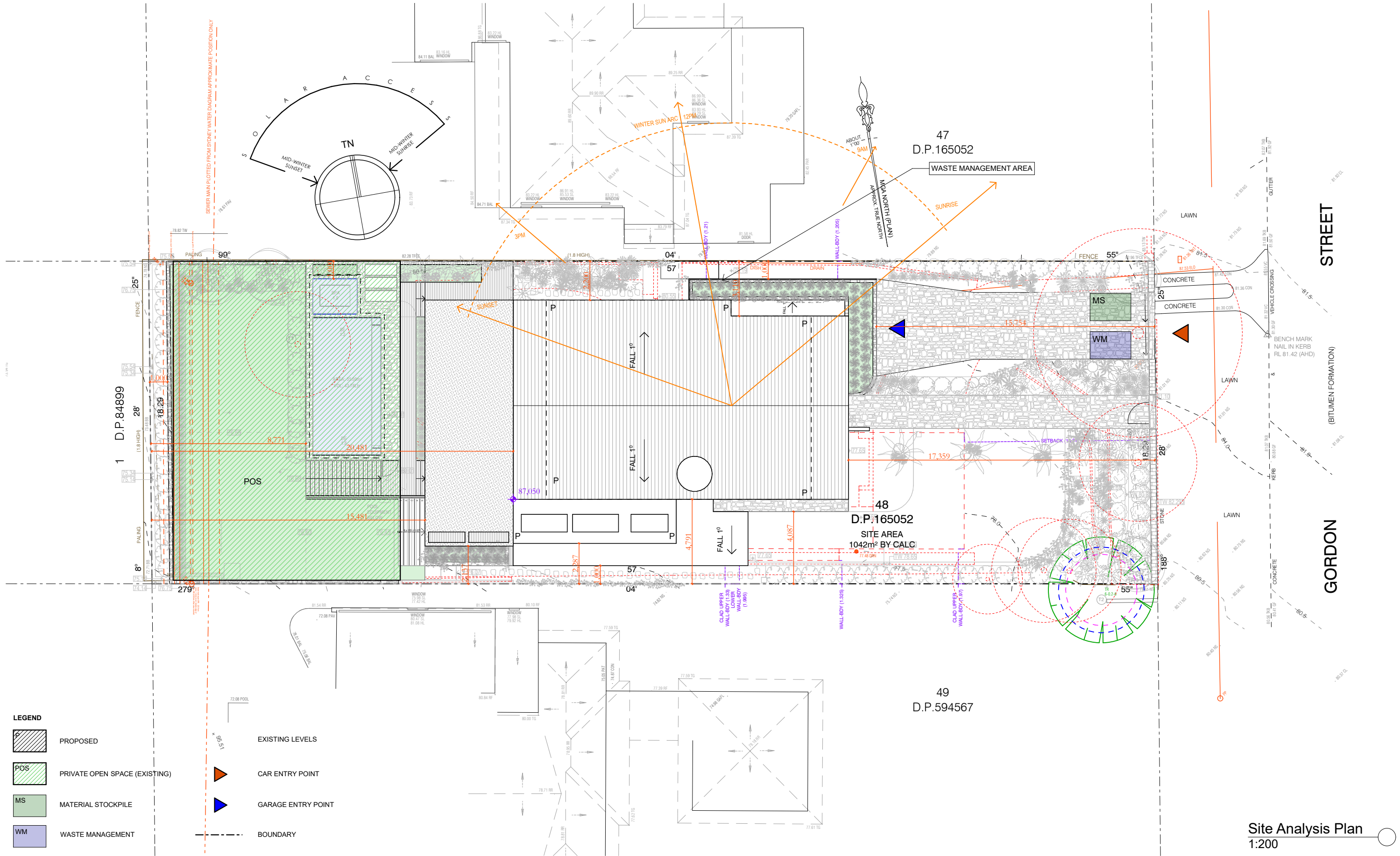
**BOUNDARY IDENTIFICATION
AND DETAIL & LEVEL SURVEY
OVER LOT 48 IN DP165052
No.69 GORDON STREET
CLONTARF, NSW, 2093**







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ACN 096 240 201

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2/99A South Creek Road, Dee Why, NSW, 2099
☎ (02) 9971 4802
✉ info@cmssurveyors.com.au
🌐 www.cmssurveyors.com.au

SURVEYED HH	DRAWN HH	CHECKED HH	APPROVED RM
SURVEY INSTRUCTION 23595	SCALE 1:100@A1	DATE OF SURVEY 8/07/2024	
DRAWING NAME	23595detail		SHEET 1 OF 1 ISSUE 1
CAD FILE	23595detail 1.dwg		



LEGEND

-  PROPOSED
-  PRIVATE OPEN SPACE (EXISTING)
-  MATERIAL STOCKPILE
-  WASTE MANAGEMENT

EXISTING LEVELS

CAR ENTRY POINT

GARAGE ENTRY POINT

BOUNDARY



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

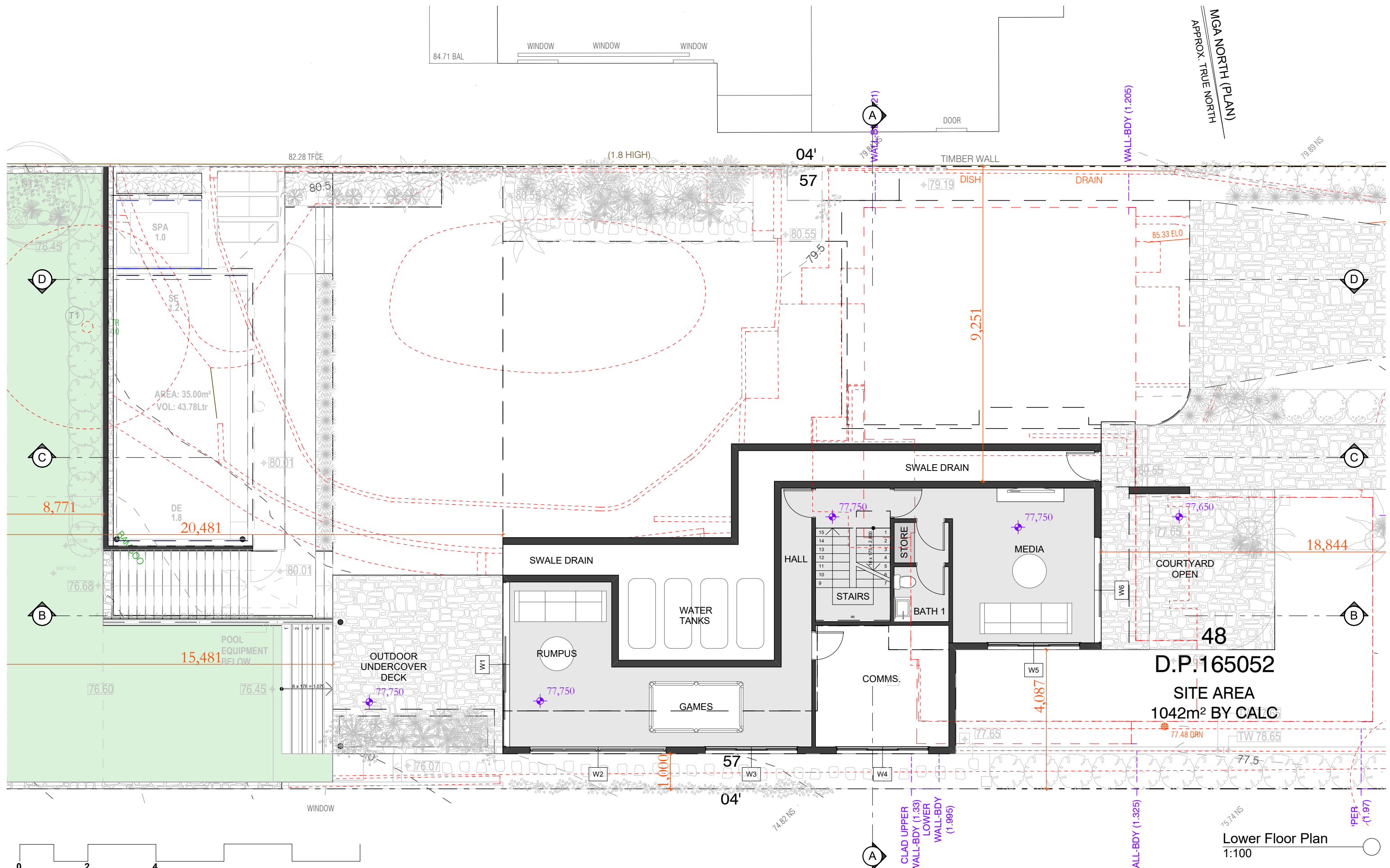
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT:
Private

-  = Demolition
-  = Proposed

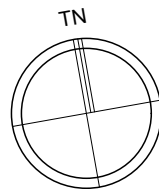
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DATE: 180525	SCALE: 1:200@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA3		



Lower Floor Plan

1:100

Sr.



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
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REV	DATE	DESCRIPTION
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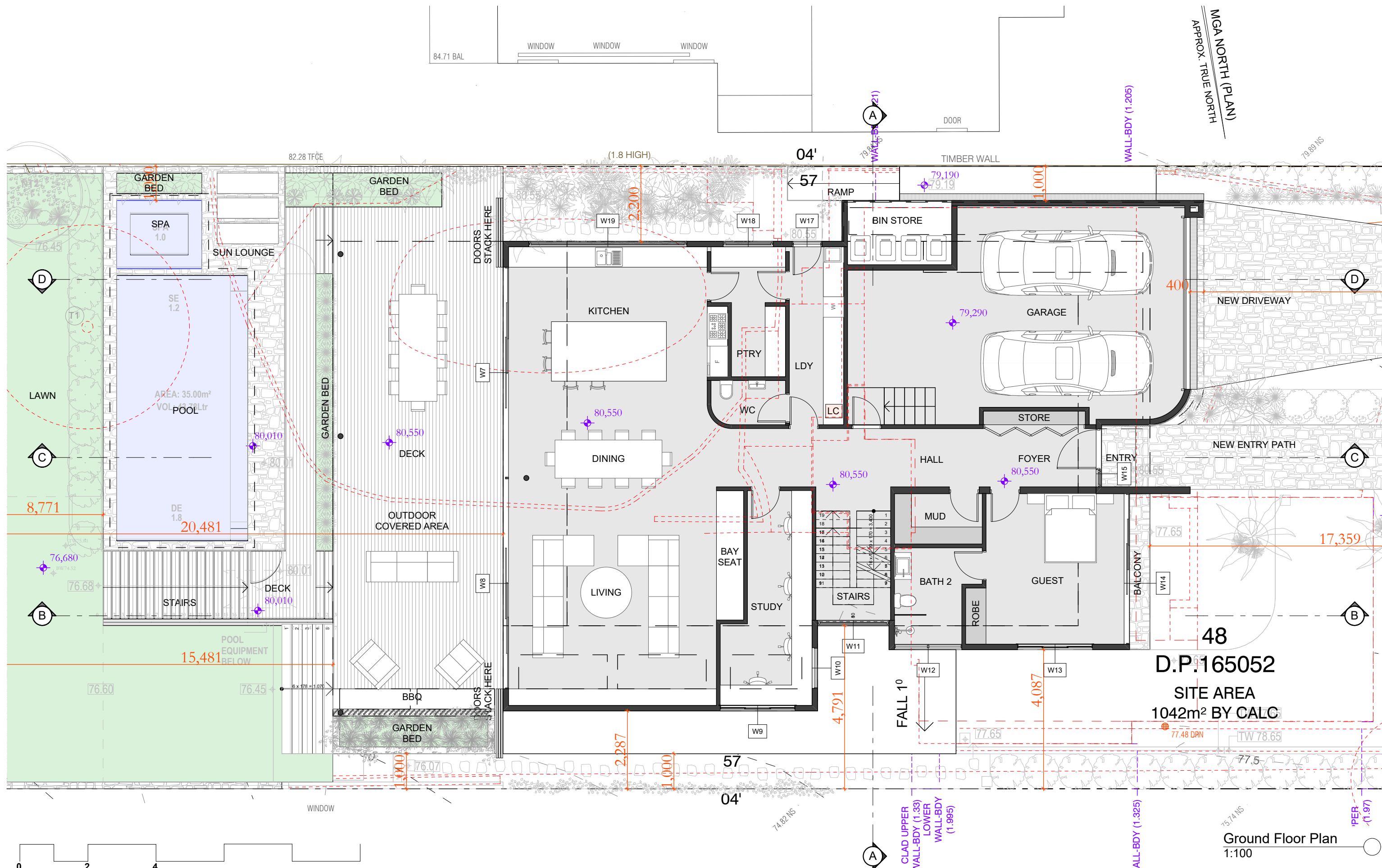
sketchArc
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w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private



STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA4		



Ground Floor Plan
1:100

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purposes until issued by the
Architect for construction.

REV	DATE	DESCRIPTION
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w : www.sketcharc.com.au

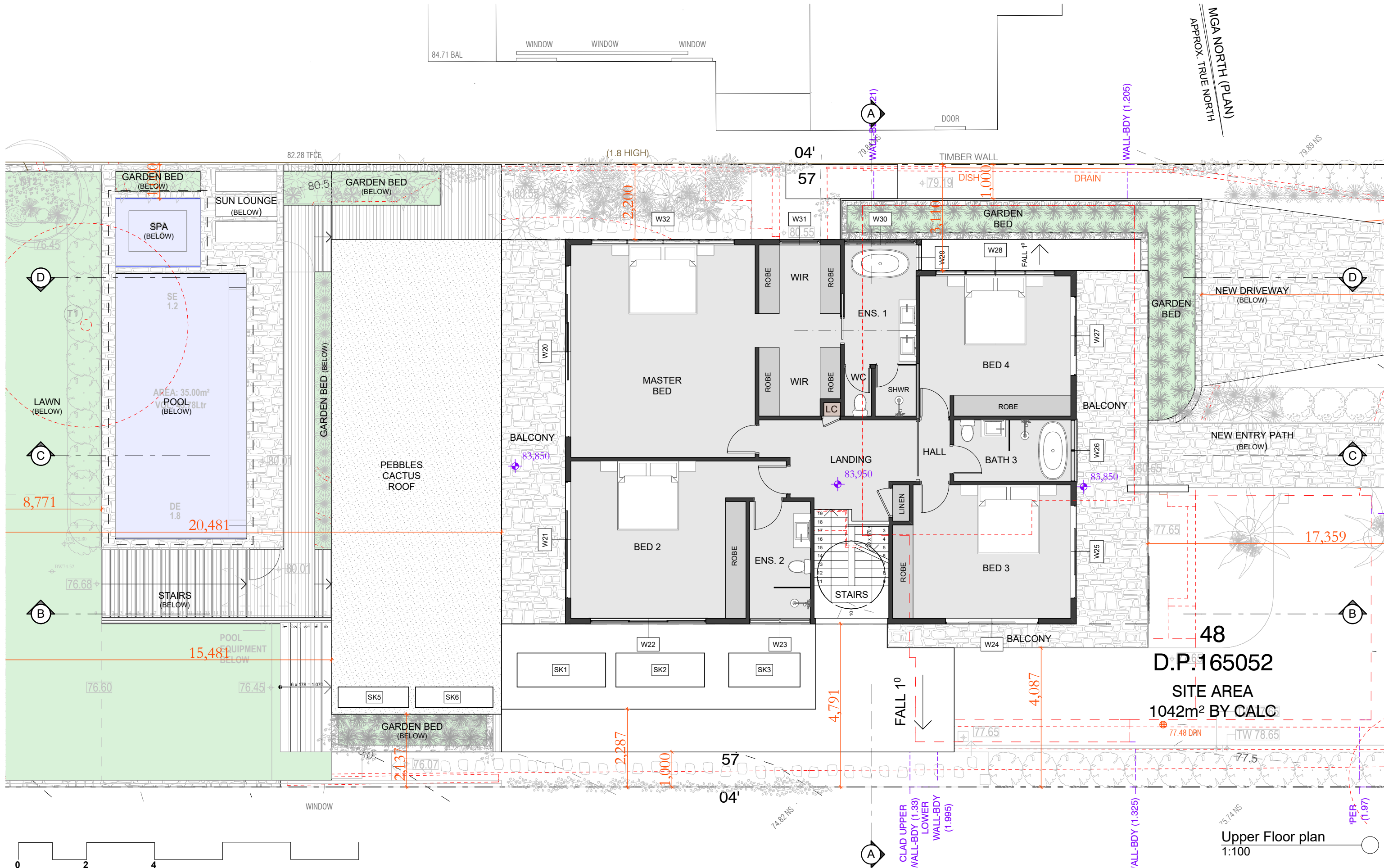
PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: **Private**



STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:

DRAWING NO:
DA5



Upper Floor plan
1:100

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REV	DATE	DESCRIPTION

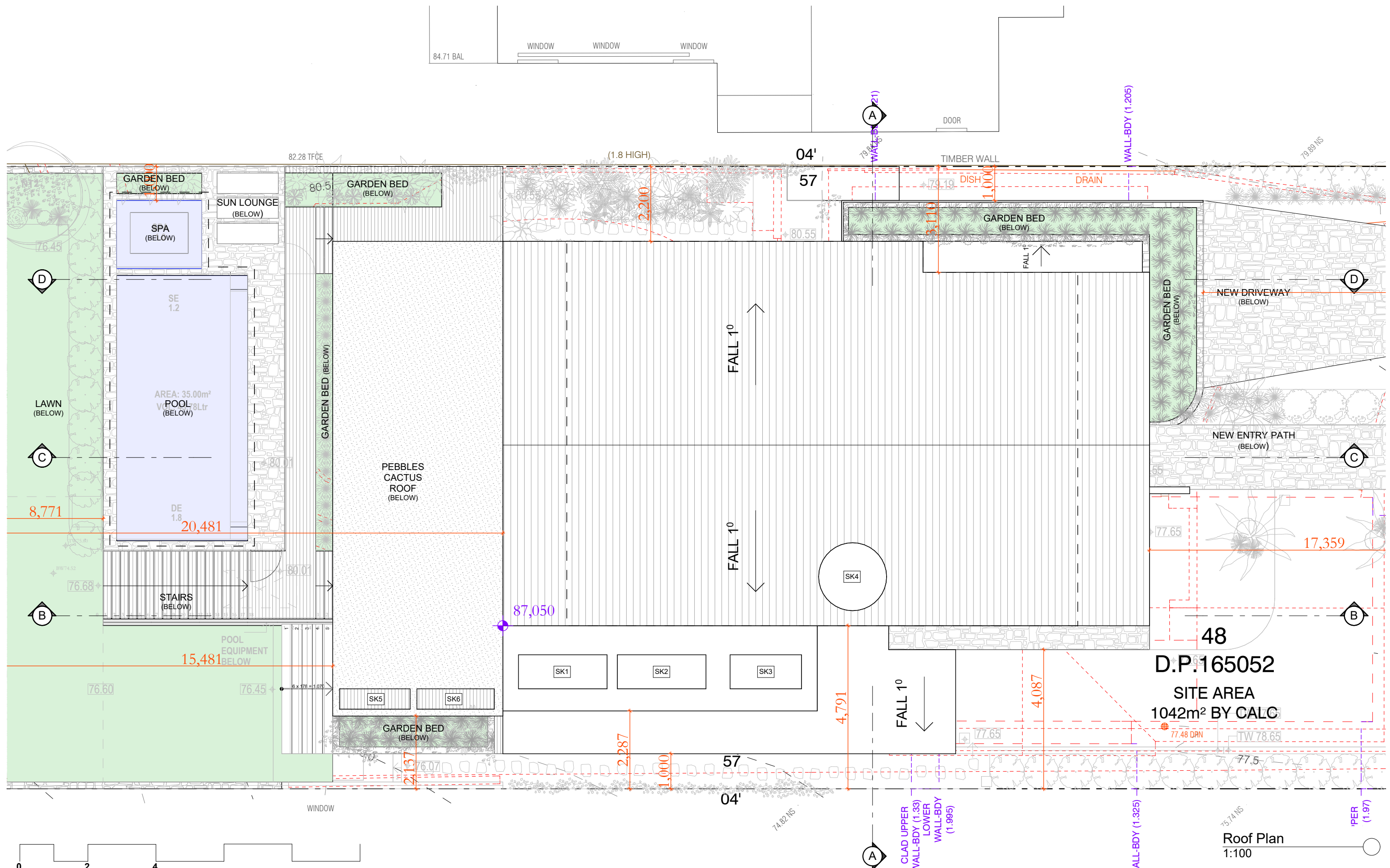
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w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT:
Private

■ = Demolition
■ = Proposed

STATUS:
DA
DATE:
180525
STAGE:
DA
DRAWN/DESIGNED:
PB / MP
PROJECT NUMBER:
2427
ISSUE:
DRAWING NO:
DA6



Roof Plan

1:100

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REV	DATE	DESCRIPTION

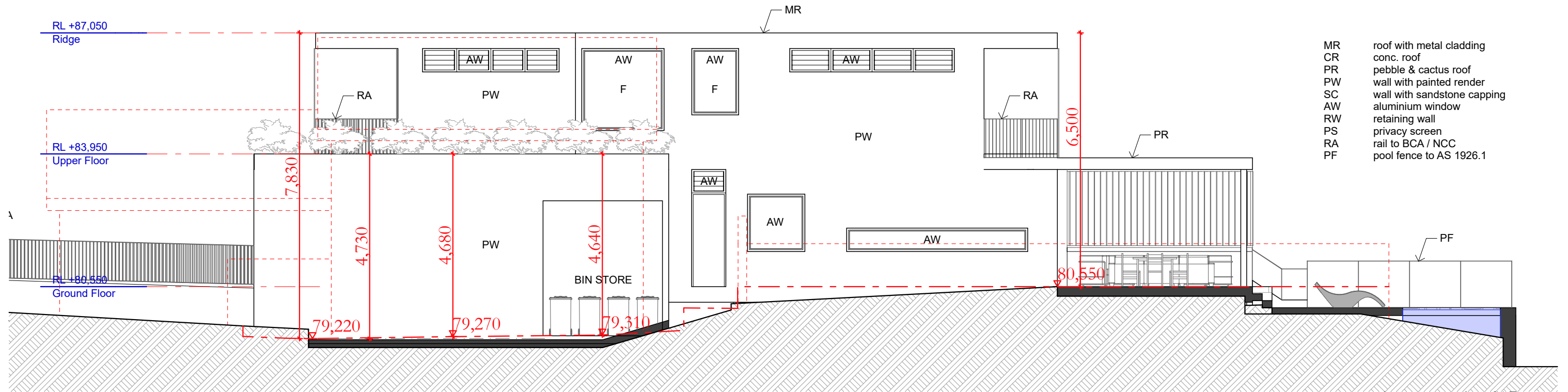
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PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

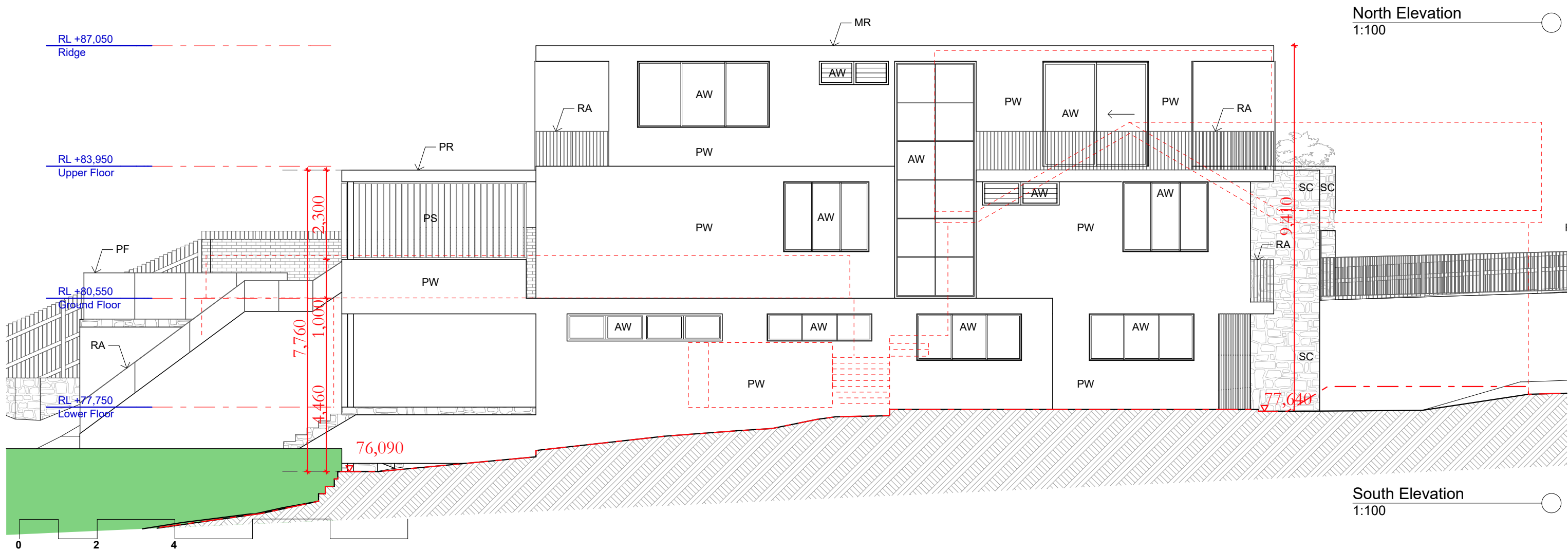
CLIENT: Private



STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA7		



- MR roof with metal cladding
- CR conc. roof
- PR pebble & cactus roof
- PW wall with painted render
- SC wall with sandstone capping
- AW aluminium window
- RW retaining wall
- PS privacy screen
- RA rail to BCA / NCC
- PF pool fence to AS 1926.1



Signature

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REV	DATE	DESCRIPTION

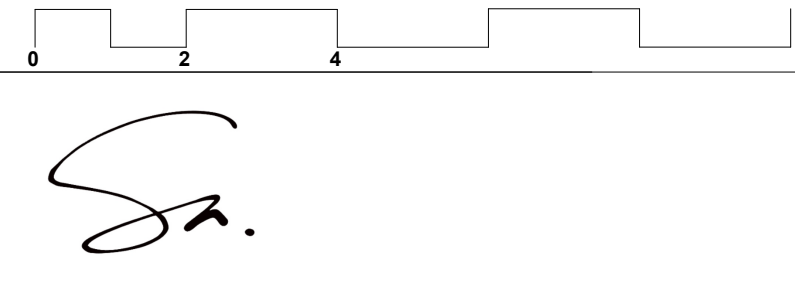
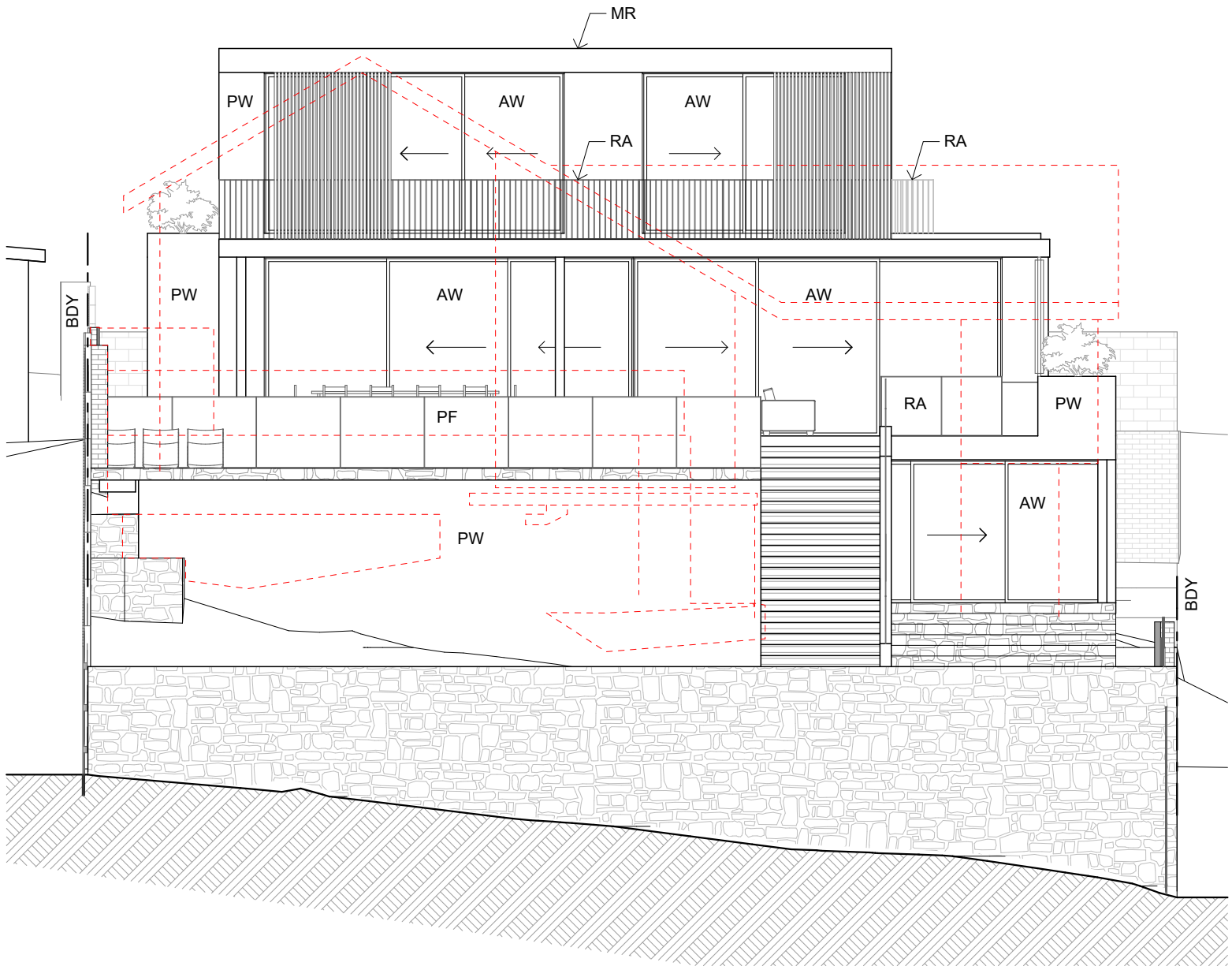
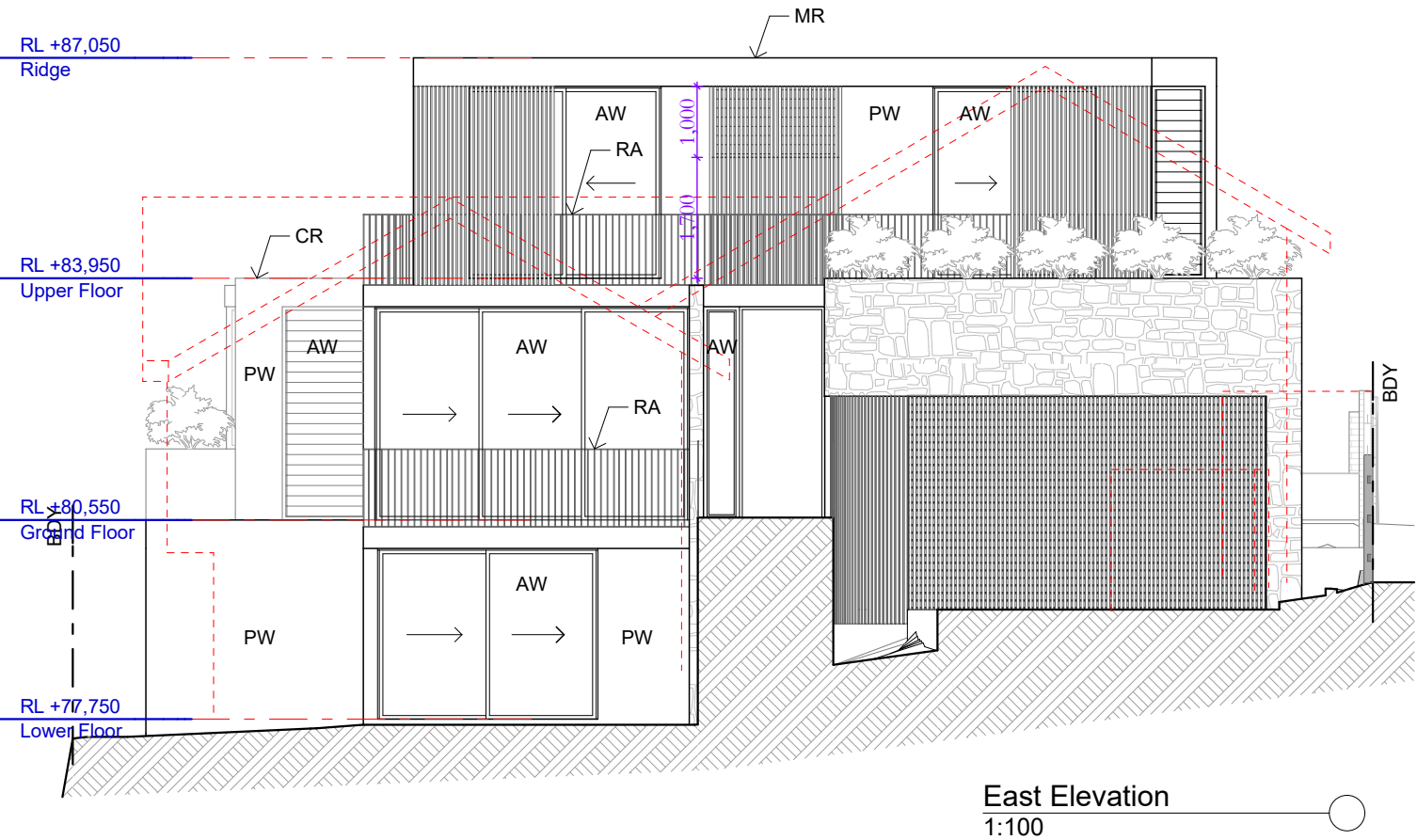
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w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2
CLIENT: Private

■ = Demolition
■ = Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA8		

- MR
- CR
- PR
- PW
- SC
- AW
- RW
- PS
- RA
- PF
- roof with metal cladding
- conc. roof
- pebble & cactus roof
- wall with painted render
- wall with sandstone capping
- aluminium window
- retaining wall
- privacy screen
- rail to BCA / NCC
- pool fence to AS 1926.1



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PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT:
Private

 = Demolition
 = Proposed

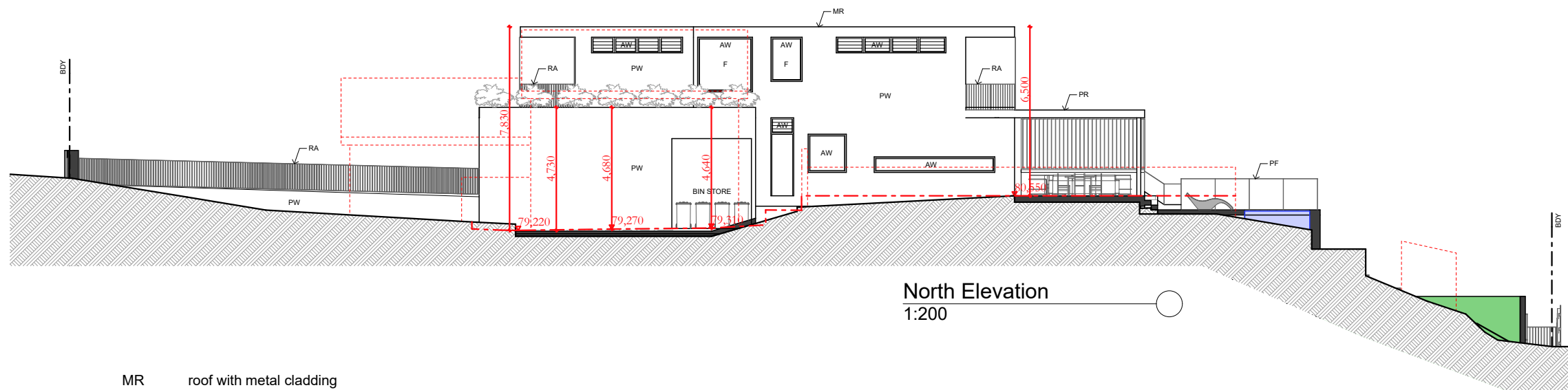
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DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA9		

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



North Elevation
1:200

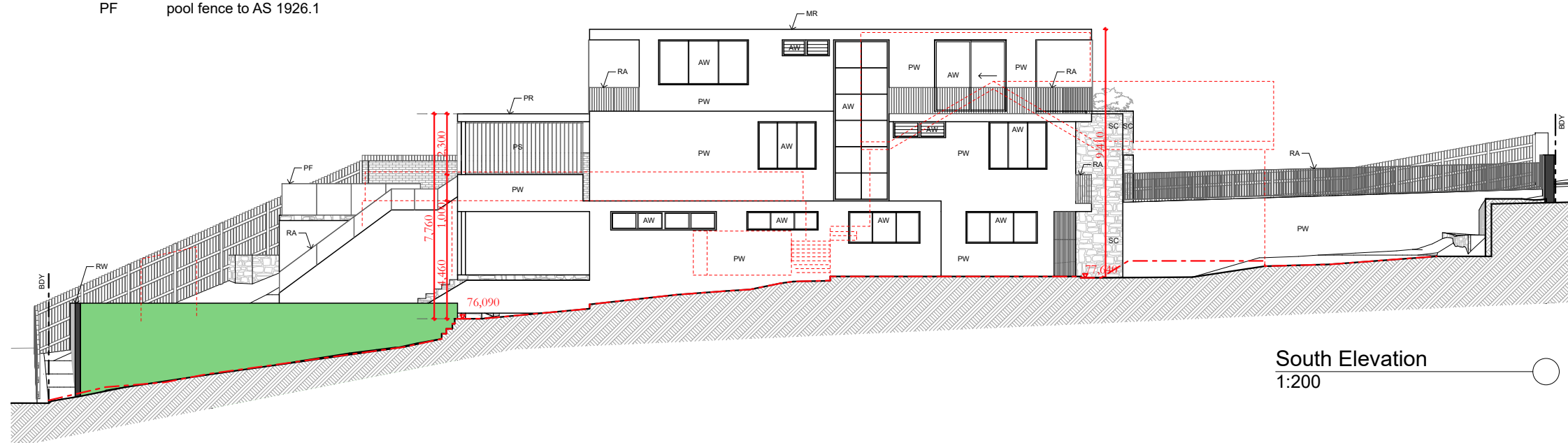
MR roof with metal cladding
CR conc. roof
PR pebble & cactus roof
PW wall with painted render
SC wall with sandstone capping
AW aluminium window
RW retaining wall
PS privacy screen
RA rail to BCA / NCC
PF pool fence to AS 1926.1

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



South Elevation
1:200

0 2 4


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PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT:
Private

 = Demolition
 = Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA10		

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



Streetscape Elevation
1:200

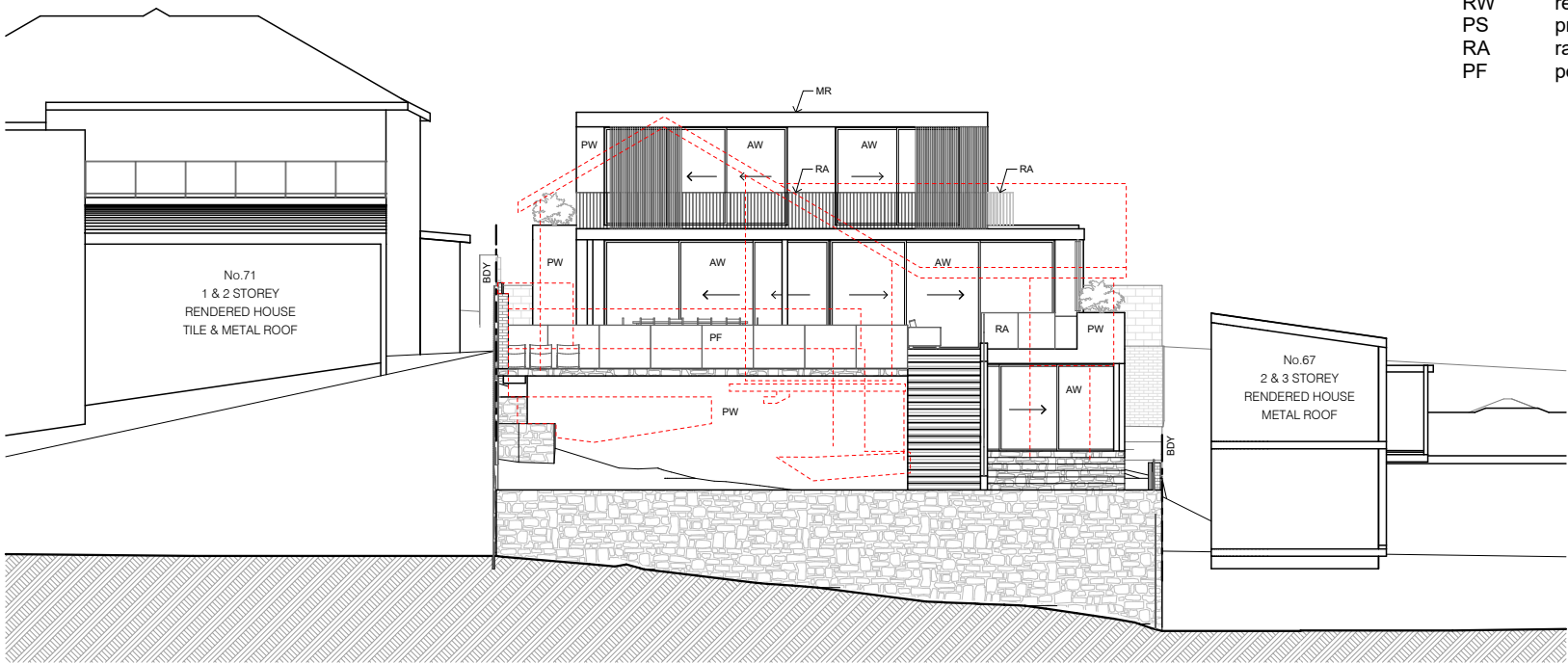
- MR roof with metal cladding
- CR conc. roof
- PR pebble & cactus roof
- PW wall with painted render
- SC wall with sandstone capping
- AW aluminium window
- RW retaining wall
- PS privacy screen
- RA rail to BCA / NCC
- PF pool fence to AS 1926.1

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



West Elevation
1:200



SketchArc logo

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NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT:
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 = Demolition
 = Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA11		

RL +87,050
Ridge

RL +83,950
Upper Floor

RL +80,550
Ground Floor

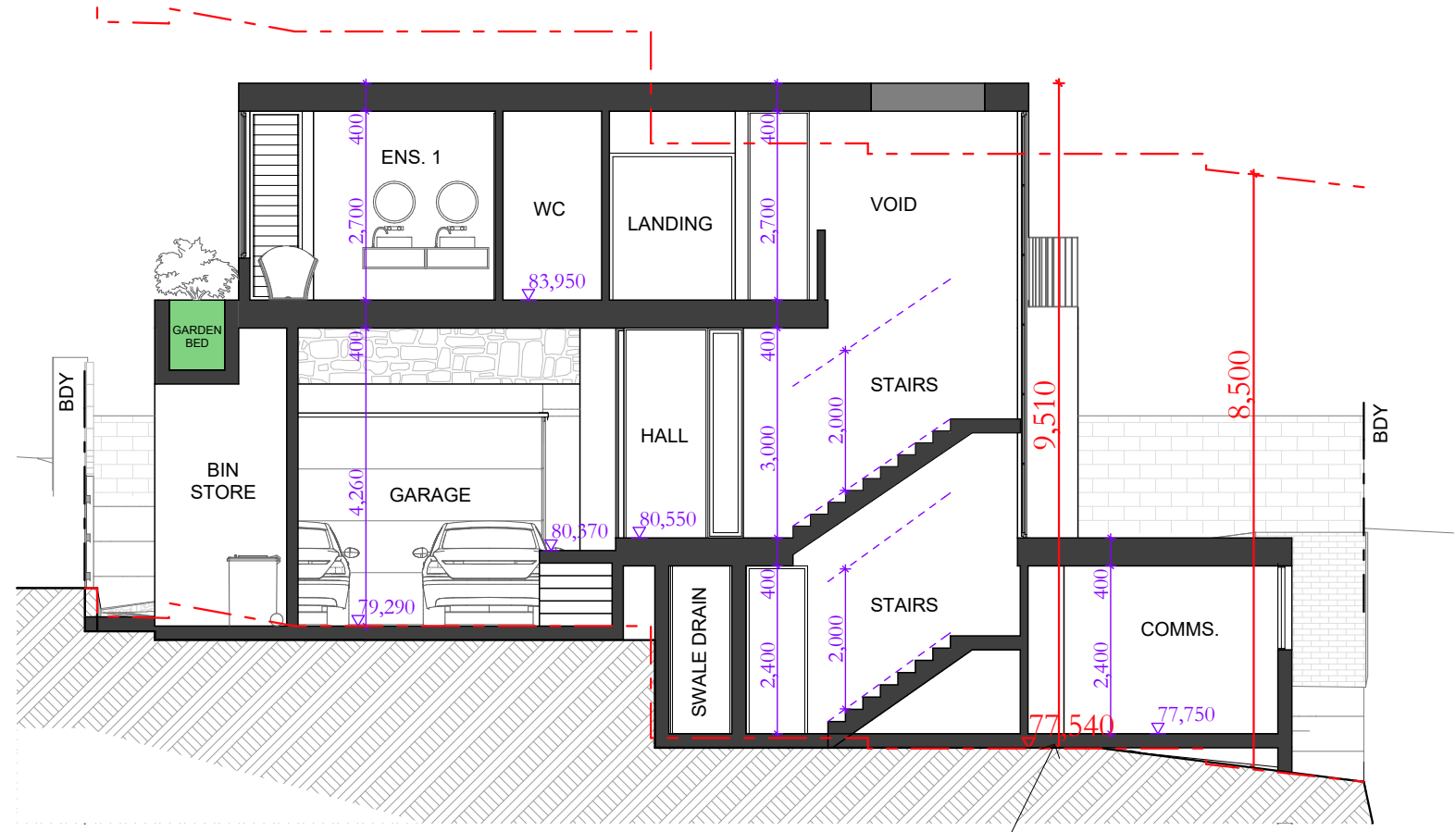
RL +77,750
Lower Floor

RL +87,050
Ridge

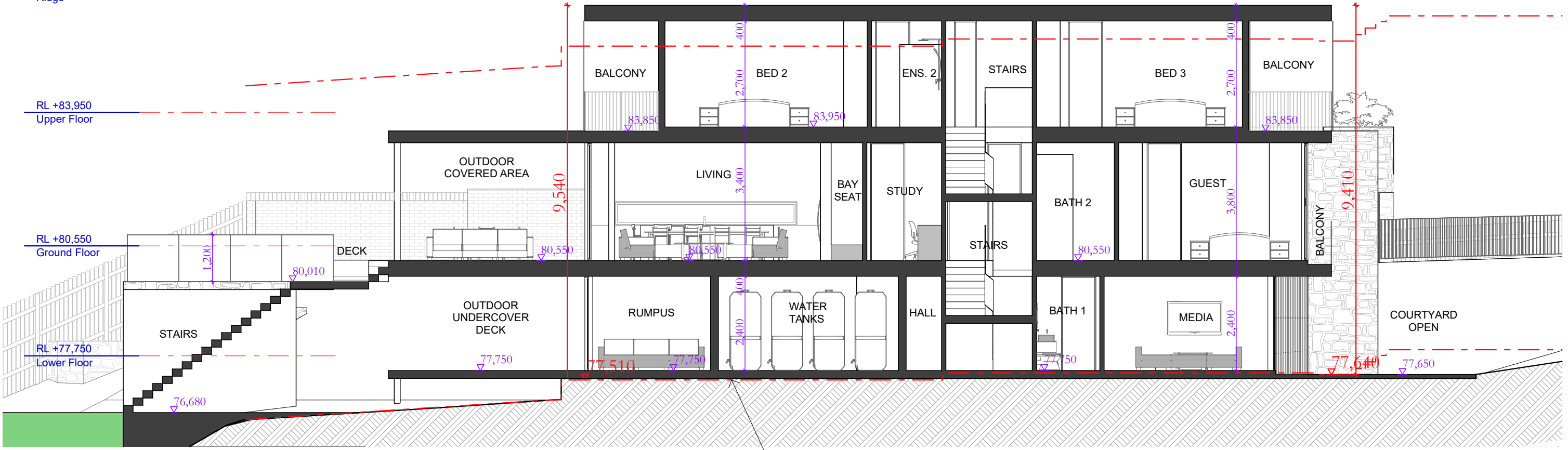
RL +83,950
Upper Floor

RL +80,550
Ground Floor

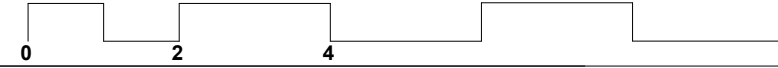
RL +77,750
Lower Floor



line of existing ground
Section A-A
1:100



line of existing ground
Section B-B
1:100



Signature

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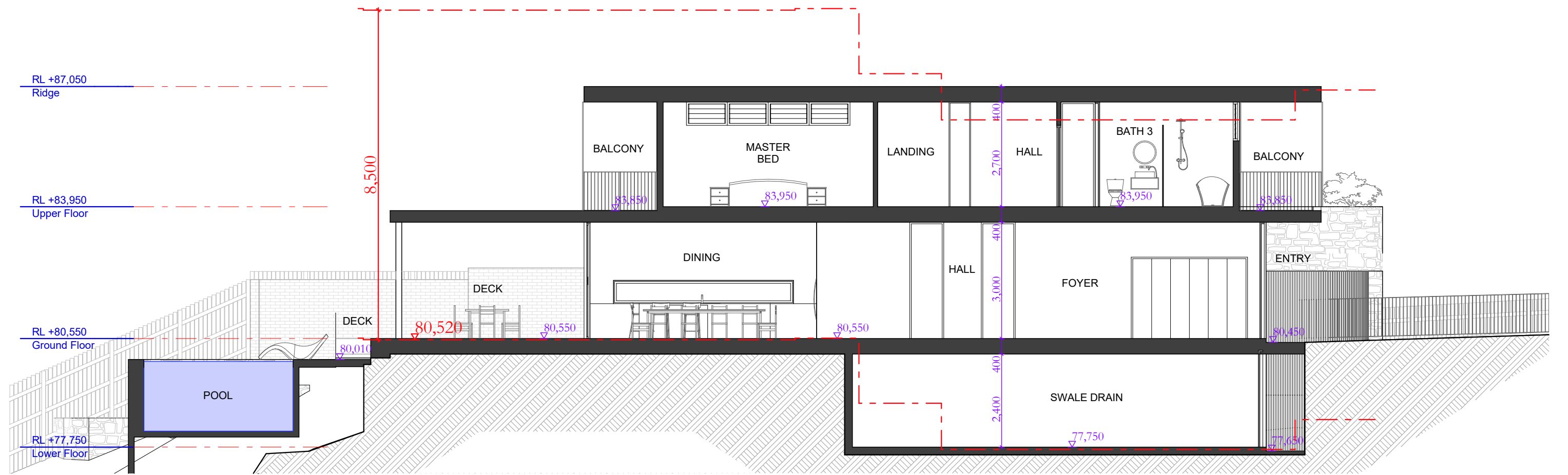
REV	DATE	DESCRIPTION

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w : www.sketcharc.com.au

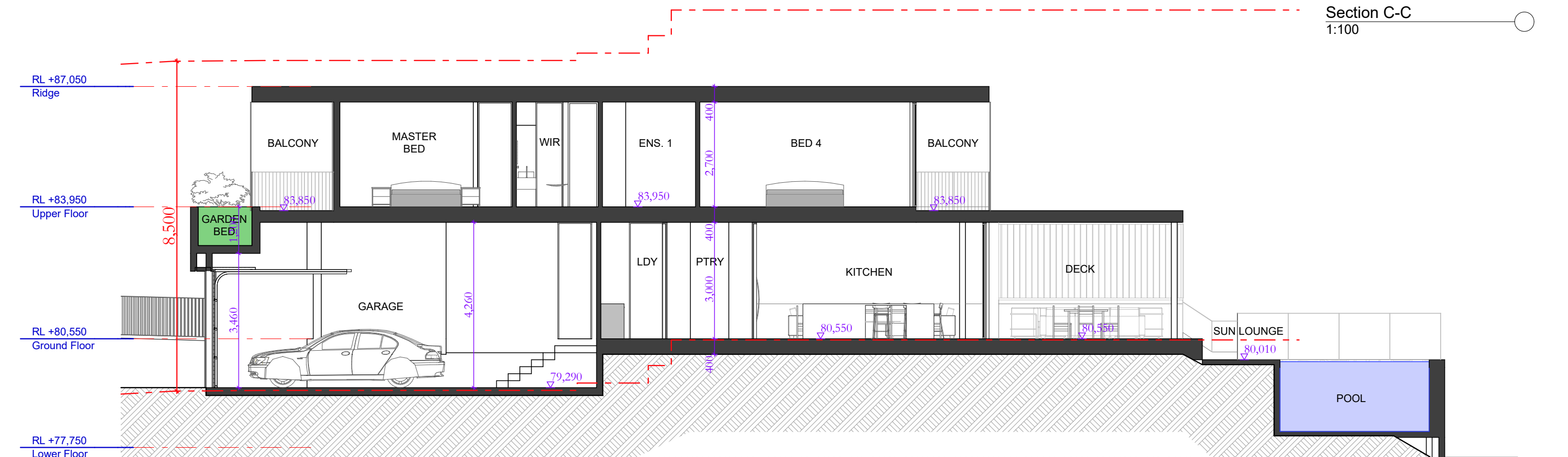
PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2
CLIENT: Private

= Demolition
 = Proposed

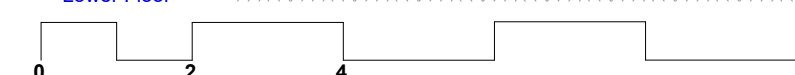
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DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA12		



Section C-C
1:100



Section D-D
1:100





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sketchArc
Po Box 377 Manly 1655
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PROJECT: 69 Gordon St, Clontarf, 2093, NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private

STATUS: DA
DATE: 180525
STAGE: DA
DRAWING NO: DA13

SCALE: 1:100@A3
DRAWN/DESIGNED: PB / MP

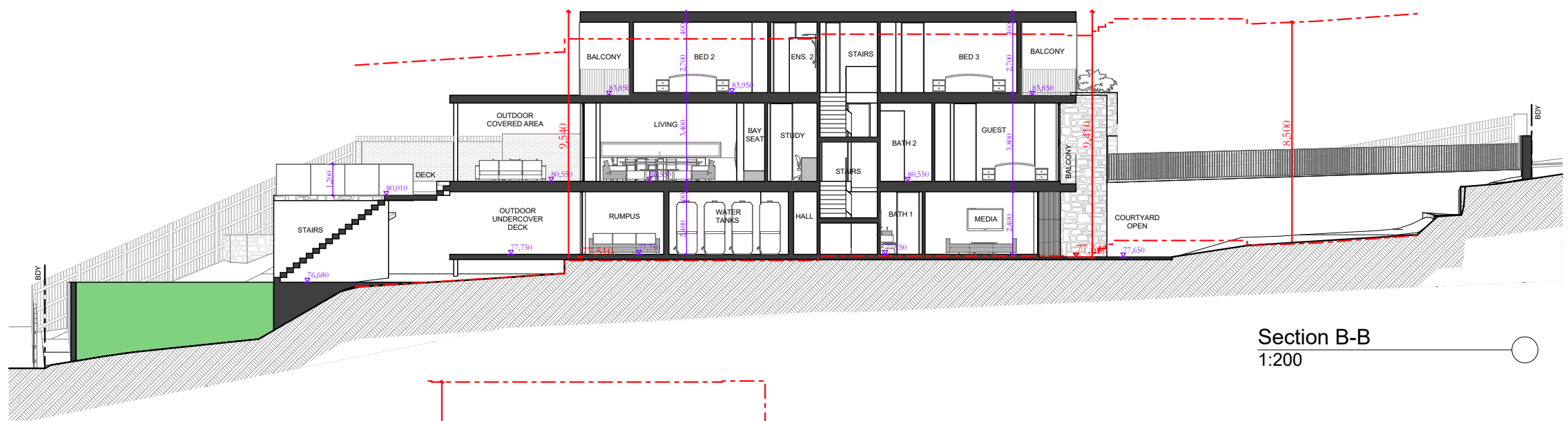
PROJECT NUMBER: 2427
ISSUE:

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



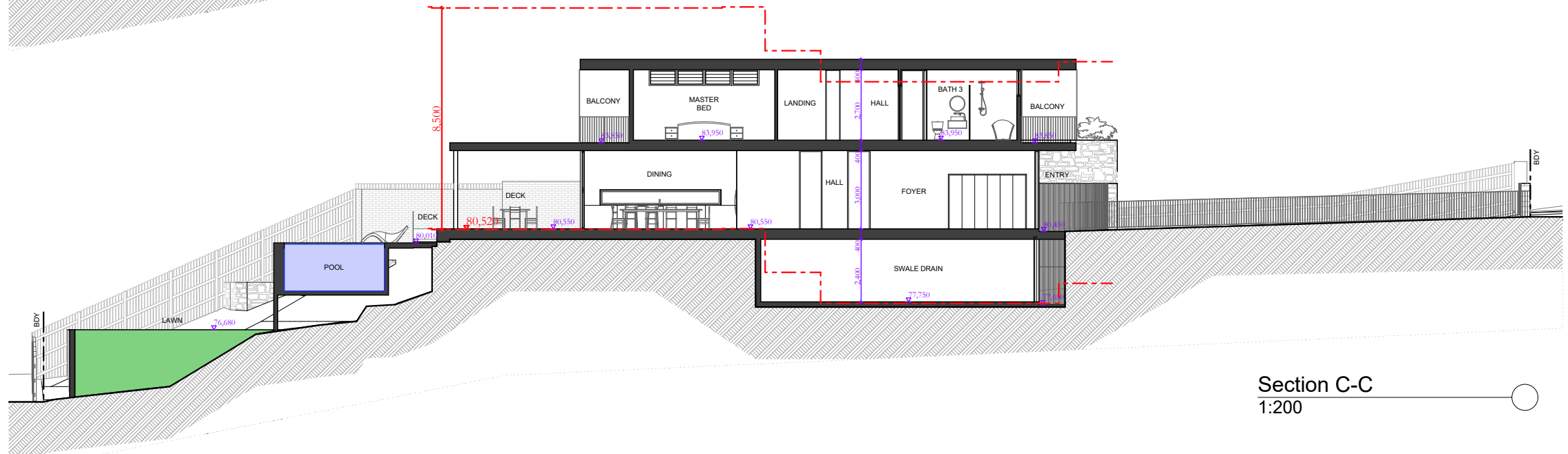
Section B-B
1:200

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



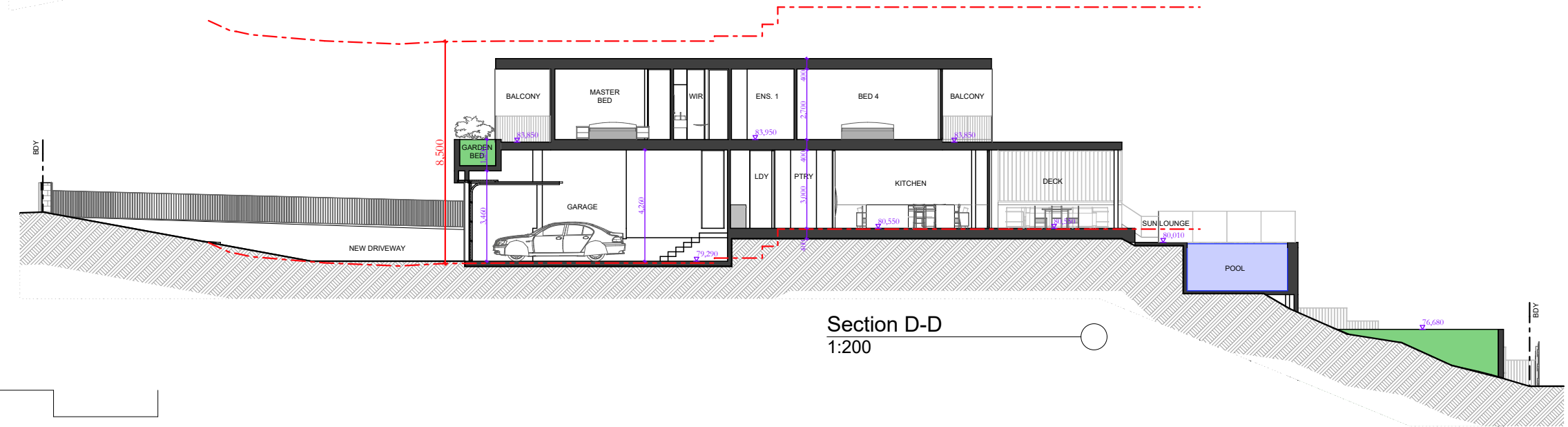
Section C-C
1:200

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



Section D-D
1:200



SA.

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PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

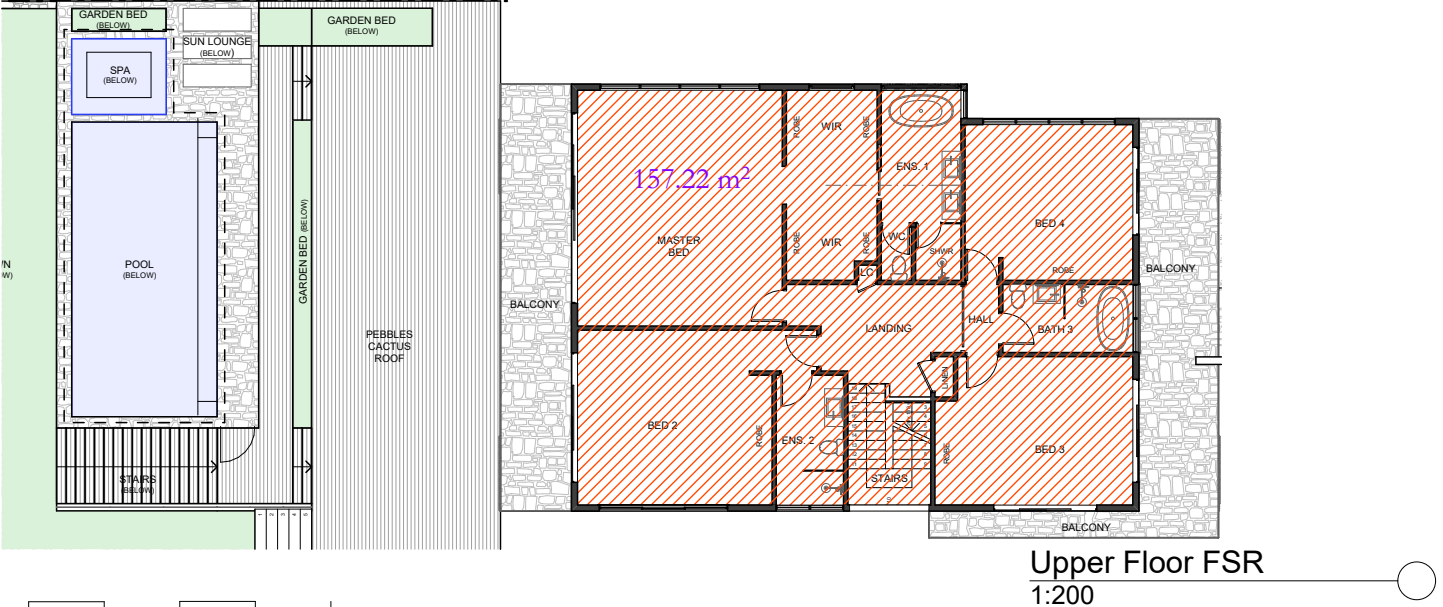
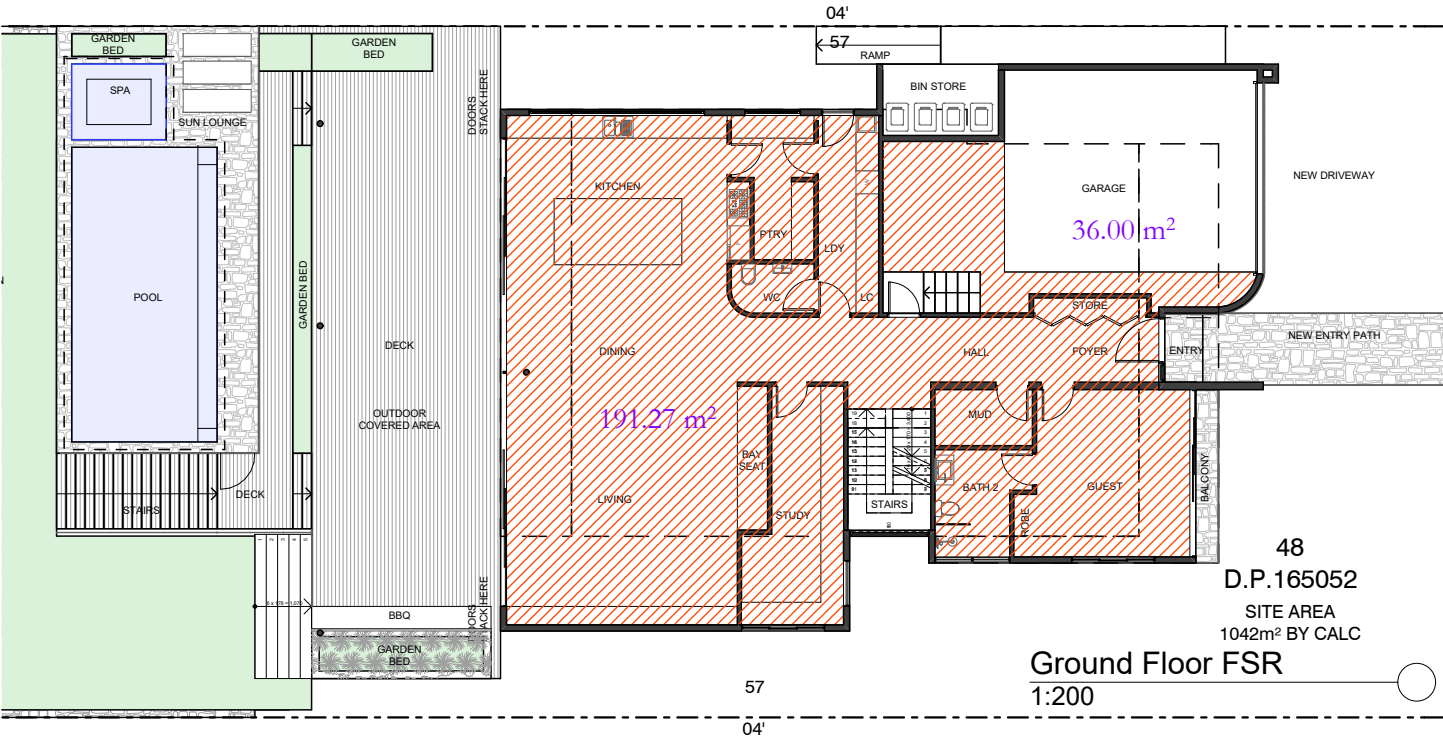
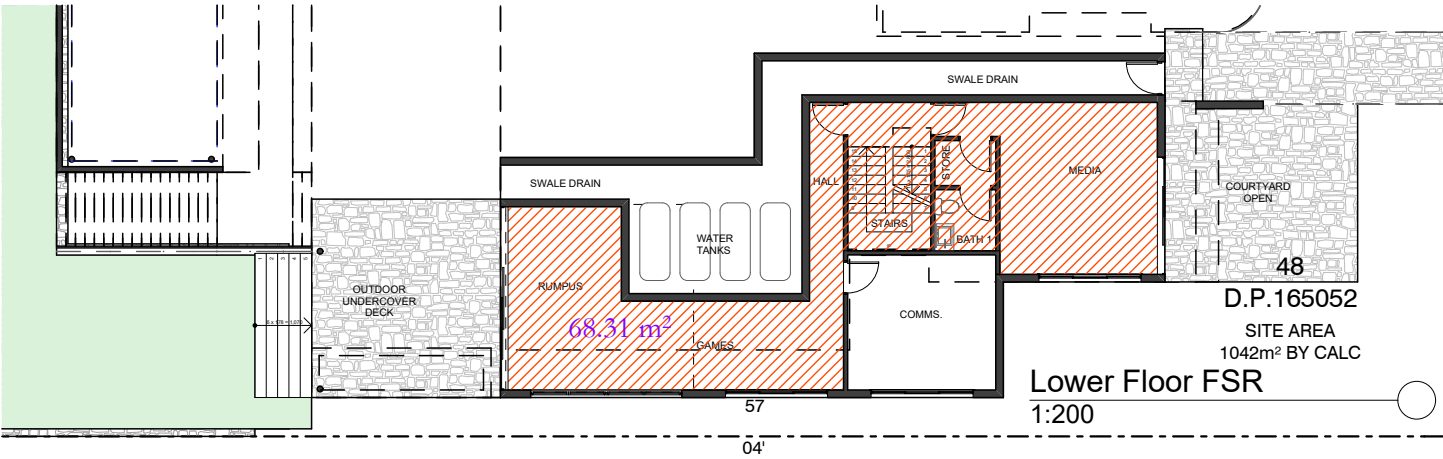
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Private

 = Demolition
 = Proposed

STATUS:
DA
DATE:
180525
STAGE:
DA
DRAWING NO:
DA14

SCALE:
1:100@A3
DRAWN/DESIGNED:
PB / MP

PROJECT NUMBER:
2427
ISSUE:



SITE AREA = 1042m²
FLOOR SPACE RATIO 0.4 max FSR = 416.8m²

EXISTING GROSS FLOOR AREAS

LOWER GROSS FLOOR AREA = 48.91m²

GROUND GROSS FLOOR AREA = 143.72m²

FIRST GROSS FLOOR AREA = 54.81m²

TOTAL EXISTING GROSS FLOOR AREA = 247.44m²

SITE AREA = 1042m²
FLOOR SPACE RATIO 0.4 max FSR = 416.8m²

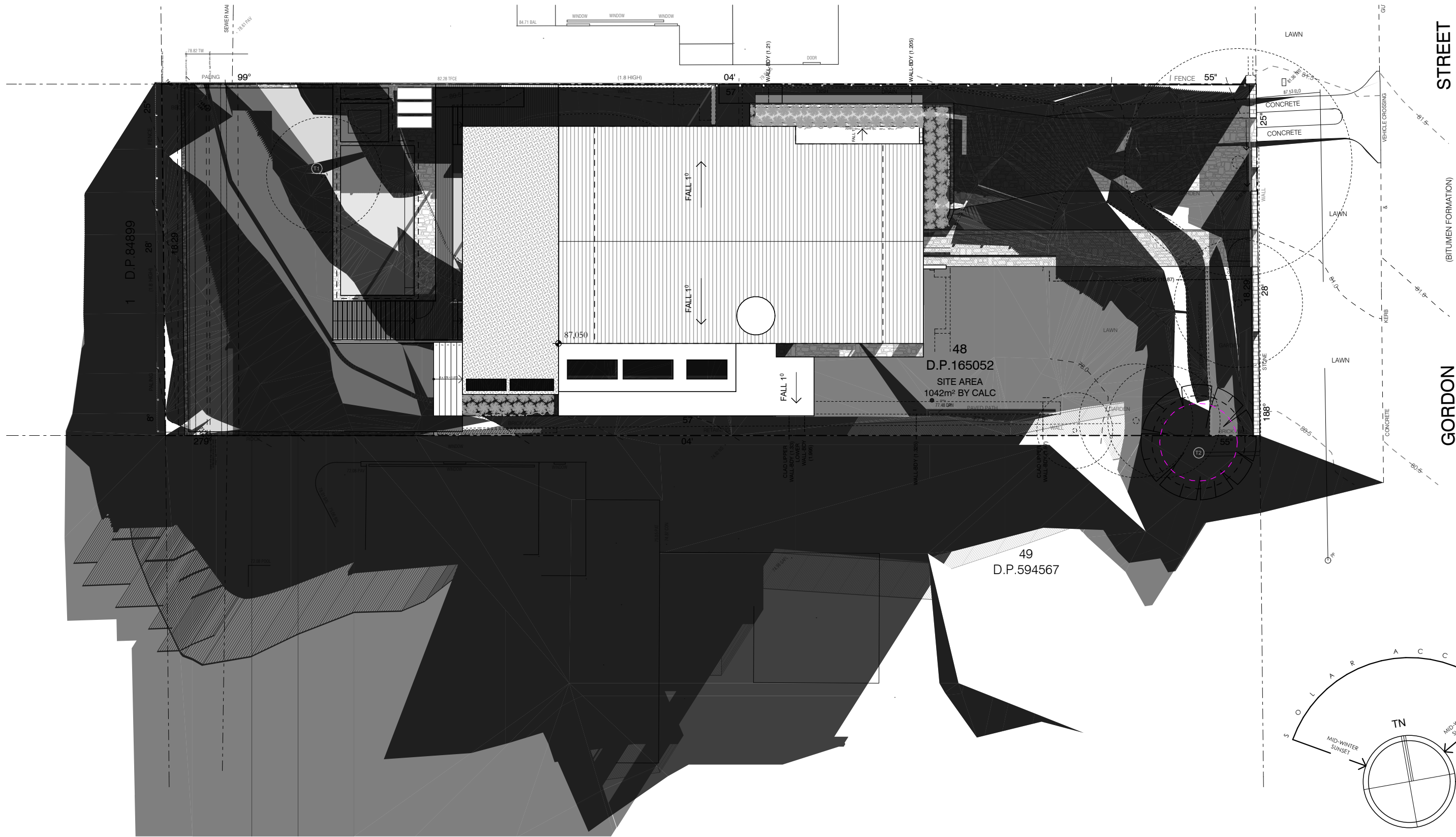
PROPOSED GROSS FLOOR AREAS

LOWER GROSS FLOOR AREA = 68.31m²

GROUND GROSS FLOOR AREA = 191.27m²

FIRST GROSS FLOOR AREA = 157.22m²

TOTAL PROPOSED GROSS FLOOR AREA = 416.8m²

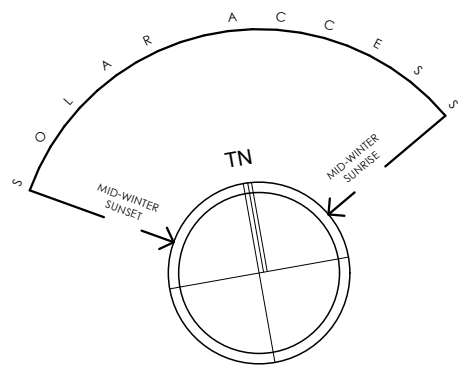


STREET

GORDON

Existing shadow Proposed shadow

Solar June 21 9am
1:200





DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
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REV	DATE	DESCRIPTION

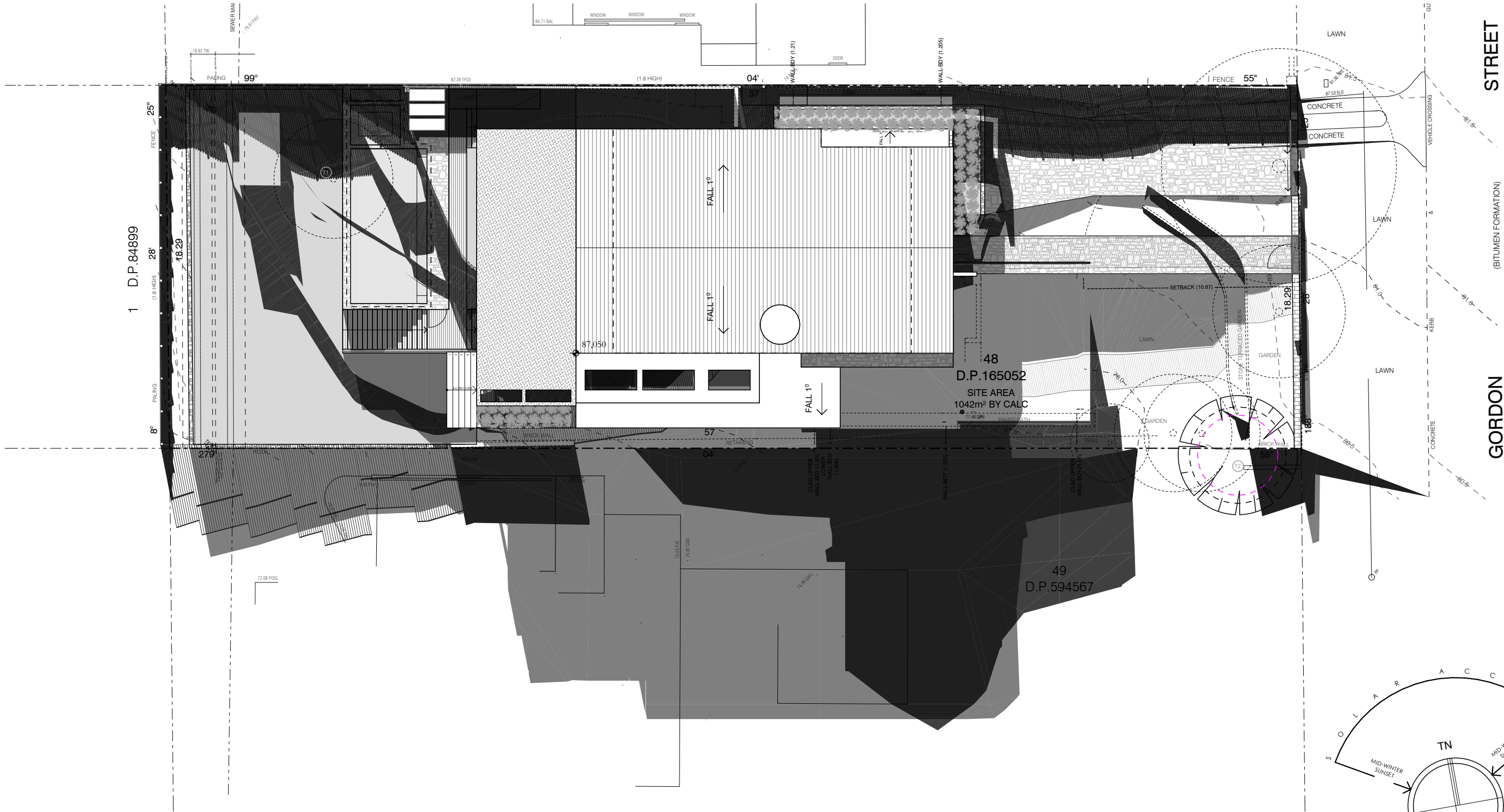
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private

 = Demolition  = Proposed	STATUS: DA	PROJECT NUMBER: 2427	
	DATE: 180525	SCALE: 1:100@A3	ISSUE:
	STAGE: DA	DRAWN/DESIGNED: PB / MP	

DRAWING NO: DA16

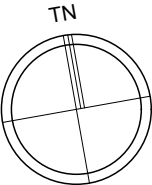
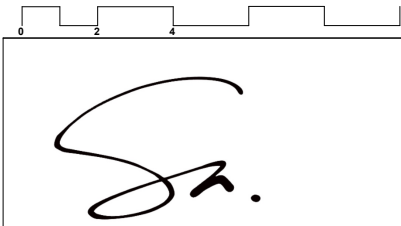
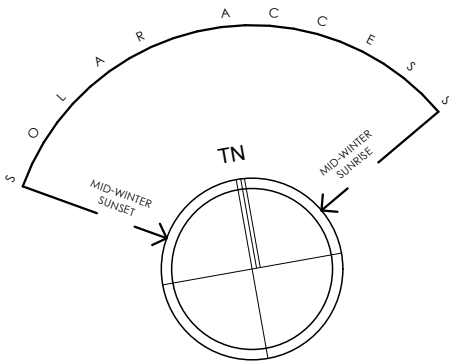


Existing shadow



Proposed shadow

Solar June 21 12pm
1:200



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LOT 48 in DP 165052 - 1042m2

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 = Demolition
 = Proposed

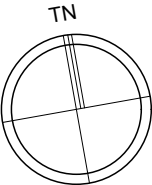
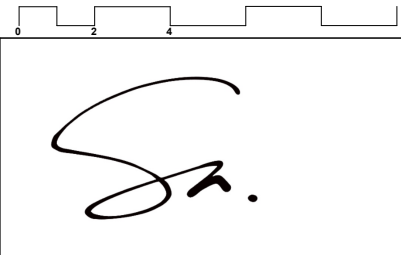
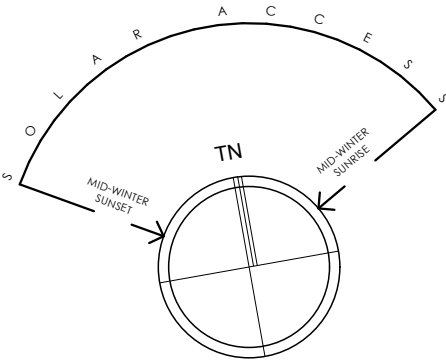
STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA17		



Existing shadow

Proposed shadow

Solar June 21 3pm
1:200



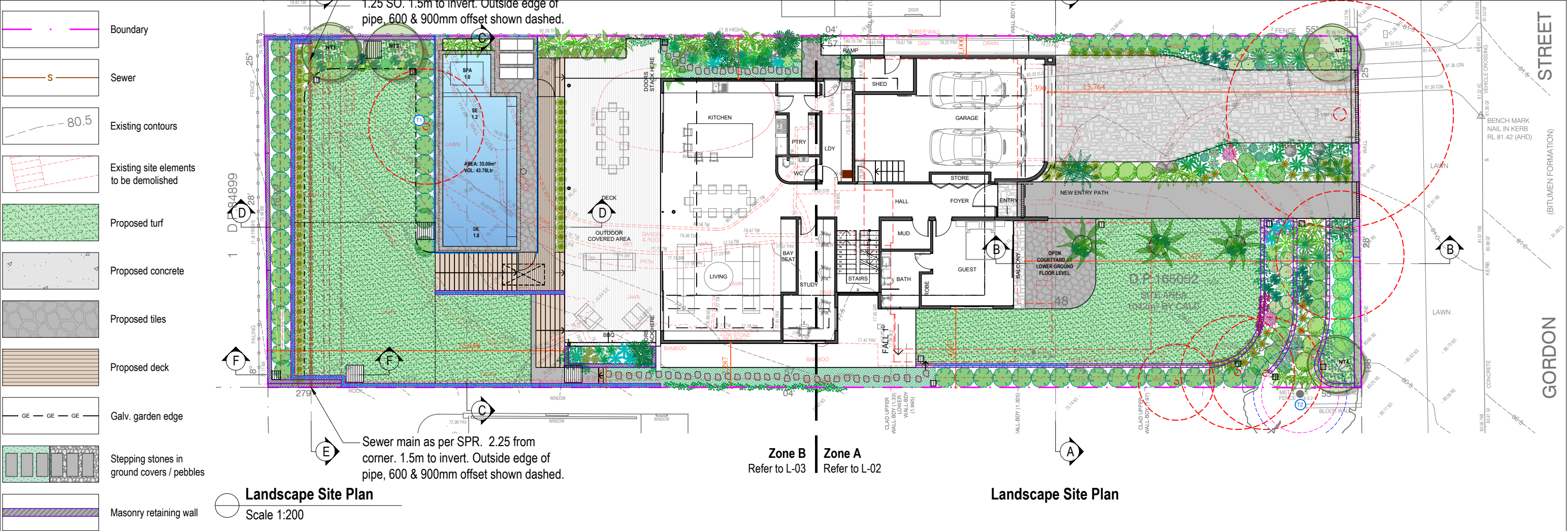
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NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2
CLIENT: Private

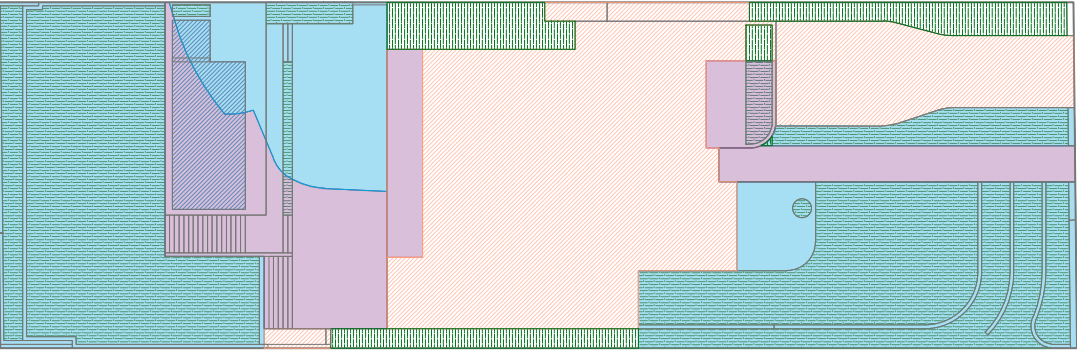
 = Demolition
 = Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA18		



OPEN SPACE CALCULATIONS		Required		Proposed	
Site Area		1,042.00m ²	100.00%		
Total Open Space - (TOS)		625.20m ²	60.00%	646.56m ²	62.05%
Pool - max 30% of TOS		193.97m ²	30.00%	34.42m ²	5.32%
Above ground - (dwelling) - 25% of TOS		161.64m ²	25.00%	37.26m ²	5.76%
Above ground - (other) - 40% of TOS		258.62m ²	40.00%	133.51m ²	20.65%
Landscape - 40% of TOS		258.62m ²	40.00%	361.23m ²	55.87%

EXISTING TREE SCHEDULE										
Tree Number	Species	Height	Lowest Scaffold	Spread (m)				DBH	DAB	Remove / Retain
				N	S	E	W			
1	Callistemon viminalis	5m	4m	1	1	1	1	39cm	44cm	Remove
2	Olea europaea subsp. cuspidata	4m	2m	2	1	1	2	20cm	30cm	Retain



Open Space Area	Pool component of Open Space	Landscape Area
Open Space Area (Above Ground)	Excluded From Open Space	Landscape Areas (Excluded from open space)

Open Space Calculations

Scale 1:400



Existing ES June 21 - 9am

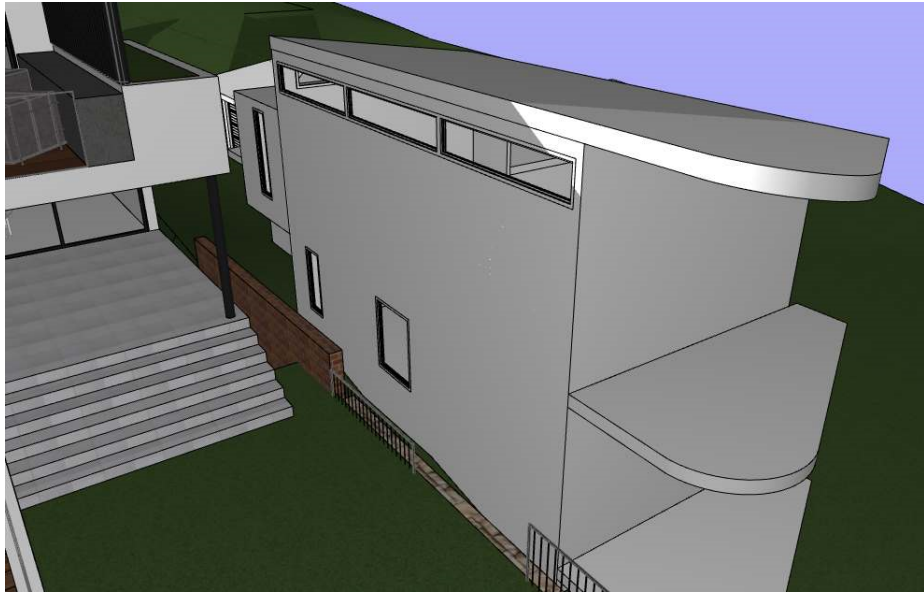


Existing ES June 21 - 12pm

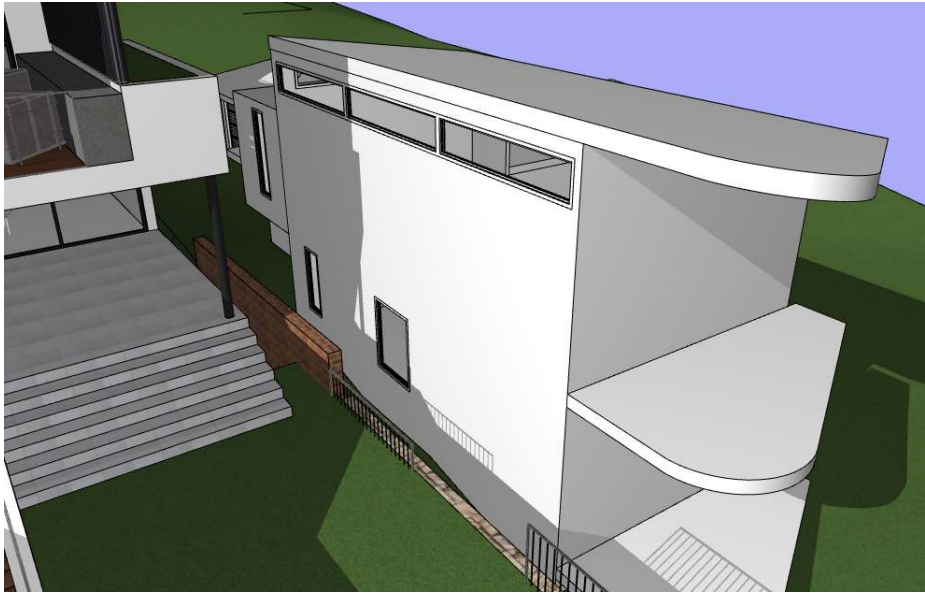


Existing ES June 21 - 3pm

ELEVATIONAL SHADOWS JUNE 21
9AM, 12PM, 3PM
EXISTING & PROPOSED



Proposed ES June 21 - 9am



Proposed ES June 21 - 12pm



Proposed ES June 21 - 3pm

SketchArc

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DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA20		



Proposed (No top floor) ES June 21 - 9am FAR



Proposed (No top floor) ES June 21 - 12pm FAR



Proposed (No top floor) ES June 21 - 3pm FAR

ELEVATIONAL SHADOWS JUNE 21
9AM, 12PM, 3PM
Proposed - First Floor removed as comparison



Proposed ES June 21 - 9am FAR



Proposed ES June 21 - 12pm FAR



Proposed ES June 21 - 3pm FAR

SA.

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CLIENT:
Private

 = Demolition
 = Proposed

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DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA21		

BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 1795799S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary

Date of issue: Friday, 16 May 2025

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate H43KQ9S181.

Project summary		
Project name	69 Gordon Street Clontarf	
Street address	69 GORDON Street CLONTARF 2093	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP165052	
Lot no.	48	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	5	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 78	Target 72
Materials	✔ -100	Target n/a

Certificate Prepared by	
Name / Company Name:	PAUL&DAVID CONSULTING PTY LTD.
ABN (if applicable):	

Description of project

Project address	
Project name	69 Gordon Street Clontarf
Street address	69 GORDON Street CLONTARF 2093
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan DP165052
Lot no.	48
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	5
Site details	
Site area (m²)	1042
Roof area (m²)	208
Conditioned floor area (m²)	372.4
Unconditioned floor area (m²)	20.0
Total area of garden and lawn (m²)	392
Roof area of the existing dwelling (m²)	0

Assessor details and thermal loads	
NatHERS assessor number	101225
NatHERS certificate number	H43KQ9S181
Climate zone	56
Area adjusted cooling load (MJ/ m².year)	11
Area adjusted heating load (MJ/ m².year)	19
Project score	
Water	✔ 40 Target 40
Thermal Performance	✔ Pass Target Pass
Energy	✔ 78 Target 72
Materials	✔ -100 Target n/a

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the developmentthe cold water tap that supplies each clothes washer in the developmentat least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)a tap that is located within 10 metres of the swimming pool in the development		✔ ✔ ✔ ✔	✔ ✔ ✔ ✔

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">a tap that is located within 10 metres of the outdoor spa in the development		✔	✔
Swimming Pool			
The swimming pool must not have a volume greater than 42 kilolitres.	✔	✔	
The swimming pool must be outdoors.	✔	✔	
Outdoor Spa			
The spa must not have a volume greater than 2 kilolitres.	✔	✔	
The spa must have a spa cover.		✔	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✔	✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Insulation
floor - concrete slab on ground, conventional slab.	222.4	polyurethane
floor - suspended floor above garage, concrete - suspended; frame: no frame.	225.3	polyurethane
garage floor - concrete slab on ground.	55.3	polyurethane
external wall: cavity brick; frame: no frame.	all external walls	polyurethane
external garage wall: cavity brick; frame: no frame.	56	polyurethane
internal wall: single skin masonry; frame: no frame.	448	none
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	208	ceiling: fibreglass batts or roll; roof: none.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✔	✔	✔

Frames	Maximum area - m2
aluminium	178.99
timber	0
uPVC	0
steel	0
composite	0

Glazing	Maximum area - m2
single	35.39
double	143.6
triple	0

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LOT 48 in DP 165052 - 1042m2

CLIENT:
Private



STATUS:

DA

DATE:
180525

SCALE:
1:100@A3

PROJECT NUMBER:
2427

STAGE:
DA

DRAWN/DESIGNED:
PB / MP

ISSUE:

DRAWING NO:

DA22

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 2.5 star (average zone)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 2.5 star (average zone)		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 2.5 star (average zone)		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 2.5 star (average zone)		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): no heating		✔	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: single speed with a performance of 5 stars.		✔	
The applicant must install a timer for the swimming pool pump in the development.		✔	
Outdoor spa			
The applicant must install the following heating system for the spa in the development (or alternatively must not install any heating system for the spa): no heating		✔	
The applicant must install a timer for the spa pump in the development.		✔	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✔	✔	✔
The photovoltaic system must consist of: <ul style="list-style-type: none">photovoltaic collectors with the capacity to generate at least 3 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	



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1:100@A3

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PB / MP

PROJECT NUMBER:
2427

ISSUE:

DRAWING NO:
DA23