

FLOOR PLAN

NOTES: All structures including stormwater & drainage to engineer's details

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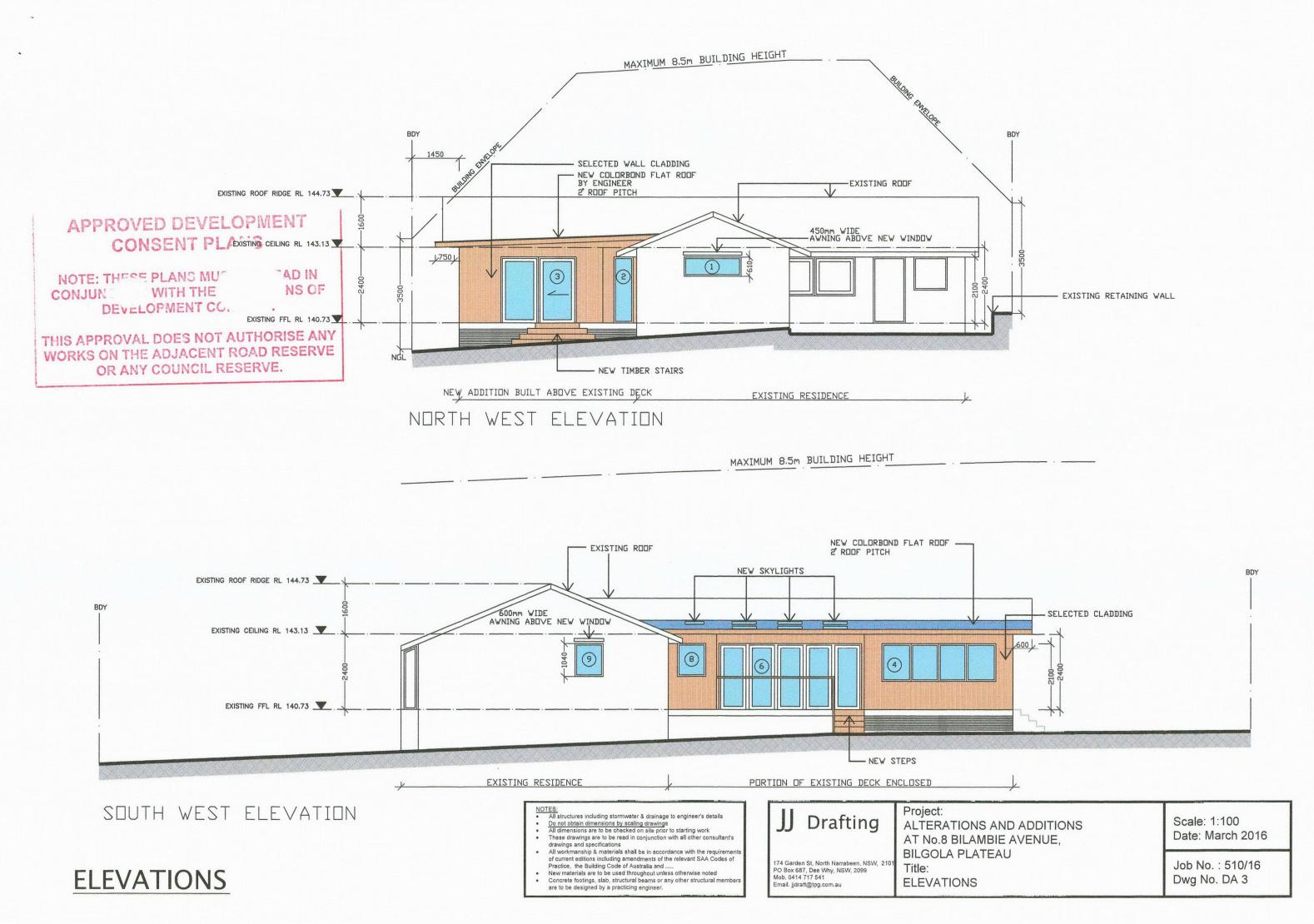
 Concrete footings, slab, structural beams or any other structural member are to be designed by a practicing engineer.

Drafting

Email. jjdraft@tpg.com.au

ALTERATIONS AND ADDITIONS AT No.8 BILAMBIE AVENUE, **BILGOLA PLATEAU** 174 Garden St, North Narrabeen, NSW, 2 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541

Title: FLOOR PLAN Scale: 1:100 Date: March 2016



SPECIFICATION NOTES:

EXTERNAL WALLS

LIGHT FRAME WALLS FINISHED DFF WITH SELECTED CLADDING

DOORS AND WINDOWS

ALUMINIUM FRAMED WINDOWS AND DOORS
WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS

TIMBER FLOOR FRAMING TO BE FINISHED WITH T&G HARDWOOD FLOORING
 TILES ON COMPRESSED FC TO ENSUITE

• NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE

ALL WATERPROOFING TO AS3740
PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET

AREA FLOORS AND SHOWER WALLS TO MANUFACTURERS INSTRUCTIONS PROVIDE FIBRE CEMENT SHEETING TO BATHROOM / LAUNDRY

RODFING

· COLORBOND ROOF CLADDING

GUTTERS AND DOWNPIPES

COLORBOND GUTTERS AND DOWNPIPES
MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

FLASHING AND CAPPINGS

SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180

FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm TVFRI AP

PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION

TERMITE CONTROL

TD AS3660.1

TIMBER FRAMING

USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY
DD NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED

LOCATION ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684

ALL WURKMANSHIP AND MATERIALS SHALL BE IN ACCURDANCE AND 1720 AS APPLICABLE PROVIDE STRUCTURE BRACING IN ACCURDANCE WITH AS1684 USE GALVANISED FIXINGS WHERE EXPUSED TO WEATHER

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600 FOOTINGS TO BE IN ACCORDANCE WITH AS1480

ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304

INTERNAL LININGS

PROVIDE PLASTERBOARD LINING

SMOKE ALARMS

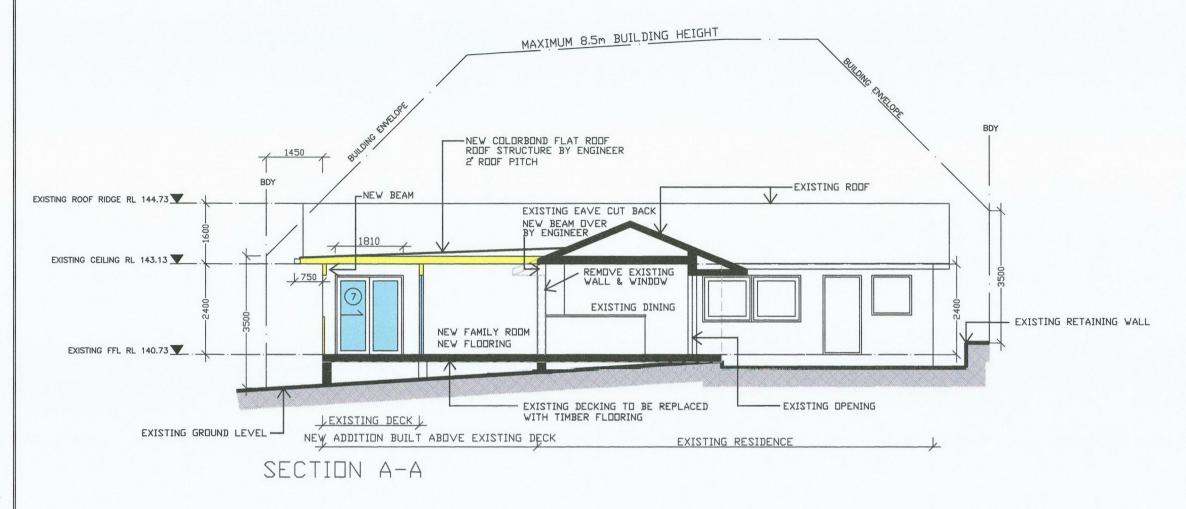
CONNECT TO CONSUMER MAINS POWER AND INSTALL TO AS1670.6. 1997 (fire detection, warning control and intercom systems - systems design, installation and commissioning - smoke alarms) and as3786 -1996 (smoke alarms)

WASTE MANAGEMENT

ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT ALL WASTE SHALL BE COVERED DURING TRANSPORTATION WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL

SEDIMENT CONTROL

A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM



THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE BASIX REPORT

BASIX COMMITMENTS

SHOWER RATING — — — — MINIMUM 3 STAR TAP RATING — KITCHEN, BATHROOM / LAUNDRY — — — MINIMUM 3 STAR TOLLET RATING — — — — MINIMUM 3 STAR

INSULATION REQUIREMENTS

SUSPENDED FLOOR WITH OPEN SUBFLOOR: FRAMED (RO.7), ADDITIONAL INSULATION REQUIRED = RO.8(DOWN) (OR R1.50 INCLUDING CONSTRUCTION

EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD. ADDITIONAL INSULATION REQUIRED = R1.30 (OR R1.70 INCLUDING CONSTRUCTION.

EXTERNAL WALL: DTHER / UNDECIDED, ADDITIONAL INSULATION REQUIRED = R1.70 (INCLUDING CONSTRUCTION)
 FLAT CEILING, FLAT ROOF: FRAMED, ADDITIONAL INSULATION REQUIRED = CEILING: R3.00(UP), ROOF: FOIL/SARKING

LIGHTING REQUIREMENTS

40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUCRESCENT, COMPACT FLUCRESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

APPROVED DEVELOPMENT CONSENT PLAT'S

NOTE: THESE PLANS MU AD IN CONJUN WITH THE NS OF DEVELOPMENT CO.

THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.

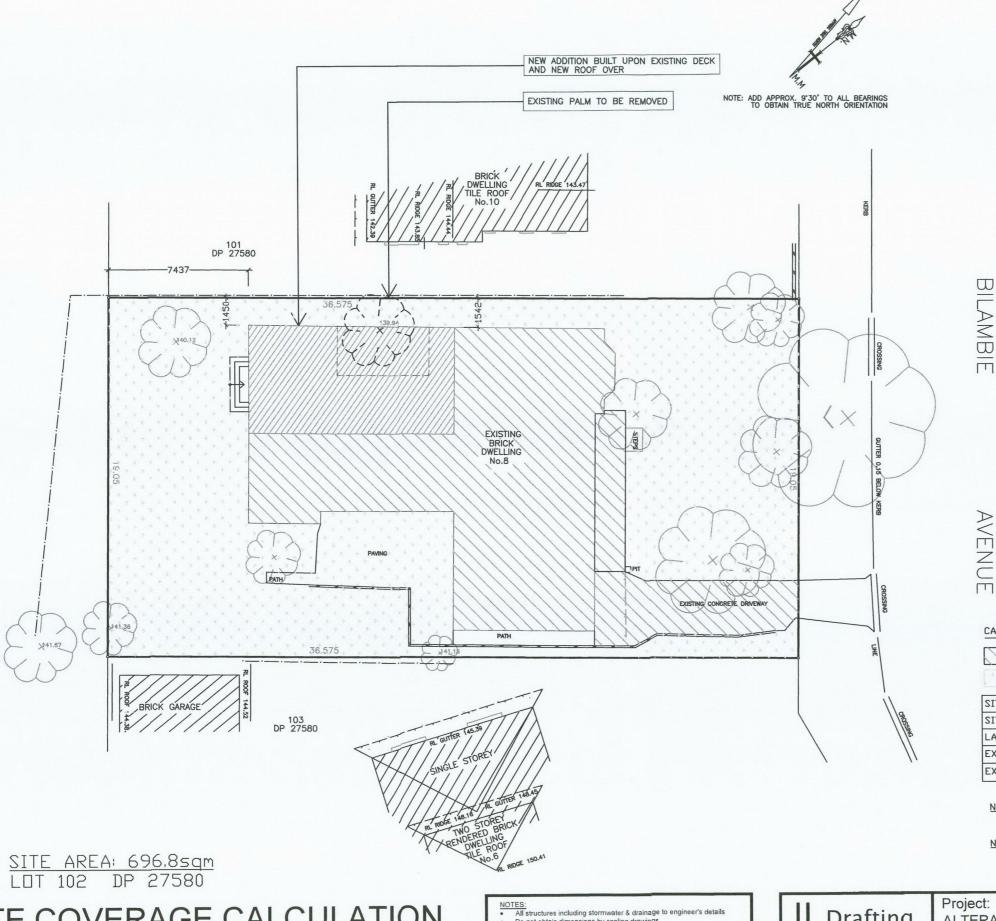
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ALTERATIONS AND ADDITIONS AT No.8 BILAMBIE AVENUE. **BILGOLA PLATEAU** Title: SECTION

Scale: 1:100 Date: March 2016



APPROVED DEVELOPMENT CONSENT PLATS

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CALCULATIONS

SITE COVERAGE LANDSCAPING

696.8sqm SITE AREA 278.72sqm SITE COVERAGE MAX 40% 418.08sqm MIN 60% LANDSCAPING EXISTING SITE COVERAGE 40% 279.79sqm 399.7sqm EXISTING LANDSCAPING

THERE WILL BE NO CHANGE TO THE EXISTING SITE COVERAGE AREA THERE WILL BE NO CHANGE TO THE EXISTING LANDSCAPING AREA

6% (40.5sqm) OF SITE AREA ALLOWABLE AS LANDSCAPING IF USED FOR DUTDOOR RECREATIONAL LIVING

SITE COVERAGE CALCULATION **PLAN**

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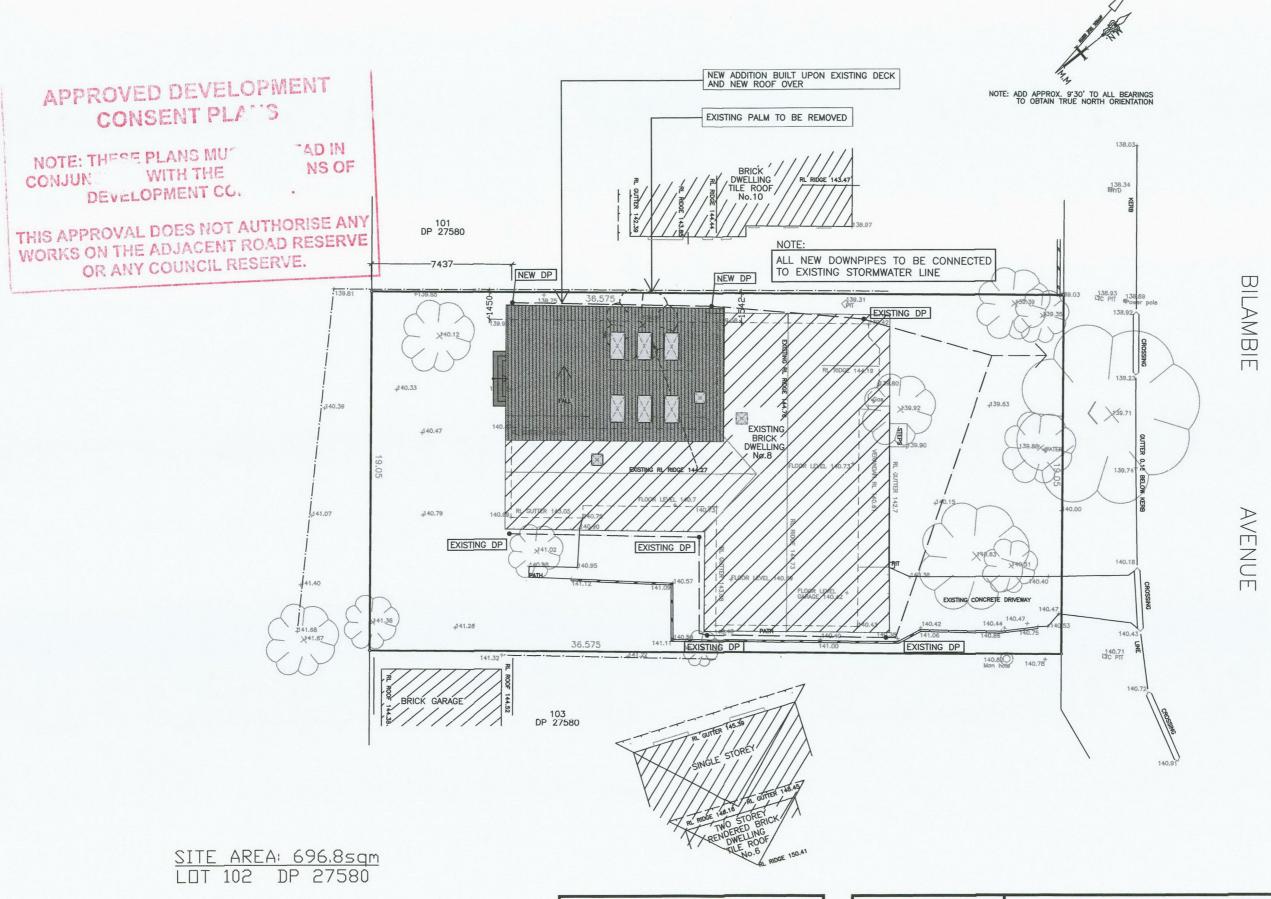
Project:

ALTERATIONS AND ADDITIONS AT No.8 BILAMBIE AVENUE, **BILGOLA PLATEAU**

Title:

SITE COVERAGE CALCULATION PLAN

Scale: 1:200 Date: March 2016



STORMWATER CONCEPT PLAN

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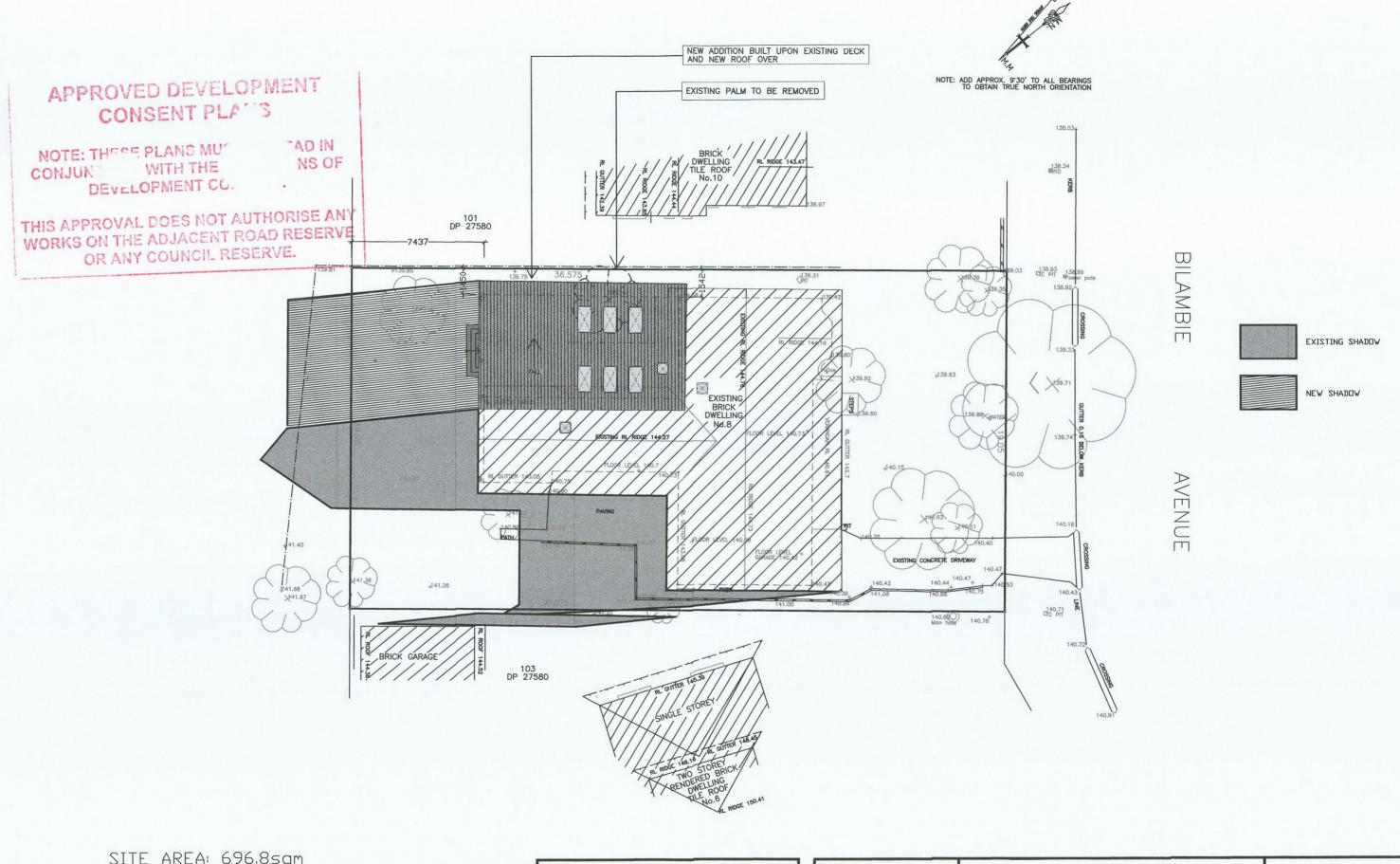
STORMWATER CONCEPT PLAN

BILGOLA PLATEAU

Date: March 2016

Job No.: 510/16 Dwg No. DA 6

Scale: 1:200



SITE AREA: 696.8sqm LOT 102 DP 27580

SHADOW DIAGRAM (21 JUNE 9am)

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- All septembers in a parterisk chall be in accordance with the requirement All workmanship & materials shall be in accordance with the requi
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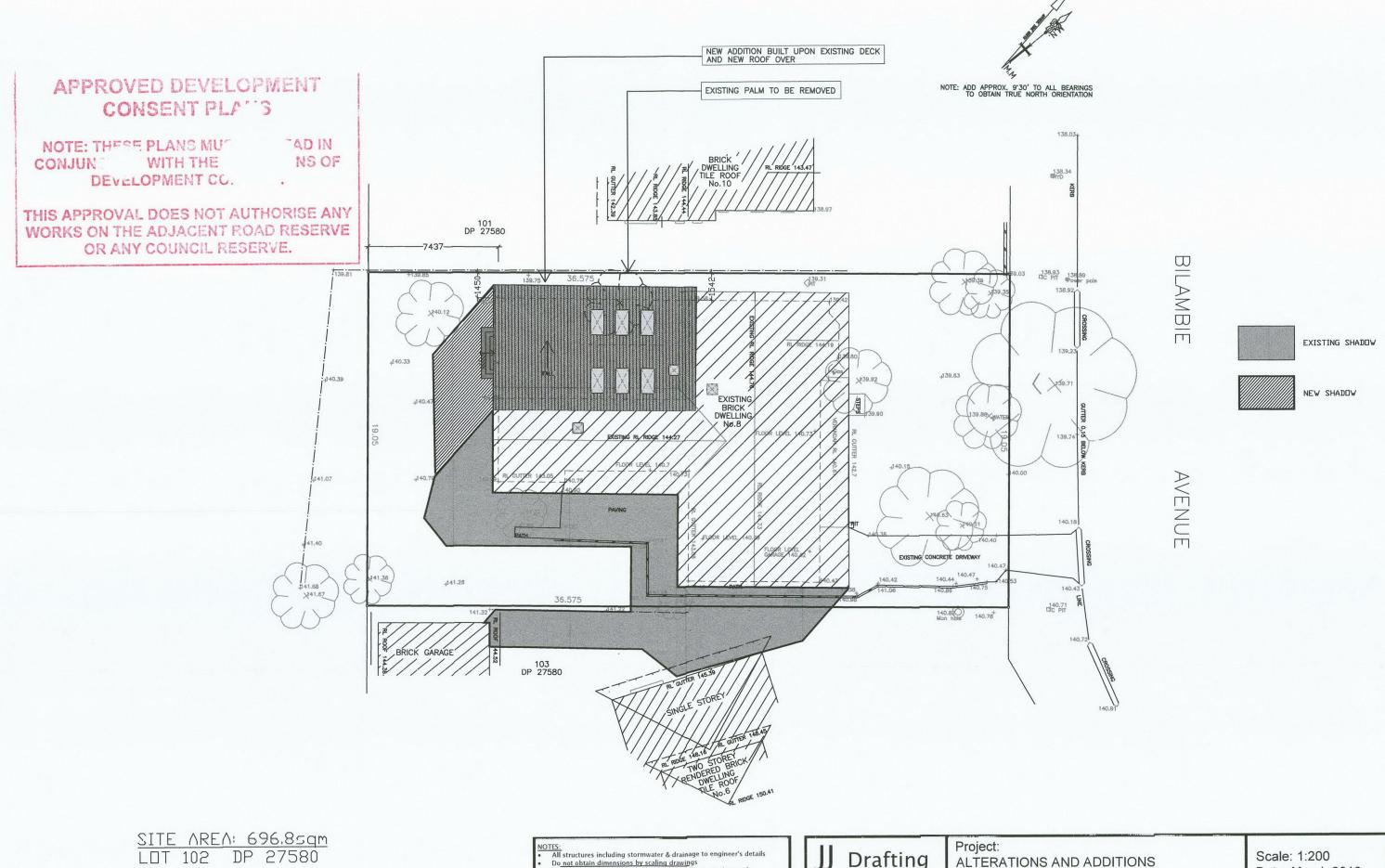
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ALTERATIONS AND ADDITIONS AT No.8 BILAMBIE AVENUE, **BILGOLA PLATEAU**

SHADOW DIAGRAM 21 June 9am

Scale: 1:200 Date: March 2016



SHADOW DIAGRAM (21 JUNE 12 pm)

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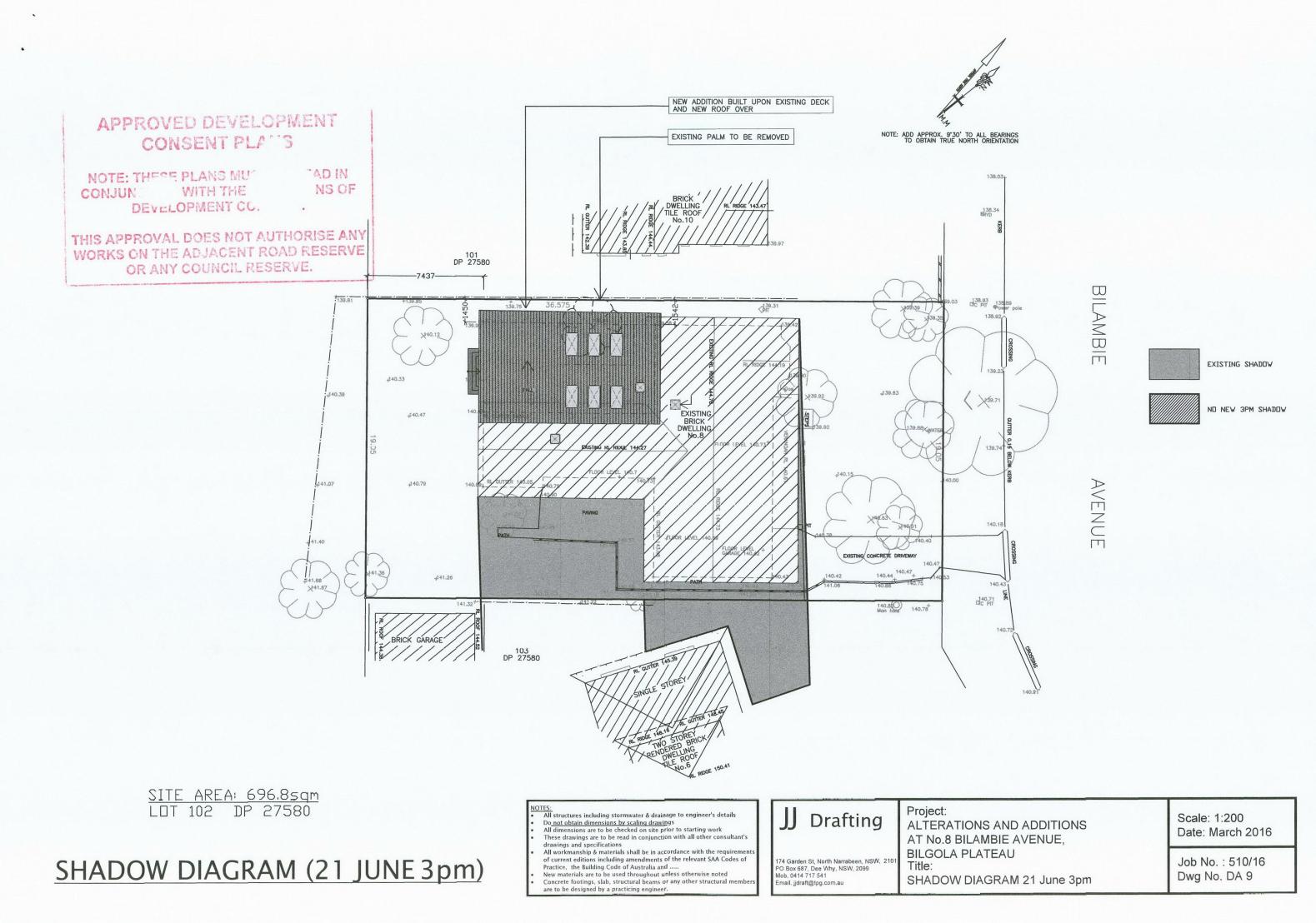
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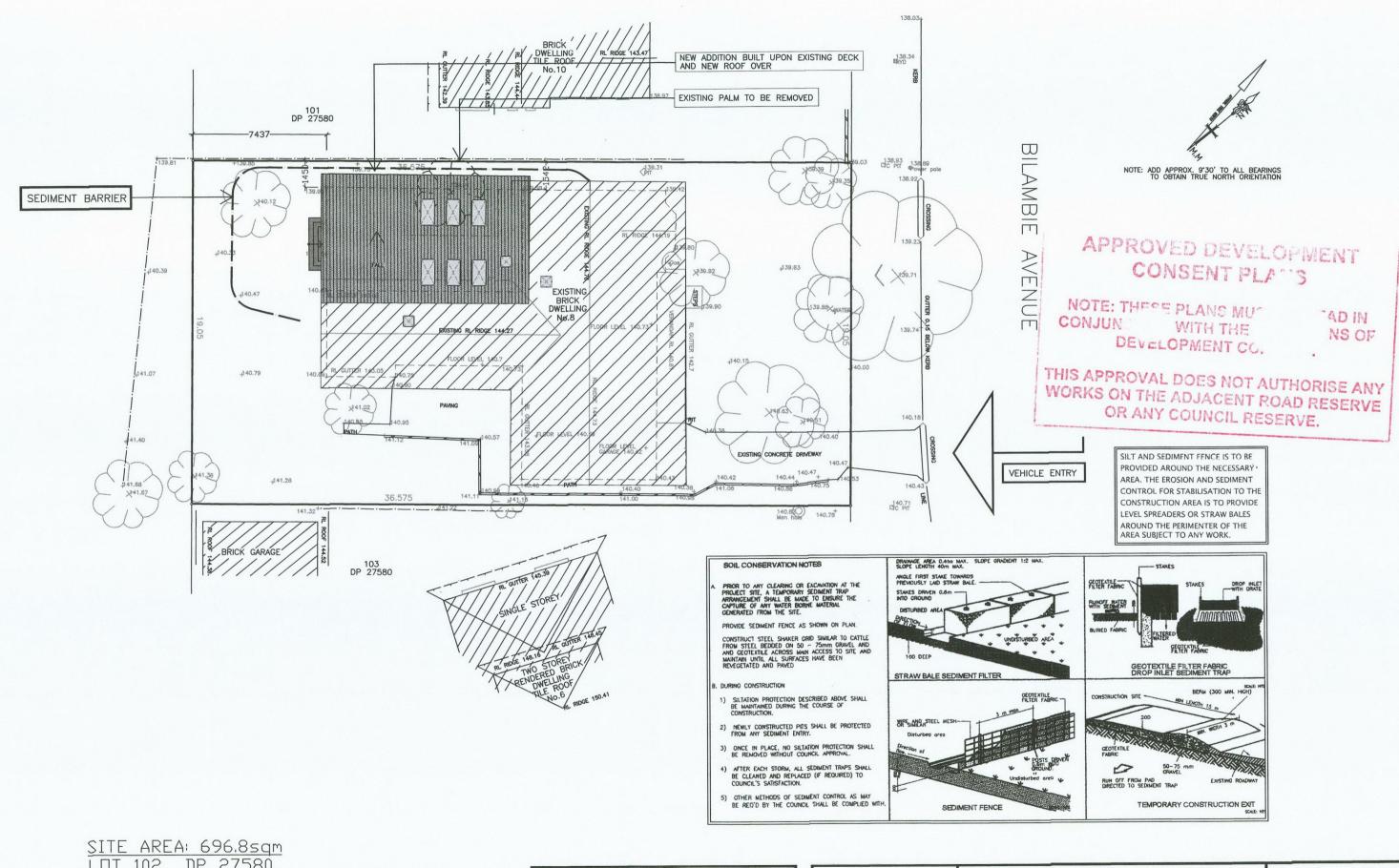
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ALTERATIONS AND ADDITIONS AT No.8 BILAMBIE AVENUE, **BILGOLA PLATEAU**

SHADOW DIAGRAM 21 June 12pm

Date: March 2016





SITE AREA: 696.8sqm LOT 102 DP 27580

EROSION & SEDIMENT CONTROL PLAN

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Title:

EROSION & SEDIMENT CONTROL PLAN

Scale: 1:200 Date: March 2016