

**APPROVED DEVELOPMENT CONSENT PLANS**

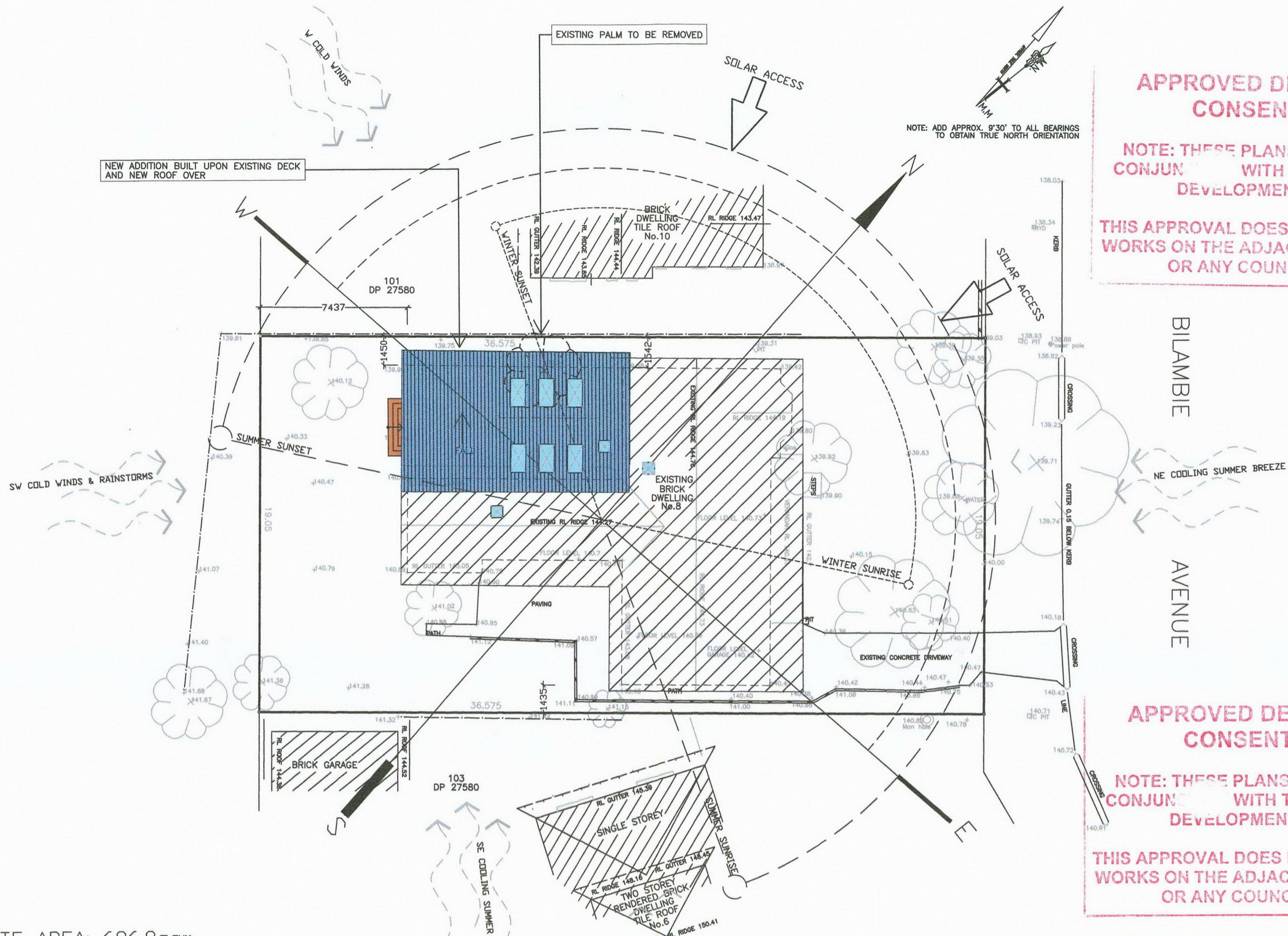
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE DEVELOPMENT CONSENTS OF THE DEVELOPMENT CO.

**THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.**

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NOTE: ADD APPROX. 9'30" TO ALL BEARINGS TO OBTAIN TRUE NORTH ORIENTATION

SITE AREA: 696.8sqm  
LOT 102 DP 27580

**SITE ANALYSIS PLAN**

- NOTES:**
- All structures including stormwater & drainage to engineer's details
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**JJ Drafting**

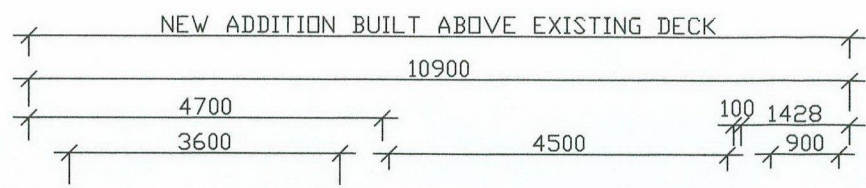
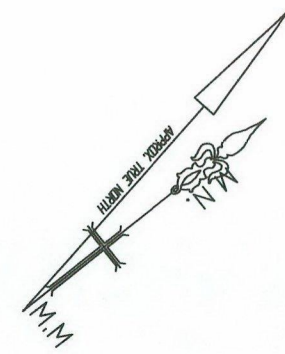
174 Garden St, North Narrabeen, NSW, 2101  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541  
Email. jjdraft@jppg.com.au

**Project:**  
ALTERATIONS AND ADDITIONS  
AT No.8 BILAMBIE AVENUE,  
BILGOLA PLATEAU

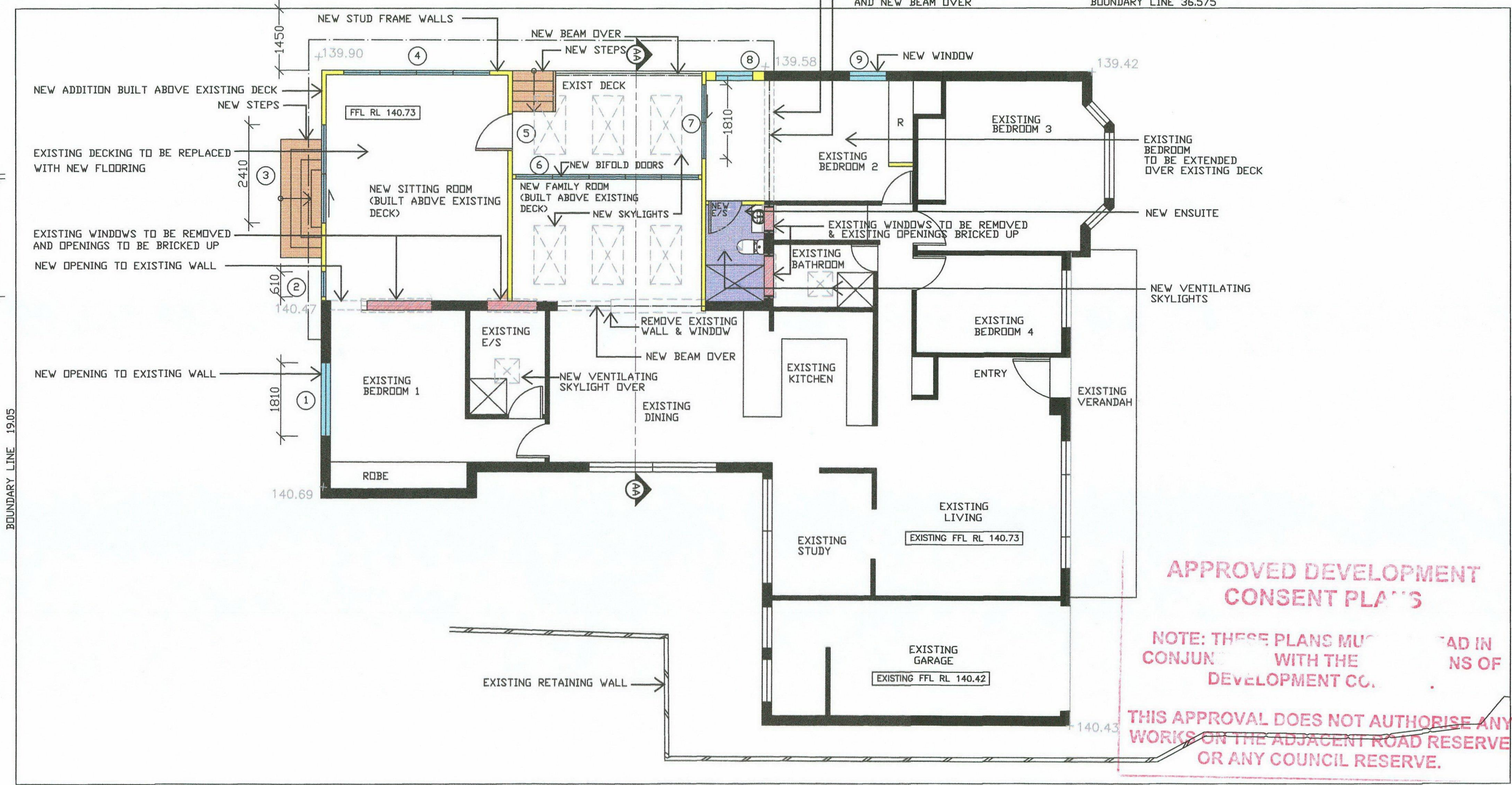
**Title:**  
SITE ANALYSIS PLAN

**Scale:** 1:200  
**Date:** March 2016

**Job No. :** 510/16  
**Dwg No. DA 1**



NEW ADDITION BUILT ABOVE EXISTING DECK



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# FLOOR PLAN

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**Project:**  
ALTERATIONS AND ADDITIONS  
AT No.8 BILAMBIE AVENUE,  
BILGOLA PLATEAU

**Title:**  
FLOOR PLAN

**Scale:** 1:100  
**Date:** March 2016

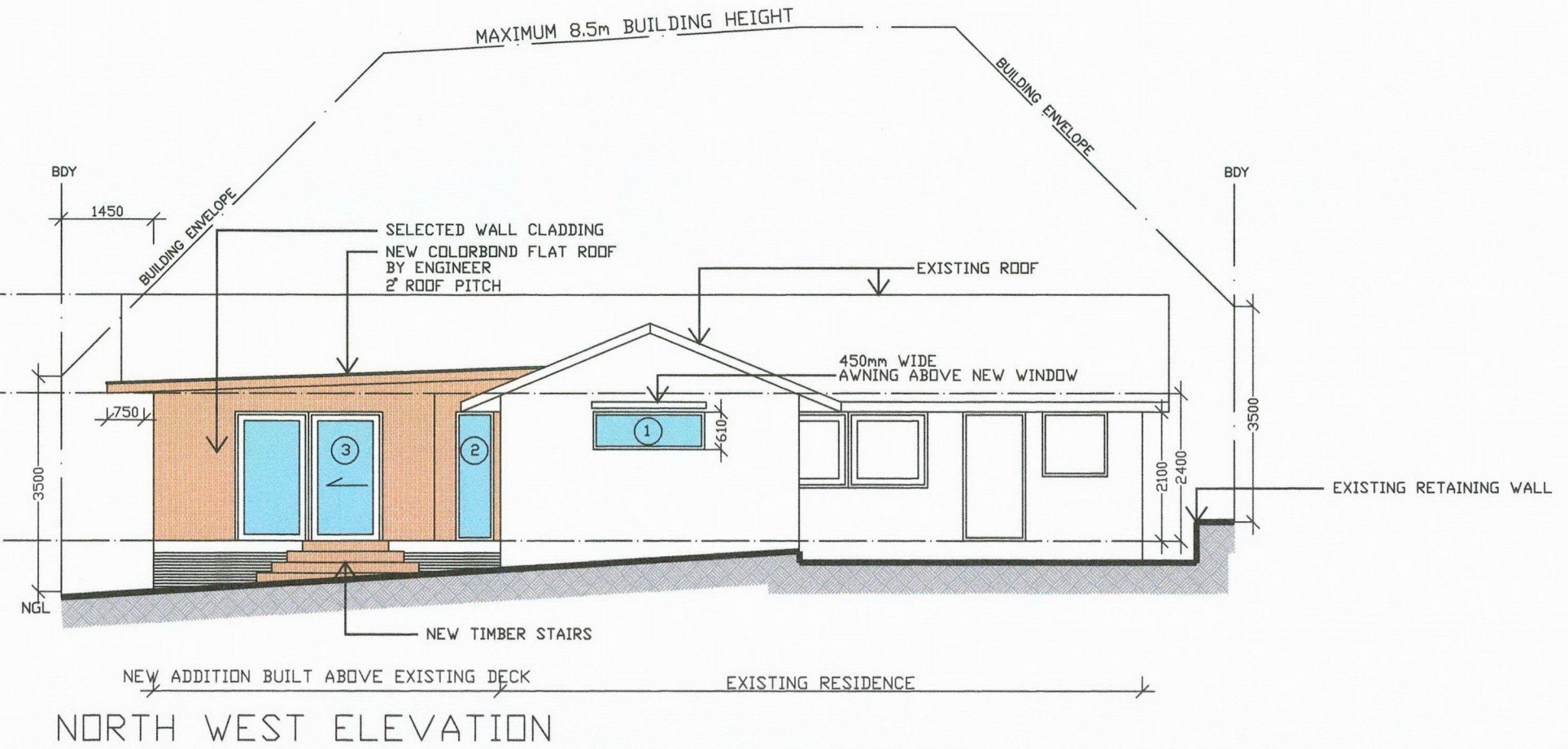
**Job No. :** 510/16  
**Dwg No.** DA 2

BILAMBIE AVENUE

**APPROVED DEVELOPMENT  
CONSENT PLANS**

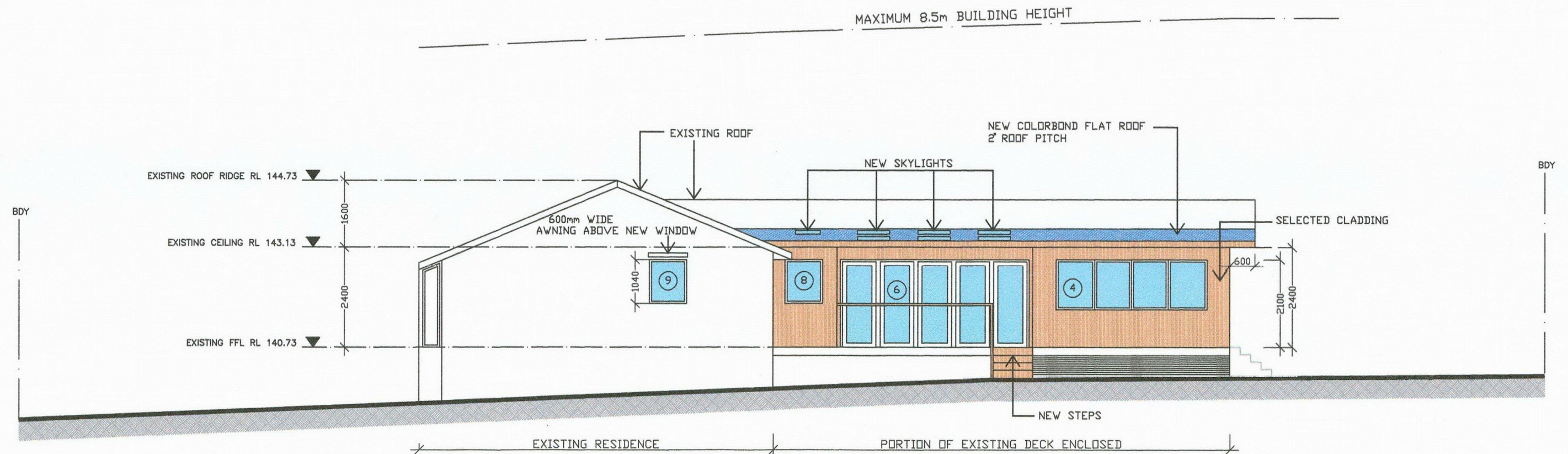
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NEW ADDITION BUILT ABOVE EXISTING DECK      EXISTING RESIDENCE

**NORTH WEST ELEVATION**



**SOUTH WEST ELEVATION**

**ELEVATIONS**

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 ELEVATIONS

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**Date:** March 2016

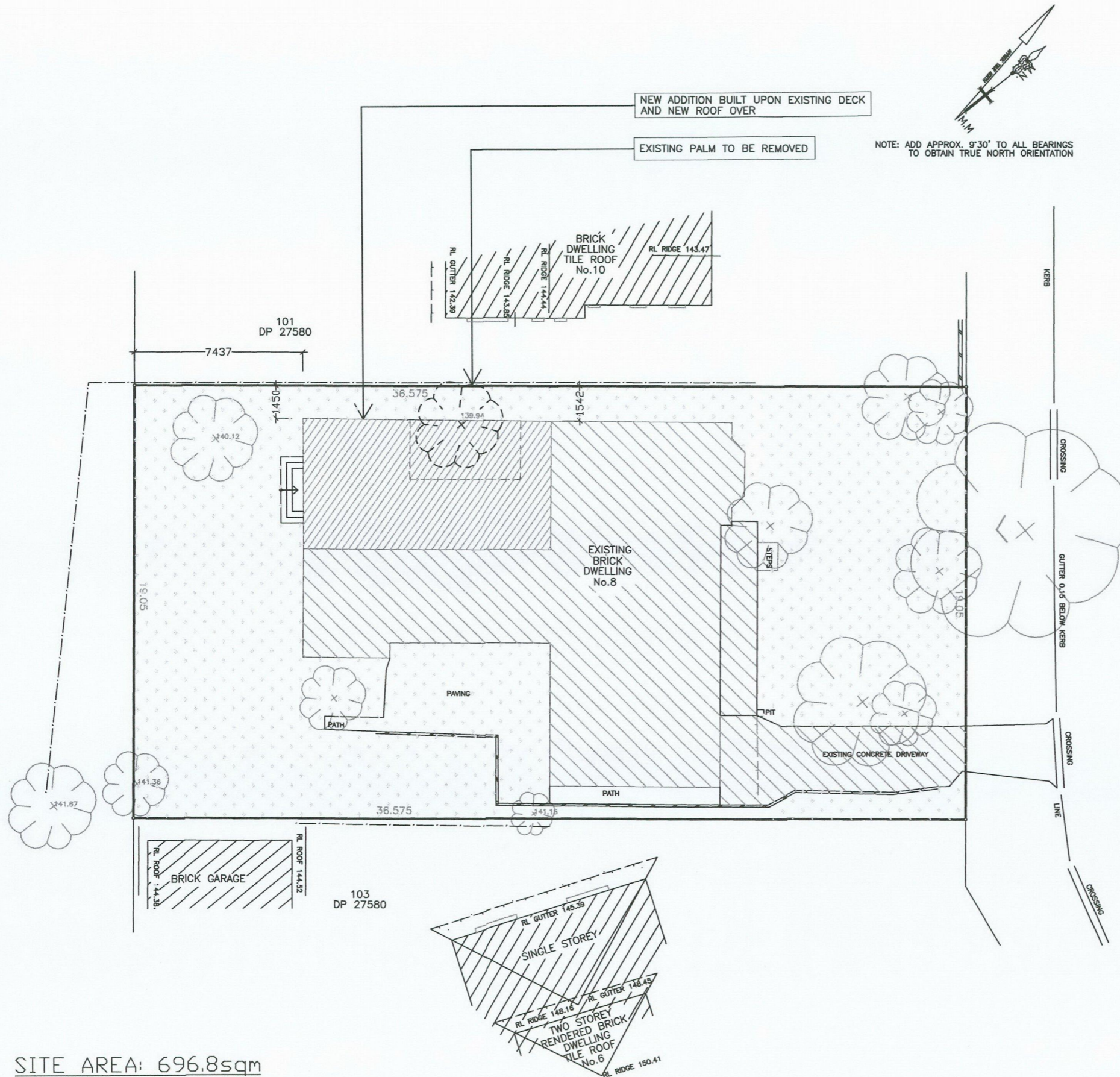
**Job No. :** 510/16  
**Dwg No.** DA 3



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**CALCULATIONS**

- SITE COVERAGE
- LANDSCAPING

SITE AREA		696.8sqm
SITE COVERAGE	MAX 40%	278.72sqm
LANDSCAPING	MIN 60%	418.08sqm
EXISTING SITE COVERAGE	40%	279.79sqm
EXISTING LANDSCAPING	57%	399.7sqm

NOTE: THERE WILL BE NO CHANGE TO THE EXISTING SITE COVERAGE AREA  
THERE WILL BE NO CHANGE TO THE EXISTING LANDSCAPING AREA

NOTE: 6% (40.5sqm) OF SITE AREA ALLOWABLE  
AS LANDSCAPING IF USED FOR  
OUTDOOR RECREATIONAL LIVING

SITE AREA: 696.8sqm  
LOT 102 DP 27580

**SITE COVERAGE CALCULATION  
PLAN**

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Project:  
ALTERATIONS AND ADDITIONS  
AT No.8 BILAMBIE AVENUE,  
BILGOLA PLATEAU  
Title:  
SITE COVERAGE CALCULATION PLAN

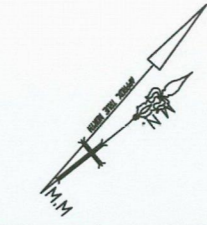
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Date: March 2016

Job No. : 510/16  
Dwg No. DA 5

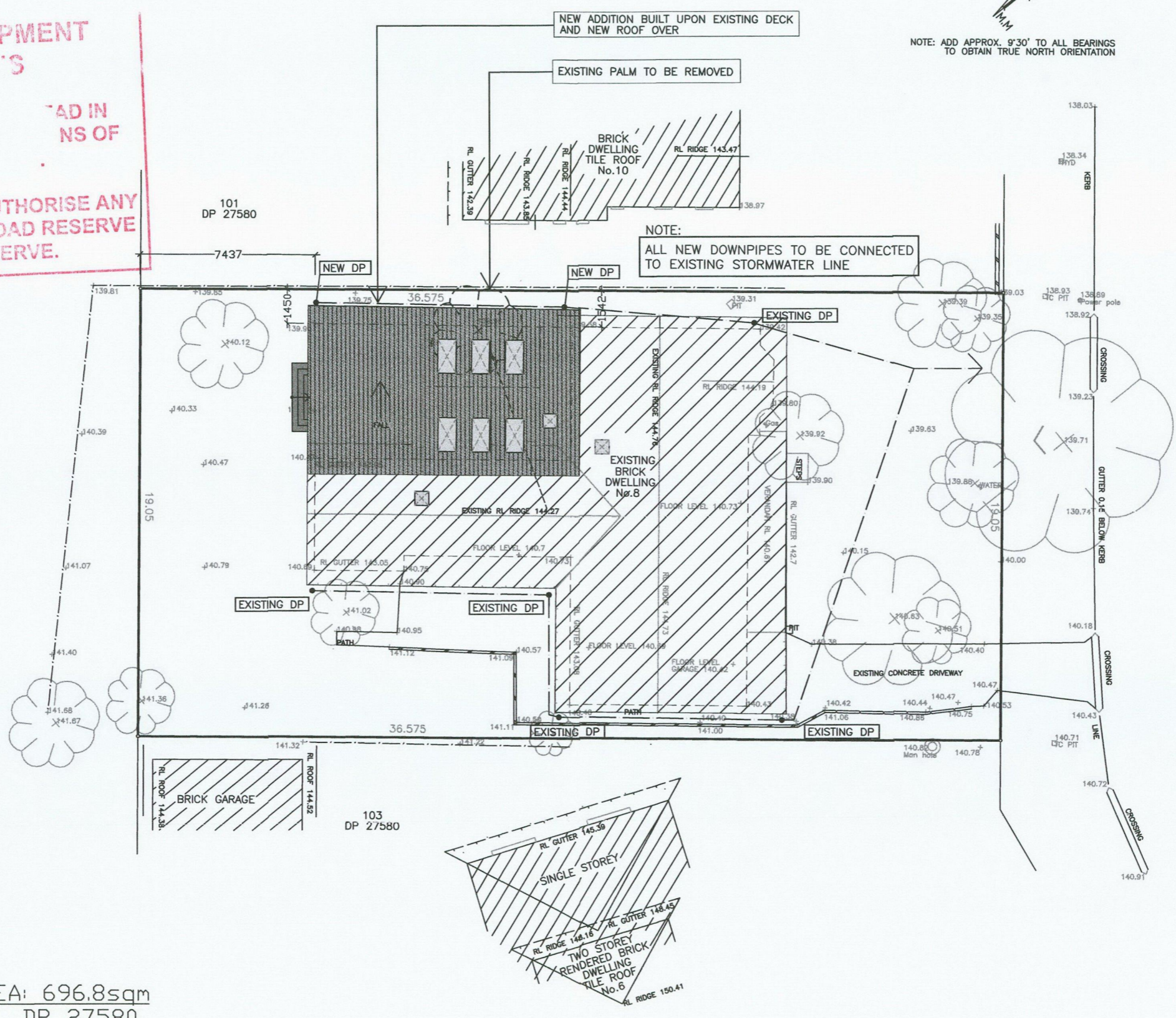
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NOTE: ADD APPROX. 9°30' TO ALL BEARINGS  
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SITE AREA: 696.8sqm  
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**STORMWATER CONCEPT PLAN**

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ALTERATIONS AND ADDITIONS  
AT No.8 BILAMBIE AVENUE,  
BILGOLA PLATEAU

Title:  
STORMWATER CONCEPT PLAN

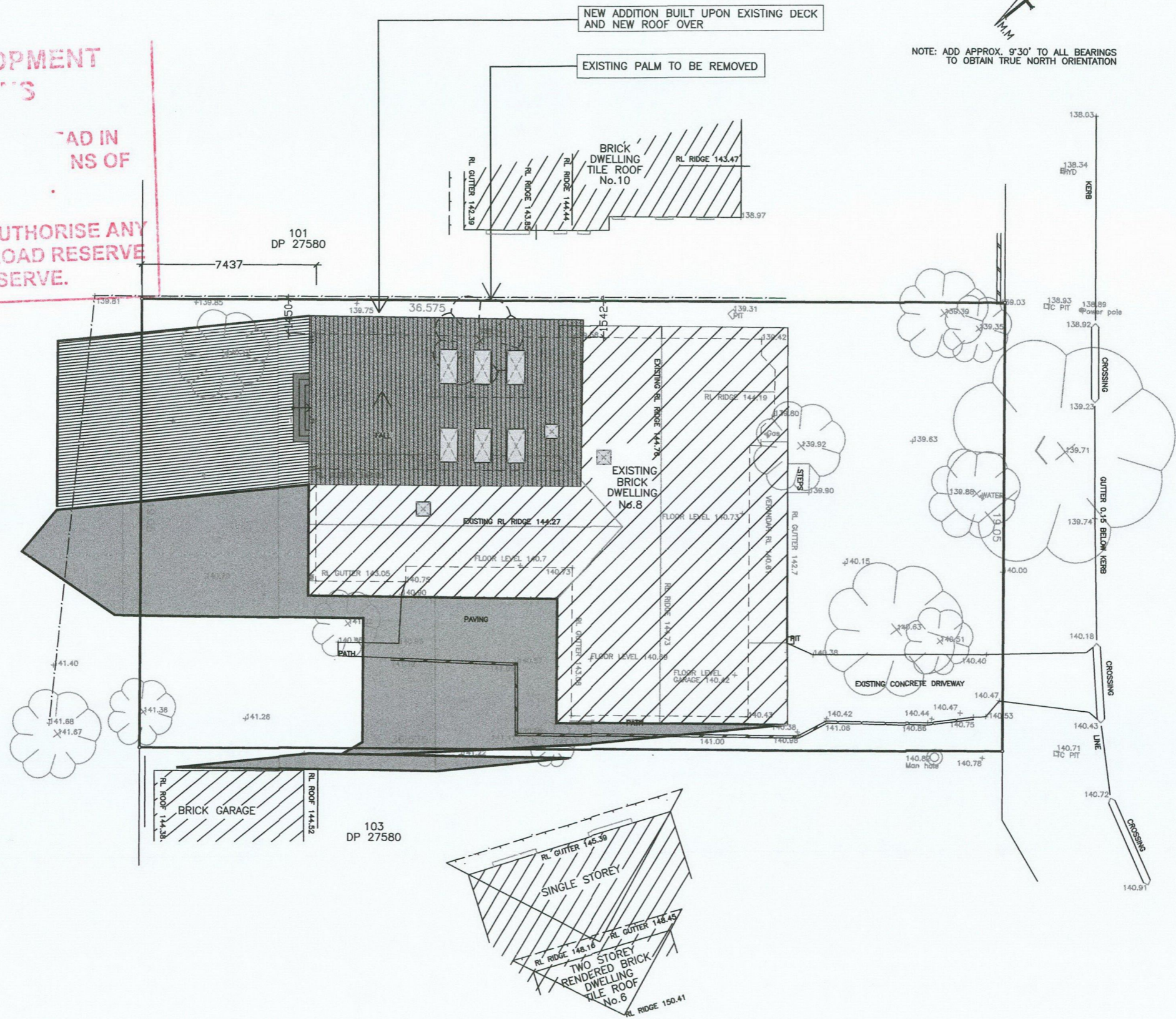
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Job No. : 510/16  
Dwg No. DA 6

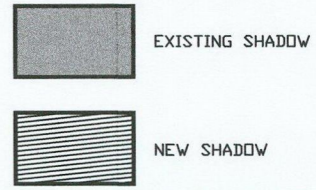
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**SHADOW DIAGRAM (21 JUNE 9am)**

- NOTES:**
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Project:  
ALTERATIONS AND ADDITIONS  
AT No.8 BILAMBIE AVENUE,  
BILGOLA PLATEAU  
Title:  
SHADOW DIAGRAM 21 June 9am

Scale: 1:200  
Date: March 2016

Job No. : 510/16  
Dwg No. DA 7

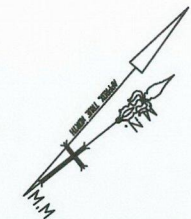
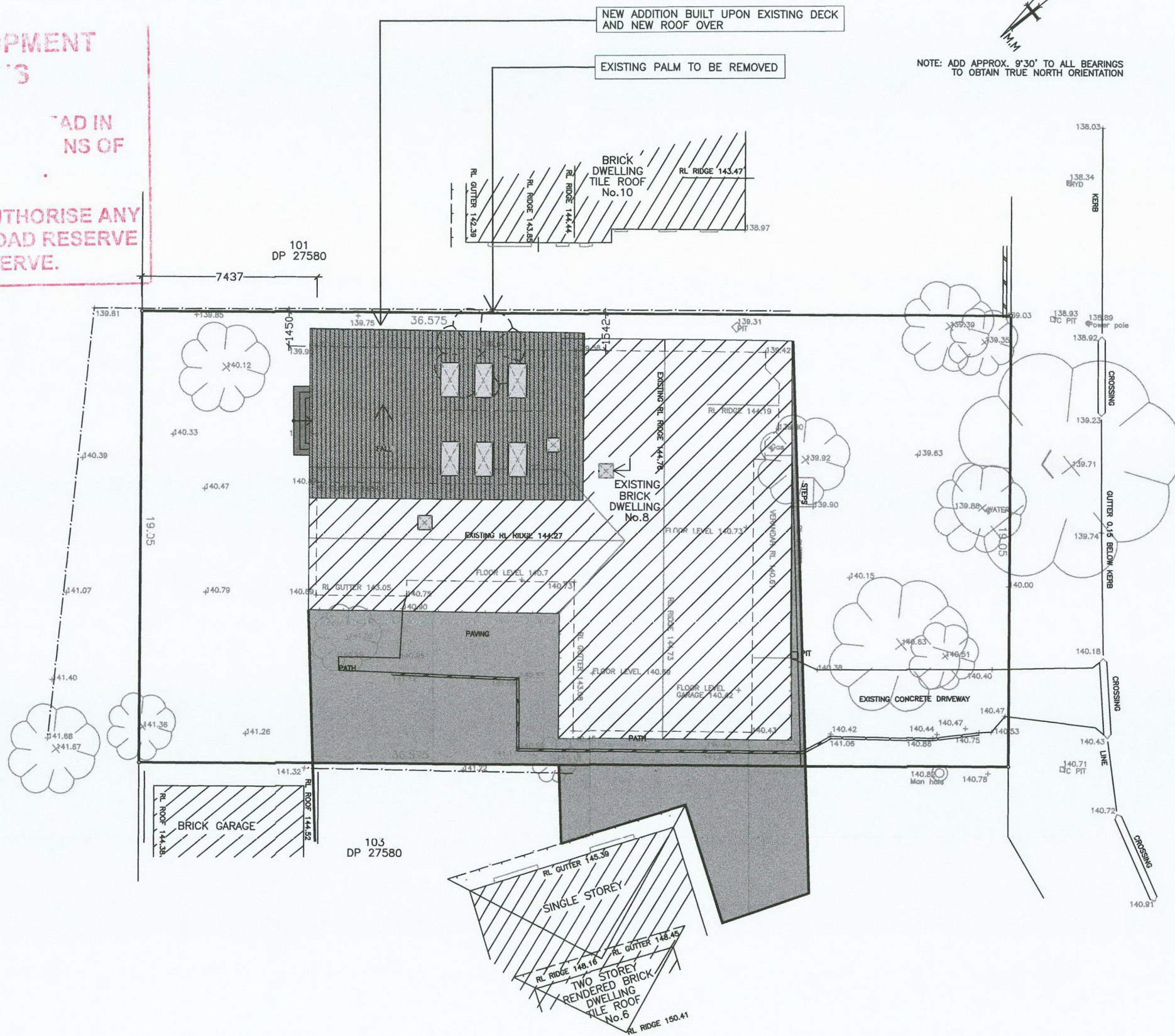




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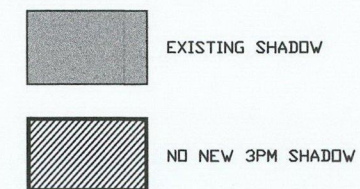
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BILAMBIE  
AVENUE



SITE AREA: 696.8sqm  
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**SHADOW DIAGRAM (21 JUNE 3pm)**

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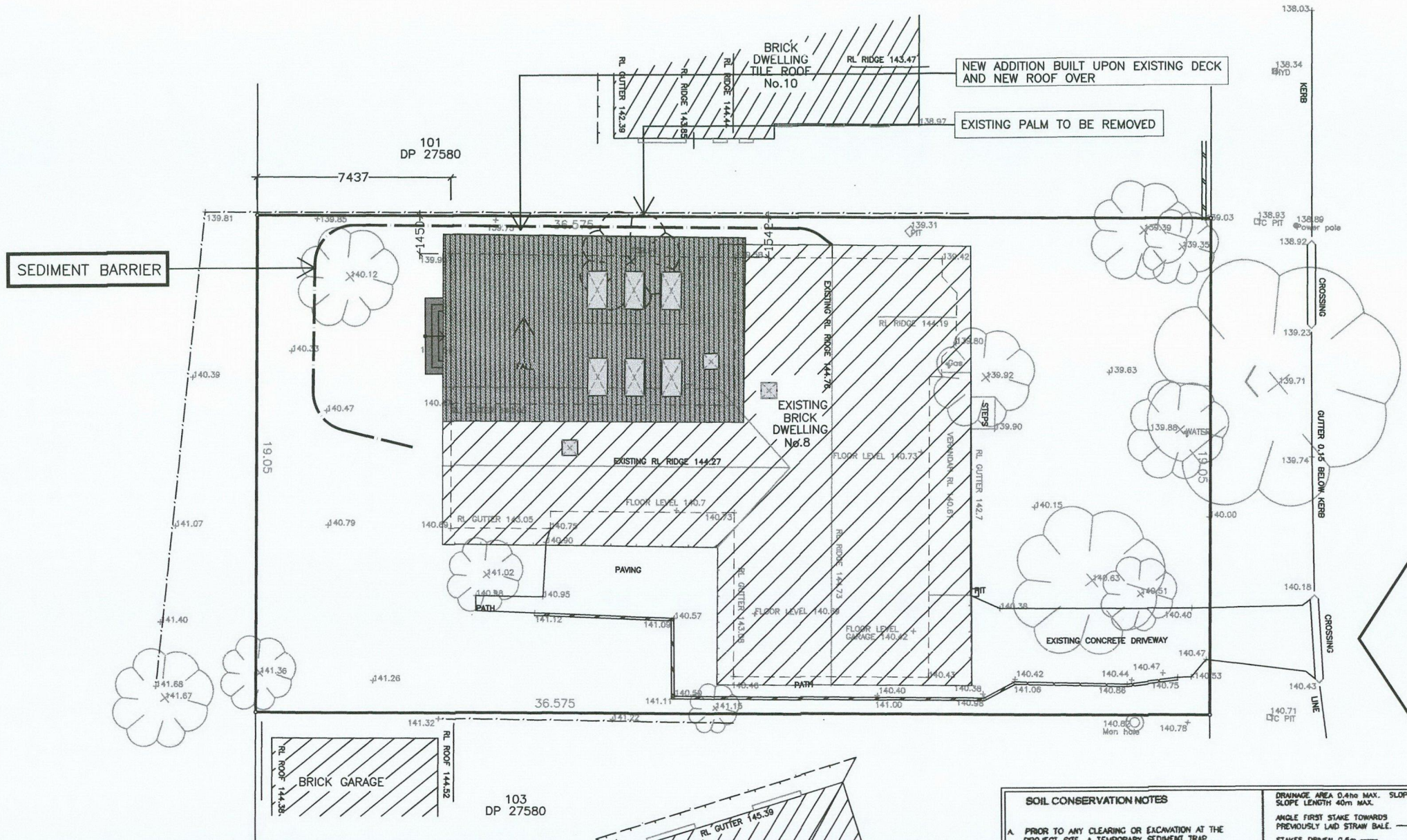
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ALTERATIONS AND ADDITIONS  
AT No.8 BILAMBIE AVENUE,  
BILGOLA PLATEAU  
Title:  
SHADOW DIAGRAM 21 June 3pm

Scale: 1:200  
Date: March 2016

Job No. : 510/16  
Dwg No. DA 9



BILAMBIE AVENUE

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SILT AND SEDIMENT FENCE IS TO BE PROVIDED AROUND THE NECESSARY AREA. THE EROSION AND SEDIMENT CONTROL FOR STABILISATION TO THE CONSTRUCTION AREA IS TO PROVIDE LEVEL SPREADERS OR STRAW BALES AROUND THE PERIMETER OF THE AREA SUBJECT TO ANY WORK.

VEHICLE ENTRY

**SOIL CONSERVATION NOTES**

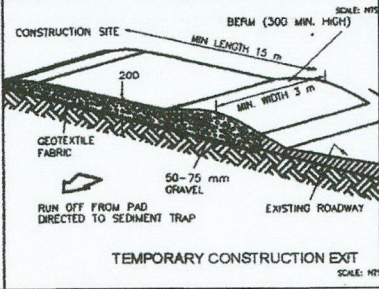
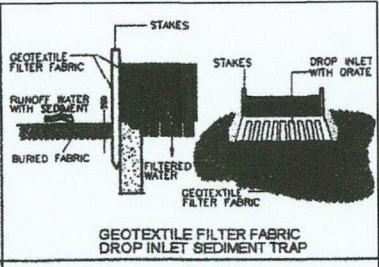
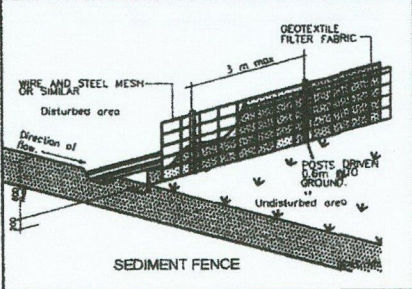
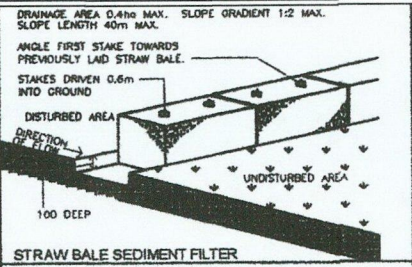
A. PRIOR TO ANY CLEARING OR EXCAVATION AT THE PROJECT SITE, A TEMPORARY SEDIMENT TRAP ARRANGEMENT SHALL BE MADE TO ENSURE THE CAPTURE OF ANY WATER BORNE MATERIAL GENERATED FROM THE SITE.

PROVIDE SEDIMENT FENCE AS SHOWN ON PLAN.

CONSTRUCT STEEL SHAKER GRID SIMILAR TO CATTLE FROM STEEL BEDDED ON 50 - 75mm GRAVEL AND AND GEOTEXTILE ACROSS MAIN ACCESS TO SITE AND MAINTAIN UNTIL ALL SURFACES HAVE BEEN REVEGETATED AND PAVED

B. DURING CONSTRUCTION

- 1) SILTATION PROTECTION DESCRIBED ABOVE SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.
- 2) NEWLY CONSTRUCTED PITS SHALL BE PROTECTED FROM ANY SEDIMENT ENTRY.
- 3) ONCE IN PLACE, NO SILTATION PROTECTION SHALL BE REMOVED WITHOUT COUNCIL APPROVAL.
- 4) AFTER EACH STORM, ALL SEDIMENT TRAPS SHALL BE CLEANED AND REPLACED (IF REQUIRED) TO COUNCIL'S SATISFACTION.
- 5) OTHER METHODS OF SEDIMENT CONTROL AS MAY BE REQ'D BY THE COUNCIL SHALL BE COMPLIED WITH.



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**EROSION & SEDIMENT CONTROL PLAN**

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Project:  
**ALTERATIONS AND ADDITIONS AT No.8 BILAMBIE AVENUE, BILGOLA PLATEAU**

Title:  
**EROSION & SEDIMENT CONTROL PLAN**

Scale: 1:200  
Date: March 2016

Job No. : 510/16  
Dwg No. DA 10