

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

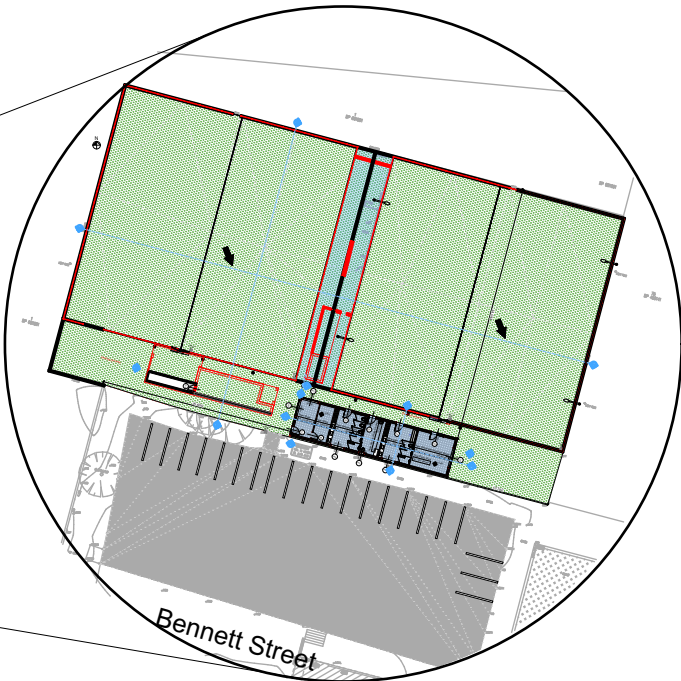
**DEVELOPMENT APPLICATION**  
**New Amenity Building & Additions**  
**For Oli Bramley**

**Cnr Bennett Street & Stirgess Avenue,**

**Curl Curl**

**Lot 4 D.P. 601758**

**Project Number: RP0620HAR**



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	2	- 9-4-2021
DA1001	A4 NOTIFICATION PLAN	2	- 9-4-2021
DA1002	SITE SURVEY	2	- 9-4-2021
DA1003	SITE SURVEY 2	2	- 9-4-2021
DA1004	SITE PLAN	2	- 9-4-2021
DA1005	Existing Ground Floor Plan	2	- 9-4-2021
DA1006	Existing Roof Plan	2	- 9-4-2021
DA1007	Demolition Ground Floor Plan	2	- 9-4-2021
DA1008	Demolition Roof Plan	2	- 9-4-2021
DA1009	Excavation & Fill Plan	2	- 9-4-2021
DA1010	Landscape Open Space Plan Existing	2	- 9-4-2021
DA1011	Landscape Open Space Existing 2	2	- 9-4-2021
DA1012	Landscape Open Space Plan Proposed	2	- 9-4-2021
DA1013	Landscape Open Space Proposed 2	2	- 9-4-2021
DA1014	Landscape Plan	2	- 9-4-2021
DA1015	Landscape Plan 2	2	- 9-4-2021
DA1016	Sediment & Erosion Plan	2	- 9-4-2021
DA1017	Waste Management Plan	2	- 9-4-2021
DA1018	Waste Management Plan 2	2	- 9-4-2021
DA1019	Stormwater Plan	2	- 9-4-2021
DA1020	Stormwater Plan 2	2	- 9-4-2021
DA2001	GROUND FLOOR	2	- 9-4-2021
DA2002	GROUND FLOOR 2	2	- 9-4-2021
DA2003	GROUND FLOOR 3	2	- 9-4-2021
DA2004	ROOF PLAN	2	- 9-4-2021
DA3000	SECTION 1	2	- 9-4-2021
DA3001	SECTION 2	2	- 9-4-2021
DA3002	SECTION 3	2	- 9-4-2021
DA4000	ELEVATIONS 1	2	- 9-4-2021
DA4001	ELEVATIONS 2	2	- 9-4-2021
DA4002	ELEVATIONS 3	2	- 9-4-2021
DA5000	PERSPECTIVE	2	- 9-4-2021
DA5001	MATERIAL & COLOUR SAMPLE BOARD	2	- 9-4-2021

**BASIX<sup>®</sup> Certificate**

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

**Single Dwelling**

Certificate number: 1130171S

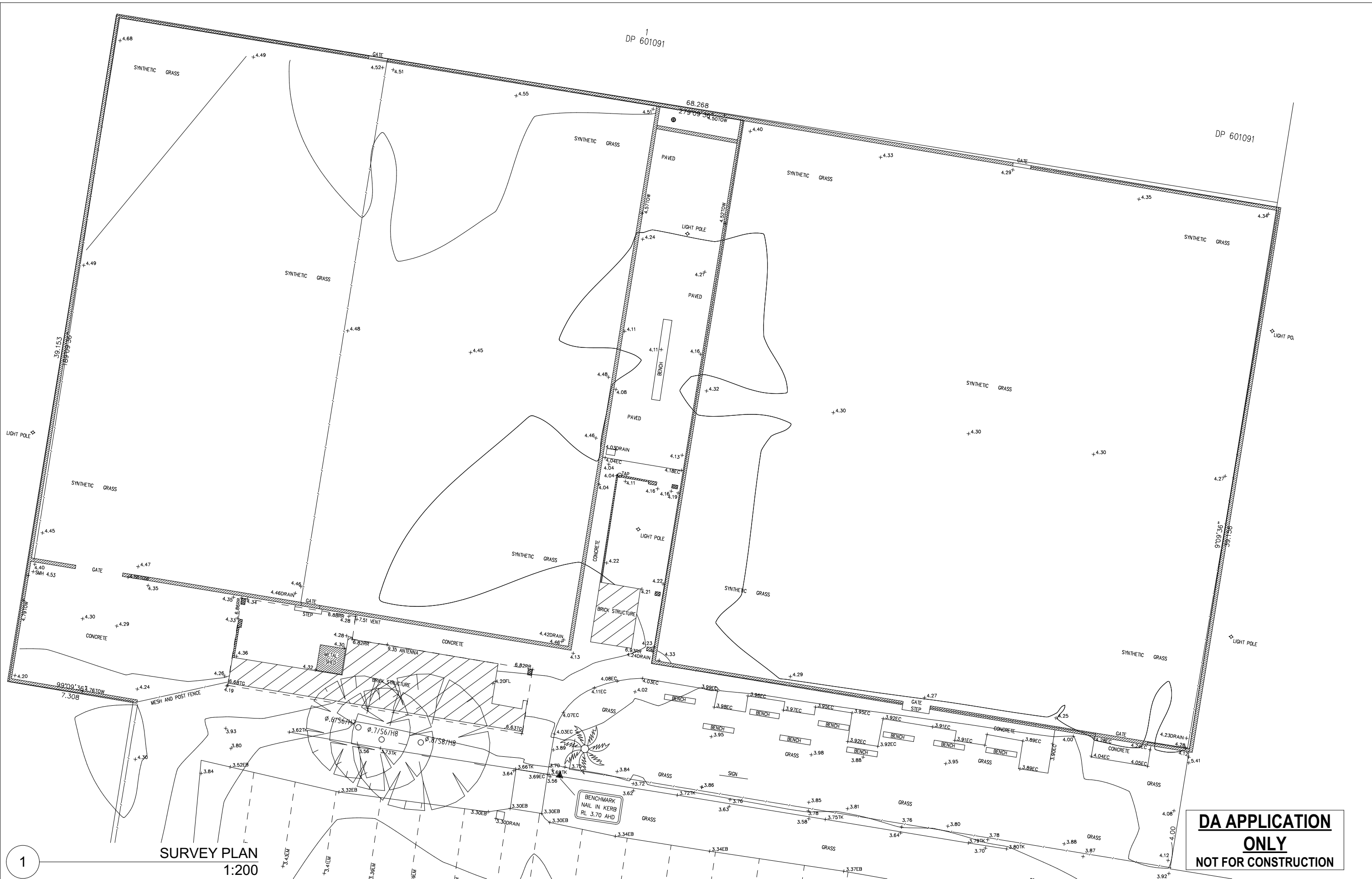
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Tuesday, 25 August 2020  
To be valid, this certificate must be lodged within 3 months of the date of issue.



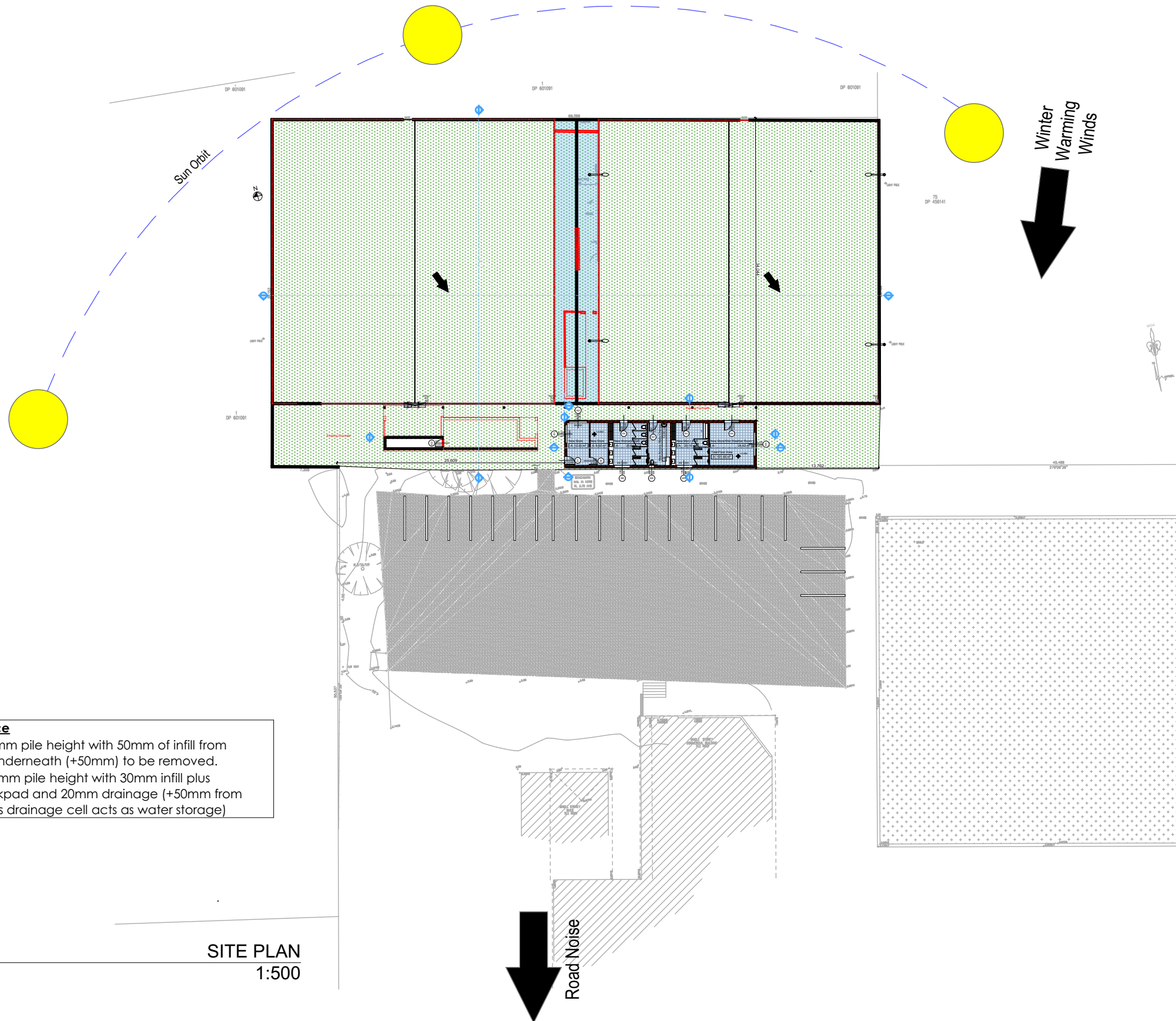
Project summary		
Project name	Harbord Bowling Club	
Street address	4/0 Bennett Street Curl Curl 2096	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 601758	
Lot no.	4	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	0	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 51	Target 50

Certificate Prepared by	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592









- Level of Playing Surface**
- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
  - Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

2

SITE PLAN  
1:500

Project address	
Project name	Harbord Bowling Club
Street address	4/0 Bennett Street Curl Curl 2096
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 601758
Lot no.	4
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	0
Site details	
Site area (m²)	2800
Roof area (m²)	298
Conditioned floor area (m2)	46.55
Unconditioned floor area (m2)	53.86
Total area of garden and lawn (m2)	1000

Assessor details and thermal loads			
Assessor number	n/a		
Certificate number	n/a		
Climate zone	n/a		
Area adjusted cooling load (MJ/m²·year)	n/a		
Area adjusted heating load (MJ/m²·year)	n/a		
Project score			
Water	✔ 40	Target 40	
Thermal Comfort	✔ Pass	Target Pass	
Energy	✔ 51	Target 50	

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)

Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Denotes New Works

**Wall Legend**

- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

Building Design and Architectural Drafting

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ASSOCIATION OF AUSTRALIA

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BUILDING DESIGNER

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**NOTES**

Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue

**Construction**

Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1728-2017  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**

Basic Certificate Number 11301715  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m² b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RP0620HAR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

**DRAWING TITLE:**  
SITE AND LOCATION  
**SITE PLAN**

**PROJECT NAME:**  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Plot Date: 9/04/2021  
Sheet Size: A3



# Wall Legend

Denotes Existing Wall



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Tel: (03) 9350-8845 Mobile: 0414-546-024  
Email: info@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA**



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BUILDING DESIGNER**

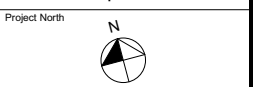
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**NOTES**  
Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation  
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All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue  
**Construction**  
Slab: Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO: RPO02014R  
Project Status DA Rev2

Client Oli Bramley

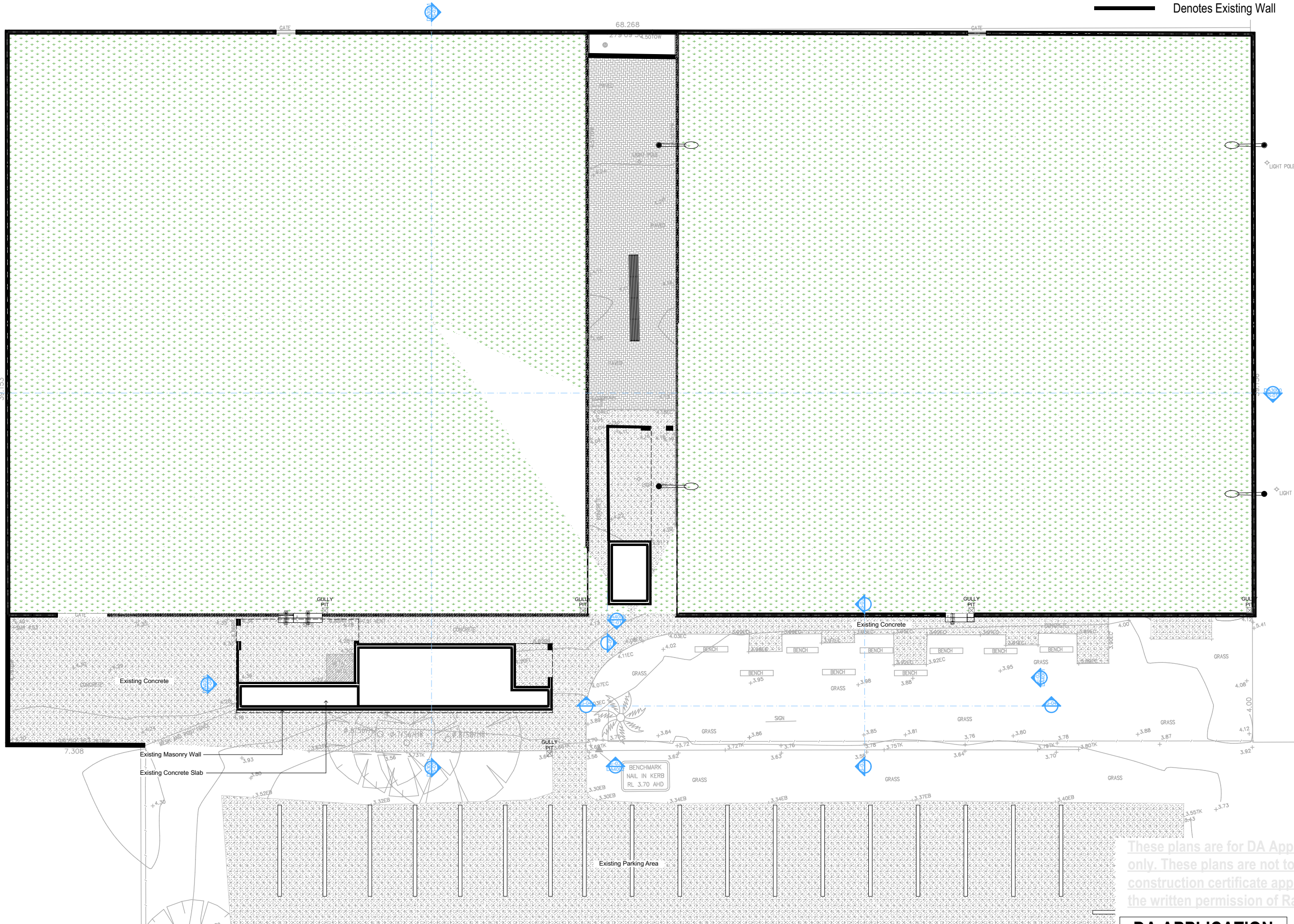
Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

**DRAWING TITLE SITE AND LOCATION**  
**Existing Ground Floor Plan**

**PROJECT NAME:**  
**New Amenity Building & Additions**

REVISION NO. DATE  
**2** **9-4-2021**  
DRAWING NO.  
**DA1005**

Plot Date: 9/04/2021  
Sheet Size: A3



EXISTING GROUND FLOOR  
1:200

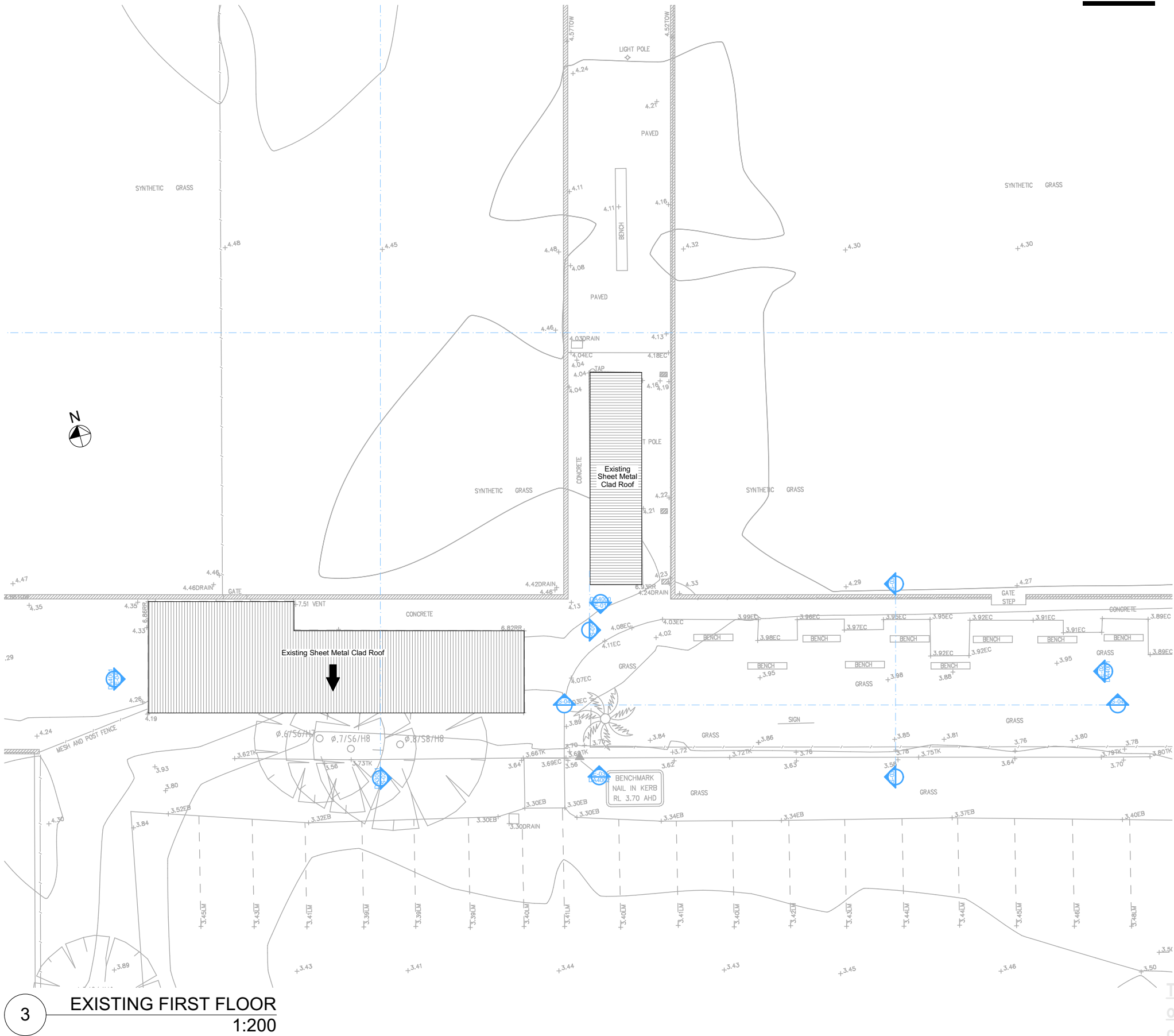
**Builder To Check & Confirm Existing Measurements Prior to Commencement**

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Wall Legend

Denotes Existing Wall



Builder To Check & Confirm Existing Measurements Prior to Commencement

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**NOTES**  
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All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1728-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Basic Certificate Number 11301715  
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Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO. RPO2021AR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE :  
SITE AND LOCATION  
Existing Roof Plan

PROJECT NAME :  
New Amenity  
Building & Additions

REVISION NO.	DATE
2	9-4-2021
DRAWING NO.	DA1006

Plot Date: 9/04/2021  
Sheet Size: A3





LIGHT POLE

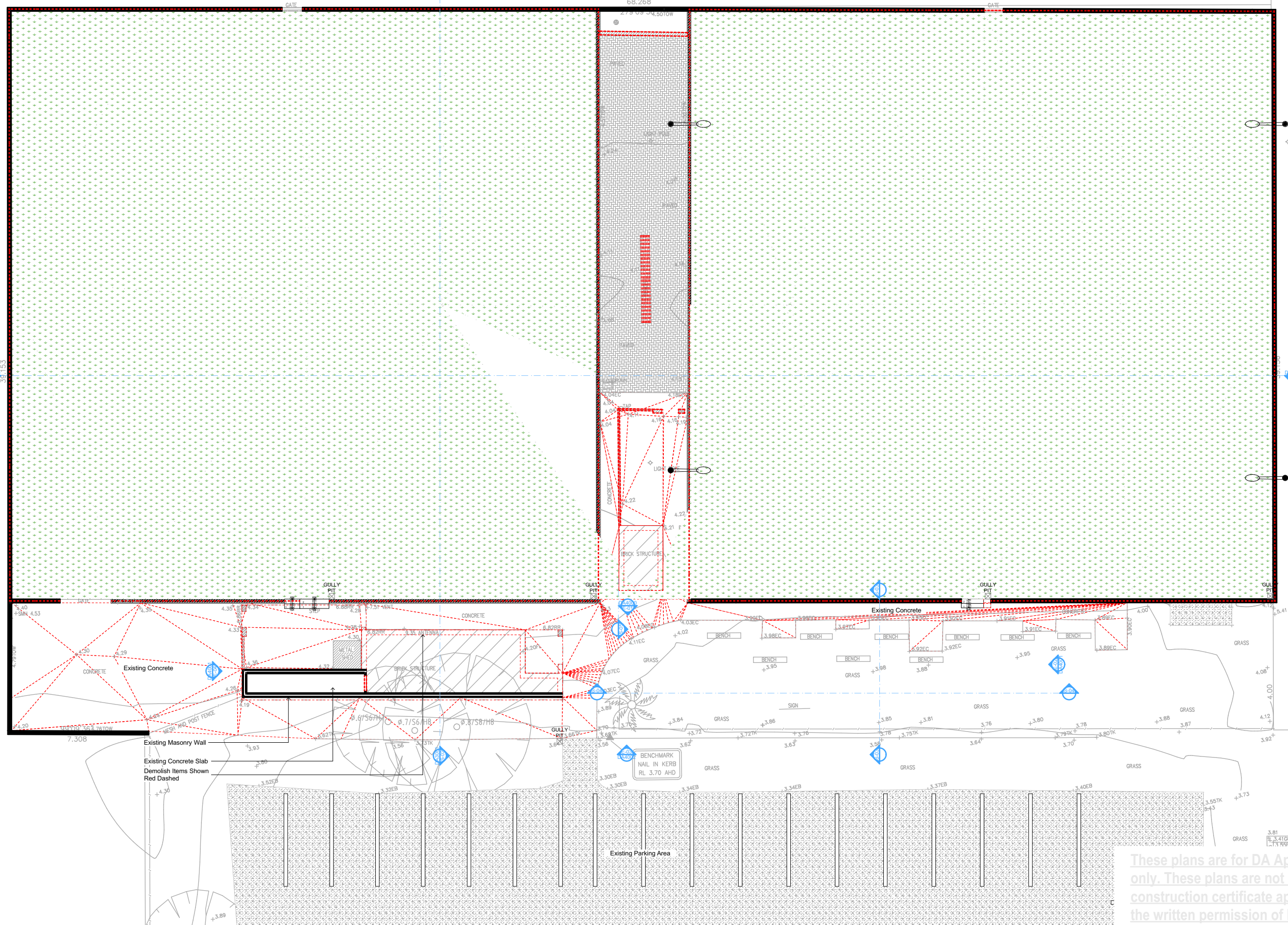
2

DEMOLITION GROUND FLOOR  
1:200

All Demolition to be done in Accordance with Australian  
Standards, BCA and Workcover Regulations

Wall Legend  
— Denotes Existing Wall  
- - - Denotes Demolished Item

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ONLY  
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Building Design and Architectural Drafting

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All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue

**Construction**  
Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 4560  
New Lighting to have minimum of 40% compact fluorescent lamps  
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Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

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Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO: RPO20201AR  
Project Status DA Rev2

Client: Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

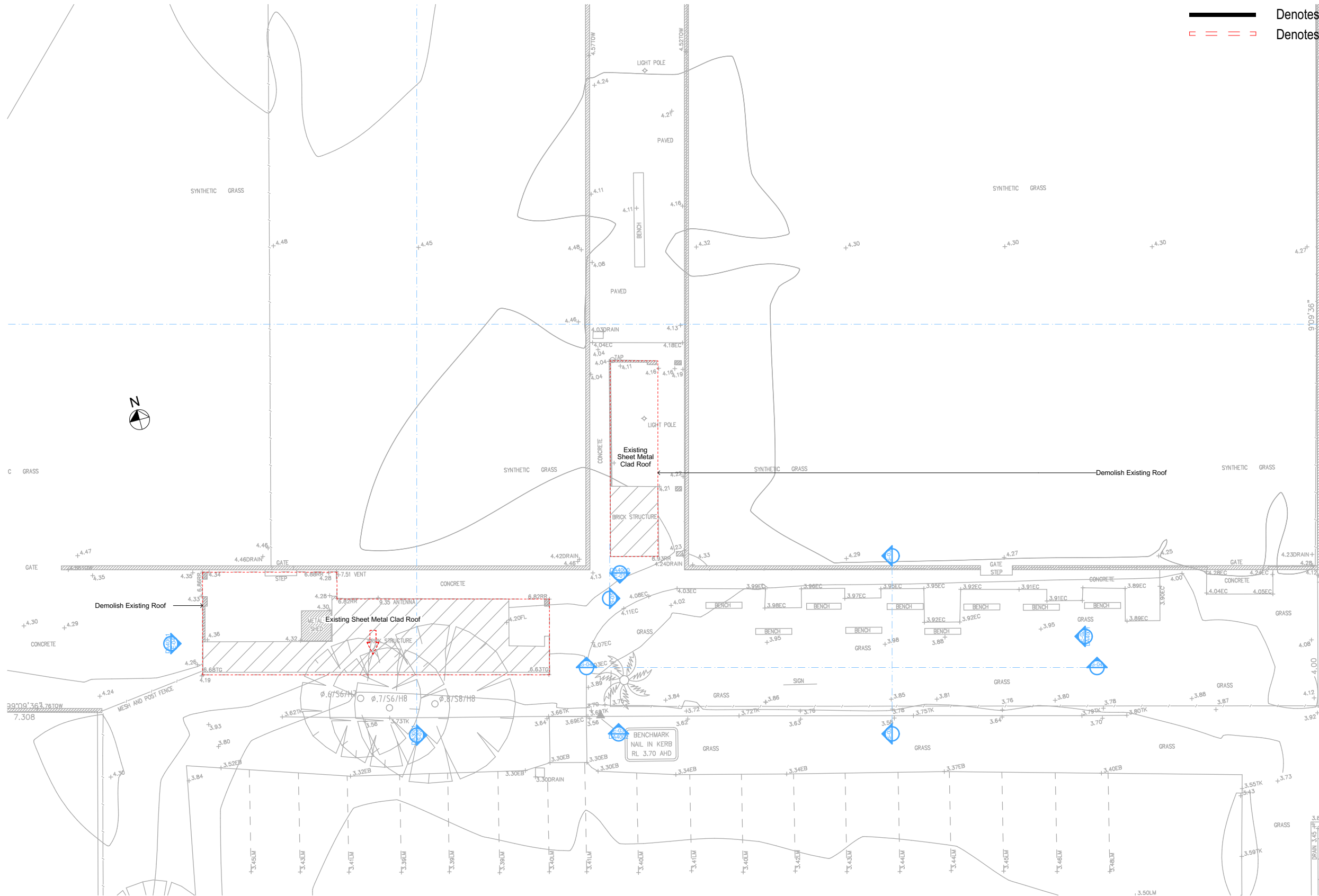
**DRAWING TITLE**  
SITE AND LOCATION  
**Demolition Ground Floor Plan**

**PROJECT NAME:**  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

DRAWING NO:  
**DA1007**

Plot Date: 9/04/2021  
Sheet Size: A3



### Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item

World Plans  
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Tel: (03) 9350-8845 Mobile: 0414-946-024  
Email: info@rapidplans.com.au

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All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Contouring  
Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3745  
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Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

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Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO. RPO2021AR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirling Avenue, Curl Curl

DRAWING TITLE :  
SITE AND LOCATION  
**Demolition Roof Plan**

PROJECT NAME :  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

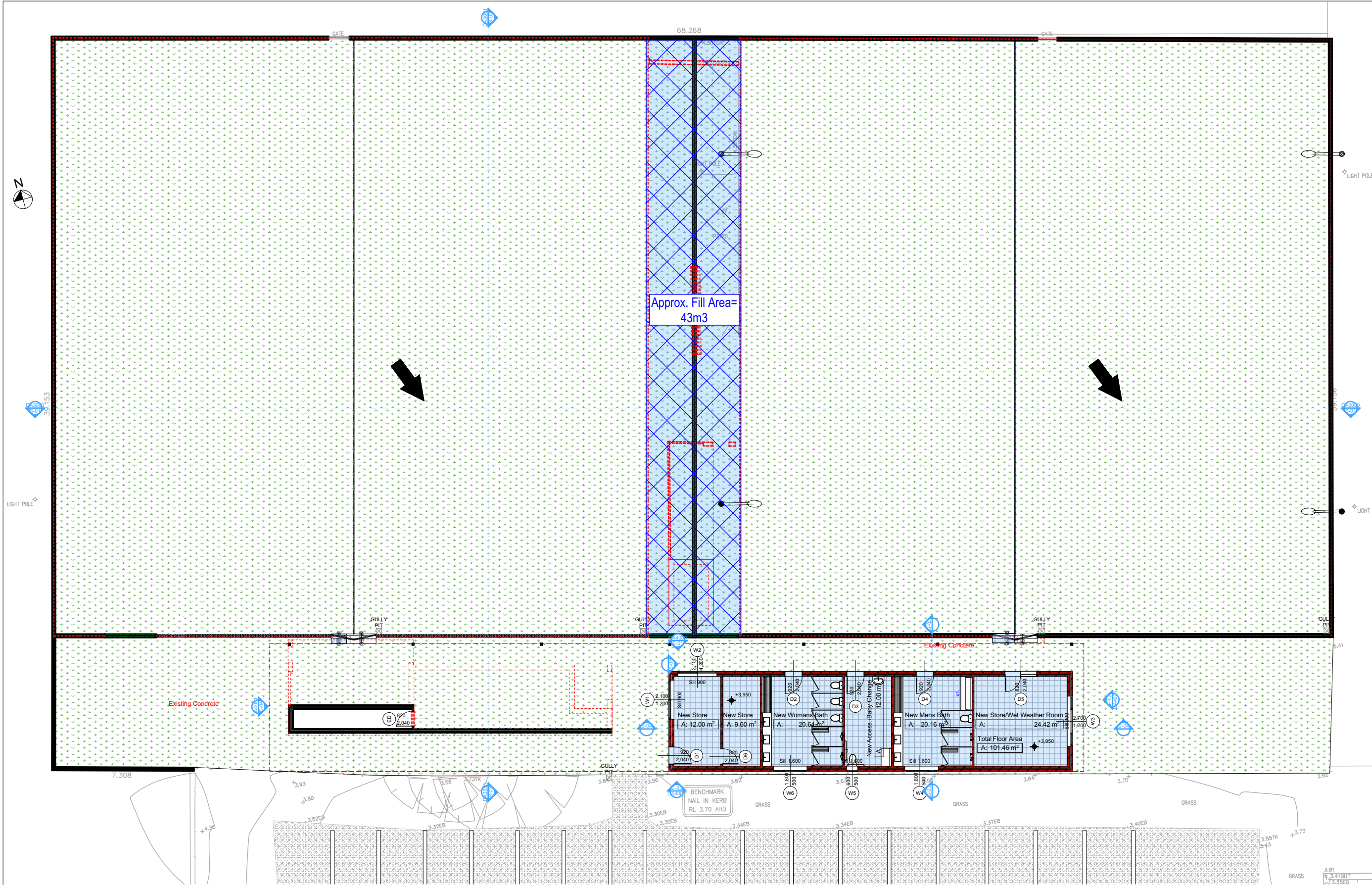
DRAWING NO.  
**DA1008**

Plot Date: 9/04/2021  
Sheet Size: A3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

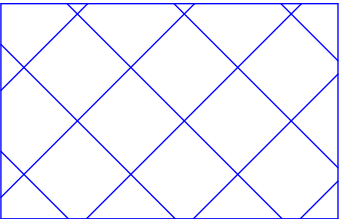
**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION





2

EXCAVATION & FILL PLAN  
1:200



Denotes Fill Area

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Rapid Plans  
Building Design and Architectural Drafting

World Plans  
PO Box 6235 Riverside Forest DC NSW 2086  
Tel: (02) 9500-8845 Mobile: 0414-946-024  
Fax: (02) 9500-8845

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ASSOCIATION OF AUSTRALIA

ACCREDITED  
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**NOTES**  
Cnr Bennett Street & Stirlings Avenue, Curl Curl is zoned RE2-Private Recreation  
Cnr Bennett Street & Stirlings Avenue, Curl Curl is not considered a Heritage Item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue

**Construction**  
Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawn by Rapid Plans.

**Basic**  
Basic Certificate Number 11301715  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup> b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO: RP0620HAR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirlings Avenue, Curl Curl

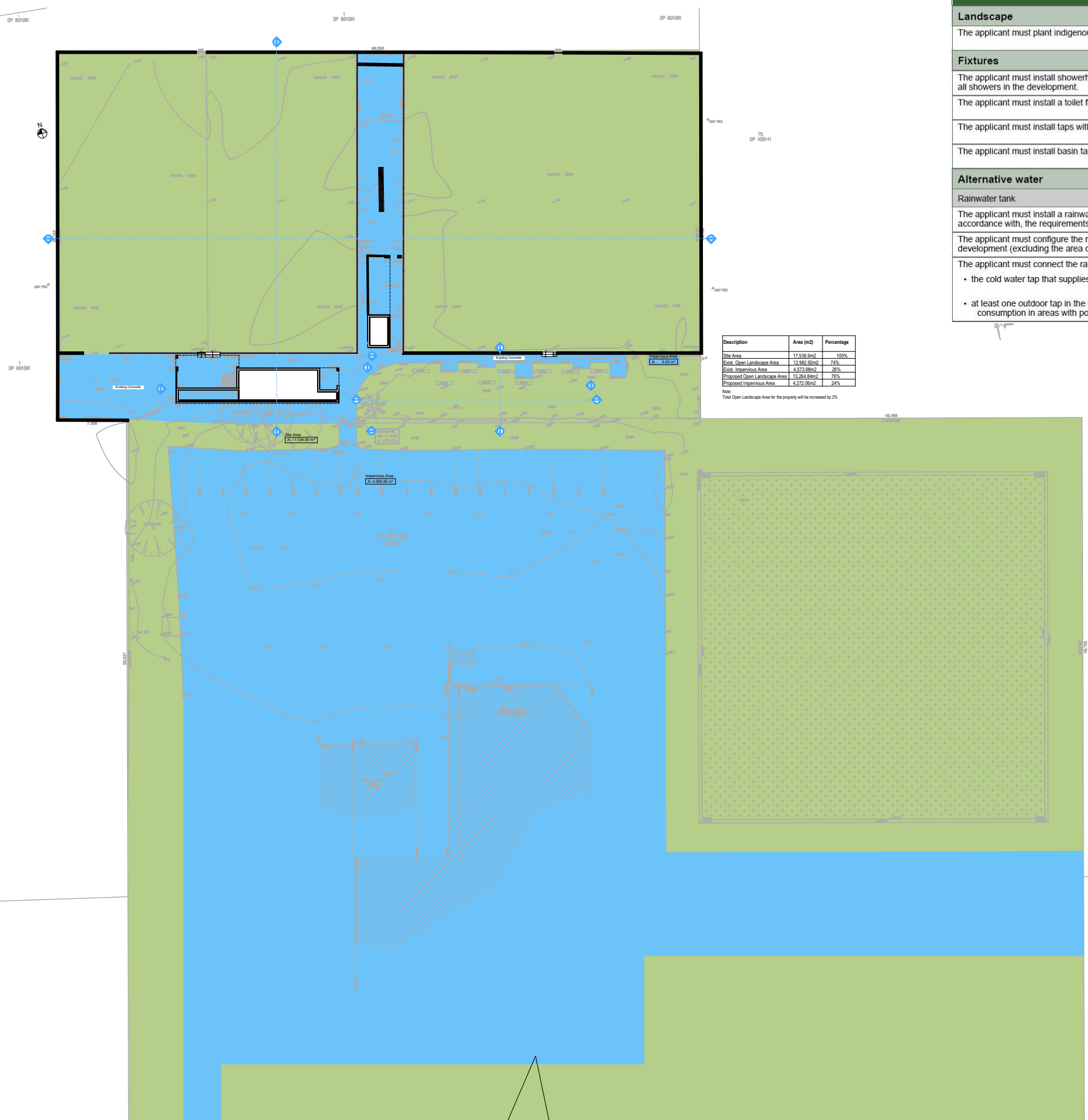
DRAWING TITLE:  
SITE AND LOCATION  
**Excavation & Fill Plan**

PROJECT NAME:  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

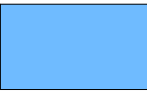
DRAWING NO.  
**DA1009**

Plot Date: 9/04/2021  
Sheet Size: A3



Description	Area (m2)	Percentage
Site Area	17,536.9m2	100%
Exist. Open Landscape Area	12,382.5m2	71%
Exist. Impervious Area	4,573.98m2	26%
Proposed Open Landscape Area	13,264.8m2	75%
Proposed Impervious Area	4,272.6m2	24%

Note:  
Total Open Landscape Area for the property will be increased by 2%.



Denotes Impervious Area



Denotes Pervious Area

Water Commitments

Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.

Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.

The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)



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BUILDING DESIGNER

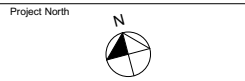
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**NOTES**  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Heritage Item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Slab: Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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**Basic**  
Basic Certificate Number 11301715  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup> b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overhanging specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m2)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RPO2021AR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

**DRAWING TITLE SITE AND LOCATION**  
**Landscape Open Space Plan Existing**

**PROJECT NAME:**  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021
DRAWING NO.	DA1010

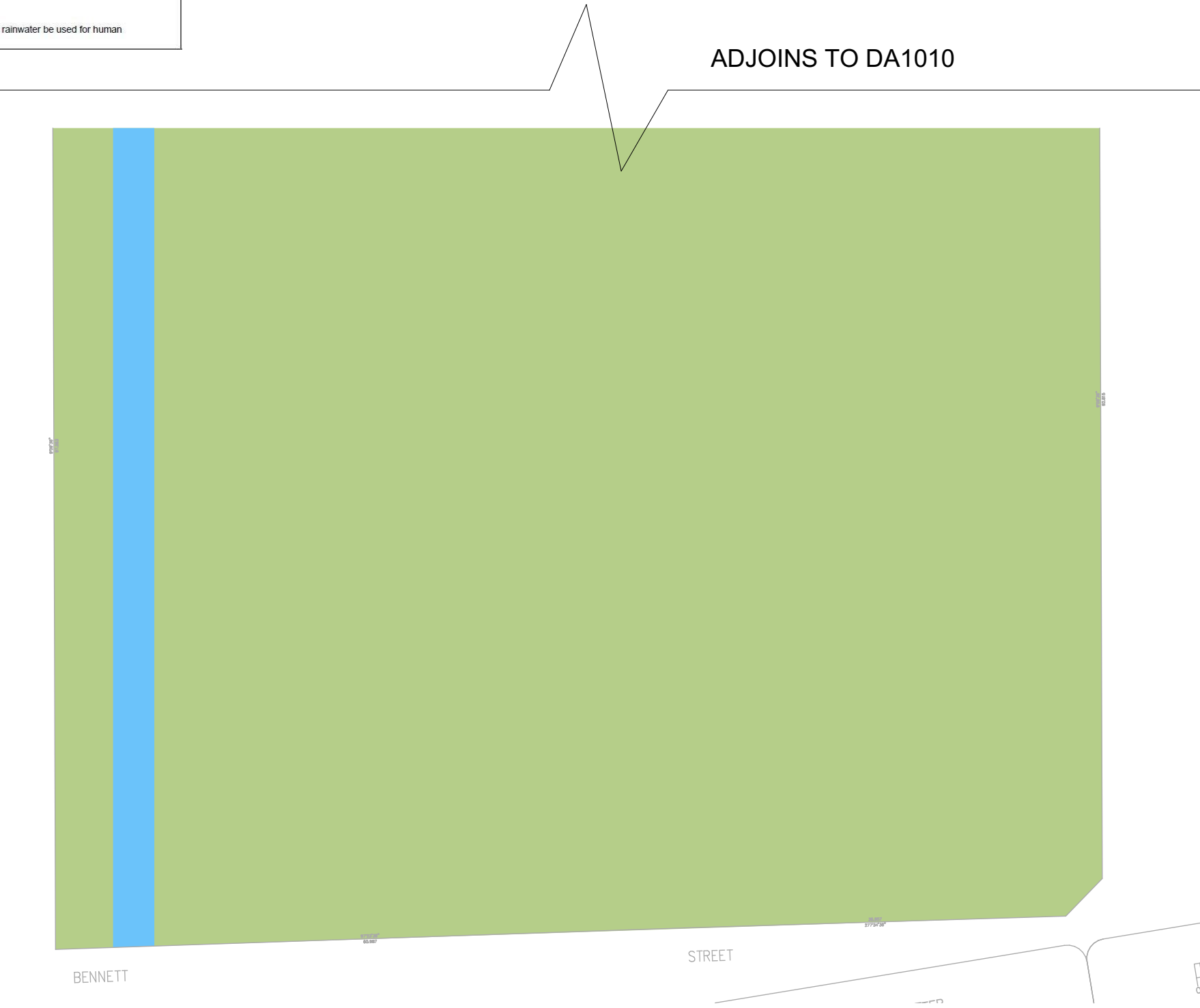
Plot Date: 9/04/2021  
Sheet Size: A3




Water Commitments
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
<ul style="list-style-type: none"><li>the cold water tap that supplies each clothes washer in the development</li><li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li></ul>

Denotes Impervious Area

Denotes Pervious Area







Rapid Plans  
Building Design and Architectural Drafting

Website: [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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Ph: (02) 9350-8545 Mob: 0414-545-024  
Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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BUILDING DESIGNERS  
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**NOTES**  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Heritage Item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue

**Construction**  
Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2047  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.


**Certifying**  
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**Basic**  
Basic Certificate Number 11301715  
All Plans to be read in conjunction with Basic Certificate  
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overhanging specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RP0620HAR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

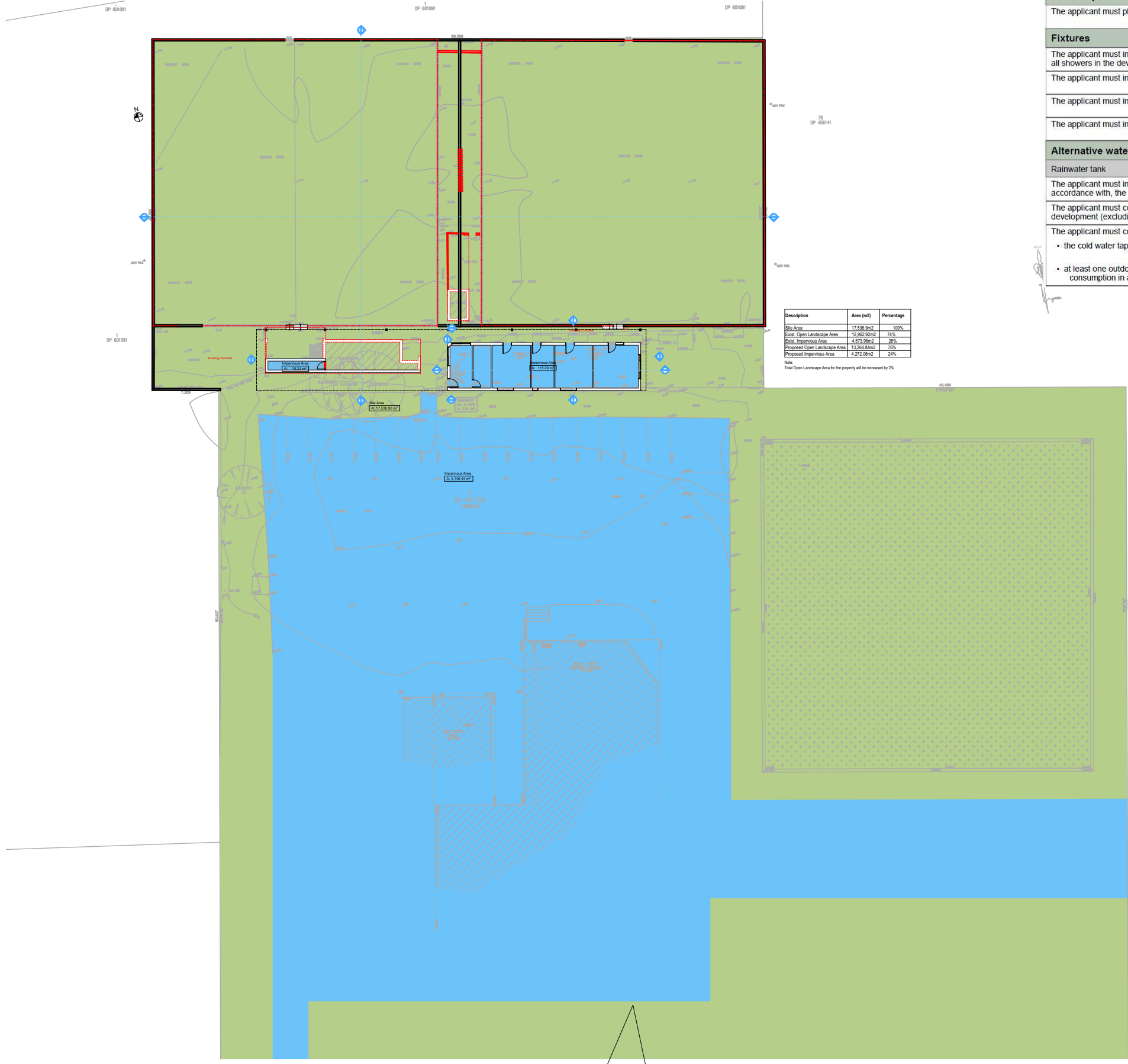
**DRAWING TITLE SITE AND LOCATION**  
**Landscape Open Space Existing 2**

**PROJECT NAME:**  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.  
**DA1011**

Plot Date: 9/04/2021  
Sheet Size: A3



Description	Area (m2)	Percentage
Site Area	17,536.9m2	100%
Exist. Open Landscape Area	12,294.8m2	70%
Exist. Impervious Area	4,573.8m2	26%
Proposed Open Landscape Area	12,294.8m2	70%
Proposed Impervious Area	4,772.3m2	24%

Note:  
Total Open Landscape Area for the property will be increased by 2%.


**Water Commitments**


**Landscape**  
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.

**Fixtures**  
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.  
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.  
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.  
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

**Alternative water**  
**Rainwater tank**  
The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.  
The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).  
The applicant must connect the rainwater tank to:

- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

 Denotes Impervious Area

 Denotes Pervious Area


2 LANDSCAPE OPEN SPACE PROPOSED  
1:500

ADJOINS TO DA1013


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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**


Plot Date:	9/04/2021
Sheet Size:	A3



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**NOTES**  
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All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Complying**  
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RPO0201AR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

**DRAWING TITLE SITE AND LOCATION**  
**Landscape Open Space Plan Proposed**

**PROJECT NAME:**  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

DRAWING NO. **DA1012**

Plot Date: 9/04/2021  
Sheet Size: A3



Water Commitments
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
<ul style="list-style-type: none"><li>the cold water tap that supplies each clothes washer in the development</li><li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li></ul>



Denotes Impervious Area



Denotes Pervious Area

ADJOINS TO DA1012



BENNETT

STREET

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ASSOCIATION OF AUSTRALIA

**bdaa**  
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BUILDING DESIGNER

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**NOTES**  
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Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Heritage Item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue  
**Construction**  
Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1728-2017  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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Relevant overhanging specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RP06201AR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

**DRAWING TITLE SITE AND LOCATION**  
**Landscape Open Space Proposed 2**

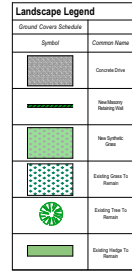
**PROJECT NAME:**  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.  
**DA1013**

Plot Date: 9/04/2021  
Sheet Size: A3





## Water Commitments

## Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.

## Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.

The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

## Alternative water

## Rainwater tank

The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)



www.rapidplans.com.au  
 PO Box 6293 Frenchs Forest DC NSW 2086  
 Fax : (02) 9905-8865 Mobile: 0424-945-024

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builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**TES**  
Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-  
rate Recreation  
Bennett Street & Stirgess Avenue, Curl Curl is not considered  
heritage item  
Does not need in conjunction with Brix Certificate

work to be lead in conjunction with BASIX Certificate  
Works to be constructed shown in Shaded/Blue  
Instruction  
to, Cavity Brick Walls  
of Framed to have R3.5 Insulation  
to External Cavity Brick Walls R1.17  
for Engineers drawings for structural details  
work to Engineers Specification and BCA  
inter framing to BCA and AS 1684  
mitte Management to BCA and AS 3660.1  
conforming to BCA and AS 2987  
interprofiling to BCA and AS 3740  
Lighting to have minimum of 40% compact fluorescent lamps  
workmanship and materials shall be in accordance with the  
requirements of Building Codes of Australia.

DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Plans to be read in conjunction with Basic Certificate

applicant must construct the new or altered construction (floor and walls) in accordance with the specifications and the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) additional insulation is not required for parts of altered construction where insulation already exists;

applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Every window and shading specifications must be satisfied for each door and glazed door;


projections described in millimetres, the leading edge of each balcony, pergola, verandah, balcony or awning must be no more than 500 mm above the floor or window or glazed door and more than 2400 mm above the sill;

shading devices or vegetation must be of the height and extendance from the centre and the base of the window and glazed door,

Item Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (10% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**

Project North

A compass rose with a circle divided into four quadrants by a vertical and a horizontal line. The top quadrant is shaded black. The letter 'N' is positioned above the circle, indicating North.

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO. RP0620HAR  
Project Status DA Rev2

Client:	Oli Bramley
Site:	Cnr Bennett Street & Stirgess Avenue, Curl Curl

**DRAWING TITLE :**  
SITE AND LOCATION  
**Landscape Plan**

PROJECT NAME : **New Amenity Building & Additions**

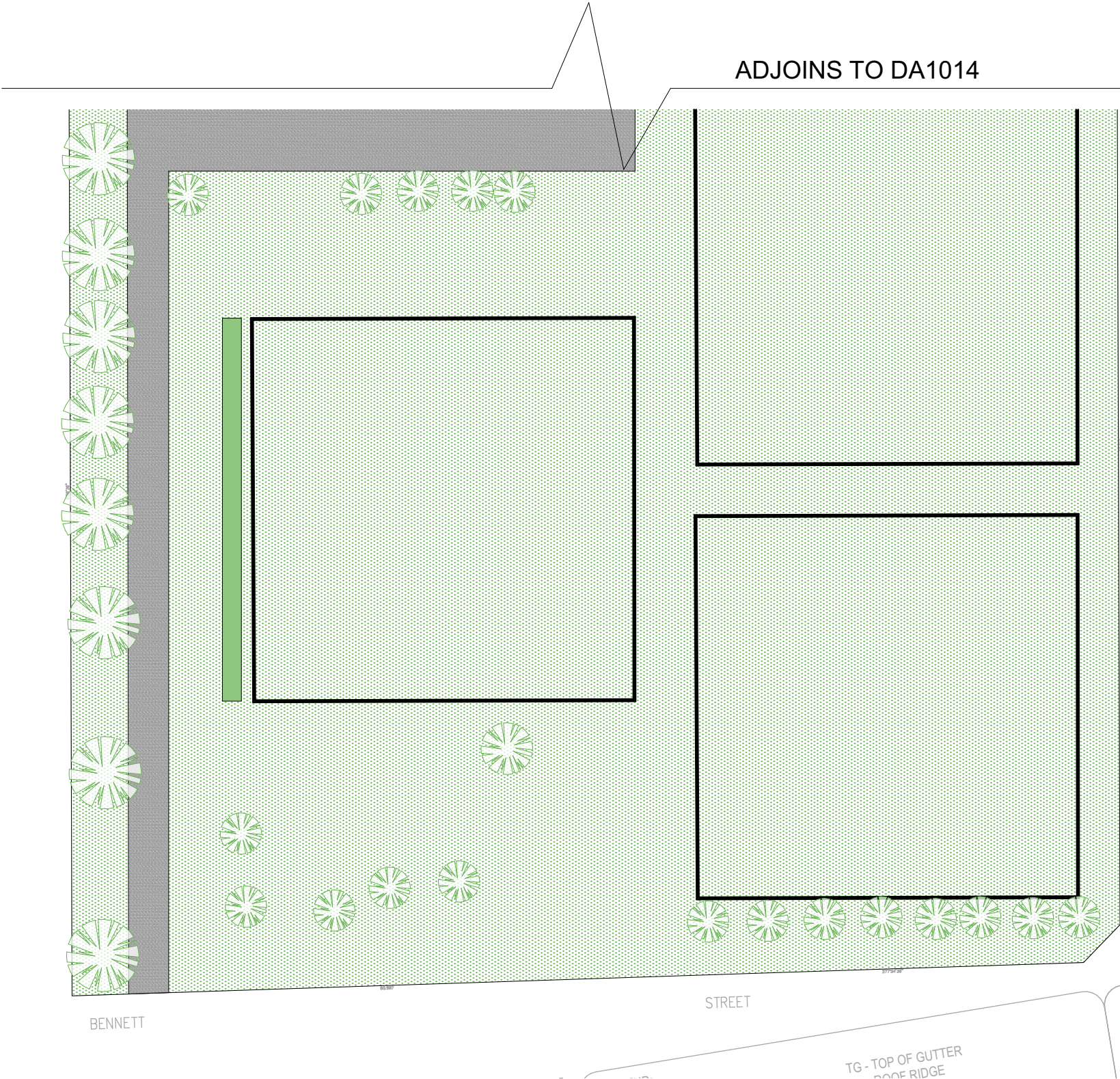
REVISION NO. DATE

DRAWING NO.

**DA1014**

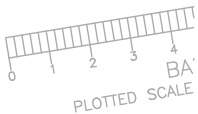
Plot Date: 9/04/2021  
Sheet Size: A3





Water Commitments
<b>Landscape</b>
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.
<b>Fixtures</b>
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.
<b>Alternative water</b>
<b>Rainwater tank</b>
The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
<ul style="list-style-type: none"><li>the cold water tap that supplies each clothes washer in the development</li><li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li></ul>

Landscape Legend	
Symbol	Common Name
	Concrete Drive
	New/Revised Retaining Wall
	New/Revised Deck
	Existing Green To Retain
	Existing Tree To Retain
	Existing Hedge To Retain



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**NOT FOR CONSTRUCTION**

**Rapid Plans**  
Building Design and Architectural Drafting

World Plans  
PO Box 6239 Riverside Forest NSW 1505  
Tel: (02) 9558-8845 Mobile: 0414-545-024  
Email: info@rapidplans.com.au

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**NOTES**  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Slabs, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1728-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**  
Basic Certificate Number 11301715  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup> b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overhanging specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO: RPO0201AR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE :  
SITE AND LOCATION  
**Landscape Plan 2**

PROJECT NAME :  
**New Amenity Building & Additions**

REVISION NO.	DATE
<b>2</b>	<b>9-4-2021</b>

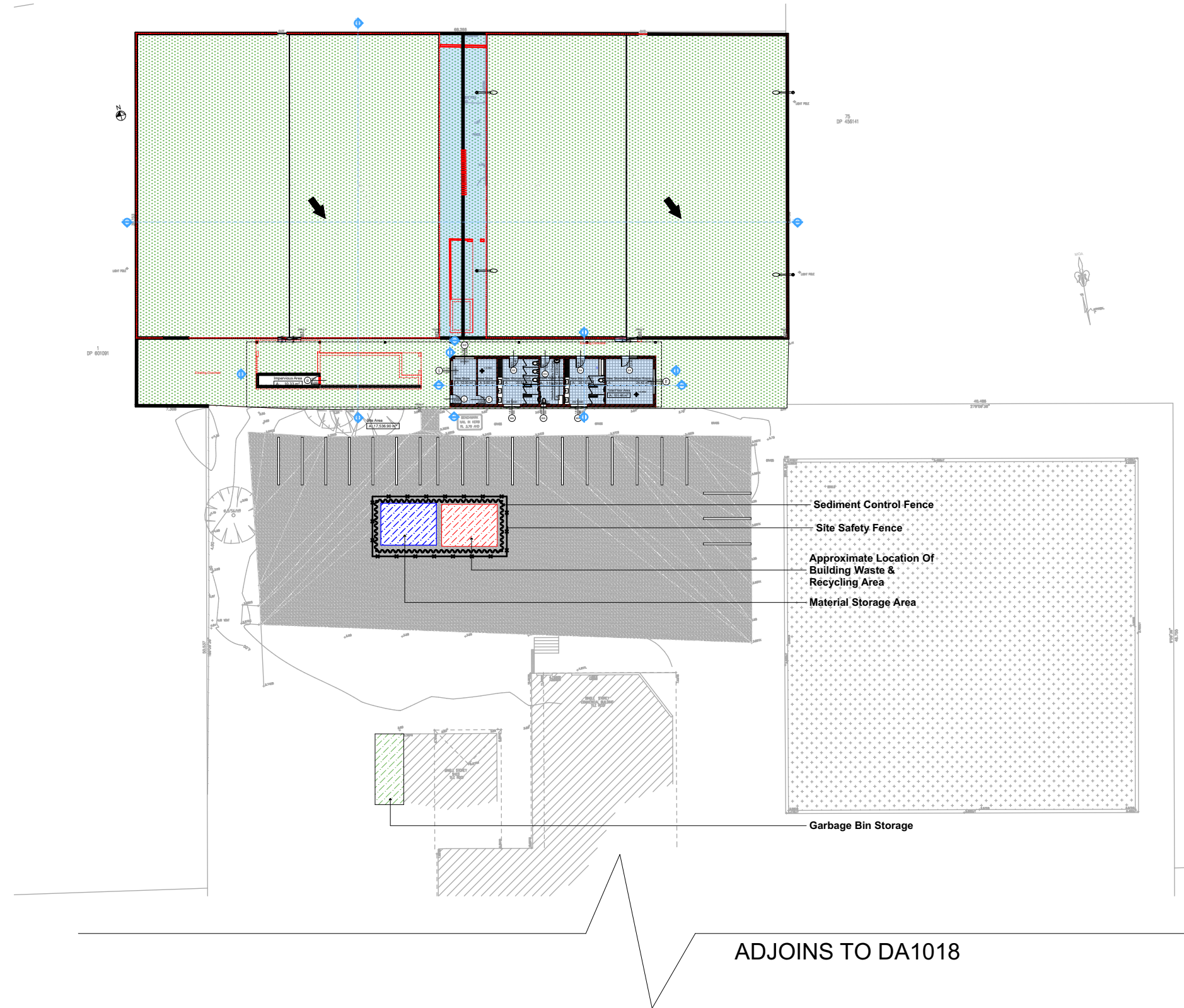
DRAWING NO.  
**DA1015**

Plot Date: 9/04/2021  
Sheet Size: A3









2 WASTE MANAGEMENT PLAN  
1:500

Denotes New Works

Denotes New Masonry Wall

Denotes New Concrete Block Wall

Denotes Existing Wall

Denotes Demolished Item

### Wall Legend

Denotes New Masonry Wall

Denotes New Concrete Block Wall

Denotes Existing Wall

Denotes Demolished Item

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

**Rapid Plans**  
Building Design and Architectural Drafting

Wendy P. Jones  
PO Box 6235 Riverside Forest, QLD 4215  
Tel: (07) 5565-8844, Mobile: 0414-545-024  
Email: wendy@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation  
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue

**Construction**

Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 5143

New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

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**Basic**

Basic Certificate Number 11301715  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup> b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RP06201AR  
Project Status DA Rev2

Client: Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

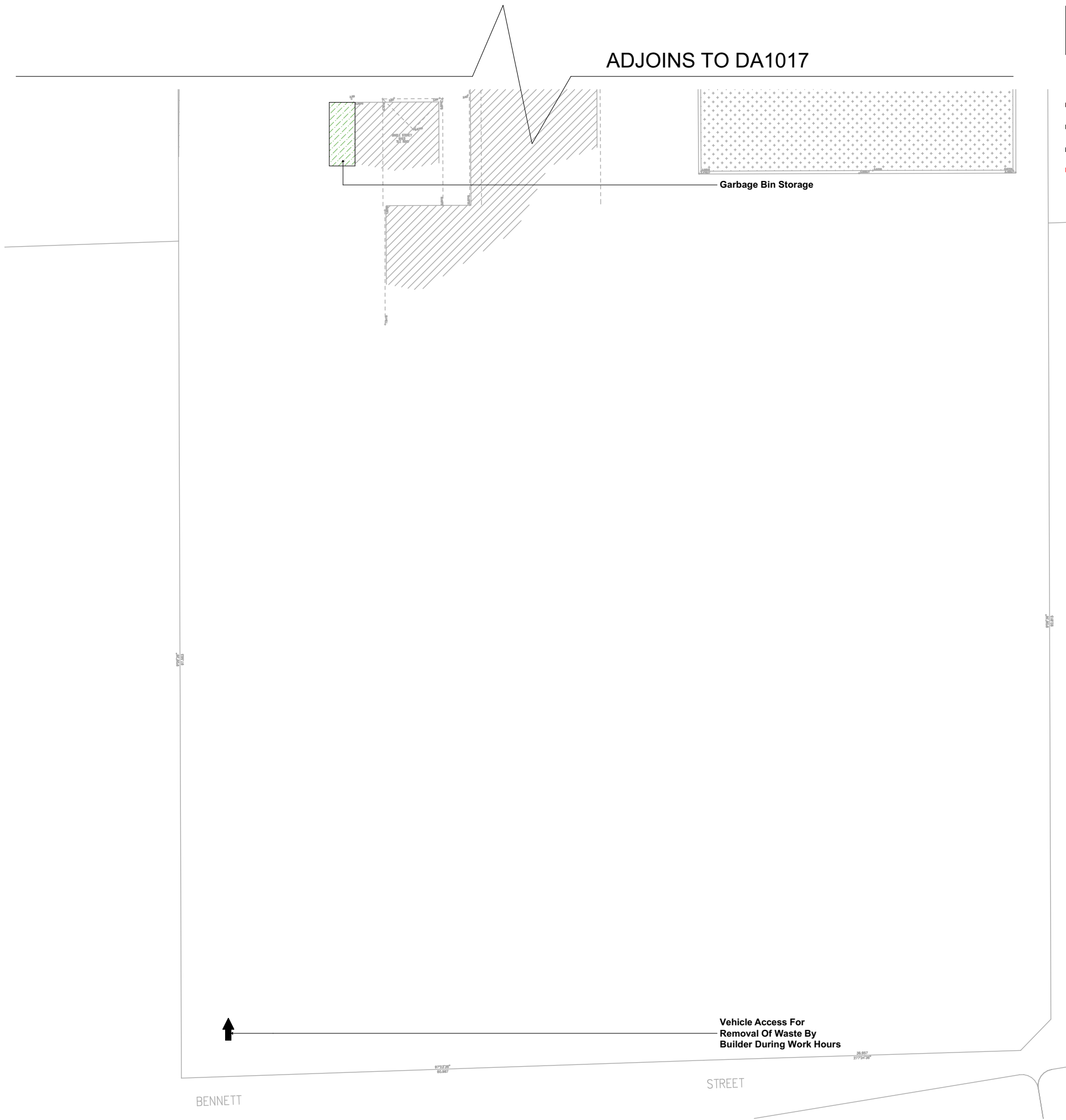
DRAWING TITLE: SITE AND LOCATION  
**Waste Management Plan**

PROJECT NAME: **New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.: **DA1017**

Plot Date: 9/04/2021  
Sheet Size: A3



Denotes New Works


**Wall Legend**

Denotes New Masonry Wall

Denotes New Concrete Block Wall

Denotes Existing Wall

Denotes Demolished Item



Rapid Plans

Building Design and Architectural Drafting


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Fax: (02) 9350-8545 Mobile: 0414-546-024


Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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**NOTES**

Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation

Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Heritage Item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

**Construction**

Slab, Cavity Brick Walls

Roof Framed to have R3.5 Insulation

Insulation to External Cavity Brick Walls R1.17

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3745

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

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**Basic**

Basic Certificate Number 11301715

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup> b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overhanging specifications must be satisfied for each window and glazed door.


For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RPO0201AR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE SITE AND LOCATION  
Waste Management Plan 2

PROJECT NAME:  
New Amenity Building & Additions

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.  
DA1018

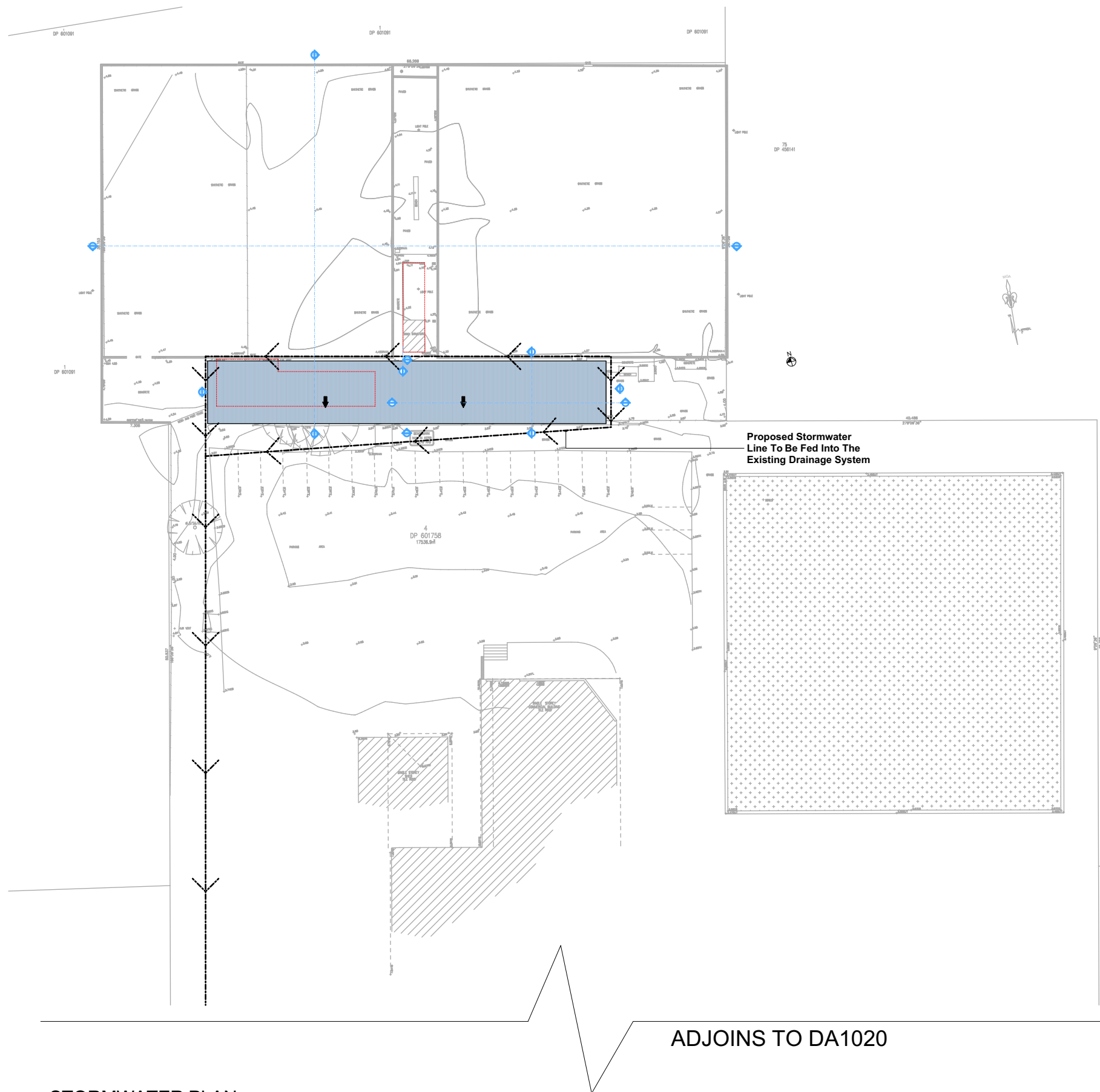
Plot Date: 9/04/2021  
Sheet Size: A3

2/04/2021

2/04/2021

2/04/2021






Denotes New Works

4 STORMWATER PLAN  
1:500

Plumber To Confirm Location Of Existing  
Stormwater/Sewer Prior To Commencement

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Building Design and Architectural Drafting

World of Plans  
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**NOTES**  
Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation  
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber Framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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**Basic**  
Basic Certificate Number 11301715  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>. b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North  


Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RPO020HAR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

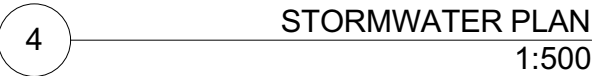
DRAWING TITLE :  
SITE AND LOCATION  
**Stormwater Plan**

PROJECT NAME :  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021


DRAWING NO.  
**DA1019**

Plot Date: 9/04/2021  
Sheet Size: A3



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	<p>DRAWING TITLE : SITE AND LOCATION <b>Stormwater Plan 2</b></p>
<p>PROJECT NAME : <b>New Amenity</b></p>	

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<div><div><b>BDAA</b> BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div></div>		
<div><div><b>ACCREDITED</b> BUILDING DESIGNER</div></div>		
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<b>Site Information</b>	<b>Prop.</b>	<b>Comp.</b>
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes
<b>Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans</b>		
Project North		
		
Drawn   Checked GBJ Plot Date: 10/04/2021 Project No.: RP0000000000 Project Status DA Rev2		
Client	Oli Bramley	
Site:	Cnr Bennett Street & Stiggins Avenue, Curti Curti	
<b>DRAWING TITLE :</b> <b>SITE AND LOCATION</b> <b>Stormwater Plan 2</b>		
<b>PROJECT NAME :</b> <b>New Amenity Building &amp; Additions</b>		
REVISION NO.	DATE	
2	9-4-2021	
<b>DA1020</b>		
Plot Date:	9/04/2021	
Sheet Size: A3	200mm (approx) x 297mm (approx)	



#### Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation.  
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a Heritage Item.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.

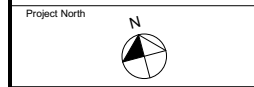
**Construction**  
Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**  
Basic Certificate Number 11301715  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>. b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RP062014R  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

DRAWING TITLE: PLANS  
**GROUND FLOOR**

PROJECT NAME:  
**New Amenity Building & Additions**

REVISION NO. DATE  
**2 9-4-2021**  
DRAWING NO.  
**DA2001**

Plot Date: 9/04/2021  
Sheet Size: A3

Denotes New Works

#### Wall Legend

- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

**GROUND FLOOR**  
1:200

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorbance 0.475-0.70)

Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.  
Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**







Energy Commitments
<b>Hot water</b>
The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (electric boosted) with a performance of 15 to 20 STCs or better.
<b>Cooling system</b>
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.
<b>Heating system</b>
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.
<b>Ventilation</b>
The applicant must install the following exhaust systems in the development:
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a
Laundry: natural ventilation only, or no laundry; Operation control: n/a
<b>Artificial lighting</b>
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:
• at least 1 of the bedrooms / study; dedicated
• at least 1 of the living / dining rooms; dedicated
• all bathrooms/toilets; dedicated

Energy Commitments
<b>Natural lighting</b>
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
<b>Other</b>
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.



Denotes New Works

### Wall Legend



Denotes New Masonry Wall



Denotes New Concrete Block Wall



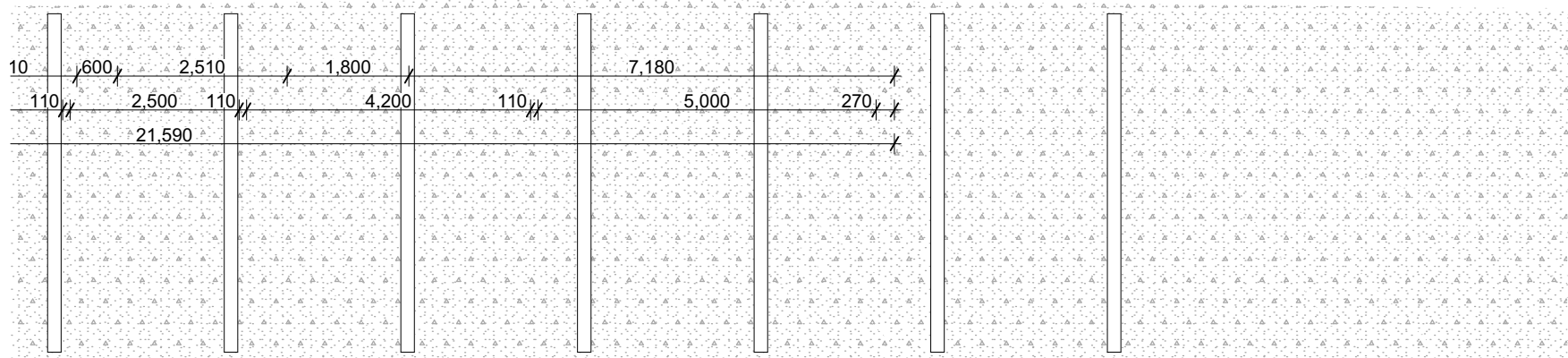
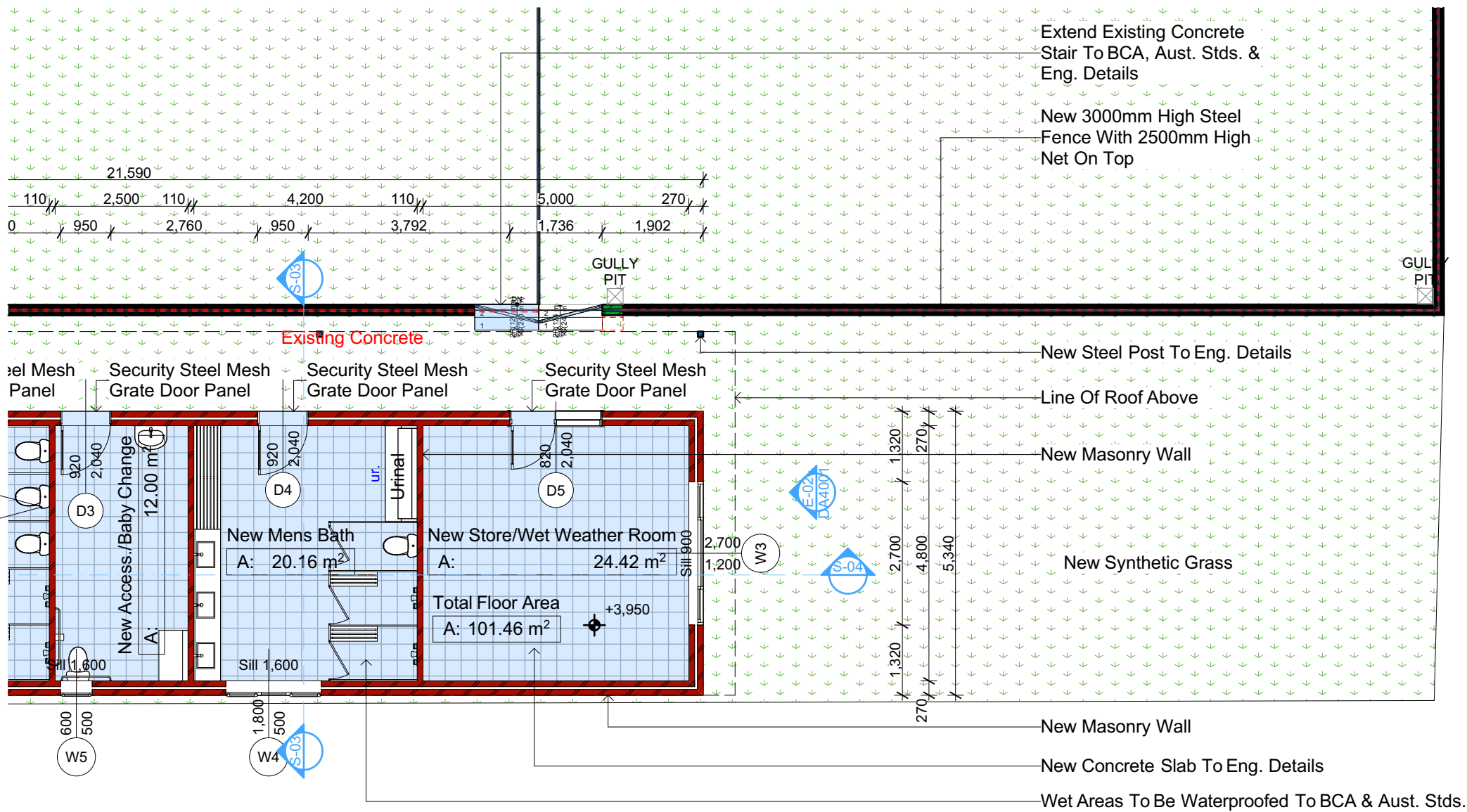
Denotes Existing Wall



Denotes Demolished Item

2

## GROUND FLOOR 1:100



### Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

### NOTES

Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item

### Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

### Construction

Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

### Basix

Basix Certificate Number 1130171S  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m².  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**



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www.rapidplans.com.au  
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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Project North  
Checked  
Plot Date:  
Project NO.  
Project Status

Client  
Site:  
Sheet Size: A3

DRAWING TITLE :

PLANS  
**GROUND FLOOR 3**

PROJECT NAME :

**New Amenity Building & Additions**

REVISION NO.

2

DATE

9-4-2021

DRAWING NO.

DA2003

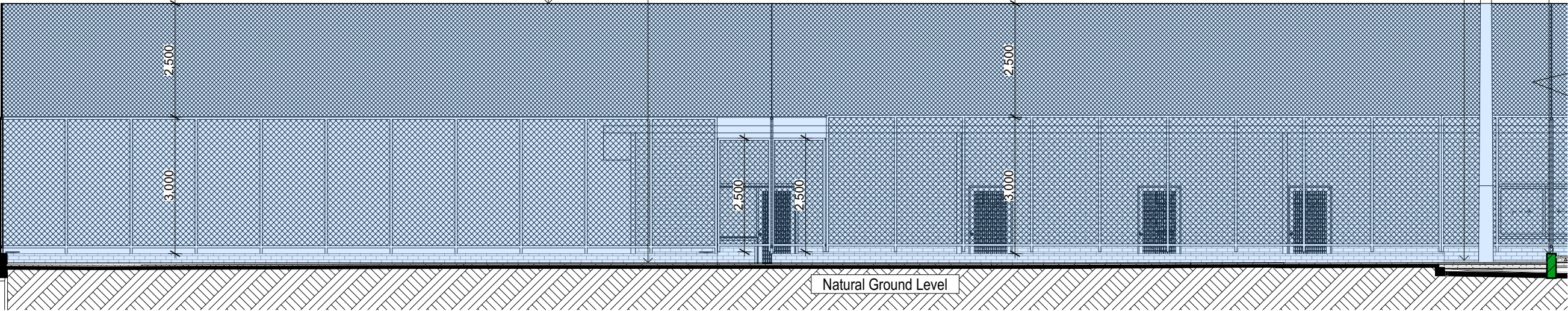
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m²	Yes	% of landscape open space (40% min)	76%	Yes
Housing Density (dwelling/m²)	2	Yes	Impervious area (m²)	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			





New Concrete Block Retaining Wall To Eng. Details  
New Suspended Slab For Flood Egress To Match Into Existing  
With Synthetic Grass On top  
New Playing Surface FFL Is To Match Existing Playing Surface  
FFL In Accordance With Council Flood Risk Management Advice  
New 3000mm High Steel Fence With 2500mm High Net On Top



ADJOINS BELOW

S-01

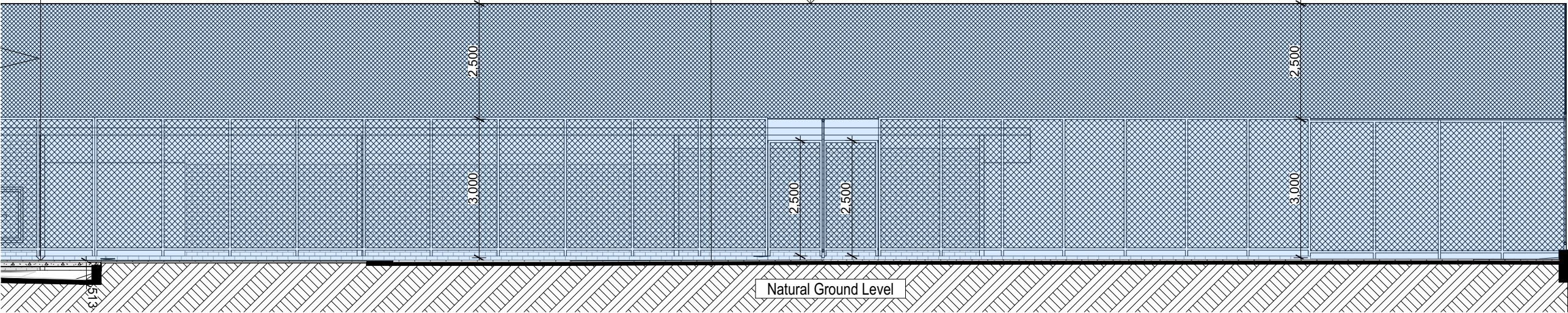
SECTION 1  
1:100

- Level of Playing Surface**
- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
  - Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

- Wall Legend**
- Denotes New Works
  - Denotes New Masonry Wall
  - Denotes New Concrete
  - Denotes Existing Wall
  - Denotes Demolished Item

New Suspended Slab For Flood Egress To Match  
Into Existing With Synthetic Grass On top  
New Playing Surface FFL Is To Match Existing Playing  
Surface FFL In Accordance With Council Flood Risk  
Management Advice  
New 3000mm High Steel Fence  
With 2500mm High Net On Top

ADJOINS ABOVE



S-01

SECTION 1  
1:100

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

**NOTES**  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a heritage item  
**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number 1130171S  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>.  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes	% of landscape open space (40% min)	76%	Yes
Housing Density (dwelling/m <sup>2</sup> )	2	Yes	Impervious area (m <sup>2</sup> )	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			



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**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**

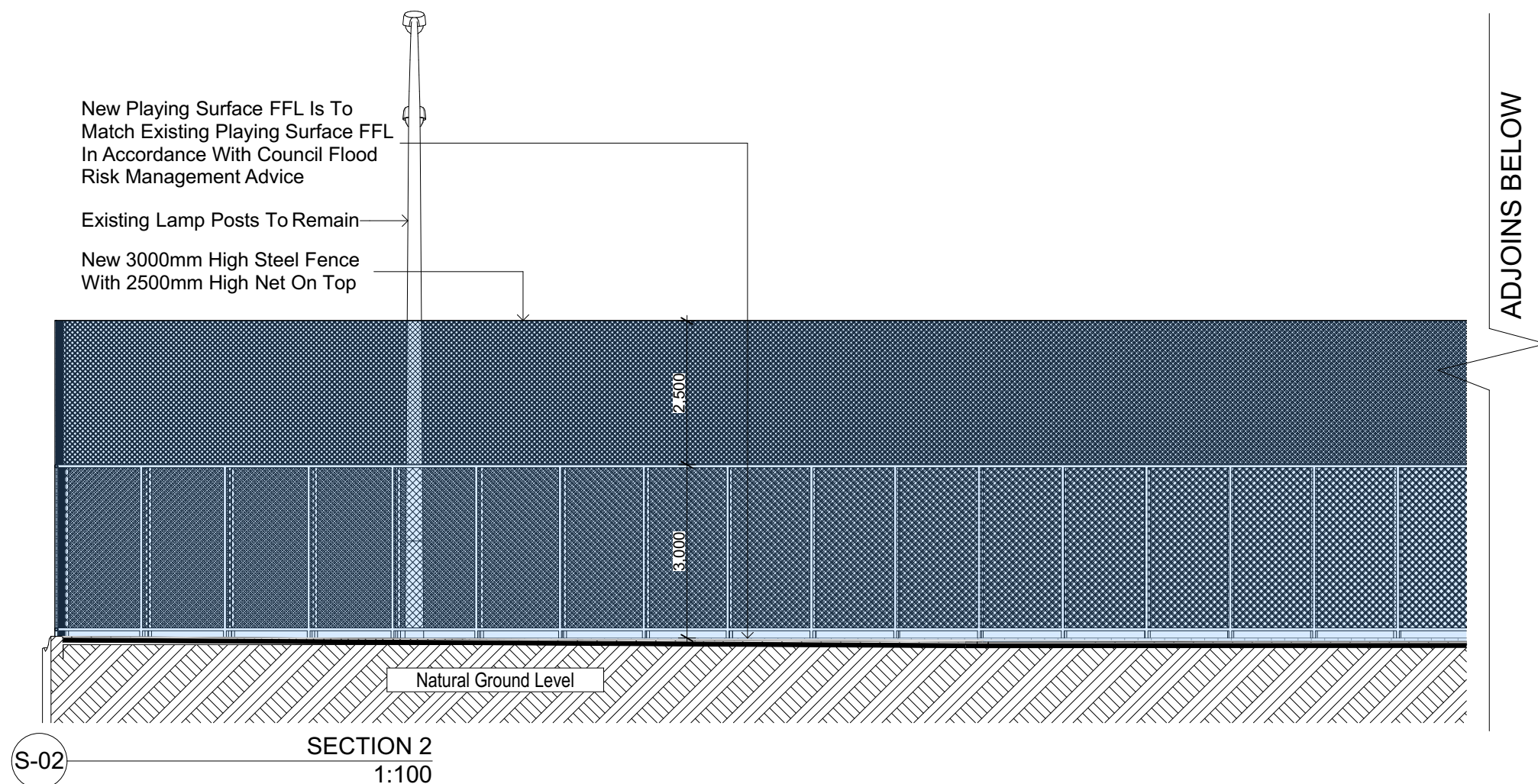


Checked  
Plot Date: 9/04/2021  
Project NO. RP0620HAR  
Project Status DA Rev2  
Client  
Site: Oli Bramley  
Cnr Bennett Street &  
Stirgess Avenue, Curl Curl  
Sheet Size: A3

DRAWING TITLE :  
SECTIONS  
SECTION 1  
PROJECT NAME :  
**New Amenity Building &  
Additions**

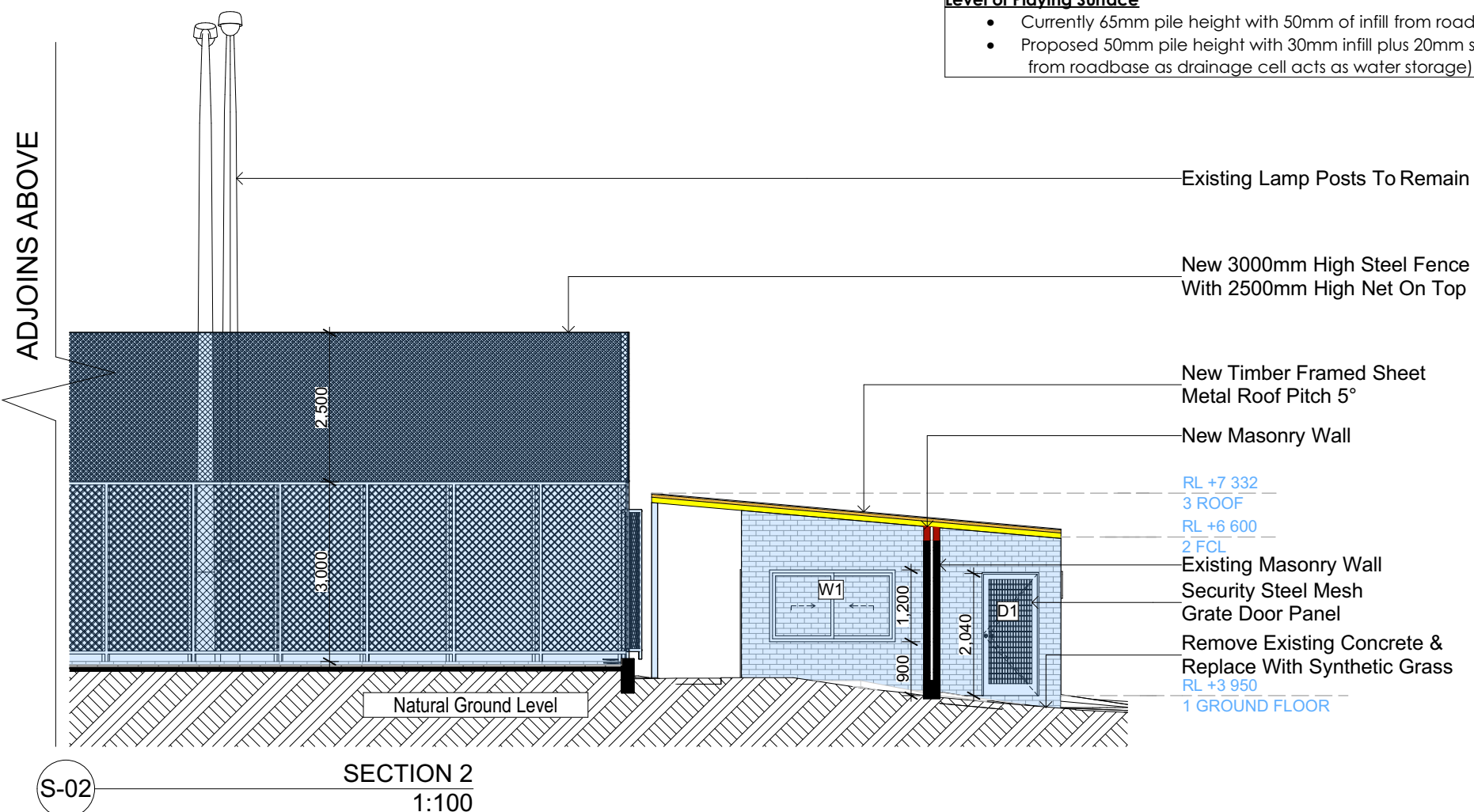
REVISION NO.  
**2**  
DATE:  
**9-4-2021**  
DRAWING NO.  
**DA3000**





#### Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)



**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

**Rapid Plans**  
Building Design and Architectural Drafting

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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdaa**  
ACCREDITED  
BUILDING DESIGNER

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**NOTES**

Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation.  
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate.  
New Works to be constructed shown in Shaded/Blue.

**Construction**

Slab, Cavity Brick Walls.  
Roof Framed to have R3.5 Insulation.  
Insulation to External Cavity Brick Walls R1.17.  
Refer to Engineers drawings for structural details.  
All work to Engineers Specification and BCA.  
Timber Framing to BCA and AS 1684.  
Termite Management to BCA and AS 3660.1.  
Glazing to BCA and AS1728-2017.  
Waterproofing to BCA and AS 3745.  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a signed Construction Certificate drawings by Rapid Plans.

**Basic Certificate**

Basic Certificate Number 11301715.  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor, walls, and ceiling/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>. b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RPO2021AR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

DRAWING TITLE: SECTIONS SECTION 2

PROJECT NAME: New Amenity Building & Additions

REVISION NO.	DATE
2	9-4-2021

DRAWING NO. DA3001

Plot Date: 9/04/2021  
Sheet Size: A3



New Timber Framed Sheet Metal  
Roof Pitch 5°

RL +7 332  
3 ROOF  
RL +6 600  
2 FCL

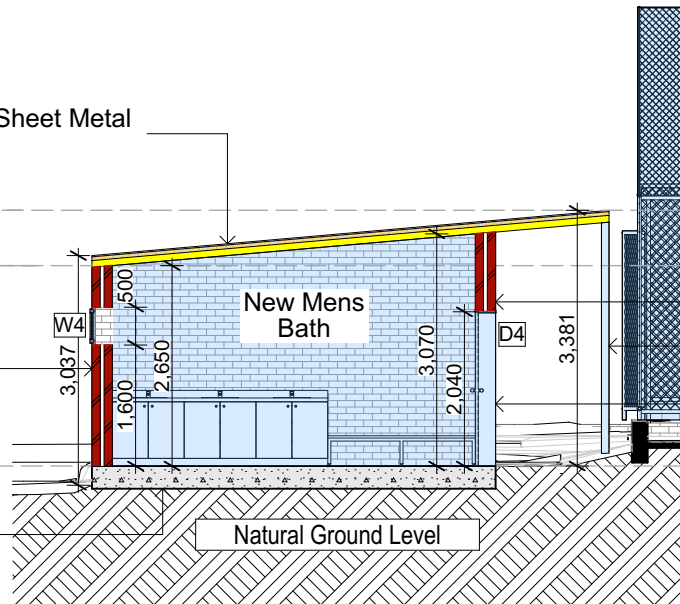
New Masonry Wall

RL +3 950  
1 GROUND FLOOR

New Concrete Slab  
To Eng. Details

S-03  
-

Building Section  
1:100



RL +7 332  
3 ROOF  
RL +6 600  
2 FCL

New Masonry Wall

New Steel Post To Eng. Details

Security Steel Mesh Grate  
Door Panel

RL +3 950  
1 GROUND FLOOR

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)

Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Commitments
<b>General features</b>
The dwelling must not have more than 2 storeys.
The conditioned floor area of the dwelling must not exceed 300 square metres.
The dwelling must not contain open mezzanine area exceeding 25 square metres.
The dwelling must not contain third level habitable attic room.
<b>Floor, walls and ceiling/roof</b>
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.
<b>Thermal Comfort Commitments</b>
<b>Windows, glazed doors and skylights</b>
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.
The following requirements must also be satisfied in relation to each window and glazed door:
• For the following glass and frame types, the certifier check can be performed by visual inspection.
• Aluminium single clear
• Aluminium double (air) clear
• Timber/uPVC/fibreglass single clear
• Timber/uPVC/fibreglass double (air) clear

New Timber Framed Sheet Metal Roof  
Pitch 5°

RL +7 332  
3 ROOF  
RL +6 600  
2 FCL

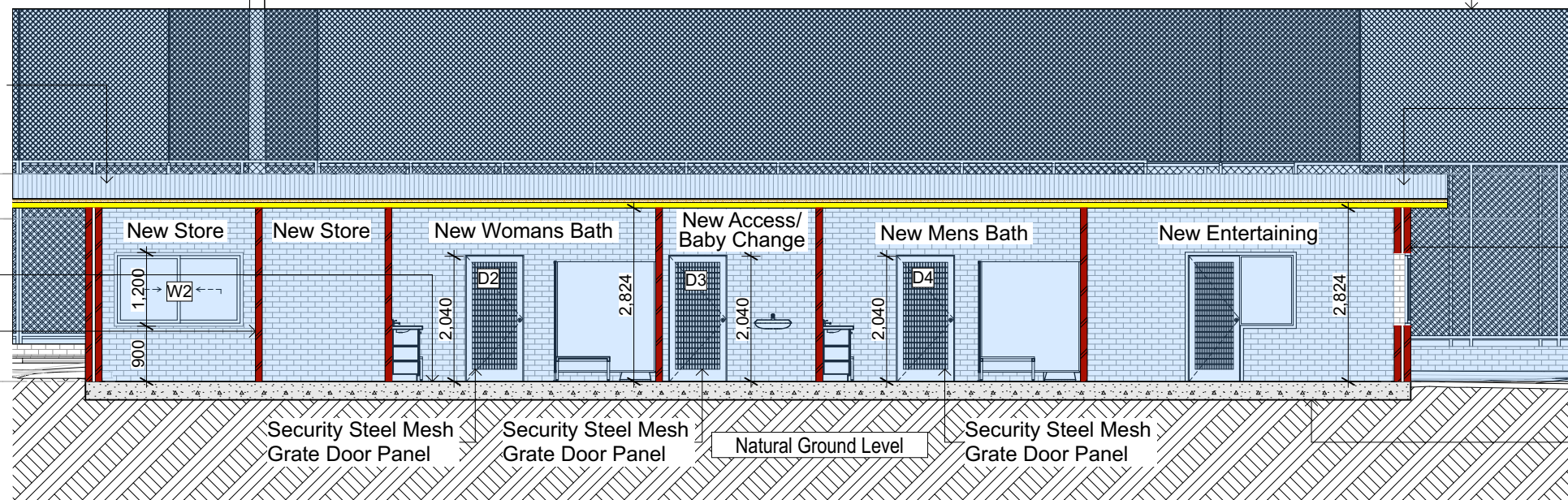
Wet Areas To Be  
Waterproofed To  
BCA & Aust. Stds.

New Masonry Wall

RL +3 950  
1 GROUND FLOOR

S-04  
-

Building Section  
1:100



New 3000mm High Steel Fence  
With 2500mm High Net On Top

New Timber Framed Sheet  
Metal Roof Pitch 5°

RL +7 332  
3 ROOF  
RL +6 600  
2 FCL

New Masonry Wall

RL +3 950  
1 GROUND FLOOR

New Concrete Slab To  
Eng. Details

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**



Rapid Plans  
Building Design and Architectural Drafting

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**bdaa**  
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BUILDING DESIGNER

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**NOTES**

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Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Contour Lines.

**Construction**

Slab, Cavity Brick Walls.  
Roof Framed to have R3.5 Insulation.  
Insulation to External Cavity Brick Walls R1.17.  
Refer to Engineers drawings for structural details.  
All work to Engineers Specification and BCA.  
Timber framing to BCA and AS 1684.  
Termite Management to BCA and AS 3660.1.  
Glazing to BCA and AS1728-2017.  
Waterproofing to BCA and AS 3745.

New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

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**Basic**

Basic Certificate Number 11301715.  
All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor, walls, and ceiling/roof) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>. b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RP062004AR  
Project Status DA Rev2

Client: Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

DRAWING TITLE: SECTIONS  
**SECTION 3**

PROJECT NAME:  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.: **DA3002**

Plot Date: 9/04/2021  
Sheet Size: A3

Max Building Height 8500 Above GL



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**NOTES**  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation.  
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Heritage Item.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.  
**Construction**  
Slab, Cavity Brick Walls.  
Roof Framed to have R3.5 Insulation.  
Insulation to External Cavity Brick Walls R1.17.  
Refer to Engineers drawings for structural details.  
All work to Engineers Specification and BCA.  
Timber framing to BCA and AS 1684.  
Termite Management to BCA and AS 3660.1.  
Glazing to BCA and AS1728-2017.  
Waterproofing to BCA and AS 3745.  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**  
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**Basic**  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

New Timber Framed Sheet Metal Roof Pitch 5°

Security Steel Mesh Gate Door Panel

Security Steel Mesh Gate Door Panel

Security Steel Mesh Gate Door Panel

RL +7 332

3 ROOF

RL +6 600

2 FCL

New Masonry Wall

Security Steel Mesh Gate Door Panel With Fixed Window

New Timber Post

RL +3 950

1 GROUND FLOOR

Remove Existing Concrete & Replace With Synthetic Grass

Natural Ground Level

ADJOINS BELOW

E-01

North

1:100



Denotes New Works

**Wall Legend**



Denotes Existing Concrete



Denotes Demolished Item

Max Building Height 8500 Above GL

ADJOINS ABOVE

New Timber Framed Sheet Metal Roof Pitch 5°

New Masonry Wall

RL +7 332

3 ROOF

RL +6 600

2 FCL

Demolish Items Shown Red Dashed Existing Masonry Wall

New Steel Post To Eng. Details

RL +3 950

1 GROUND FLOOR

Remove Existing Concrete & Replace With Synthetic Grass

Natural Ground Level

E-01

North

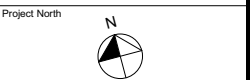
1:100

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RPO2021AR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE :  
ELEVATIONS  
**ELEVATIONS 1**

PROJECT NAME:  
**New Amenity Building & Additions**

REVISION NO. DATE  
**2 9-4-2021**

DRAWING NO.  
**DA4000**

Plot Date: 9/04/2021  
Sheet Size: A3



Max Building Height 8500 Above GL

New Timber Framed  
Sheet Metal Roof  
Pitch 5°

RL +7 332  
3 ROOF  
RL +6 600  
2 FCL

New Masonry Wall

RL +3 950  
1 GROUND FLOOR

Natural Ground Level

Demolish Items Shown  
Red Dashed

RL +7 332  
3 ROOF  
RL +6 600  
2 FCL

New Steel Post To Eng. Details

Remove Existing Concrete &  
Replace With Synthetic Grass

RL +3 950  
1 GROUND FLOOR

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-East facing					
W2	1200	2100	aluminium, single, clear	eave 1500 mm, 1125 mm above head of window or glazed door	not overshadowed
W3	1200	2700	aluminium, single, clear	eave 1500 mm, 1125 mm above head of window or glazed door	not overshadowed
South-East facing					
D5	2100	2700	aluminium, single, clear	eave 750 mm, 878 mm above head of window or glazed door	not overshadowed
South-West facing					
W4	500	1800	aluminium, single, clear	eave 150 mm, 550 mm above head of window or glazed door	not overshadowed
W5	500	600	aluminium, single, clear	eave 150 mm, 550 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-West facing					
W1	1200	2100	aluminium, single, clear	eave 3050 mm, 952 mm above head of window or glazed door	not overshadowed

#### Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

Max Building Height 8500 Above GL

E-02

East  
1:100

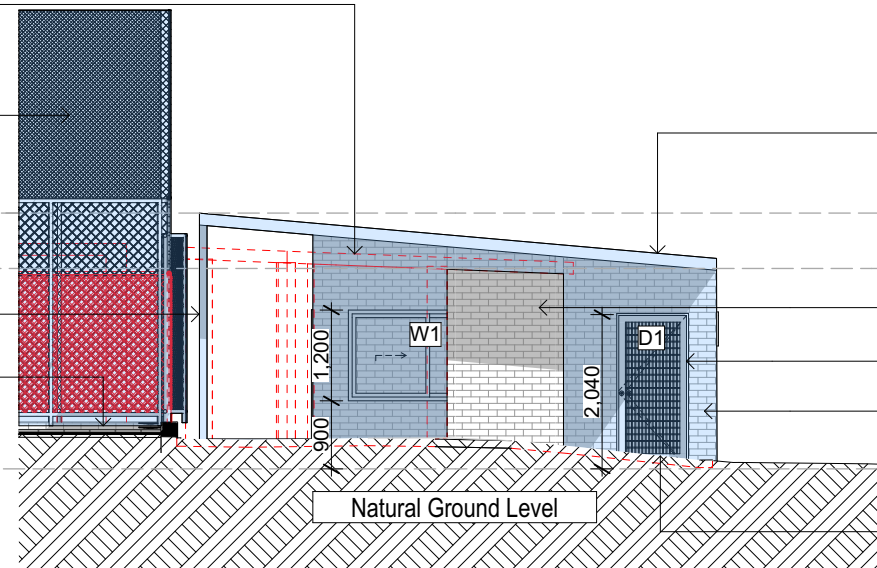
Demolish Items Shown Red Dashed

New 3000mm High Steel Fence With  
2500mm High Net On Top

RL +7 332  
3 ROOF  
RL +6 600  
2 FCL

New Steel Post To Eng. Details  
New Playing Surface FFL Is To Match Existing  
Playing Surface FFL In Accordance With  
Council Flood Risk Management Advice

RL +3 950  
1 GROUND FLOOR



New Timber Framed  
Sheet Metal Roof Pitch 5°

RL +7 332  
3 ROOF  
RL +6 600  
2 FCL

Existing Masonry Wall  
Security Steel Mesh  
Grate Door Panel  
New Masonry Wall

RL +3 950  
1 GROUND FLOOR

Remove Existing Concrete &  
Replace With Synthetic Grass

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)
<b>Note</b> - Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
<b>Note</b> - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

E-04

West  
1:100

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

#### NOTES

Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item

#### Certifying

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#### Construction

Slab, Cavity Brick Walls  
Roof Framed to have R3.5 Insulation  
Insulation to External Cavity Brick Walls R1.17  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

#### Basix

Basix Certificate Number 1130171S

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>,  
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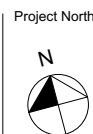
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m <sup>2</sup>	Yes	% of landscape open space (40% min)	76%	Yes
Housing Density (dwelling/m <sup>2</sup> )	2	Yes	Impervious area (m <sup>2</sup> )	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			



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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
9/04/2021  
RP0620HAR  
DA Rev2

Client  
Site:  
Sheet Size: A3

DRAWING TITLE :

ELEVATIONS  
ELEVATIONS 2

PROJECT NAME :

**New Amenity Building &  
Additions**

REVISION NO.

2


DATE

9-4-2021

DRAWING NO.

DA4001







**Rapid Plans**  
Building Design and Architectural Drafting

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Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



**BDA**  
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BUILDING DESIGNER

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Impervious area (m <sup>2</sup> )	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

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Project North



Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RPO020HAR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

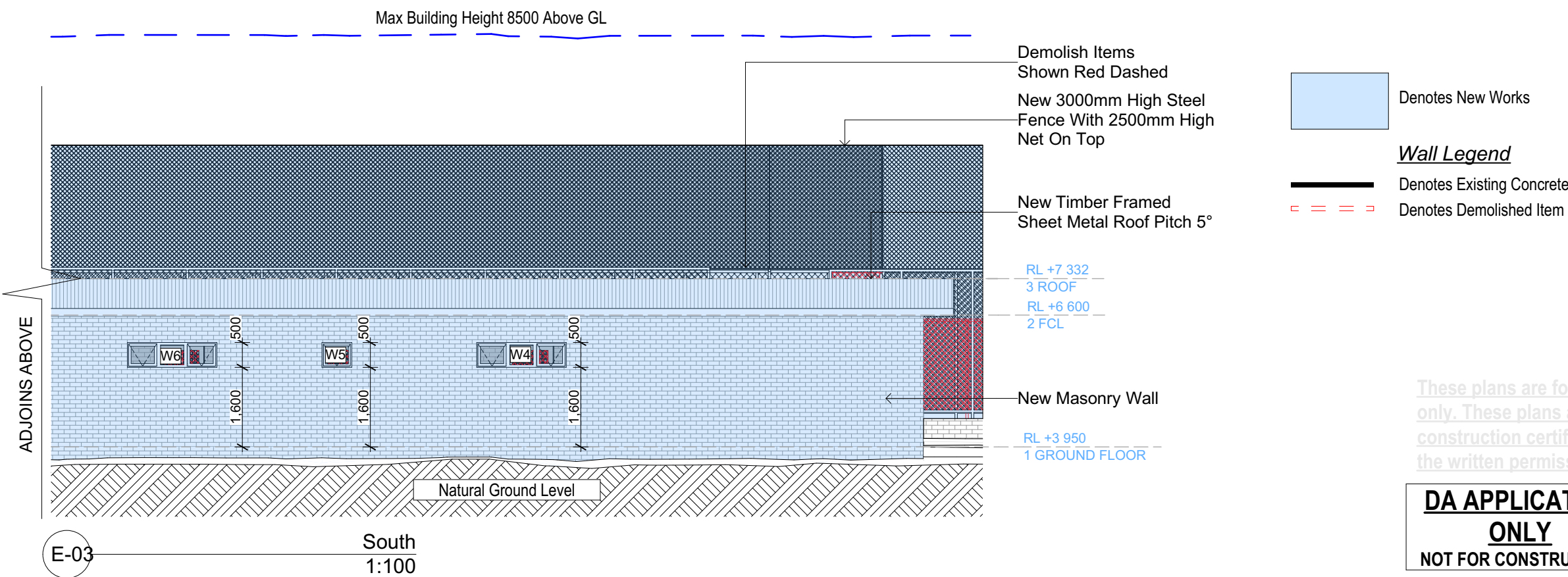
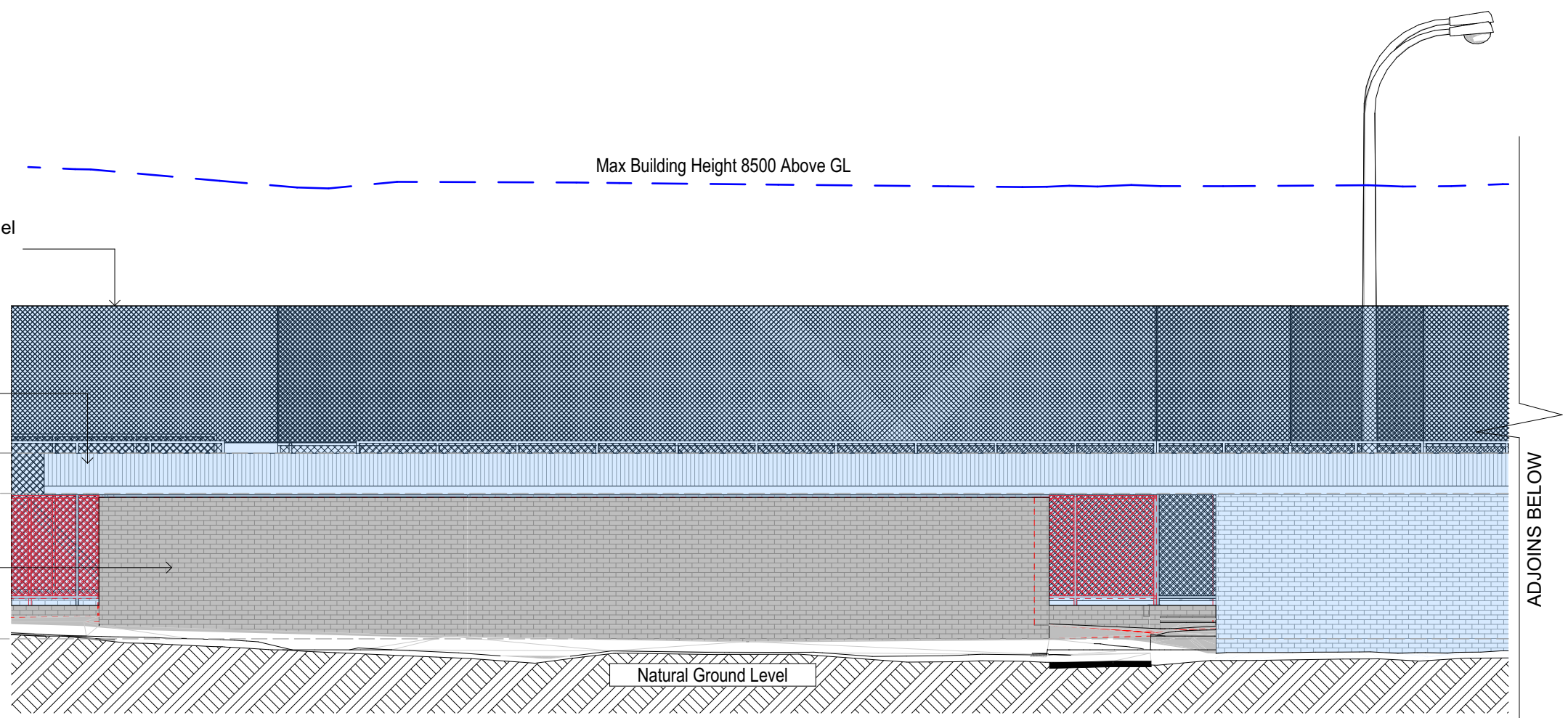
DRAWING TITLE :  
ELEVATIONS  
**ELEVATIONS 3**

PROJECT NAME:  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.  
**DA4002**

Plot Date: 9/04/2021  
Sheet Size: A3



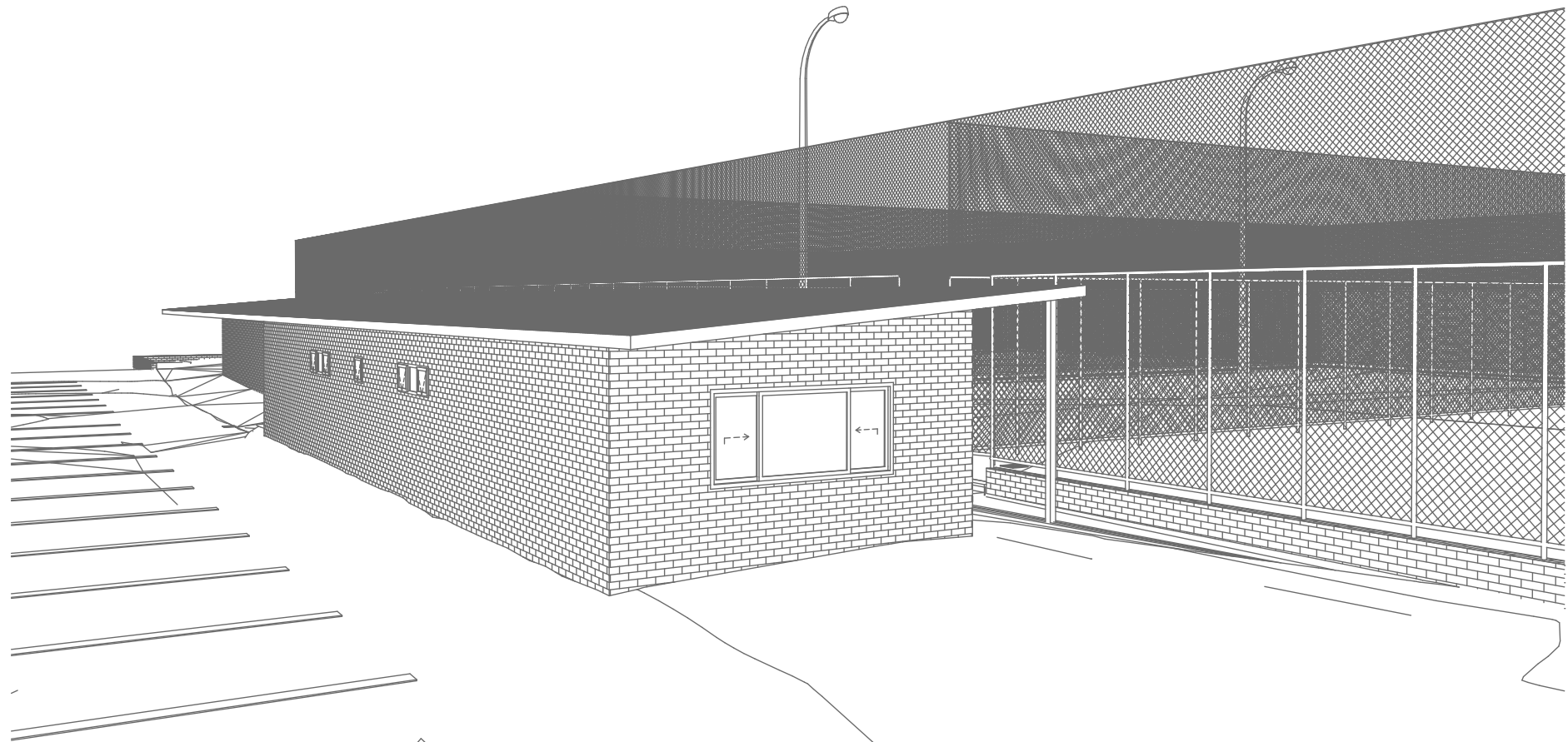
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**DA APPLICATION ONLY**

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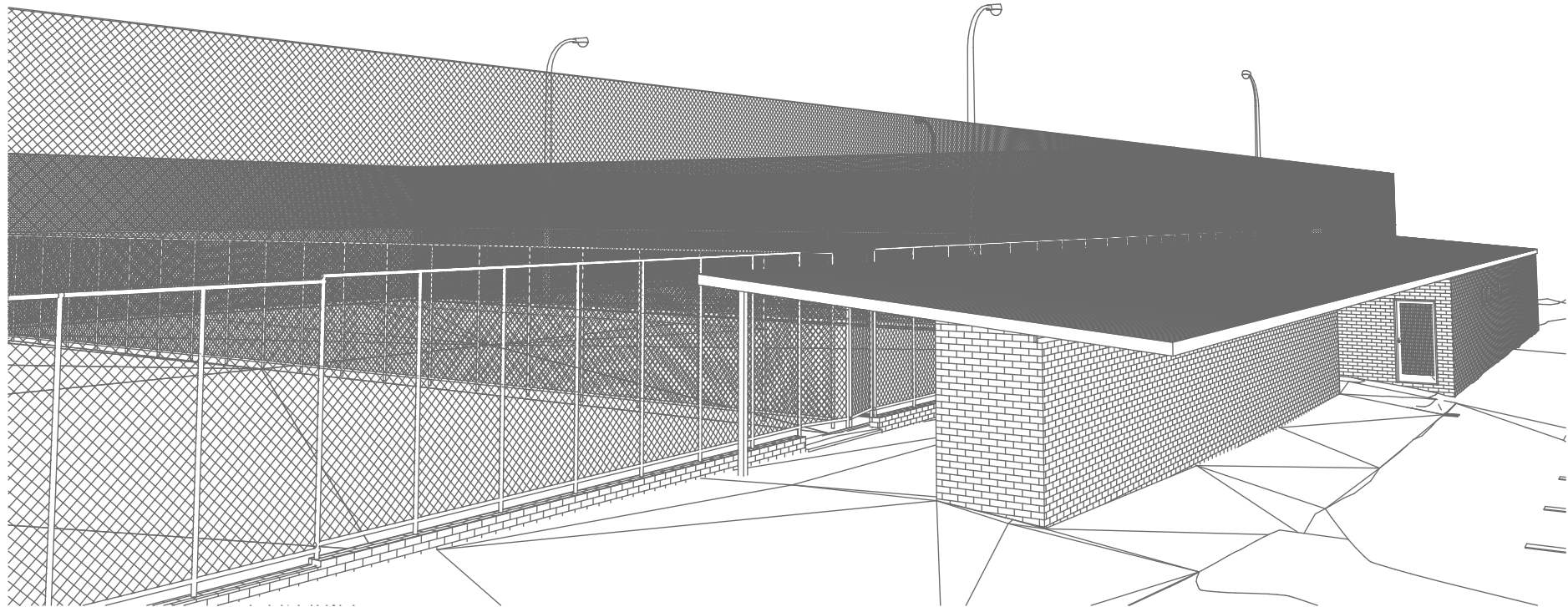
Plot Date: 9/04/2021  
Sheet Size: A3





1  
-

Perspective 1  
1:200



2  
-

Perspective 2  
1:200

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**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**



**Rapid Plans**  
Building Design and Architectural Drafting

World of Plans  
PO Box 6239 Fitzroy Vic 3065  
Tel: (03) 9350-8545 Mobile: 0414-545-024  
Email: info@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA

**bdaa**  
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BUILDING DESIGNER

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Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

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Project North  


Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RPO020HAR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE :  
SHADOW PLANS  
**PERSPECTIVE**

PROJECT NAME :  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.  
**DA5000**

Plot Date: 9/04/2021  
Sheet Size: A3





Denotes Masonry Wall (Typical).  
Owner To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical).  
Owner To Confirm Type & Colour




Denotes Tiling (Typical). Owner To  
Confirm Type & Colour



Denotes Fencing With Net Ontop (Typical).  
Owner To Confirm Type & Colour

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**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**



**Rapid Plans**  
Building Design and Architectural Drafting

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PO Box 6239 Fitzroy Creek QLD 4072  
Ph: (07) 5501-8545 Mob: 0414-545-024  
Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3745

**Lighting**  
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Project North

Drawn | Checked GBJ  
Plot Date: 9/04/2021  
Project NO.: RP06201AR  
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE SHADOW PLANS  
**MATERIAL & COLOUR SAMPLE BOARD**

PROJECT NAME:  
**New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.  
**DA5001**

Plot Date: 9/04/2021  
Sheet Size: A3